

CITY COUNCIL RESOLUTION NO. 00- 755

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA
APPROVING THE MURRIETA OAKS SPECIFIC PLAN (SPM-10)**

WHEREAS, the City of Murrieta General Plan has established the SP (Specific Plan) land use designation; and

WHEREAS, the Murrieta Oaks Specific Plan has been prepared consistent with the City of Murrieta General Plan and subject to the City of Murrieta guidelines for preparation of specific plans; and

WHEREAS, a draft Environmental Impact Report (EIR) for the Murrieta Oaks Specific Plan was prepared for this project and was available for public review from March 13, 2000 through April 26, 2000, and a public hearing was duly held on May 24, 2000; and

WHEREAS, the Planning Commission considered testimony presented by the public, the Planning Department, and other interested parties with respect to the Murrieta Oaks Specific Plan and Environmental Impact Report at the public hearing held on May 24, 2000; and

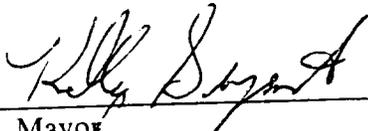
NOW, THEREFORE, the City Council of the City of Murrieta DOES HEREBY RESOLVE as follows:

SECTION 1 Pursuant to the California CEQA Guidelines for the implementation of the California Environmental Quality Act, the City Council has reviewed the Draft Environmental Impact Report and considered the information contained therein prior to recommending approval of the Specific Plan.

SECTION 2 ~~That the Planning Commission recommends that~~ The City Council approve the Murrieta Oaks Specific Plan (SPM-10).

SECTION 3. The City Clerk shall certify the adoption of this Resolution.

PASSED, APPROVED AND EFFECTIVE this 20th day of June, 2000.



Mayor

Attest:



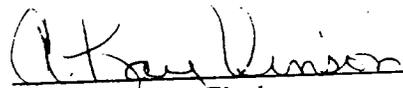
City Clerk

STATE OF CALIFORNIA: } SS
COUNTY OF RIVERSIDE:

I, A. Kay Vinson, City Clerk of the City of Murrieta, California, DO HEREBY CERTIFY that the Resolution 00-755 was duly and regularly adopted by the City Council of the City of Murrieta, California, at a meeting thereof held on the 20th day of June, 2000 by the following vote:

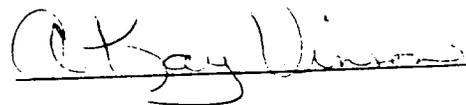
AYES: Enochs, Ostling, van Haaster, Youens and Seyarto
NOES: None
ABSENT: None
ABSTAIN: None

(Seal)



Murrieta City Clerk

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Murrieta, California, this 20th day of June, 2000



City Clerk

Murrieta Oaks Specific Plan

Murrieta, CA

July, 2000

PDS WEST

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1.0 PLAN OVERVIEW

1.1 INTRODUCTION

The Murrieta Oaks Specific Plan has been prepared to assist the City of Murrieta in the implementation of a master plan, consistent with all regulatory standards in accordance with the Murrieta General Plan. The Murrieta Oaks Specific Plan provides a detailed description of proposed land uses and infrastructure requirements. Design guidelines have been prepared to assist in creating a community character in keeping with the surrounding community. Development regulations provide criteria for development within Murrieta Oaks.

1.2 PURPOSE

The purpose of the Specific Plan is to meet the requirements of the City of Murrieta General Plan. The Specific Plan is intended to serve the following purposes:

- A. Promote high quality development consistent with the goals of the City of Murrieta General Plan.
- B. Provide for comprehensive planning which assures the orderly development of the site in relation to the surrounding community.
- C. Assure appropriate phasing and financing for community facilities including circulation improvements, domestic water, urban runoff and flood control facilities, sewage disposal facilities, and the neighborhood park.
- D. Conserve and enhance natural open space areas and provide on-site amenities where appropriate.

The Specific Plan document for Murrieta Oaks has been written consistent with the framework established by the State of California Government Code as specified in Article 8, Section 65450 et. Seq.

1.3 GENERAL PLAN CONSISTENCY

The City of Murrieta General Plan was adopted in June 1994, and had a major amendment in 1999. The Murrieta Oaks Specific Plan is consistent with the General Plan, and will serve to implement the framework for development contained in the General Plan relevant to the Murrieta Oaks area. The General Plan contains the City's long-term vision and goals for the Murrieta Oaks area, as well as the parameters for single family residential development. The Murrieta Oaks Specific Plan will further the objectives and policies contained in the General Plan.

1.3.1 General Plan Consistency

The General Plan is organized into eight elements; Land Use, Housing, Circulation, Conservation and Open Space, Safety, Noise, Air Quality, and Economic Development. While each element of the General Plan provides important factors used to direct the future development of the City, the Land Use Element, Housing Element, and Conservation and Open Space Element provide a good overview of the development parameters for the Murrieta Oaks Specific Plan.

A. Land Use Element

Several important goals of the General Plan, as addressed in the Land Use Element, that are relevant to Murrieta Oaks include:

- Balanced community growth patterns
- Land use compatibility
- Maintaining rural/non-urban community character
- Preservation of important natural features

The Murrieta Oaks land use plan provides for a balance of land uses throughout the community by Accommodating residential, open space and recreational uses. The plan calls for the development of residential housing that is compatible with the character of existing adjacent neighborhoods and with the rural character of Murrieta.

The community design will ensure that land uses within the area will be compatible with surrounding on and off-site land use designations through the provision of appropriate land use transitions.

The land use plan for Murrieta Oaks has been designed as cluster development and maintains the significant natural features, such as the ridgeline, the steep hillside areas, and the drainage courses.

B. Housing Element

One of the goals of the Housing element within the General Plan is to “*develop a diversified stock*” of housing types to meet “*the future housing needs of all socioeconomic groups within Murrieta.*” The Murrieta Oaks Specific Plan contains the provisions necessary for the planned development of this area to meet the additional housing demand required by the families anticipated to live and work in the City of Murrieta. The housing to be developed is consistent in size with those in the adjacent neighborhoods.

C. Conservation and Open Space Element

The General Plan states that conservation and open space are important issues for the City of Murrieta because of the desire to maintain the rural character of the community. The following goals addressed in the Conservation and Open Space Element are applicable to the Murrieta Oaks Specific Plan:

- Conservation and preservation of significant landforms
- Preservation of rural character
- Provision of open spaces for active and passive recreation
- Development of a comprehensive trail system

The Murrieta Oaks plan provides for the preservation of the significant natural features, such as the ridgeline, the steep hillside areas, and the drainage courses. The clustering of residential development allows for the preservation of 76.02 acres of natural open space on the site, thus maintaining the rural character of the community.

In addition, the plan provides for a 5.13 acre public neighborhood park. The park will be owned and maintained by the City of Murrieta, and will provide a variety of active and passive recreation uses.

A multi-use trail will connect residential neighborhoods on-site to adjacent neighborhoods and potential off-site trails, thereby contributing to the development of a comprehensive trail system.

1.4 CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE

A Project Environmental Impact Report (EIR) defined by Section 15161 of the State of California Environmental Quality Act (CEQA) Guidelines has been prepared and addresses the potential impacts of the development allowed by the Specific Plan. The EIR has been prepared in compliance with the CEQA Guidelines.

In accordance with Section 15182(a) of the State CEQA Guidelines, no further environmental review should be required providing that future development within the Murrieta Oaks Specific Plan area is in conformance with this specific plan and the EIR

1.5 PROJECT LOCATION AND SETTING

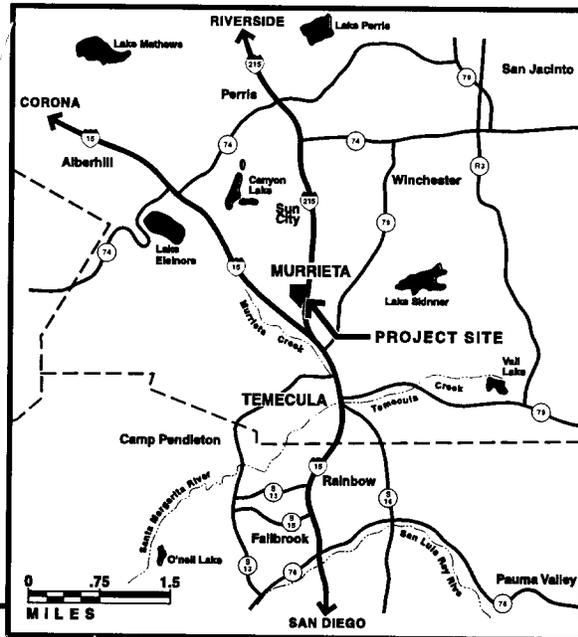
Murrieta Oaks Specific Plan is located in the area between Interstate 15 and the 215 Freeway, north of Los Alamos Road, with Clinton Keith Road crossing the site at the northern edge. The area is characterized by predominately single-family neighborhoods and is adjacent to two major existing Specific Plans, California Oaks and Rancho Las Brisas.

A major regional commercial area is planned for the northwest corner of the 215 Freeway and Clinton Keith Road. The area west of the regional center has been designated Rural Residential.

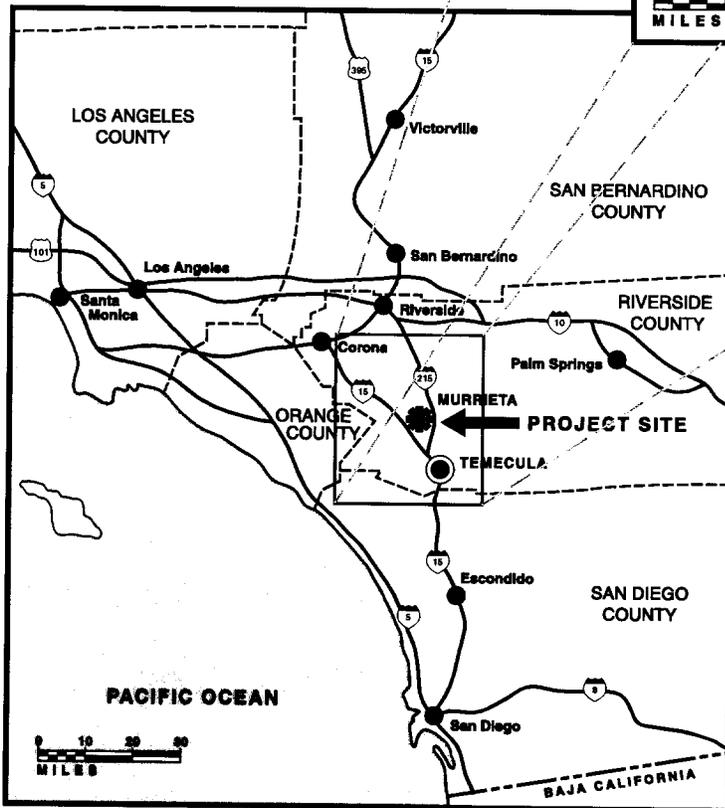
The location of Murrieta Oaks Specific Plan in relation to the local and regional setting is displayed in Exhibit 1, Vicinity Map.

1.5.1 Existing Conditions

The following provides a brief summary of the site's current conditions. Detailed technical



Vicinity Map



Regional/Vicinity Maps - Exhibit 1

studies were prepared as part of the EIR, including biological resources, archaeological/ paleontological resources, geotechnical constraints, hydrological and drainage conditions, tree surveys, and slope analysis. A Constraints Composite map was then prepared (See Exhibit 4)

B. Size - The specific plan site is 259.6 acres in size.

C. Natural Terrain - The site of this Specific Plan is characterized by a prominent ridgeline that runs southwest to northeast through the site, as well as several large drainage courses

that carry drainage from north to south. There are elevation changes of as much as 290 ft. from low point to high point on the site. The ridgeline reaches a maximum elevation of 1597 feet above mean sea level, with peaks ranging from that elevation to 1507. The lowest point is at the southernmost tip of the site and is at an elevation of approximately 1307. Slopes on the site range from nearly flat near Clinton Keith Road to over 50% near the peaks of the ridgeline. Most of the ridge that is prominently visible from the surrounding area is over 20 % gradient.

D. Drainage - The Murrieta Oaks site is drained by numerous unnamed watercourses. Four of the drainage courses were found to contain both wetlands and jurisdictional non-wetland waters of the U.S. The two largest drainageways are the only watercourses on-site to be designated as intermittent streams on the USGS maps. The first enters the site on the northern boundary, flowing under Clinton Keith Road through four culverts, and generally traverses the site in a southwesterly direction. This drainage course is designated in the Murrieta General Plan as having a Creek Corridor Overlay with potential recreation trail and open space usage. The second large drainage course originates in the southwest portion of the site, directly below a large water tank serving the development immediately to the southwest. It generally drains to the south, exiting the site at the boundary of the developed area.

E. Vegetation - Eight habitat types have been mapped on the Murrieta Oaks property. The majority of the site supports chamise chaparral and *Ceanothus crassifolius* chaparral; these areas are primarily along the ridgeline. Ruderal areas, previously disturbed by discing, weed control, and recreational uses are on flatter portions of the property on both the northern and southern boundaries. Coastal sage scrub occurs in the northwestern portion of the site and in pockets within the *Ceanothus crassifolius* chaparral. The drainage courses on the property support

oak woodland, southern willow scrub. Riparian forest, and one small patch of mulefat scrub. See the biology section of the Murrieta Oaks Specific Plan EIR for more detailed information.

F. Views - The predominant views on the site are to the existing residential developments to the south and west and to the partially developed land to the north and the east.

G. Existing Uses - The Specific Plan area is undeveloped and vacant, and is currently not being used.

H. Existing Surrounding Land Uses - Rural residential uses and vacant land occur north of the site. Across Interstate 215 to the east is primarily vacant land. The remainder of the surrounding land uses are single family residential neighborhoods.

1.6 CONSTRAINTS ANALYSIS AND MAP

A constraints map was prepared that identified the locations of the most significant environmental constraints to development, including Slopes over 20%, hillside/ridgeline boundaries, California Department of Fish and Game jurisdiction habitats (riparian), Wetlands, and Jurisdictional Waters of the U.S. (Corps of Engineer Jurisdiction). (See Exhibit 4). This Constraints Composite Map was used as a base for design. Wherever possible, these constraints were avoided. All but one small area of wetlands have been preserved, and existing wetlands will be enhanced and expanded. New wetlands will be created to more than compensate for any loss. Following is a brief description of each constraint.

1.6.1 Slopes over 20%

As shown on the Constraints Composite Map Exhibit 4), slopes over 20% and those under 20% have been identified (A full slope analysis showing slopes in more categories can be found

in the EIR). The City of Murrieta requires that land exceeding 25% slope be subject to the conditions of the City's Hillside Ordinance. 20% was chosen as a more conservative number in identifying prominent hillsides/ridgelines.

1.6.2 Ridgeline Boundaries

Using the above identified slopes exceeding 20%, a boundary was established identifying the general masses of hillside/ridgelines.

1.6.3 California Department of Fish and Game Jurisdictional Habitats

Riparian and Oak Woodland plant communities following the drainage ways were identified on the Constraints map.

1.6.4 Wetlands

Areas of wetlands (as defined by the Army Corps of Engineers) were identified on site and placed on the Constraints map.

1.6.5 Jurisdictional Waters of the United States

Using Corps of Engineers definitions for waters of the United States, streams and tributaries meeting these definitions were delineated and shown on the Constraints map.

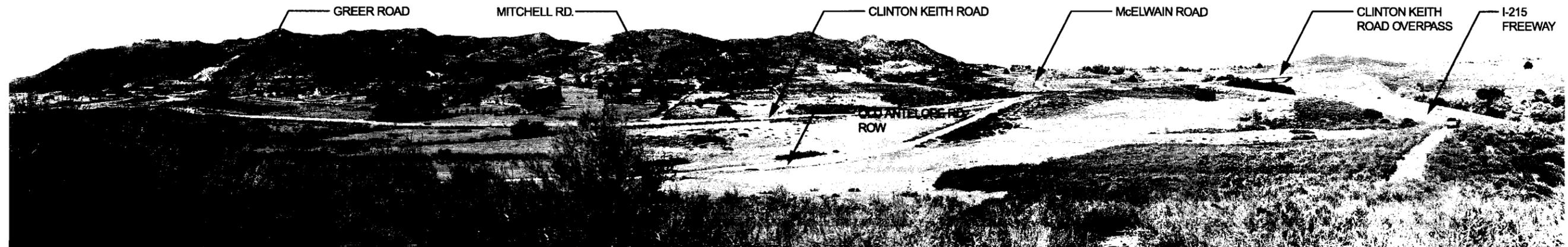


MURRIETA OAKS PROPERTY AERIAL PHOTO

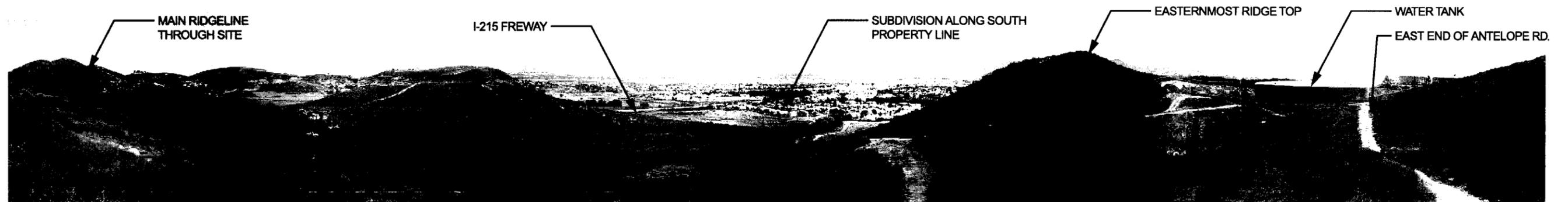
EXHIBIT 2



150° PAN VIEW FROM SOUTHWEST TO NORTH, TAKEN FROM EASTERNMOST RIDGETOP



160° PAN VIEW FROM WEST TO NORTHEAST, TAKEN FROM EASTERNMOST RIDGE



170° PAN VIEW FROM SOUTHEAST TO WEST, TAKEN FROM SADDLE NEAREST WATER TANK

SITE PHOTOGRAPHS

EXHIBIT 3

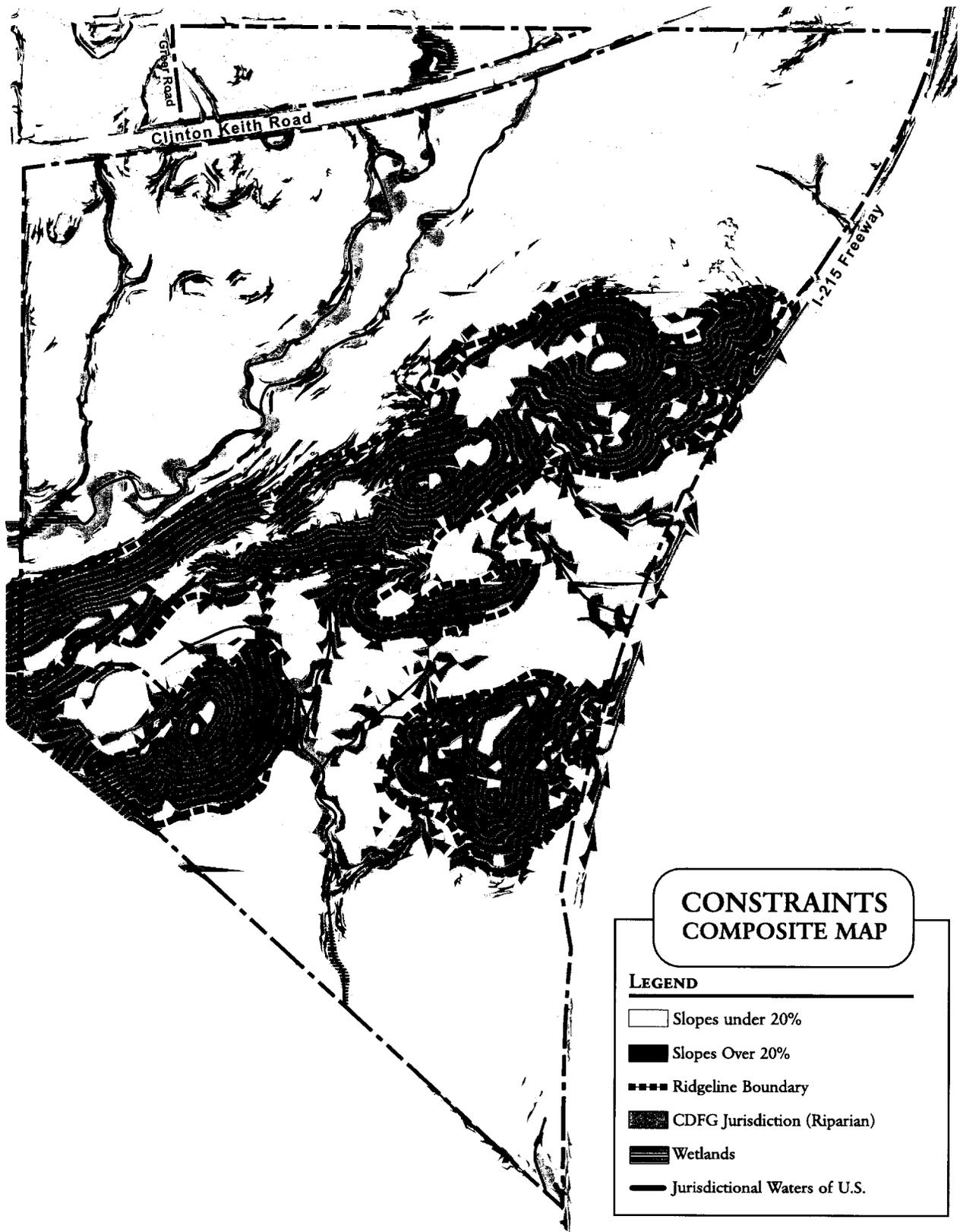


EXHIBIT 4

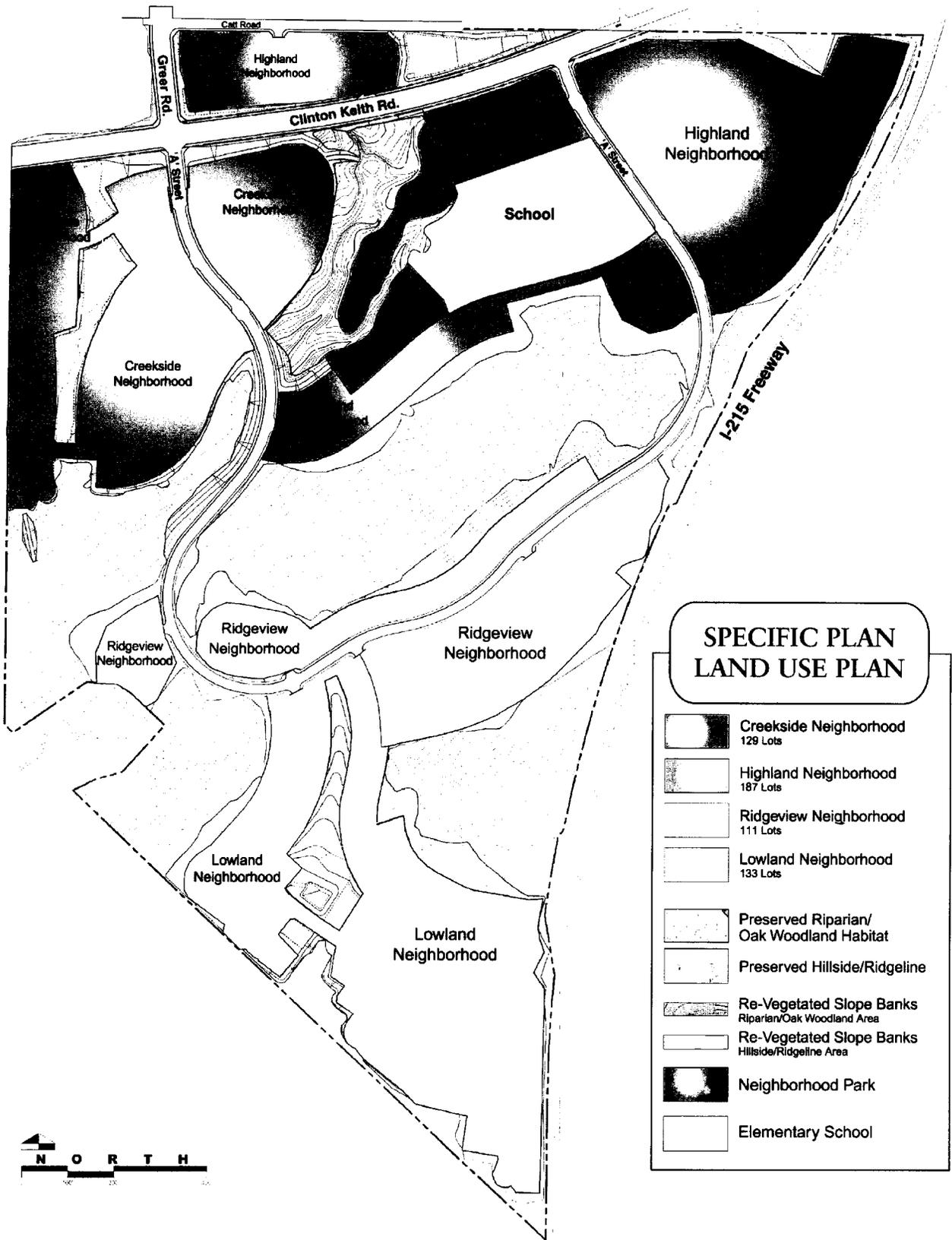


EXHIBIT 5

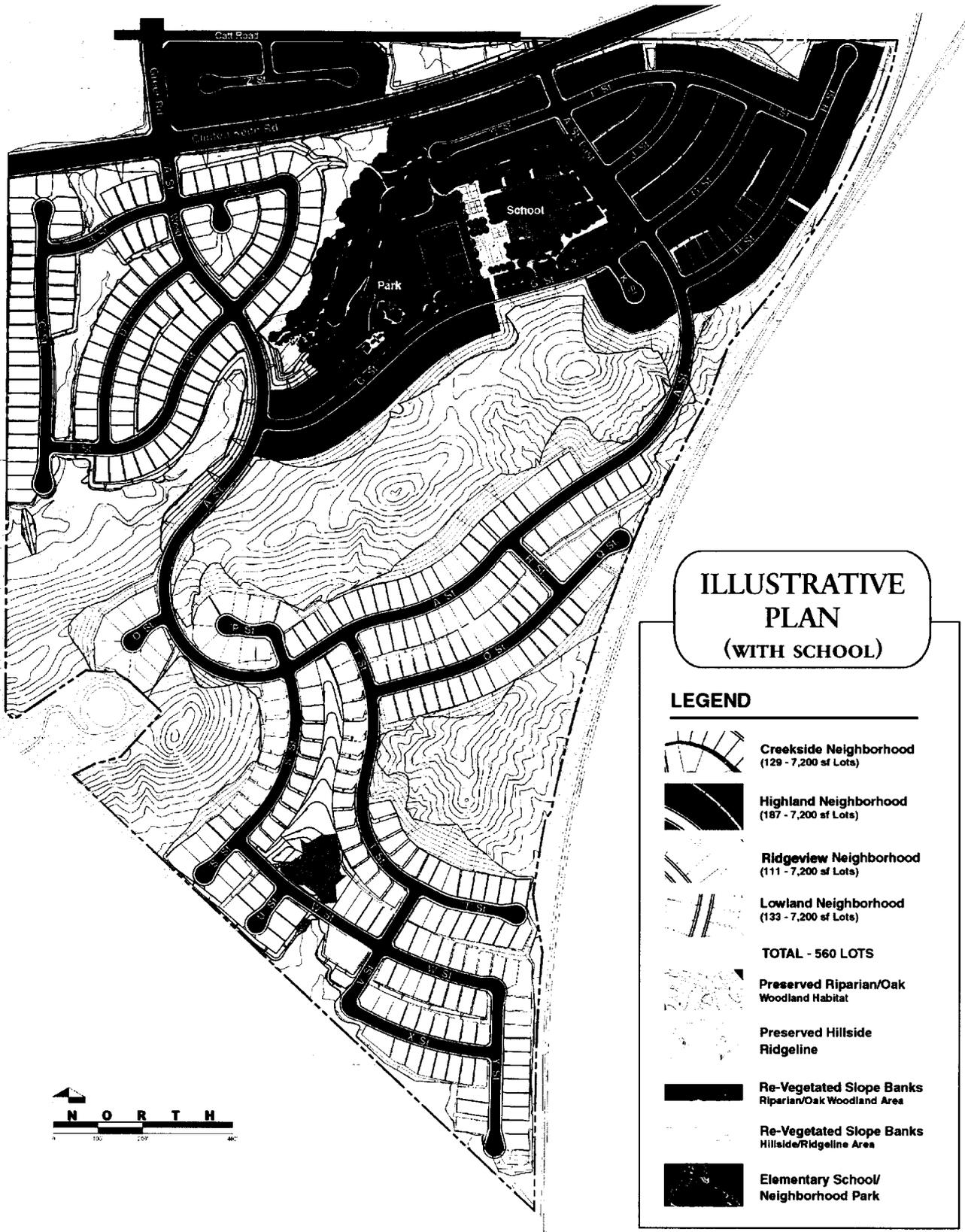
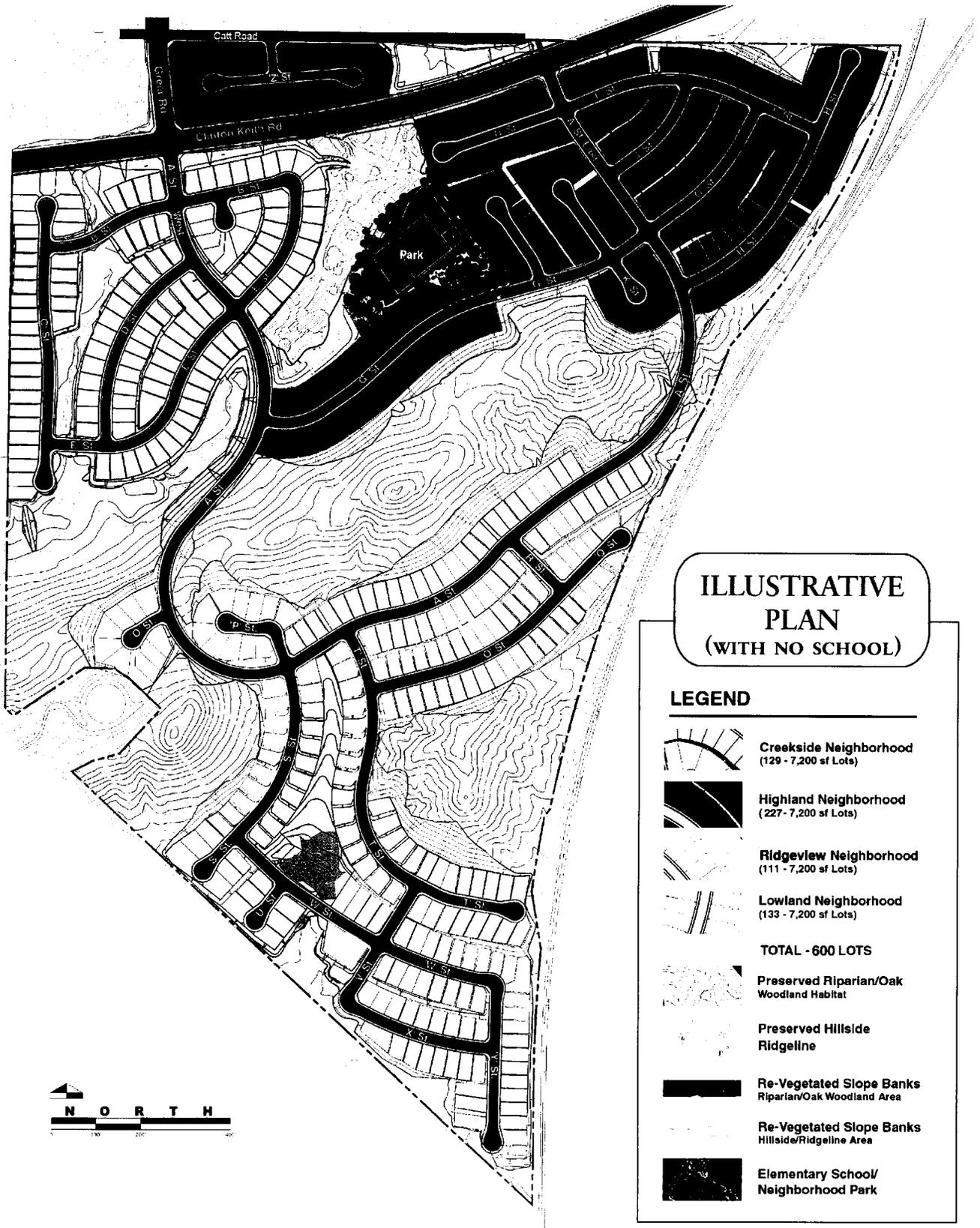


EXHIBIT 6



2.0 LAND USE PLAN

2.1 LAND USE PLAN

The Murrieta Oaks Specific Plan Land Use Plan, Exhibit 5, has been developed to create a quality community which will endure long into the future. The Plan incorporates land uses which relate to modern needs, while retaining assets of the existing environment. The Land Use Plan has been designed to establish a sense of harmony with Murrieta Oaks Specific Plan surroundings.

2.2 LAND USE SUMMARY

- Overall density of 2.2 dwelling units/acre.
- Minimum lot size of 7,200 square feet.
- The Murrieta Oaks density is consistent or less dense than surrounding development.
- The low density will be created by clustering land uses within the flatter portions of the site.

- Preservation of substantial amounts of open space
- Preservation of the ridgeline that runs through the center of the site
- Preservation of the majority of large drainage courses and related oak-woodland areas on the site.

2.2.1 Neighborhoods

The land use plan delineates four neighborhoods. Each will be differentiated from the others by entry treatment and individual landscaping with plant choices that enforce separate identities (see Section 3.2 Design Standards - Landscape Design - for specific details) :

A. Creekside Neighborhood

- Located alongside a main drainageway
- 129 - 7,200 sq. ft. residential lots

LAND USE ACREAGE TABLES

TABLE I

MURRIETA OAKS (PROJECT)

Residential Lots	98.73 acres
Natural Hillside Open Space	46.62 acres
Natural Creek and Related Vegetation	20.63 acres
Modified Open Space/Landscaped Banks	28.45 acres
Natural Hillside with Fuel Modification	8.77 acres
Road Rights-of-Way (Internal Roads Only)	41.27 acres
Elementary School	10.00 acres
Neighborhood Park	5.13 acres
TOTAL	259.60 ACRES

B. *Highland Neighborhood*

- Located at a higher elevation than the Creekside neighborhood, above the drainageways and adjacent to the natural hillsides.
- Plant palette will include native species reflecting those natural environments.
- 187 - 7,200 sq. ft. residential lots.

C. *Ridgeview Neighborhood*

- Located at a higher elevation, below the actual ridgelines.
- Landscaping will include plant material which will evoke the feeling of and blend in with, the existing and indigenous vegetation.
- Native trees and shrubs will be more evident than in other neighborhoods.
- 111 - 7,200 sq. ft. residential lots

D. *Lowland Neighborhood*

- Nestled between surrounding hills, with a drainage course running through its center.
- 133 - 7,200 sq. ft. residential lots

2.2.2 Residential Land Uses

A. Housing

- The residential land use designation for Murrieta Oaks is single family residential (See Specific Plan Land Use Plan, Exhibit 5).
- Murrieta Oaks is within Specific Plan Murrieta (SPM10) area.
- The maximum number of dwelling units is 600 without a school and 560 with a school.

B. Population

- Development of the Murrieta Oaks Specific Plan area will result in an estimated total resident population of 1992 persons without a school and 1859 persons with a school.
- Population estimate is based on the City of Murrieta's year 2000 generation rate of 3.32 persons per household.

2.2.3 Open Space Land Uses

The Murrieta Oaks Specific Plan is guided by the key design principle: conserve and enhance areas with unique environmental and aesthetic value. To accomplish this, the following will occur:

- Natural features of the site will be maintained in an undeveloped condition, to the degree feasible.
- The open space configurations will assure the preservation of the most dramatic topography and sensitive biological areas.
- The major ridgeline that runs through the site and drainage courses and their related oak-woodland vegetation will be preserved.
- The natural system will be composed of 76.02 acres designated for natural hillside, conserved creek open space, and the natural hillside area not in slope bank but subject to fuel modification.
- 33.58 acres are designated for modified open space, including a neighborhood park, landscaped slope banks, and the trail system with picnic/rest areas, and fuel modification areas. (See Section 3.0 Design Standards for descriptions of open space design, see exhibit 9 for ownership & maintenance of open space.)

NEIGHBORHOOD ANALYSIS**TABLE 2****NET ACRES - NO SCHOOL (ALTERNATIVE)**

Neighborhood	Max. No. of Lots	Min. Lot Size	Size in Net Acres
Creekside Neighborhood	129	7,200 sf	32.33
Highland Neighborhood	227	7,200 sf	64.70
Ridge View Neighborhood	111	7,200 sf	32.27
Lowland Neighborhood	133	7,200 sf	39.07
	600	--	168.37

NET ACRES - WITH SCHOOL (PROJECT)

Neighborhood	Max. No. of Lots	Min. Lot Size	Size in Net Acres
Creekside Neighborhood	129	7,200 sf	32.33
Highland Neighborhood	187	7,200 sf	50.11
Ridge View Neighborhood	111	7,200 sf	32.27
Lowland Neighborhood	133	7,200 sf	39.07
	560	--	153.78

PROJECT ANALYSIS**OVERALL PROJECT DENSITY - PROJECT (WITH SCHOOL)**

Project	Max. No. of Lots	Size in Gross Acres	Density per Acre
Gross Developable Area	560	249.60	2.2
Total Land less School			

OVERALL PROJECT DENSITY - PROJECT (WITHOUT SCHOOL)

Project	Max. No. of Lots	Size in Gross Acres	Density per Acre
Gross Developable Area	600	259.60	2.3



NEIGHBORHOOD PARK / ELEMENTARY SCHOOL

EXHIBIT 8

2.2.4 Elementary School

- A 10 acre site has been reserved for an elementary school, adjacent to a neighborhood park.
- The Murrieta Valley Unified School District has informally stated that they want an elementary school on the Murrieta Oaks site.
- Both the school district and the City Parks Department prefer having the school and park adjacent to each other sharing the use of play fields and other facilities.
- The elementary school size and configuration has been planned to meet the requirements of the State of California and the school district.
- The school district is in the process of developing a prototype elementary school, based

on existing Tovoshal Elementary School, that can be modified slightly to fit each future school site.

- The Elementary School/Neighborhood Park Illustrative Plan used Tovoshal Elementary School as a floor plan and model for layout.
- In addition to the required school buildings, parking and drop-off areas, the illustrated school has a very large hard-surface play area and two acres of play fields
- Section 7.4.9 of the Public Facilities Finance Plan chapter of this specific plan provides the conditions relating to the mitigation for impacts to school facilities.
- *Note: If the school district for some reason does not want the school site, it will revert to single family residences as shown on exhibit 7, and the park site may increase slightly in size.*

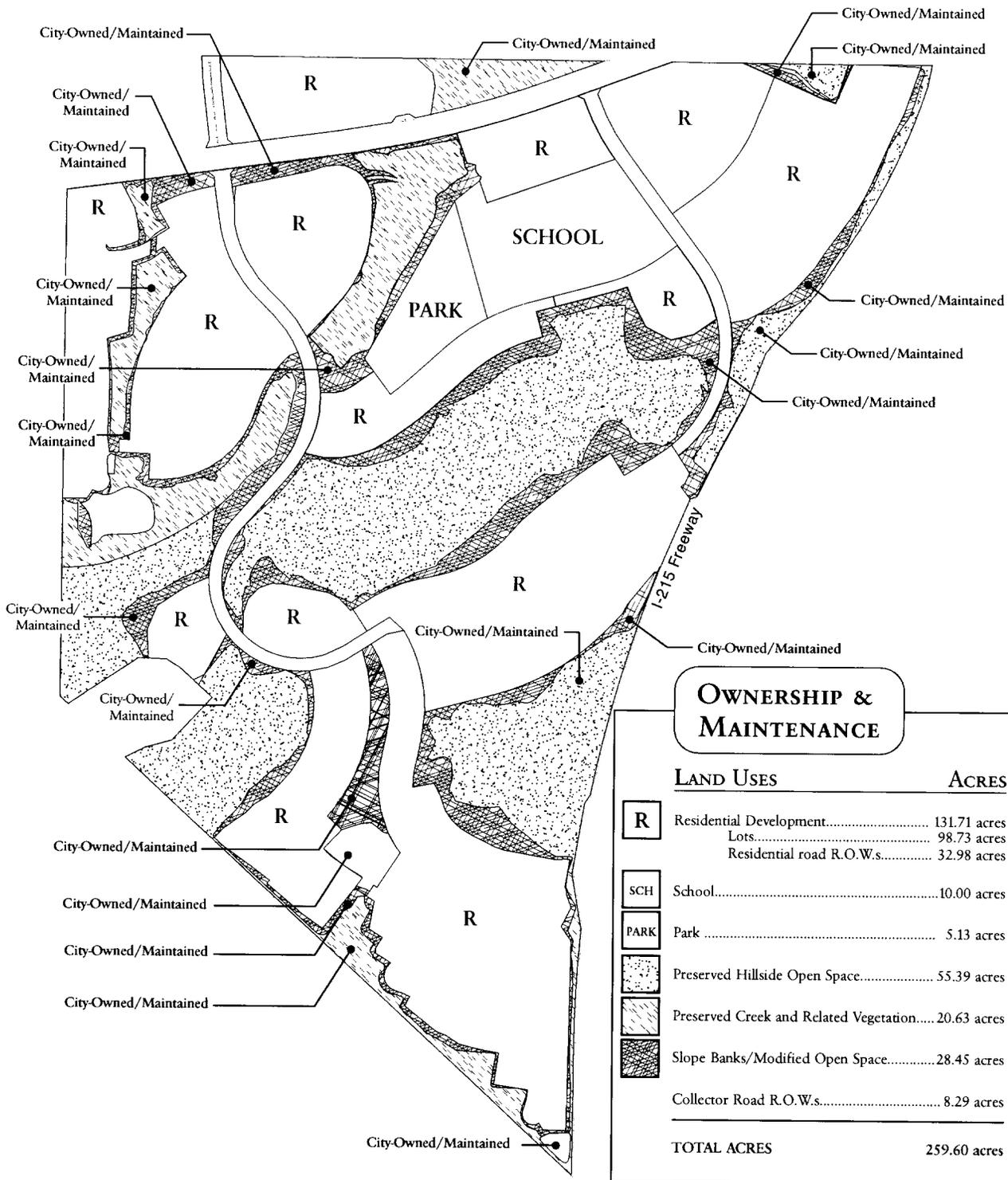


EXHIBIT 9

3.0 DESIGN STANDARDS

3.1 PURPOSE AND INTENT

The Single-family Residential Design Standards and Parameters specified in Murrieta Municipal Code Section 16.08.030 are applicable, except as modified by the standards contained herein. The purpose of these standards is intended to create a distinct character for the Murrieta Oaks Specific Plan, while maintaining harmony with the surrounding neighborhood.

3.2 LANDSCAPE DESIGN

3.2.1 Landscape Concept Plan

The Landscape Concept Plan is identified in Exhibit 11.

3.2.2 Community & Neighborhood Entries

A. Community & Neighborhood Entries Locations are identified in Exhibit 10.

B. Community & Neighborhood Entries Elevations and Plan Views are identified in Exhibits 10, 12 and 13.

3.2.3 Master Plant List

The Master Plant List is identified as Table 3.

3.2.4 Landscape Development Requirements

The following standards are required to implement the Landscape Design elements identified above:

A. All landscaping shall comply with Murrieta Municipal Code Chapter 16.28, except that Table 3-5 within Section 16.28.080 of the Murrieta Municipal Code is superseded by the Master Plant List (Table 3 in this specific plan).

3.3 WALL DESIGN

Wall Design consists of the following elements:

3.3.1 Wall Locations

Wall Locations are identified in Exhibit 16.

3.3.2 Community Wall

Community Wall Elevation is identified in Exhibit 19.

3.3.3 Sound Attenuation Wall

Sound Attenuation Wall Elevation is identified in Exhibit 18.

3.3.4 Wall & Fence Development Requirements:

The following standards are required to implement the Wall and Fence Design elements:

A. All walls and fences shall comply with Murrieta Municipal Code Chapter 16.22.

B. All walls shall be designed so as to minimize graffiti by use of textured materials and/or materials that allow ease of graffiti removal by sand or water blasting. Where appropriate, vines should be planted on walls, which also helps prevent graffiti.

C. Sound Attenuation Walls shall be located along Clinton Keith Road and the 215 Freeway only where residential parcels abut the roadway, as required for noise attenuation.

D. Collector/Community Walls shall be located where residential development abuts the collector road, the neighborhood park, the elementary school (if constructed) and open space where visible from the collector streets.

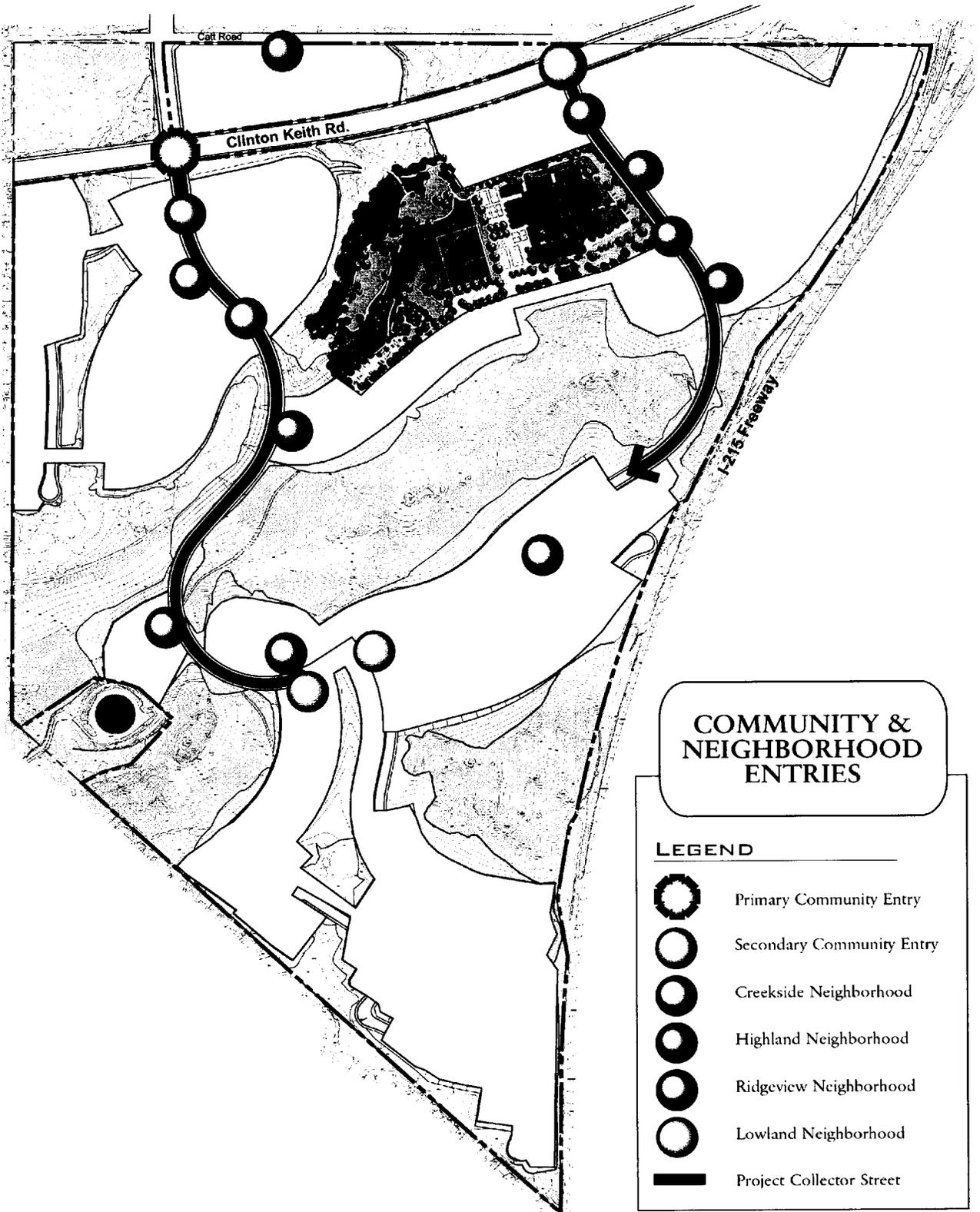
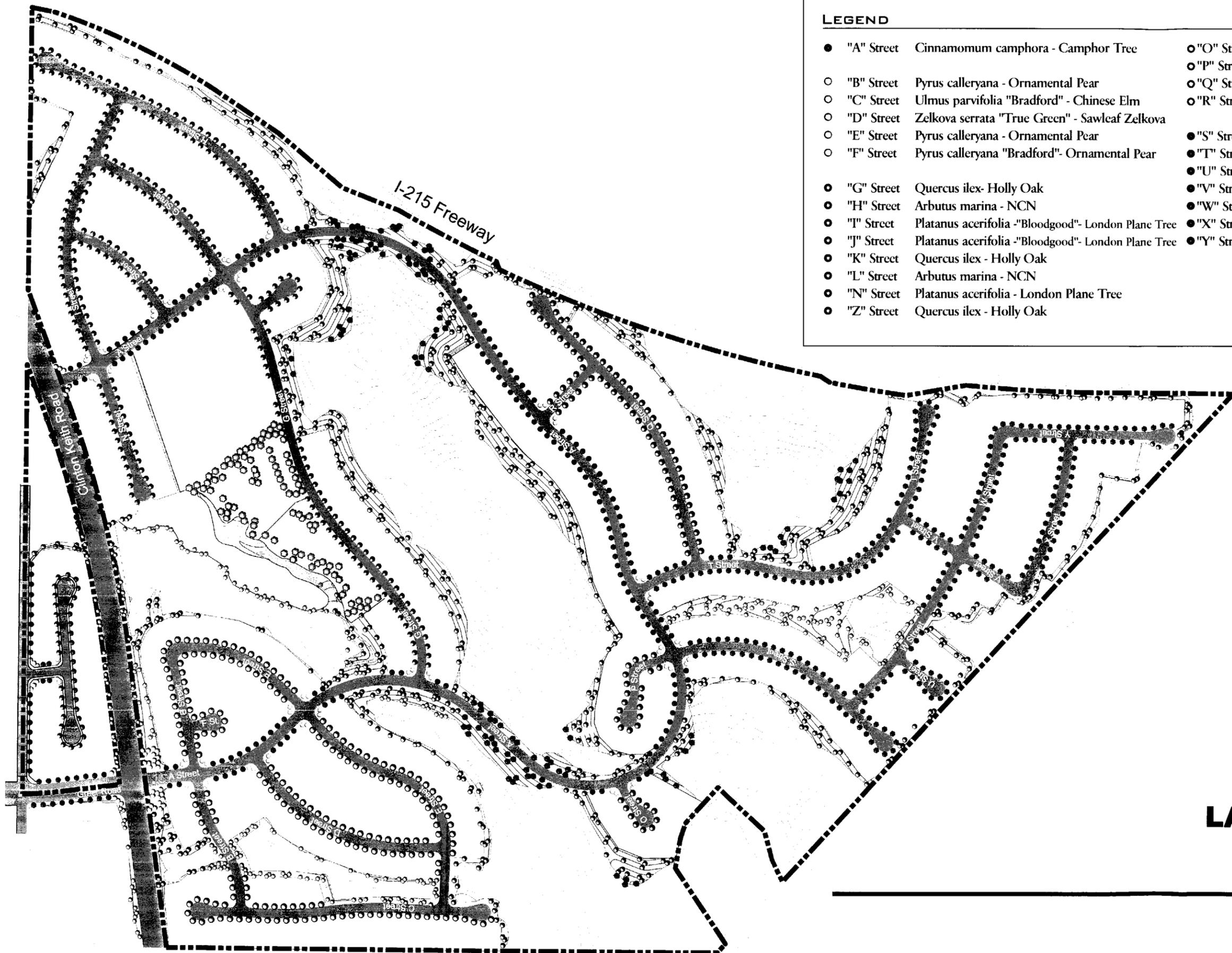


EXHIBIT 10



LEGEND

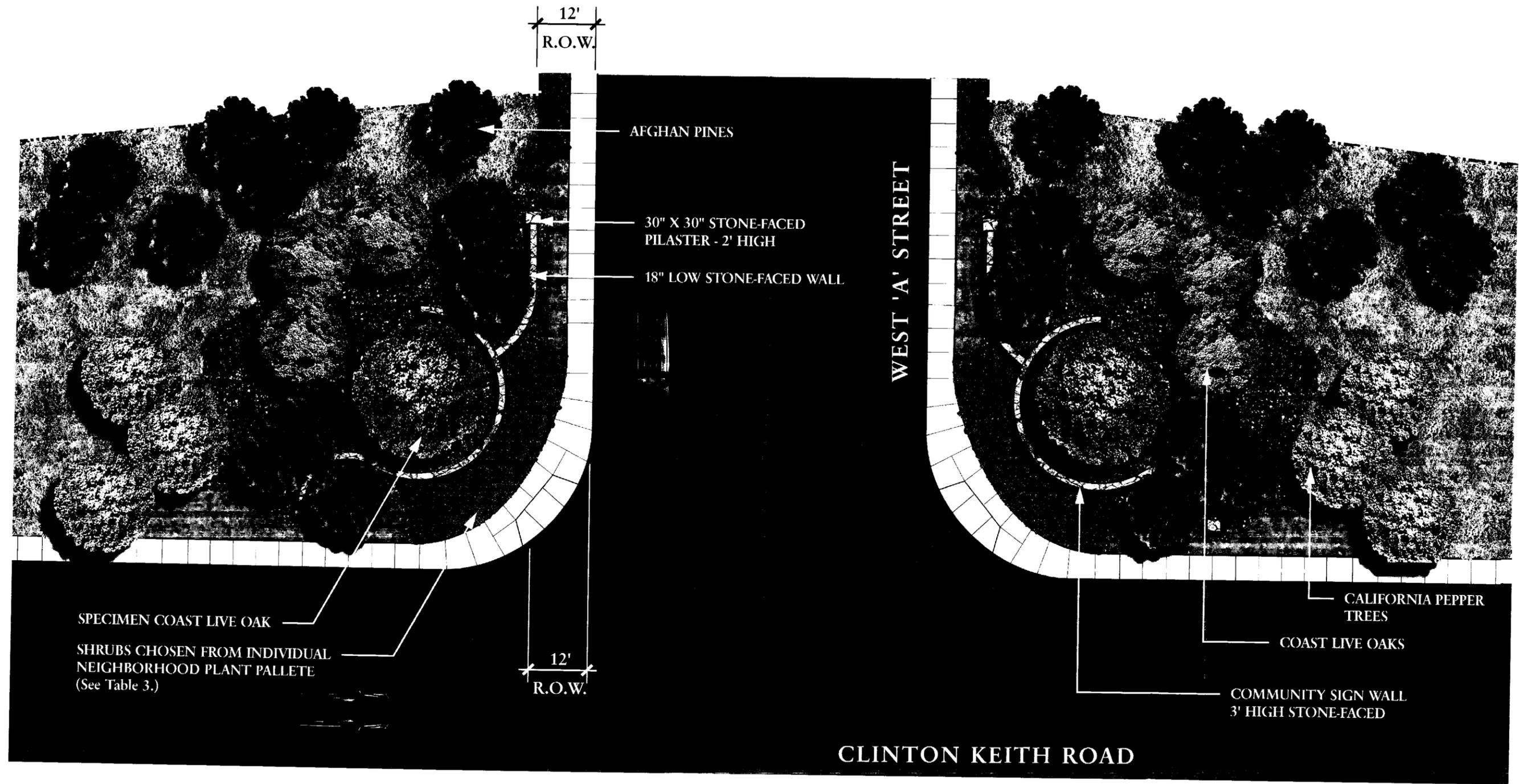
● "A" Street	Cinnamomum camphora - Camphor Tree	○ "O" Street	Liquidamber styraciflua "Burgundy" Sweet Gum
○ "B" Street	Pyrus calleryana - Ornamental Pear	○ "P" Street	Prunus krauter vesuvius - Purple Leaf Plum
○ "C" Street	Ulmus parvifolia "Bradford" - Chinese Elm	○ "Q" Street	Prunus krauter vesuvius - Purple Leaf Plum
○ "D" Street	Zelkova serrata "True Green" - Sawleaf Zelkova	○ "R" Street	Rhus lancea - African Sumac
○ "E" Street	Pyrus calleryana - Ornamental Pear	● "S" Street	Tipuana tipu - Tipu Tree
○ "F" Street	Pyrus calleryana "Bradford"- Ornamental Pear	● "T" Street	Tipuana tipu - Tipu Tree
○ "G" Street	Quercus ilex- Holly Oak	● "U" Street	Lagerstroemia indica "Muscogea"- Crape Myrtle
○ "H" Street	Arbutus marina - NCN	● "V" Street	Lagerstroemia indica "Muscogea"- Crape Myrtle
○ "I" Street	Platanus acerifolia -"Bloodgood"- London Plane Tree	● "W" Street	Quercus ilex - Holly Oak
○ "J" Street	Platanus acerifolia -"Bloodgood"- London Plane Tree	● "X" Street	Lagerstroemia indica "Muscogea"- Crape Myrtle
○ "K" Street	Quercus ilex - Holly Oak	● "Y" Street	Quercus ilex - Holly Oak
○ "L" Street	Arbutus marina - NCN		
○ "N" Street	Platanus acerifolia - London Plane Tree		
○ "Z" Street	Quercus ilex - Holly Oak		

LEGEND

- Project Collector Street Tree
- Creekside Neighborhood Street Tree
- Highland Neighborhood Street Tree
- Ridgeview Neighborhood Street Tree
- Lowland Neighborhood Street Tree
- Riparian Edge Tree
- Ridgeline Edge Tree
- Community Entry Tree
- Neighborhood Entry Tree
- Fuel Modification Tree
- Neighborhood Park Tree
- Preserved Natural Vegetation
- Graded Slopes

CONCEPTUAL LANDSCAPE PLAN

EXHIBIT 11



**COMMUNITY
ENTRY
PLAN**

EXHIBIT 12



SHRUBS CHOSEN FROM INDIVIDUAL
NEIGHBORHOOD PLANT PALETTE
(See Table 3.)

PRECISION BLOCK CAP

3' HIGH STONE-FACED WALL

VANDAL-PROOF RAISED
BRASS LETTERS - 24" MAX

18" LOW STONE-FACED WALL

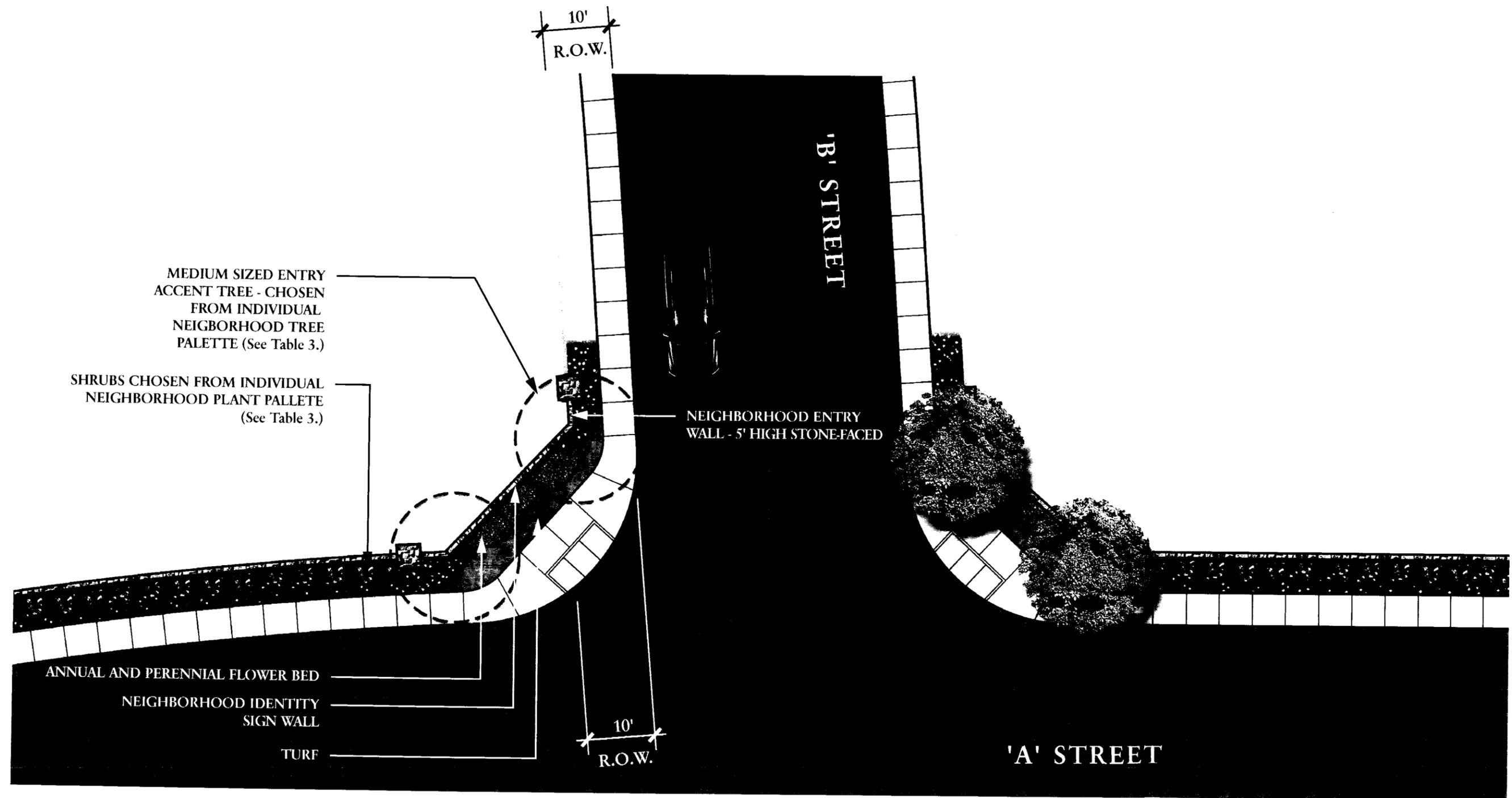
PRECISION BLOCK CAP

30" X 30" STONE-FACED
PILASTER - 2' HIGH



COMMUNITY ENTRY ELEVATION

EXHIBIT 13



**NEIGHBORHOOD
ENTRY
PLAN VIEW**

EXHIBIT 14



5' HIGH SPLIT-FACE BLOCK WALL

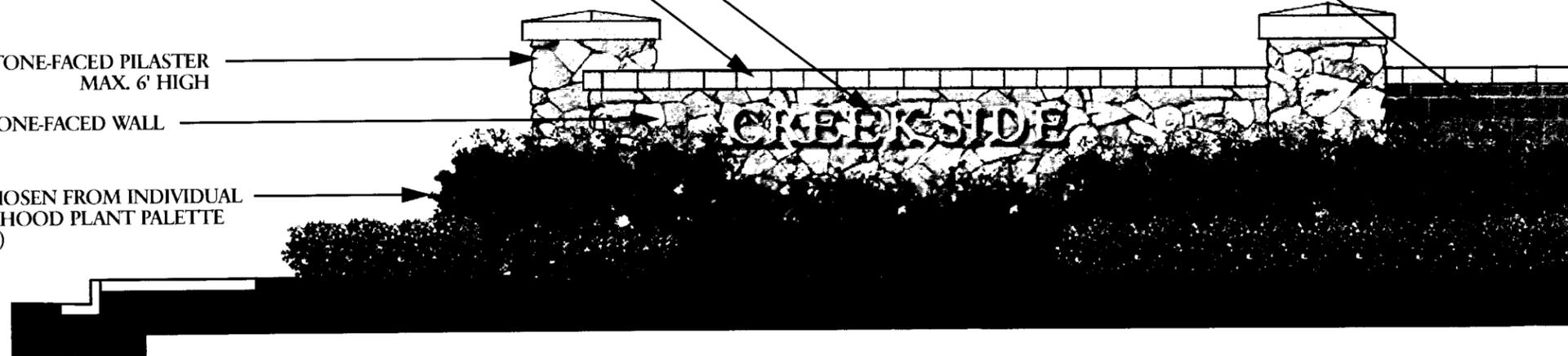
RAISED BRASS LETTERS
16" MAX

PRECISION BLOCK CAP

30" X 30" STONE-FACED PILASTER
MAX. 6' HIGH

5' HIGH STONE-FACED WALL

SHRUBS CHOSEN FROM INDIVIDUAL
NEIGHBORHOOD PLANT PALETTE
(See Table 3.)



NEIGHBORHOOD ENTRY ELEVATION

EXHIBIT 15



**AERIAL
ILLUSTRATIVE PLAN**

EXHIBIT 16

HIGHLAND NEIGHBORHOOD

Entry Tree

Majestic Beauty Fruitless Olive (<i>Olea europaea</i> "Majestic Beauty")	36" box	15'-25' o.c.
--	---------	--------------

Street Trees

Camphor Tree (<i>Cinnamomum camphora</i>) on "A" Street	24" box.	1 per lot or 30' o.c.
Holly Oak (<i>Quercus ilex</i>)	15 gal.	1 per lot or 30' o.c.
Arbutus (<i>Arbutus marina</i>)	15 gal.	1 per lot or 30' o.c.
London Plane Tree (<i>Platanus acerifolia</i> "Bloodgood")	15 gal.	1 per lot or 30' o.c.

Open Space Trees - See Riparian and Ridgeline Edge Trees.

Ornamental

Day Lily (<i>Hemerocallis</i> [evergreen]"Yellow")	1 gal.	18"-24" o.c.
Rock Rose (<i>Cistus purpureus</i>)	5 gal.	4'-5' o.c.
India Hawthorn (<i>Raphiolepis indica</i> "Pinkie")	5 gal.	3'-4' o.c.
Goucher Abelia (<i>Abelia</i> "Edward Goucher")	5 gal.	5'-6' o.c.

Slope Shrubs

McMinn Manzanita (<i>Arctostaphylos densiflora</i> "Howard McMinn")	1 gal.	6'-8' o.c.
Yankee Point California Lilac (<i>Ceanothus</i> "Yankee Point")	5 gal.	8'-10' o.c.
Strawberry Tree (<i>Arbutus unedo</i>)	5 gal.	10'-15' o.c.
Pink melaleuca (<i>Melaleuca nesophila</i>)	5 gal.	10'-15' o.c.

RIDGEVIEW NEIGHBORHOOD

Entry Tree

Mondell Pine (<i>Pinus eldarica</i>)	36" box	15'-25' o.c.
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Street Trees

Camphor Tree (<i>Cinnamomum camphora</i>) on "A" Street	24" box	1 per lot or 30' o.c.
Purple Leaf Plum (<i>Prunus</i> "Krauter Vesuvius")	15 gal.	1 per lot or 30' o.c.
African Sumac (<i>Rhus lancea</i>)	15 gal.	1 per lot or 30' o.c.
Sweet Gum (<i>Liquidambar styraciflua</i> "Burgundy")	15 gal.	1 per lot or 30' o.c.

Open Space Trees - See Ridgeline Edge Trees

Ornamental Shrubs

Lily of the Nile (<i>Agapanthus africanus</i> "Ladanifer")	1 gal.	18"-24" o.c.
Rock Rose (<i>Cistus</i>)	5 gal.	4'-5' o.c.
Dwarf Tobira (<i>Pittosporum tobira</i> "Wheeler's Dwarf")	5 gal.	3'-4' o.c.
Compact Xylosma (<i>Xylosma congestum</i> "Compacta")	5 gal.	5' -6' o.c.

Slope Shrubs

Rosemary (<i>Rosmarinus officinalis</i> "Lockwood de Forest)	1 gal.	3'-4' o.c.
California Lilac (<i>Ceanothus</i> "Concha")	5 gal.	6'-8' o.c.
Toyon (<i>Heteromeles arbutifolia</i>)	5 gal.	10'-12' o.c.
Silverberry (<i>Elaeagnus pungens</i>)	5 gal.	8'-10' o.c.

LOWLAND NEIGHBORHOOD

Entry Tree

Brazilian Pepper (<i>Schinus terebinthifolius</i>)	36" box	15'-25' o.c.
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Street Trees

Camphor Tree (<i>Cinnamomum camphora</i>) on "A" Street	24" box	1 per lot or 30' o.c.
Crape Myrtle (<i>Lagerstroemia indica</i>)	15 gal	1 per lot or 30' o.c.
Holly Oak (<i>Quercus Ilex</i>)	15 gal	1 per lot or 30' o.c.
Tipu Tree (<i>Tipuana Tipu</i>)	15 gal	1 per lot or 30' o.c.

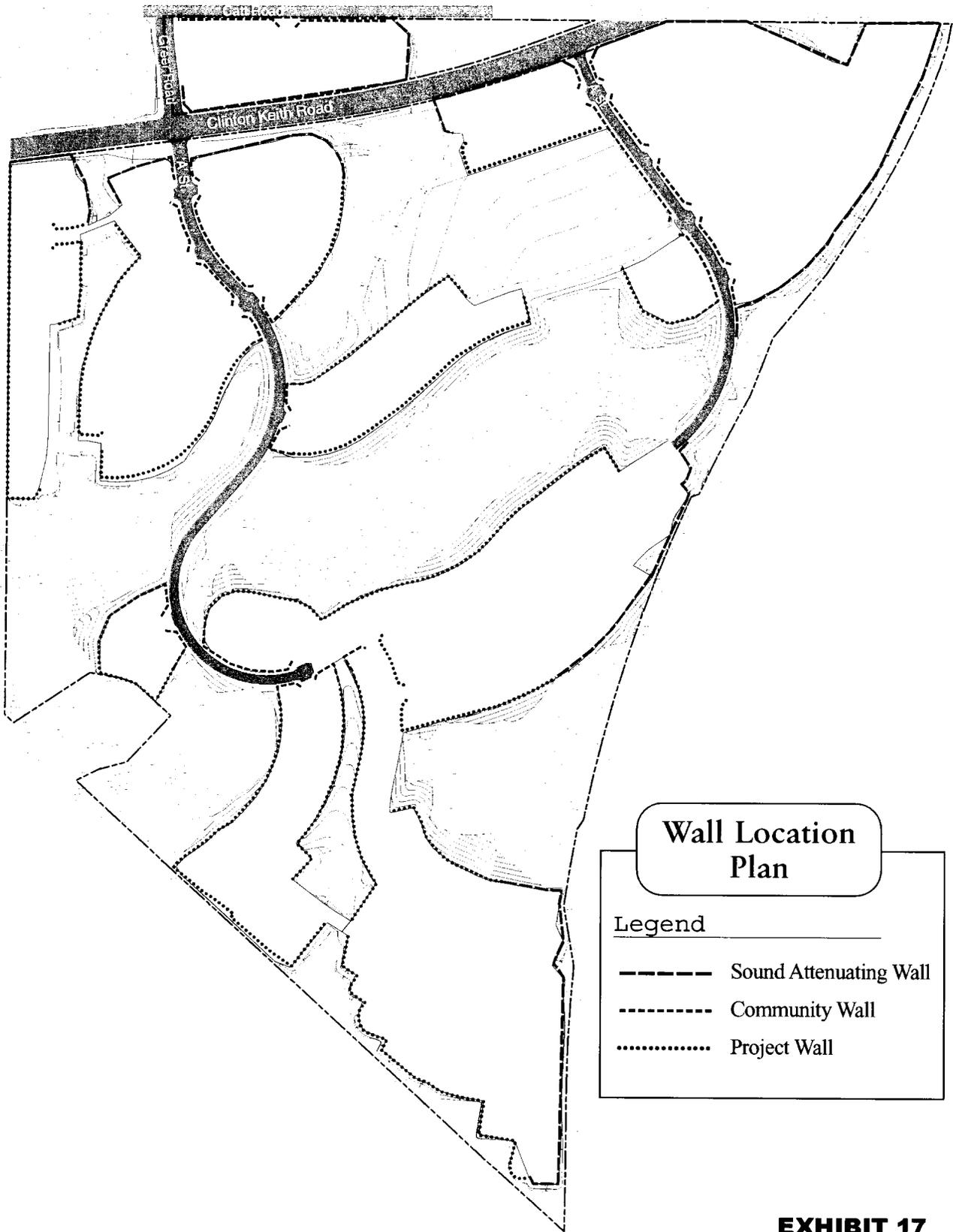
Open Space Trees - See Riparian and Ridgeline Edge Trees

Ornamental Shrubs

Day Lily (<i>Hemerocallis</i> (evergreen "Red"))	1 gal.	18"-24" o.c.
Rock Rose (<i>Cistus ladanifer</i> "Crimson Spot")	5 gal.	4'-5' o.c.
Dwarf Yaupon (<i>Ilex vomitoria</i> "Nana")	5 gal.	3'-4' o.c.
India Hawthorn (<i>Raphiolepis indica</i> "Springtime")	5 gal.	5'-6' o.c.

Slope Shrubs

Myoporum (<i>Myoporum pacificum</i>)	1 gal.	6'-10' o.c.
Pride of Madeira (<i>Echium fastuosum</i>)	1 gal.	3'-4' o.c.
Pineapple Guava (<i>Feijoa sellowiana</i>)	5 gal.	15'-20" o.c.
Silverberry (<i>Eleagnus pungens</i>)	5 gal.	8;-10' o.c.

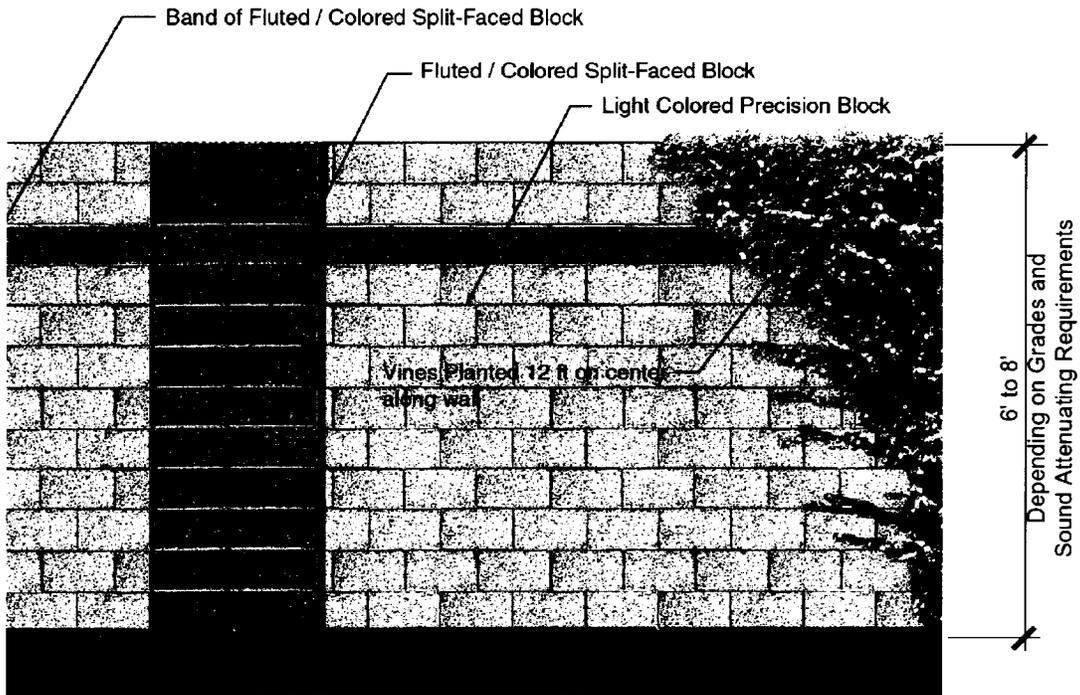


Wall Location Plan

Legend

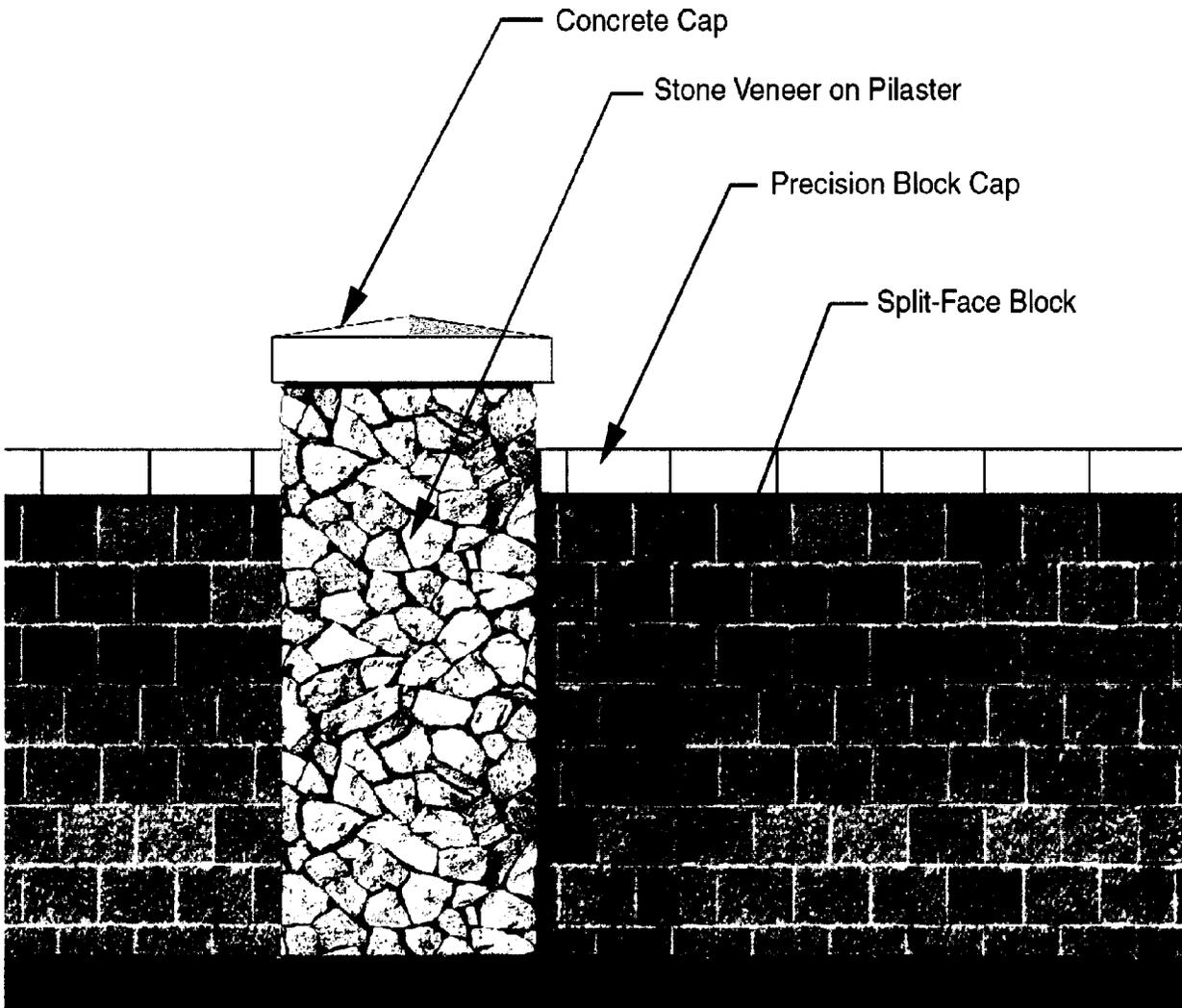
- Sound Attenuating Wall
- Community Wall
- Project Wall

EXHIBIT 17



SOUND ATTENUATING WALL ELEVATION

EXHIBIT 18



COMMUNITY WALL ELEVATION

EXHIBIT 19

E. Project walls shall be designed to be both consistent in materials and colors with the architecture of each project, and reflect the overall Murrieta Oaks Design. Where project walls abut open space, a project view wall of wrought iron may be used, subject to City Design Review.

3.4 OPEN SPACE DESIGN

3.4.1 Neighborhood Park

The neighborhood park planned for Murrieta Oaks will allow for a variety of recreational opportunities to meet the needs of future residents, as well as surrounding neighborhoods.

Neighborhood Park Requirements:

A. Owned and maintained by the City of Murrieta.

B. Located adjacent to the school (if a school is constructed) as shown on the Neighborhood Park/Elementary School exhibit (Exhibit 8, Section 2).

C. Provide connections to the multi-use trail system.

D. Contain recreational amenities such as informal open grassy play areas, children's play equipment, a picnic shelter, and two half-size basketball courts.

E. Provide a minimum of 30 parking spaces.

F. Comply with section 7.4.11 of the Public Facilities Financing Plan chapter of this specific plan which provides the conditions relating to the construction of the park.

3.4.2 Trail System

A 5 to 8-foot wide multi-use trail is planned to connect residential neighborhoods on-site to adjoining neighborhoods and potential multi-use trails off-site.

Trail System Requirements:

A. Owned /maintained by the City of Murrieta.

B. Located as shown on the Open Space and Trails Plan (Exhibits 20).

C. Provide pedestrian and mountain bike access to the neighborhood park and off-site trail links. See exhibits 20 and 21, Trail Plan and Trail Sections.

D. Contain both decomposed granite and natural soil trails pursuant to the provisions of the City of Murrieta Community Services District.

E. Designed to minimize impacts to the existing terrain.

F. Contain rest areas and picnic areas as identified on the Open Space and Trails Plan (Exhibit 20).

G. Comply with section 7.4.11 of the Public Facilities Financing Plan chapter of this specific plan which provides the conditions relating to the construction of the trail system.

3.4.3 Fuel Modification Zones

Fuel Modification Requirements (See Exhibits 22 & 23):

A. Fuel modification treatments will be implemented by the builder after grading and earthwork, at the time of home construction.

B. Fuel modification areas will be owned and maintained by the City of Murrieta.

C. After the fuel modification areas are re-vegetated, no additional grading shall be permitted.

D. The fuel modification zone will range from 100 feet to 150 feet from the adjacent property line, depending on the type of existing vegetation.

E. Access will be provided every 1,500' or less.

F. Tree branches pruned 6' up.

G. Remaining plant material pruned to 18".

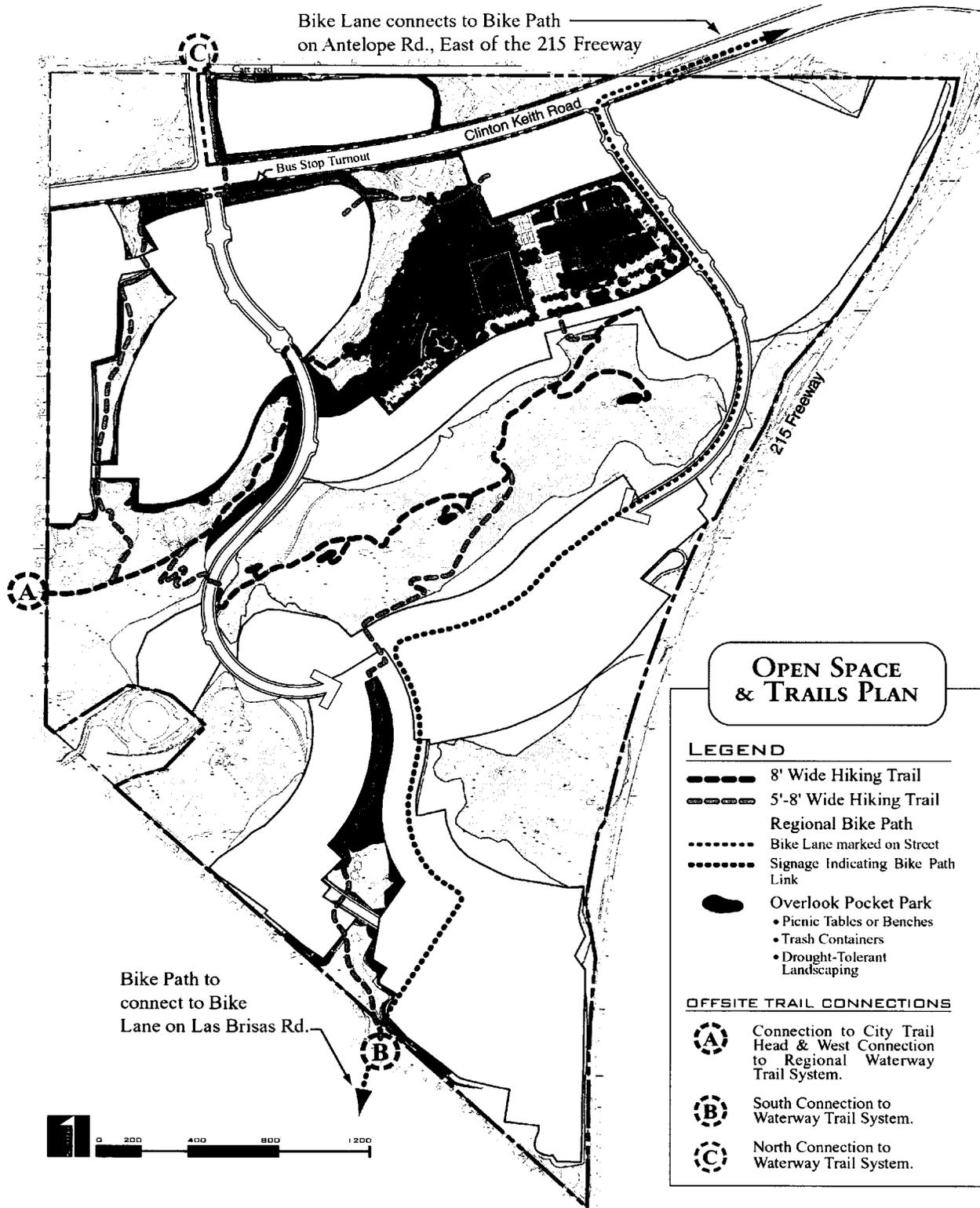


EXHIBIT 20

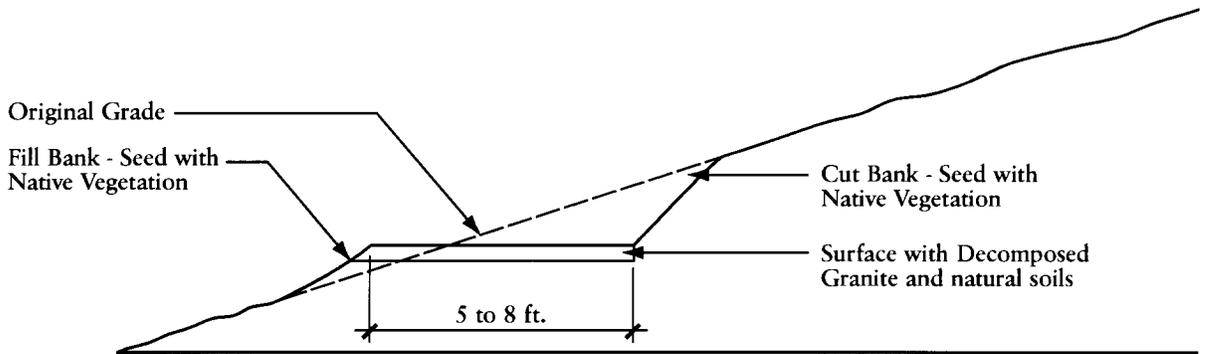
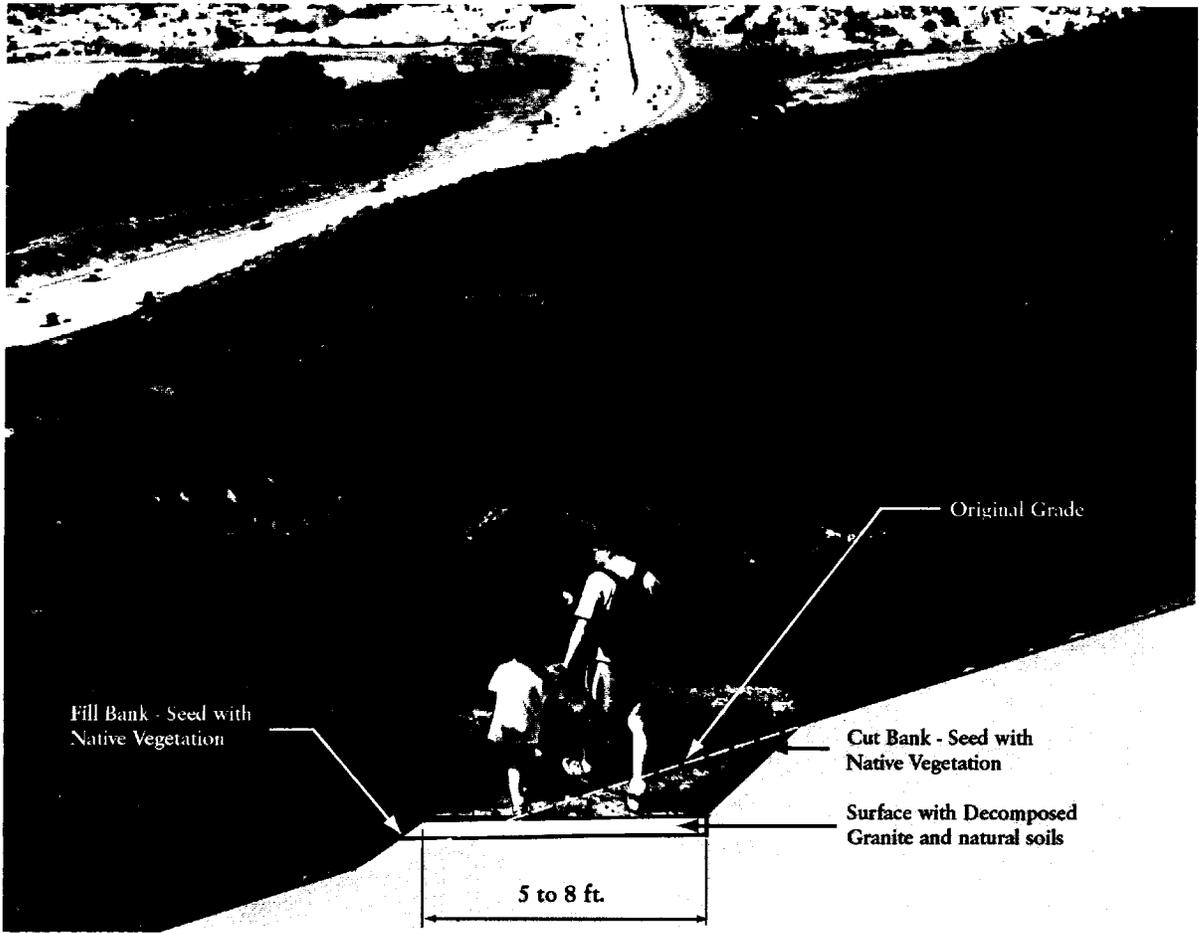
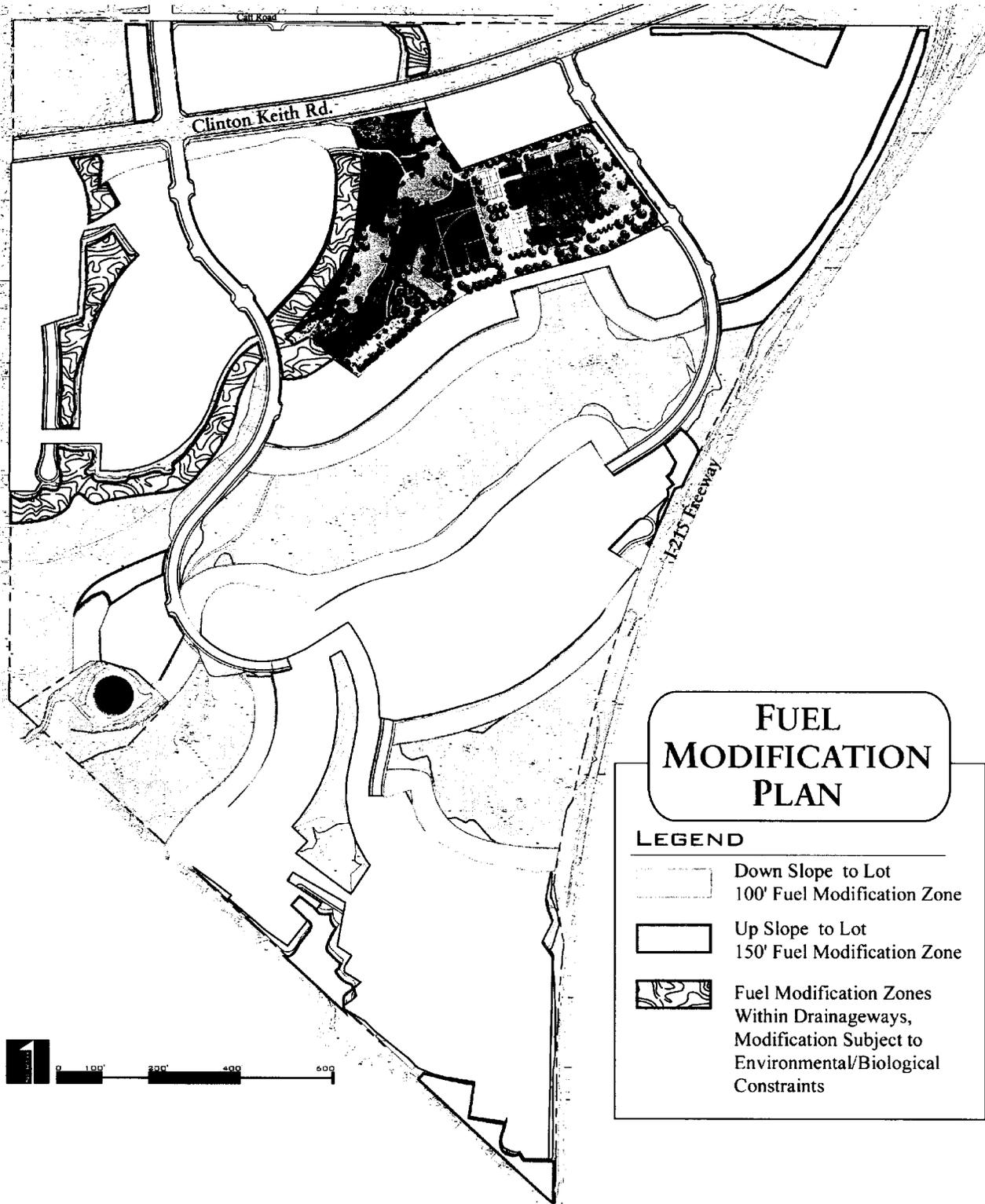


EXHIBIT 21



FUEL MODIFICATION PLAN

LEGEND

- Down Slope to Lot
100' Fuel Modification Zone
- Up Slope to Lot
150' Fuel Modification Zone
- Fuel Modification Zones
Within Drainageways,
Modification Subject to
Environmental/Biological
Constraints

EXHIBIT 22

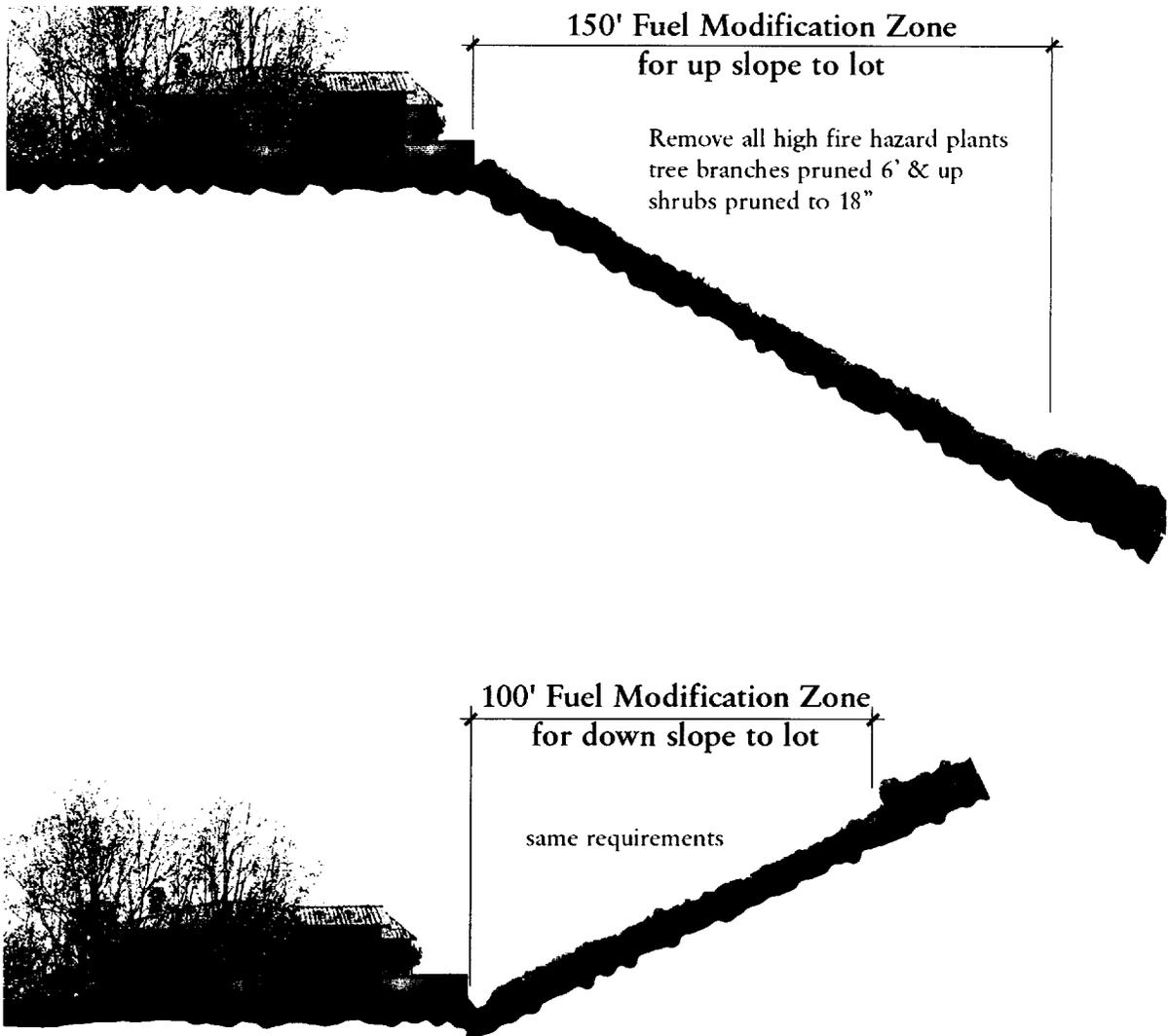


EXHIBIT 23

- H. Manufactured slopes to be planted with recommended species (Fire Protection District List B and C).
- I. Trees placed at three times their mature diameter.
- J. Large shrubs planted at 20' on center.

3.4.5 Open Space Development Requirements

A. Natural Open Space

- State-of-the-art re-vegetation techniques and monitoring will be used to restore and enhance the natural habitat for those areas impacted by grading.
- Owned and maintained by the City of Murrieta
- This project shall comply with the City of Murrieta's Tree Preservation ordinance (Murrieta Municipal Code 16.42).

B. Modified Open Space

- Owned and maintained by the City of Murrieta.
- Open space areas will be developed to encourage pedestrian circulation throughout Murrieta Oaks.
- Open space areas and a landscaped wall will create a visual buffer to the 215 Freeway.

3.5 GRADING

Grading Design consists of the following elements:

3.5.1 Conceptual Grading

The Conceptual Grading Plan is identified in Exhibit 25. Existing Topo is identified in Exhibit 24.

3.5.2 Conceptual Cut and Fill

The Conceptual Cut and Fill Plan is identified in Exhibit 26.

3.5.3 Grading Requirements

The following standards are required to implement these Grading Design elements:

A. All grading in areas that have a slope of 25% or greater shall comply with Murrieta Municipal Code Chapter 16.24, except as follows:

- Section 16.24.070F4.b is modified to allow segments of cut slopes to be designed with variable slope ratios less than 1.5:1, subject to confirmation by a geotechnical report that cut slopes will meet standard stability requirements; and
- Section 16.24.070F2 is modified to only require contour grading wherever physically possible and the results have a lesser visual impact than conventional grading techniques.

B. All grading shall comply with the Murrieta Grading Manual adopted by Resolution No. 93-206, and any subsequent amendments thereto.

C. Contour grading shall be utilized wherever physically possible and the results have a lesser visual impact than conventional grading techniques.

D. A balance between cut and fill within the total specific plan area shall be maintained. Any excess earth shall be utilized on-site.

E. Variation and undulation of all slopes shall be utilized where possible to retain the natural character of the land form.

F. Manufactured slopes shall be treated with special aesthetic techniques to reduce visual impact, including but not limited to: Variable gradients, clustered landscaping and rounded edges of slopes.

G. Graded soils and exposed slopes shall be seeded and planted as soon as the site grading is complete, pursuant to Murrieta Community Service District Standards and/or City Landscape Architect requirements as appropriate.

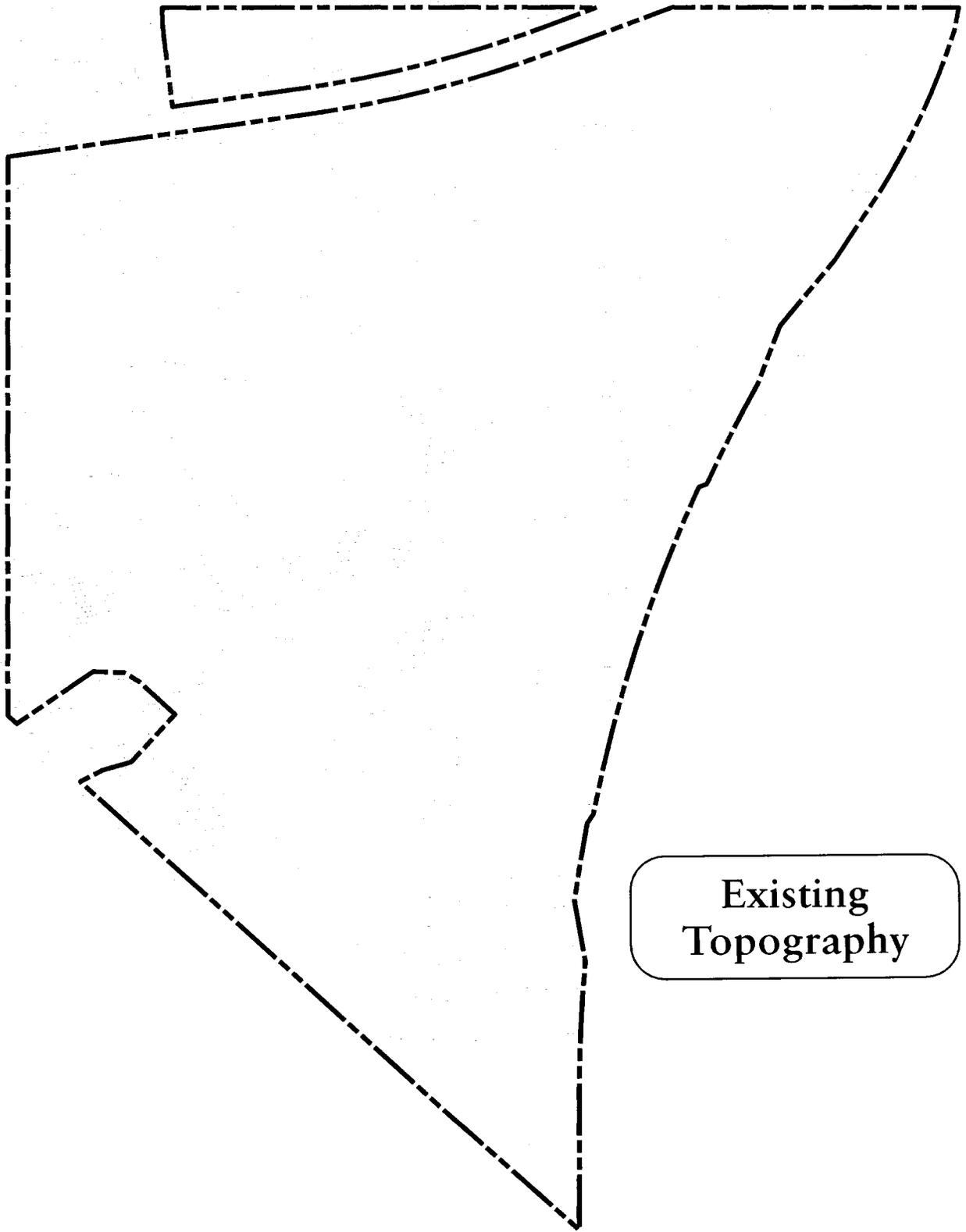


EXHIBIT 24

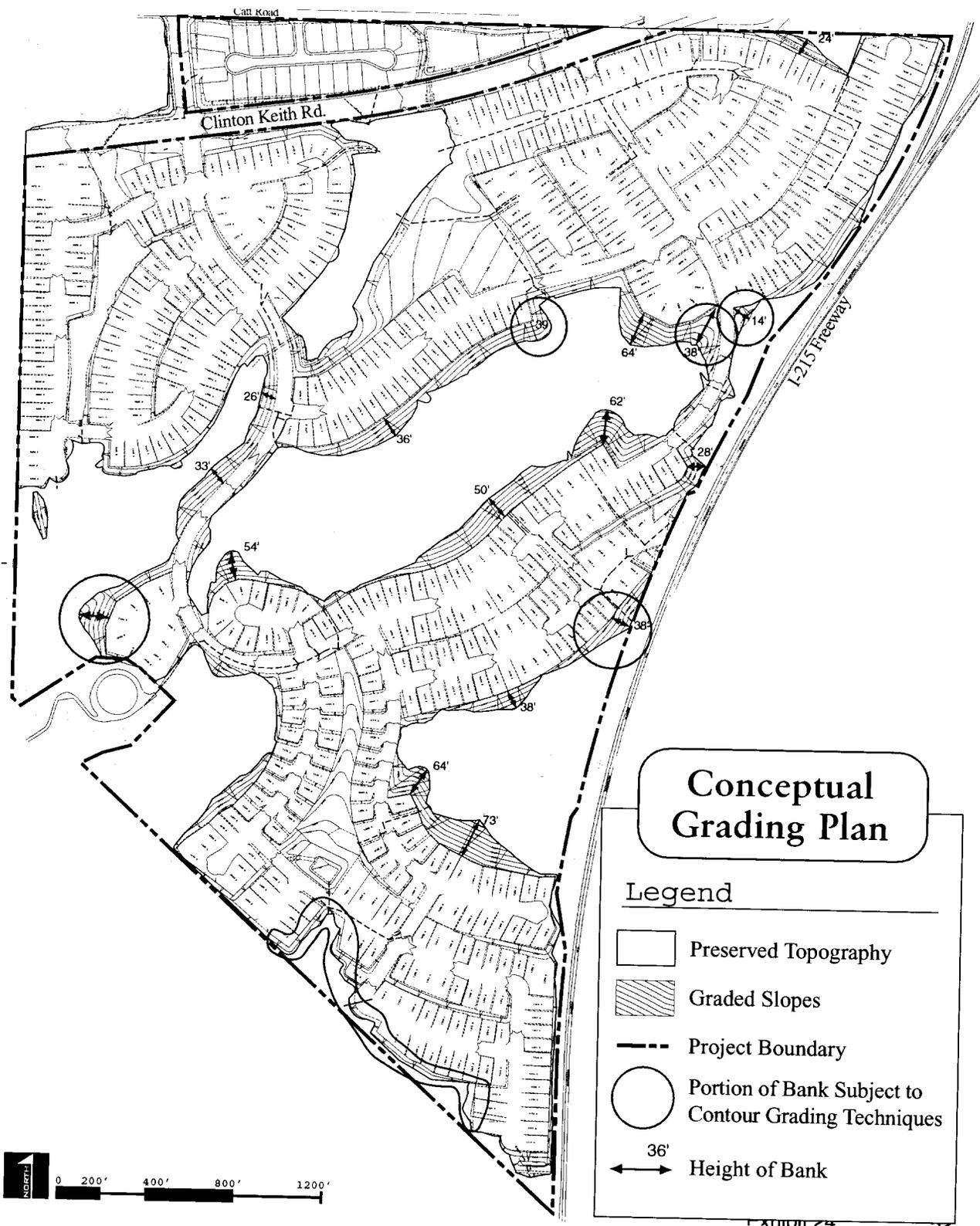


EXHIBIT 25

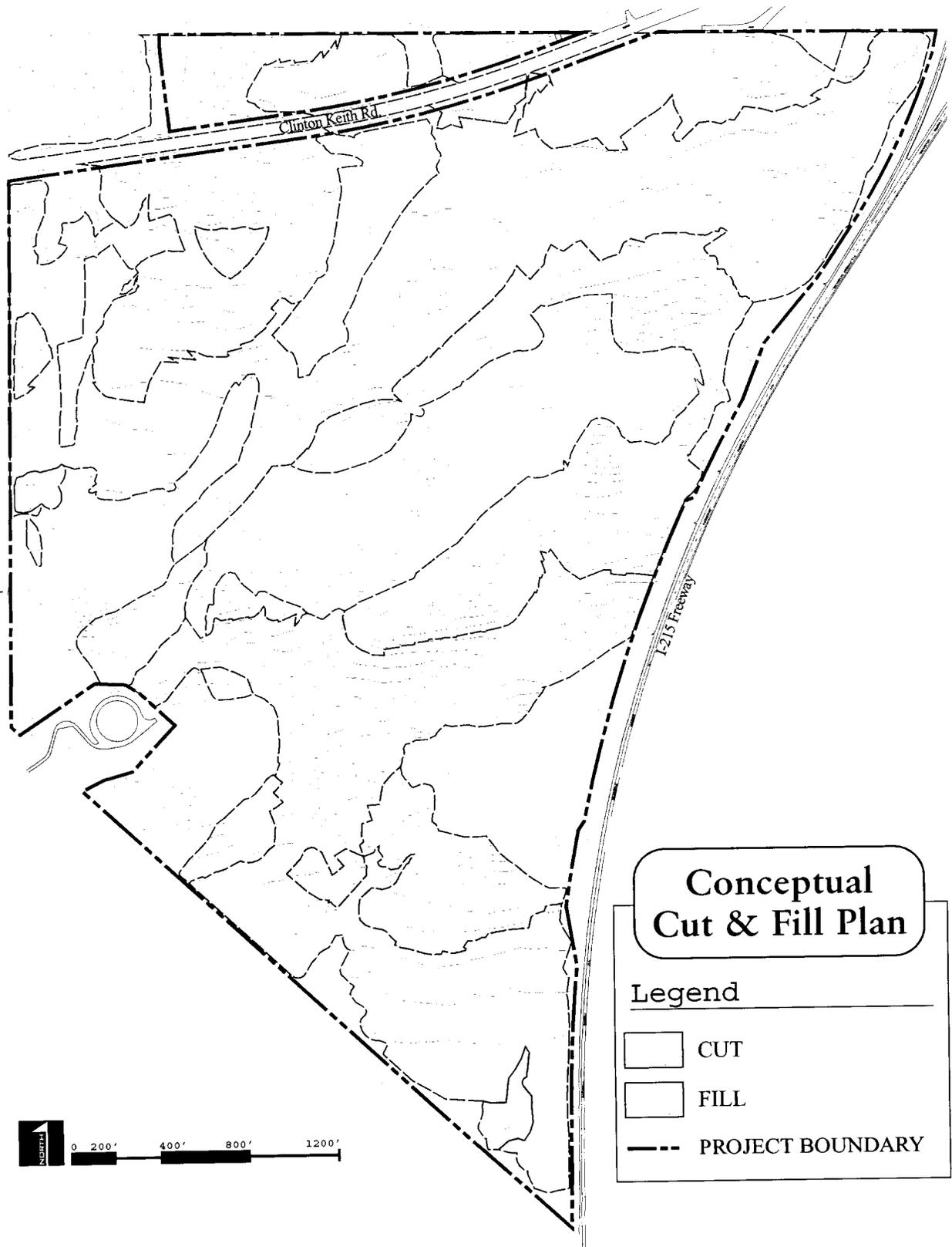


EXHIBIT 26

4.0 LAND USE REGULATIONS

4.1 General Provisions

A. Maximum number of units for Murrieta Oaks is 560 dwelling units with school, 600 dwelling units without a school.

B. The City of Murrieta's Development Code shall regulate development in Murrieta Oaks, except as modified by the regulation standards contained in this specific plan.

C. In cases where the Murrieta Oaks Specific Plan development regulations and standards conflict with those in the City of Murrieta's Development Code, the Murrieta Oaks Specific Plan development standards shall apply.

4.2 Permitted Uses

The permitted uses for the Murrieta Oaks Specific Plan area shall be consistent with those listed in the Murrieta Municipal Code for the SF-1 designation.

4.3 Modifications to Development Standards

DEVELOPMENT STANDARDS	
DEVELOPMENT FEATURE	MURRIETA OAKS SPECIFIC PLAN
Minimum Parcel Size	7,200 sq. ft.
Minimum Parcel Width	60 ft.
Minimum Parcel Width – Cul De Sac & Knuckle	35 ft.
Density (Overall Target)	3.5 DU/AC
Minimum Livable Area	1,000 sq. ft.
SETBACKS	MAIN DWELLING UNIT
Front	20 ft. *
Side	5 ft. each minimum
Lots 63 ft. or greater in width	15 ft. min. combined for both sides
Lots 62 ft. or greater in width	14 ft. min. combined for both sides
Lots 61 ft. or greater in width	13 ft. min. combined for both sides
Lots 60 ft. or greater in width	12 ft. min. combined for both sides
Street Side	10 ft.
Rear	20 ft.
	ACCESSORY STRUCTURES
Front	20 ft.
Side (Each)	3 ft.
Street Side	3 ft.
Rear	3 ft.
PARCEL COVERAGE	
Maximum Parcel Coverage	40%
Maximum Height Limit	35 ft.
* (15 feet with side-on garage)	
Note: For any standard not listed above, the provisions of the Murrieta Municipal Code will apply.	

Note: *Exceptions to Development Standards.* The development standards listed above, may be waived or modified through the minor variance procedure, if it is determined that the standard or regulation is inappropriate for the proposed use, area, lot, parcel, or structure, and that the waiver or modification of the standard will not be contrary to the public health, safety, and general welfare.

5.0 INFRASTRUCTURE, UTILITIES, AND PUBLIC SERVICES

Infrastructure, utilities, and public services serve as the backbone for any community. Careful planning and engineering of public water, sewer, storm drainage systems, and utilities provide the necessities of life for the development of a planned community. All conventional public services, utilities and infrastructure will be provided in the Specific Plan area, including water, sewer, drainage, electrical and natural gas.

5.1 CIRCULATION

Existing Conditions

- Clinton Keith is currently paved at 52 feet within a right-of-way of 110 feet.
- Greer Road is unpaved within a right-of-way of 60 feet.
- There are no other on-site circulation improvements.

Proposed Development Conditions

- The road layout for Murrieta Oaks is consistent with the City of Murrieta General Plan Circulation Element.
- The *Circulation Plan*, exhibit 27, on page 43 provides the anticipated road layout for the Specific Plan.
- Exhibits 28, 29, and 30 beginning on page 44 provide a cross sectional schematic of each street type within the specific plan.

5.2 DRAINAGE

Existing Conditions

- The Murrieta Oaks site is divided into two major watershed basins by a southwest-northeast trending range of hills.

- The *Off-Site Drainage Basins - Existing Conditions*, Exhibit 31 on page 47, depicts all the off-site sub-basins contributing to the storm water flows through the Murrieta Oaks site.

- The *On-Site Drainage Basins - Existing Conditions*, Exhibit 32 on page 48, provides all the existing on-site storm water sub-basins. The southerly watershed and sub-basins are identified by the letter "A" and the northerly watershed basin and its sub-basins are identified by the letter "B".

- Sub-basins A-1 through A-12 convey storm water off-site independent of each other via existing improvements.

- A-1 through A-9 convey storm water off-site via nine existing culverts under the 215 freeway.

- A-10 and A-11 drain southwesterly and join an existing, off-site earthen channel

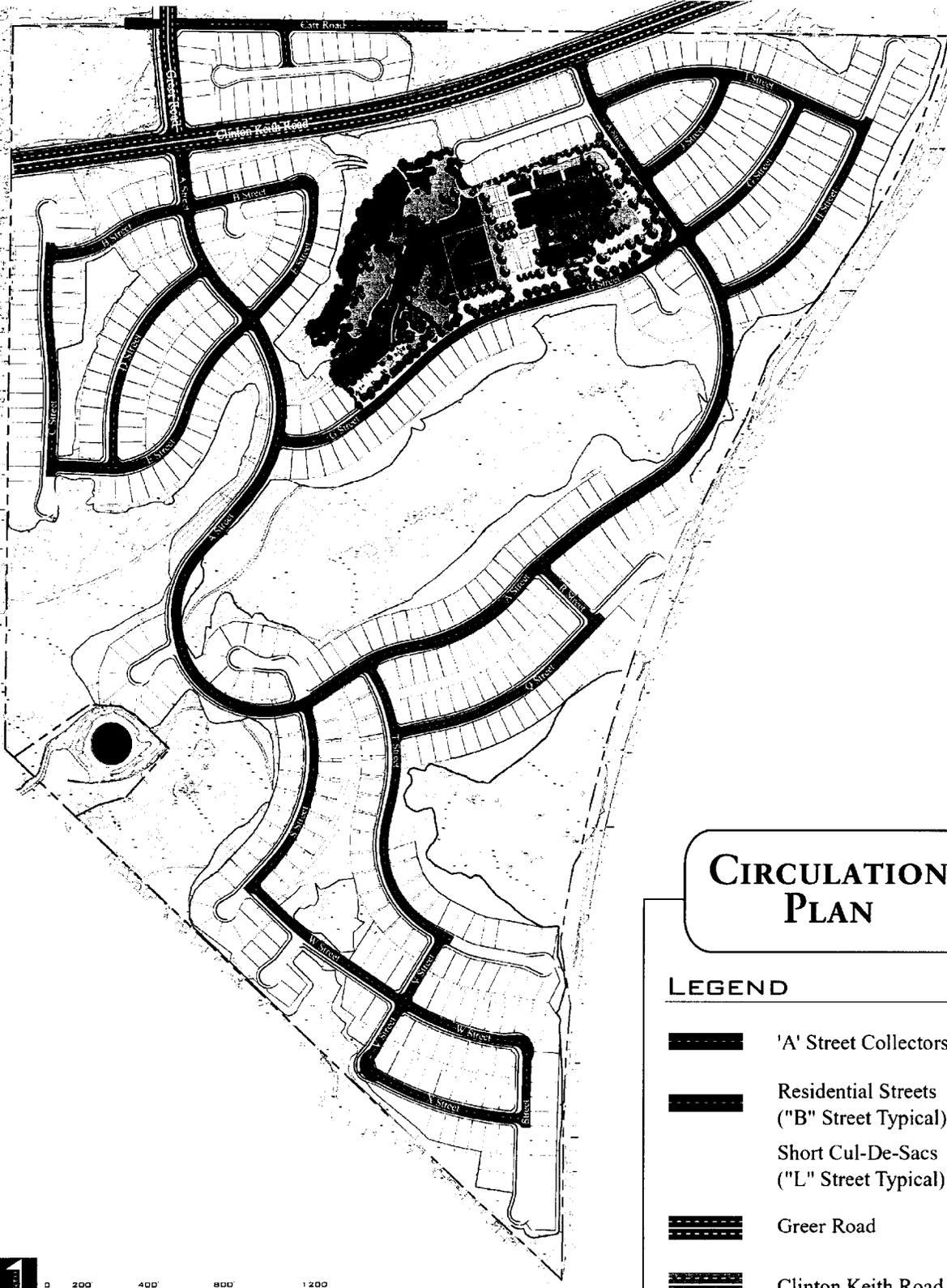
- A-12 drains southerly to an existing open ravine which leaves the Murrieta Oaks site at its most southerly point.

- Off-site drainage sub-basins B-1 through B-4 are predominantly undeveloped and all convey storm water separately into sub-basin B-5.

- Sub-basin B-4 conveys storm water to sub-basin B-5 via an existing culvert under Clinton Keith Road.

- Sub-basin B-5 north of Clinton Keith Road drains under Clinton Keith Road using three existing culverts.

- Sub-basin B-5 continues to convey storm water off-site to the west using one single streambed.

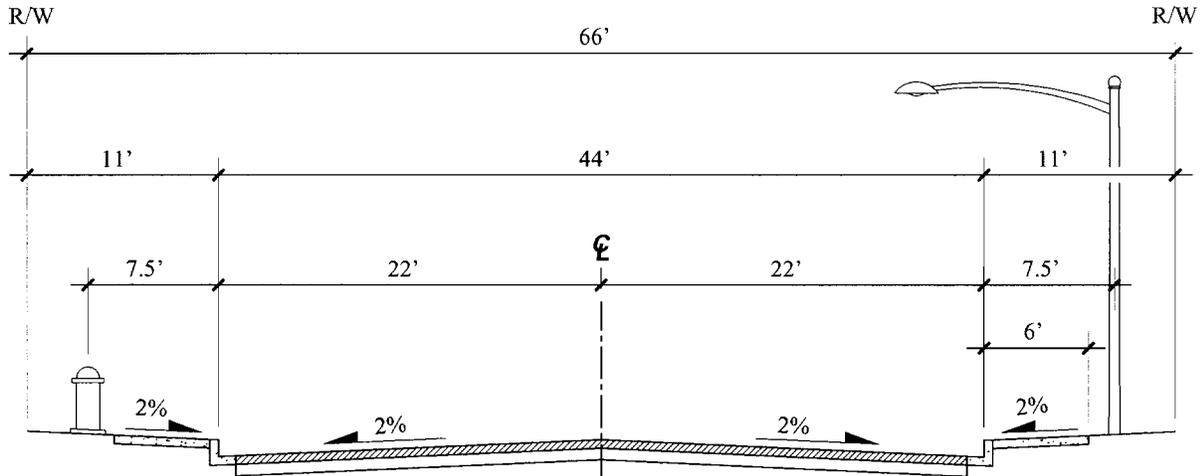


CIRCULATION PLAN

LEGEND

-  'A' Street Collectors
-  Residential Streets ("B" Street Typical)
-  Short Cul-De-Sacs ("L" Street Typical)
-  Greer Road
-  Clinton Keith Road

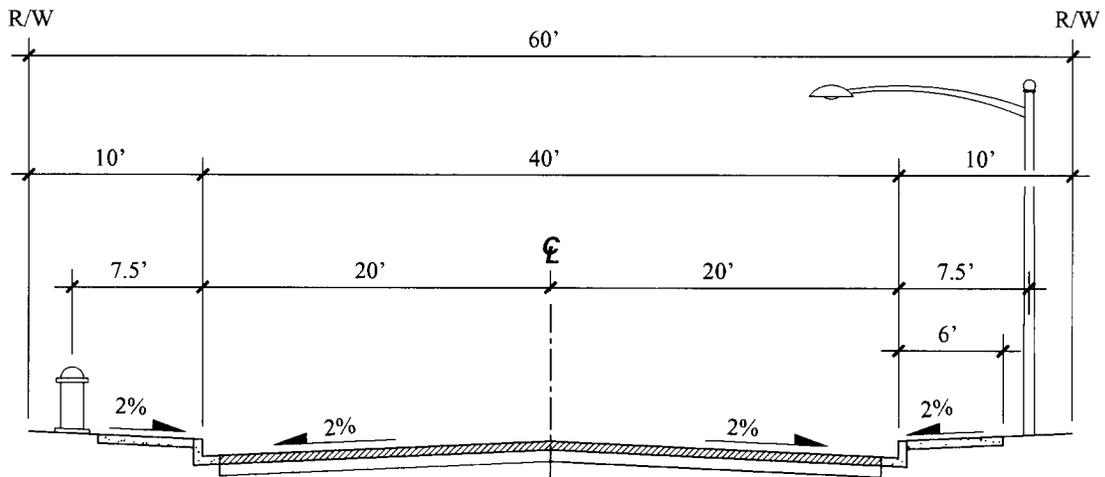
EXHIBIT 27



"A" STREET (MAIN LOOP)

FROM CLINTON KEITH RD. TO "G" ST. ON WEST SIDE (1,200) FT.

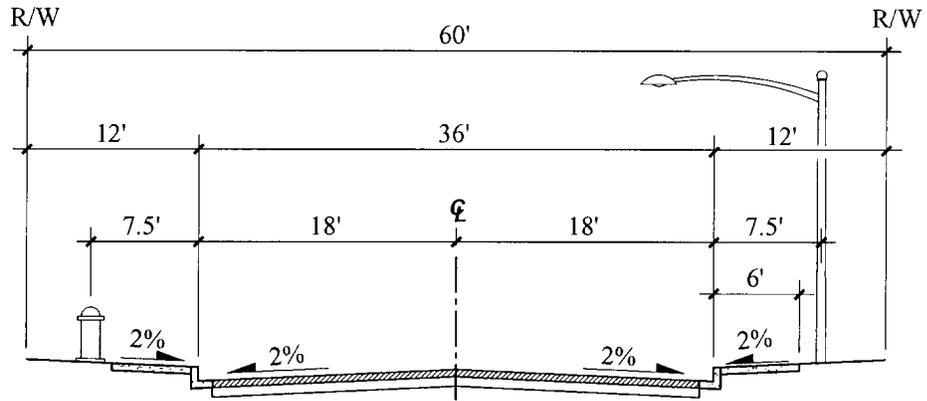
FROM CLINTON KEITH RD. TO "H" ST. ON EAST SIDE (1,100) FT.



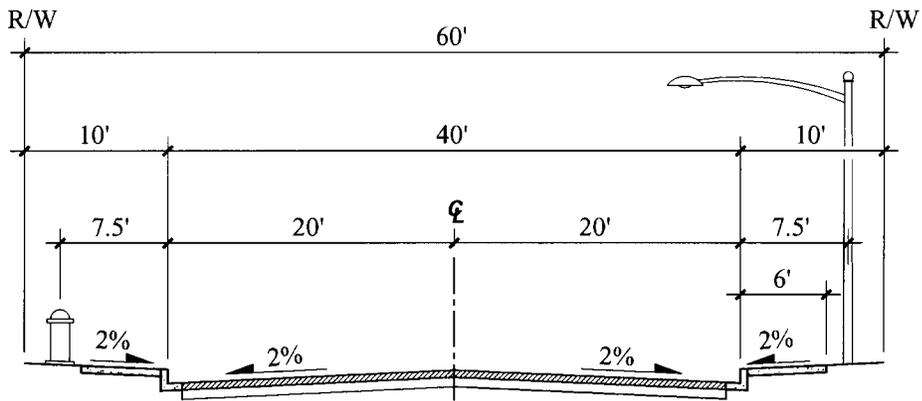
"A" STREET

WHERE RIGHT OF WAY IS NOT 66'

EXHIBIT 28

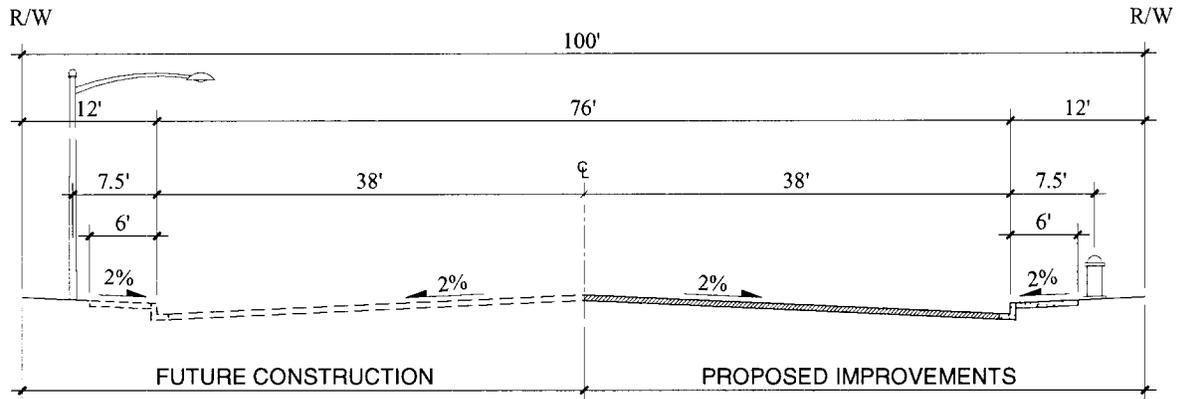


"L" STREET (TYP.)
SHORT CUL-DE SAC STREETS



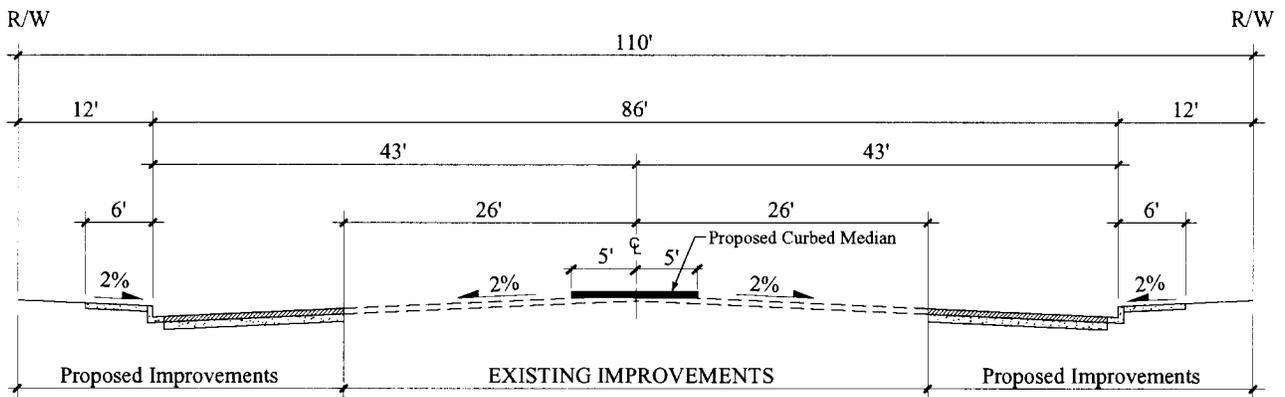
"B" STREET (TYP.)
RESIDENTIAL STREETS

EXHIBIT 29



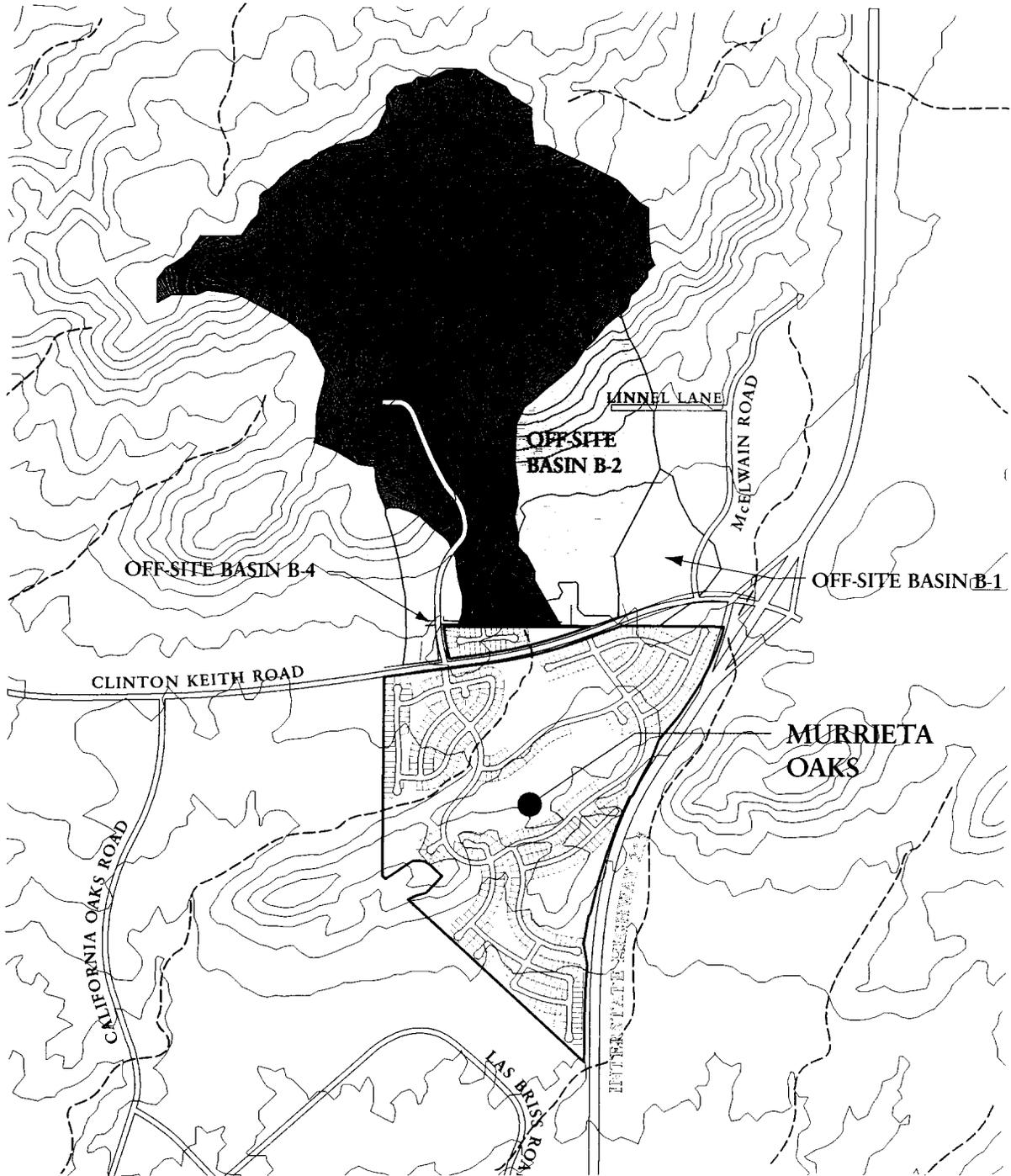
GREER ROAD

NORTH OF CLINTON KEITH



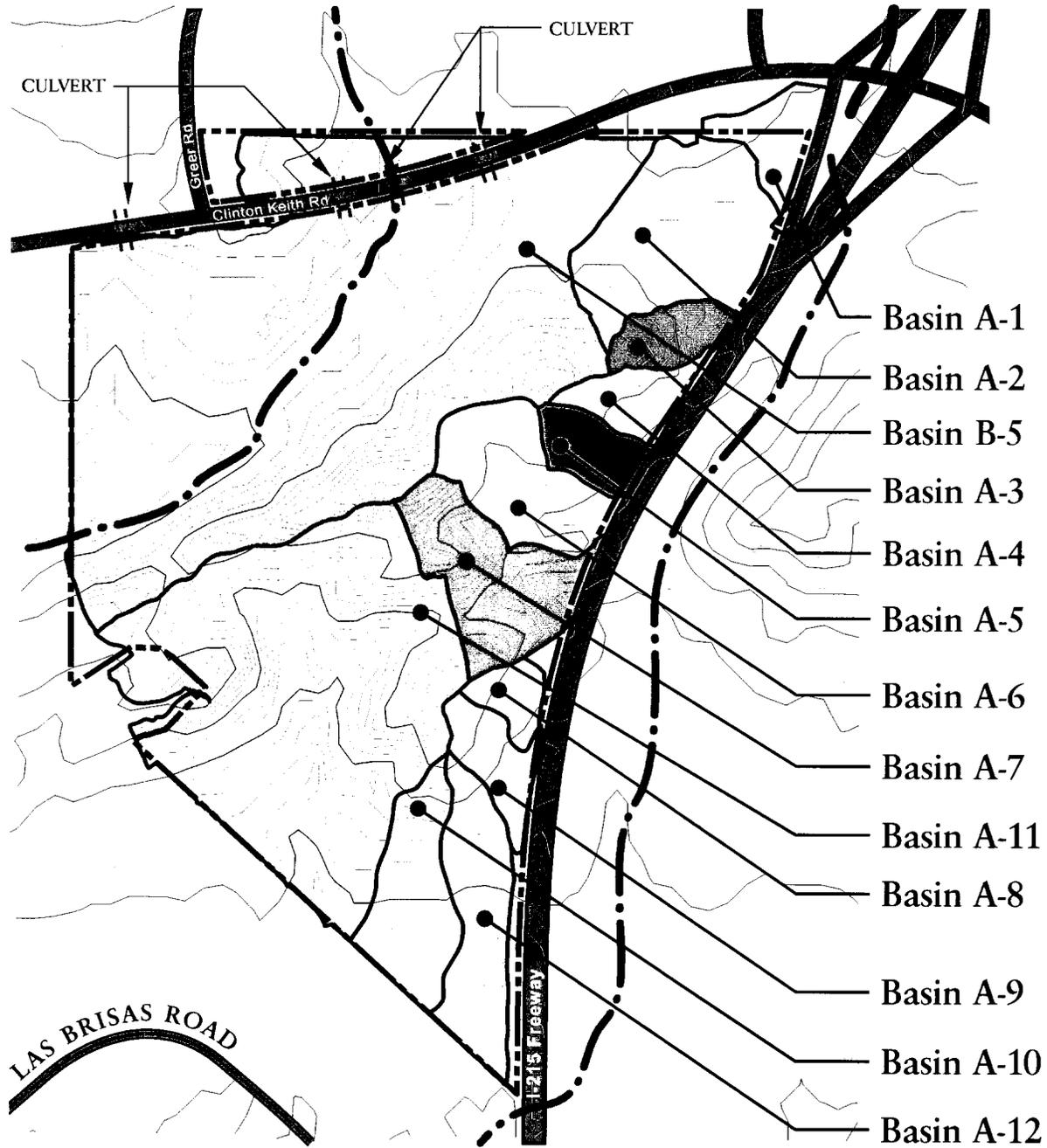
CLINTON KEITH ROAD

EXHIBIT 30



OFF-SITE DRAINAGE BASINS

EXHIBIT 31



**ON-SITE DRAINAGE BASINS
EXISTING CONDITIONS**

EXHIBIT 32

Proposed Developed Conditions

- Development of the Murrieta Oaks Specific Plan will alter the shape, gradient and surface conditions of all the existing on-site drainage basins thus increasing the amount of storm water runoff.
- Storm water flows will exit the developed Murrieta Oaks site at the current location.
- The completed project will result in no net increase in storm water flows leaving the site.
- The developed condition runoff is less than or equal to the existing condition runoff based on 2-year, 5-year, 10-year and 100-year storms.
- The on-site drainage basins and detention basins after development has occurred are shown on the *On-Site Drainage Basins - Proposed Developed Conditions*, Exhibit 33 on page 50.
- Storm water from sub-basins F-1 through F-8 will use the existing culverts under the 215 Freeway (described above for sub-basins A-2 through A-9) without modifications to those facilities.
- Sub-basin S-1 will contain a detention basin to ensure no net increase in off-site runoff.
- Storm water from sub-basin S-1 will exit the Murrieta Oaks site at the same location as described for the existing conditions sub-basin A-11.
- Sub-basin S-2 will contain a detention basin to ensure no net increase in off-site runoff.
- Storm water from sub-basin S-2 will exit the Murrieta Oaks site at the same location as described for the existing condition sub-basin A-12.
- A new pipe will be installed under Clinton Keith Road to convey storm water from off-site

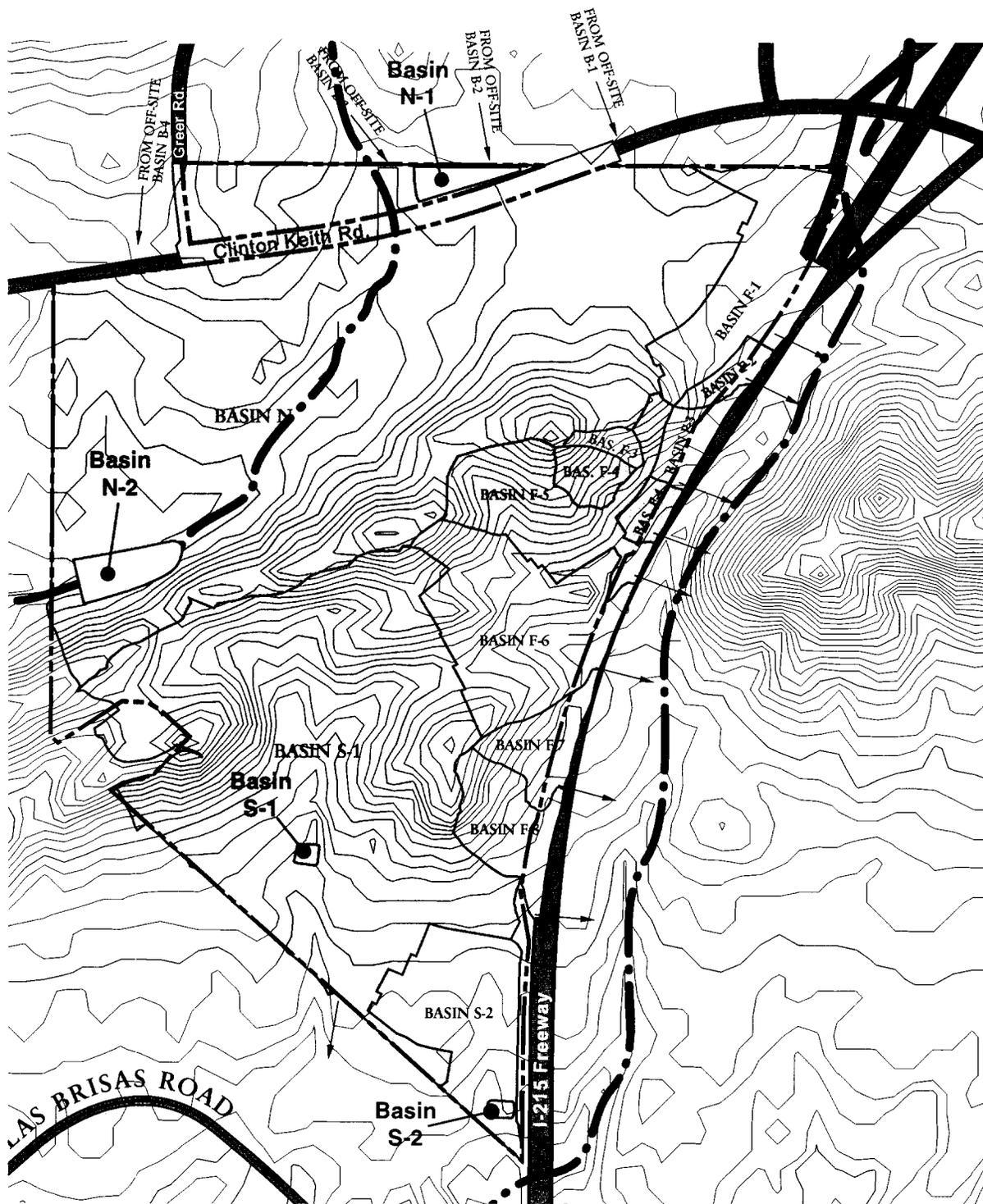
sub-basin B-1 into the same open channel south of Clinton Keith Road that will carry storm water from sub-basins B-2 and B-3.

- Off-site storm water from sub-basins B-2 and B-3 will be collected in Detention Basin N-1 where the storm water will be conveyed under Clinton Keith Road using upgraded culverts and into an open naturalized channel south of Clinton Keith Road.
- Off-site storm water from sub-basin B-4 will be conveyed under Clinton Keith Road using existing facilities.
- Detention Basin N-2 will ensure no net increase in off-site storm water runoff exiting the Murrieta Oaks site.

5.3 SEWER

Existing Conditions

- The Murrieta Oaks Specific Plan area is located within the boundaries of the Eastern Municipal Water District
- There is a northern and southern watershed as delineated by the watershed line shown on the *Waste Water Plan*, Exhibit 34 on page 53.
- There are no on-site sewer facilities located within the boundaries of the Murrieta Oaks Specific Plan area.
- Limited capacity sewer lines are located off-site to the south in Las Brisas Road.
- Due to limited capacity, sewage generated by the Murrieta Oaks project cannot utilize the sewer lines in Las Brisas Road.
- The existing 15" sewer main located south of Hancock Avenue is the closest available connection point for sewage generated by the Murrieta Oaks project. However, it also will not have adequate capacity to accept sewerage



**ON-SITE DRAINAGE BASINS
PROPOSED DEVELOPED CONDITIONS**

EXHIBIT 33

generated by Murrieta Oaks and development to the north.

Proposed Developed Conditions

- The sewer system proposed for the Murrieta Oaks Specific Plan is consistent with the future plans as established by the Eastern Municipal Water District.
- The *Waste Water Plan* exhibit on page 53 provides the anticipated location and sizes of the backbone sewer improvements needed for the Murrieta Oaks Specific Plan.
- A new lift station and new 6-inch force main will be necessary to convey the sewage generated from the northern water shed and sewage generated from off-site areas to be developed in the future.
- Development north of the watershed boundary as well as the park and school site will require 8-inch PVC sewer mains to gravity flow to the lift station.
- Development in north of Clinton Keith Rd. will use an oversized 12 inch PVC sewer main to gravity flow to the lift station. This sewer main will also convey off-site sewage from areas to be developed in the future.
- The 6-inch force main will connect to a 15-inch PVC sewer main at the top of the watershed ridge.
- Development south of the watershed boundary will gravity flow on-site in a 15-inch sewer main to the southwestern Murrieta Oaks boundary.
- The sizes and location of the smaller internal 8-inch sewer mains will be determined during the preparation of the tentative and final maps for the Murrieta Oaks project.
- The 15-inch on-site sewer main will connect to another sewer serving off-site properties at or near the Murrieta Oaks southwest boundary, and become an 18" diameter trunk line. This trunk line will gravity flow off-site to the south and intersect with Las Brisas Road. It will run southeasterly in Las Brisas to Camino San Vicente, and southwesterly on Camino San Vicente until it enters a residential project currently under construction. From this point the trunk will be constructed by others in that subdivision's internal roads, to the intersection with Hancock Avenue. From Hancock Avenue south, EMWD will require the construction of a new 18" diameter trunk main parallel to an existing 12" and 15" main, within the same easement.
- The proposed offsite 18" trunk mains, will carry all of the wastewater effluent from the project to the EMWD collection network and the EMWD treatment facilities.
- Wastewater treatment will be handled by the Temecula Valley Regional Water Reclamation Facility.
- Impacts created by the development of the Murrieta Oaks Specific Plan have been evaluated and are anticipated by EMWD. Additionally, the Urban Water Management Plan prepared by EMWD evaluated a previous version of the Murrieta Oaks development plans showing 750 EDUs.

5.4 WATER SERVICE

Existing Conditions

- The Murrieta Oaks Specific Plan area is located within the boundaries of the Eastern Municipal Water District.
- There are no on-site water facilities located within the boundaries of the Murrieta Oaks Specific Plan area.

Proposed Developed Conditions

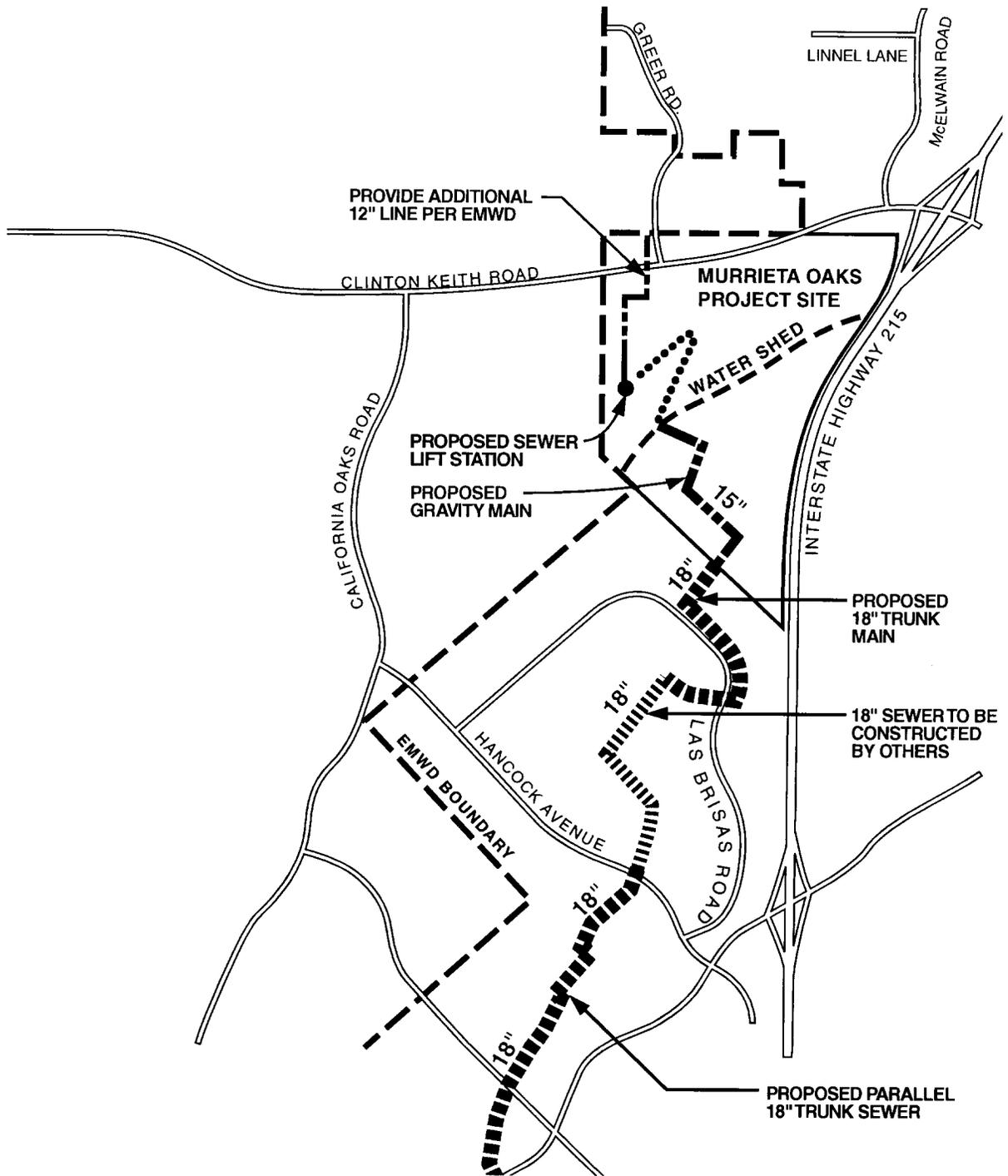
- The water system proposed for the Murrieta Oaks Specific Plan is consistent with the future plans as established by the Eastern Municipal Water District.
- The *Water Service Plan*, Exhibit 35 on page 54 provides the anticipated location and sizes of the backbone water improvements needed for the Murrieta Oaks Specific Plan.
- A new 1 million gallon (1MG) reservoir tank will be constructed off-site north of Murrieta Oaks near Linnel Lane. This tank will be sufficient to serve the Murrieta Oaks project.
- The tank site will create a new 1750 Pressure zone and will be designed to allow for expansion to accommodate additional storage facilities.
- A 24-inch and a 12-inch water main will connect the existing off-site Upper Las Brisas Storage Facility with the new reservoir.
- A 560 gallon per minute (GPM) booster pump station will be built adjacent to the Upper Las Brisas Storage Facility to convey water to the new 1 MG storage tank.
- Additional booster pump capacity up to 560 GPM may be required to convey water from the Lower Las Brisas tanks to the Upper Las Brisas tanks. This requirement will be ultimately determined by EMWD.

- Delivery of potable water and fire fighting water to the residential areas of the Murrieta Oaks project will be provided by smaller 8-inch water mains.
- The locations of the smaller 8-inch water mains will be determined during the preparation of the tentative and final maps for the Murrieta Oaks project.
- Impacts created by the development of the Murrieta Oaks Specific Plan have been evaluated and are anticipated by EMWD. Additionally, the Urban Water Management Plan prepared by EMWD evaluated a previous version of the Murrieta Oaks development plans showing 750 EDUs.
- Alternative Water Source - An alternative water source may be available, if it is completed prior to the time of construction of water service facilities for this project. Construction of a water line and related facilities is projected on the east side of the 215 Freeway, which may have capacity for this project. In this case, all that will be required will be a transmission line along Clinton Keith from Greer Road to Antelope Road. This will involve jacking the line under the 215 Freeway. See Exhibit 36, Service Plan - Alternative, page 55.

5.5 FIRE PROTECTION AND EMERGENCY MEDICAL SERVICES

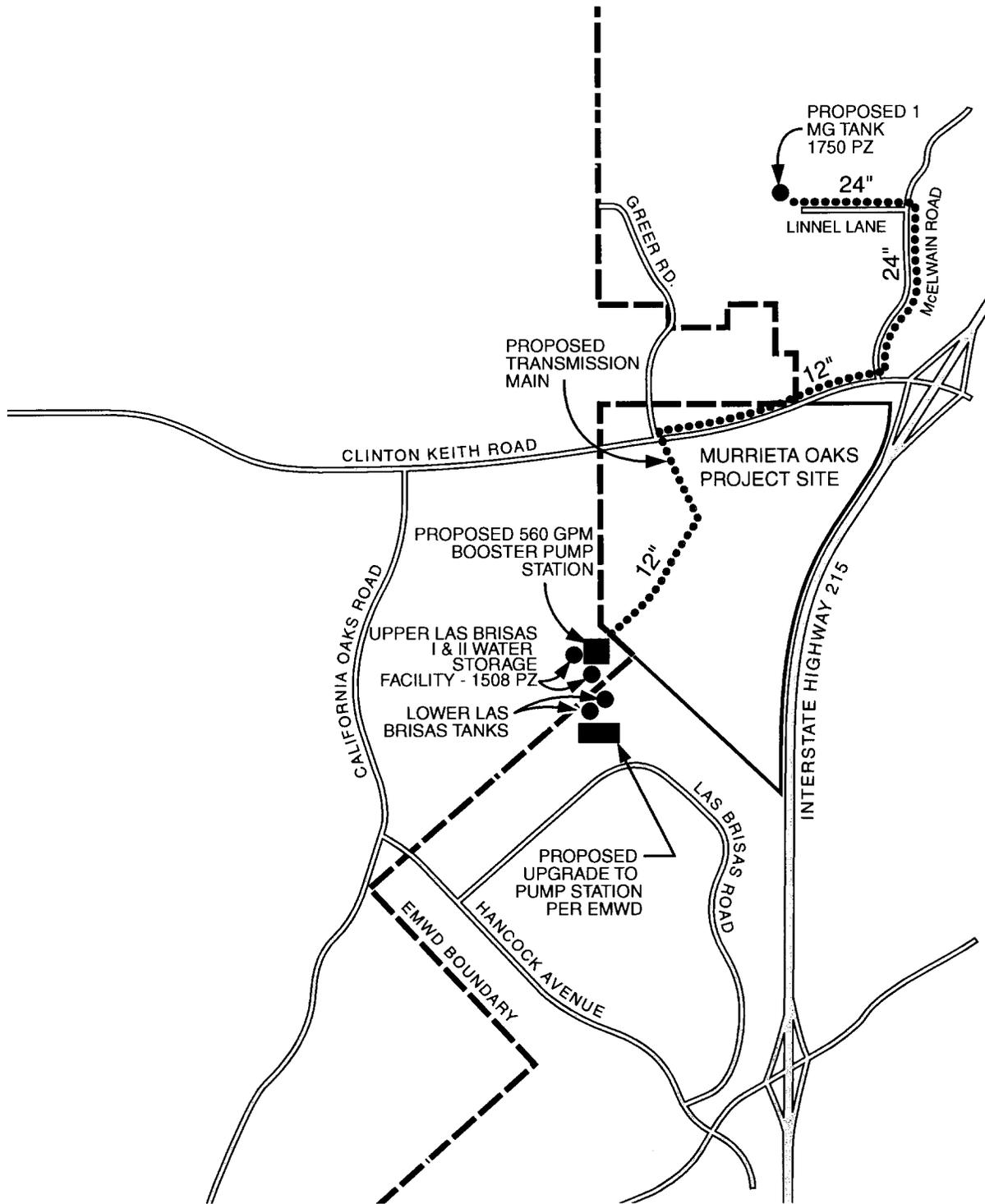
Existing Conditions

- The Murrieta Fire Protection District currently has 33 fire fighters/officers.
- Fire Station Number 2 of the Murrieta Fire Protection District (MFPD) provides fire protection and initial emergency medical services for the area surrounding the Murrieta Oaks Specific Plan.
- Fire Station Number 2 is located at 40060 California Oaks and is within 2.3 miles of the Murrieta Oaks Specific Plan area.



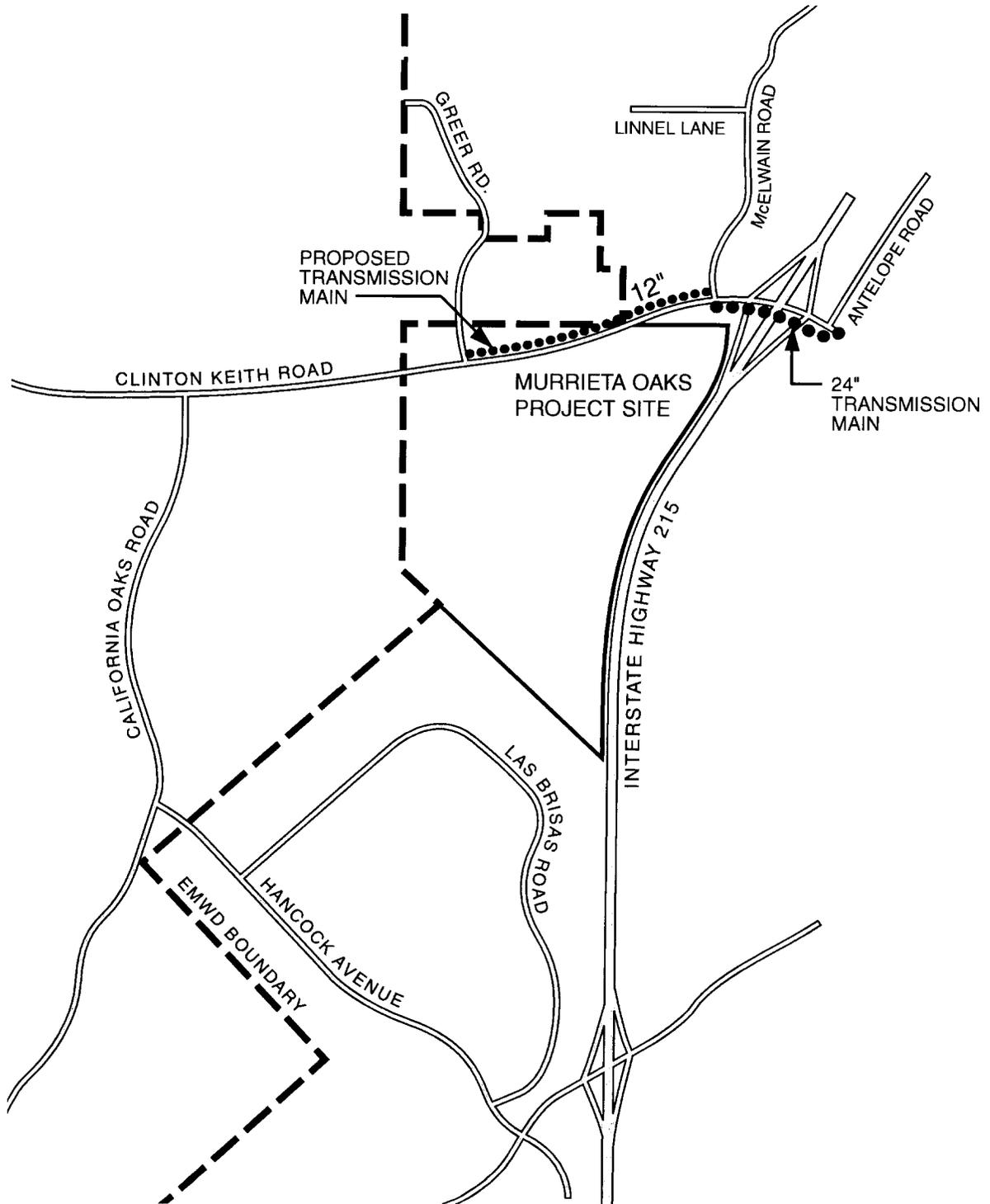
WASTE WATER PLAN

EXHIBIT 34



WATER SERVICE PLAN

EXHIBIT 35



WATER SERVICE PLAN - ALTERNATIVE

EXHIBIT 36

- Fire Station Number 2 has three firefighters on duty at all times.

Proposed Developed Conditions

- Additional demand for services will be required. Section 7.4.5 of the PFFP evaluates the impacts and mitigation measures with respect to fire protection services.

5.6 LAW ENFORCEMENT

Existing Conditions

- The Murrieta Police Department, located at 40080 California Oaks Road provides law enforcement services for the City.
- The Murrieta Police Department currently has 35 sworn officers and a total of 50 staff members.
- The City of Murrieta has been cited as the safest city in Riverside County.
- The Murrieta Police Department provides dispatch services for all police, fire and medical calls.

Proposed Developed Conditions

- Additional demand for services will be required. Section 7.4.6 of the PFFP evaluates the impacts and mitigation measures with respect to law enforcement and services.

5.7 GENERAL GOVERNMENT FACILITIES

Existing Conditions

- The City of Murrieta is organized as a general law California city that operates under a city council and city manager form of government.

- The City of Murrieta provides administration services for general government operations, the Police Department, the MFPD and the Community Services District (Parks and Recreation).

- The City of Murrieta maintains a city hall with associated city offices, public works maintenance yard, and other public building and support equipment needed to continue the operations of the city.

- There are a total of 73.5 persons employed by the City of Murrieta (not including Library, Police and Fire).

Proposed Development Conditions

- Additional demand for services will be required. Section 7.4.7 of the PFFP evaluates the impacts and mitigation measures with respect to general government facilities and services.

5.8 LIBRARY SERVICES

Existing Conditions

- The Murrieta Public Library is located at 39589 Los Alamos Road.
- The current inventory consists of over 7,000 books and periodicals.
- The library staff includes four full time and three part time employees.
- Murrieta library cards are honored at any Riverside County branch.

Proposed Developed Conditions

- Additional demand for services will be required. Section 7.4.8 of the PFFP evaluates the impacts and mitigation measures with respect to library facilities and services.

5.9 SCHOOLS

Existing Conditions

- The Murrieta Valley Unified School District provides public elementary, junior high school and high school education for the area surrounding Murrieta Oaks.
- The Tovashal Elementary School serves the elementary age school children and has an excess capacity of 373 students. (See section 7.4.9 of the PFFP).
- Thompson Middle School serves the junior high school age school children and has an excess capacity of 425 students. (See section 7.4.9 of the PFFP).
- Murrieta Valley High School serves the high school age school children and has an excess capacity of 690 students. (See section 7.4.9 of the PFFP).
- Natural Gas Service - Southern California Gas Service (SCGC) has indicated that service can be provided.
- Telephone Service - General Telephone Electronics (GTE) has indicated that service can be provided.
- Cable Television Service - Media One Cable Company has indicated that service can be provided.
- Solid Waste Disposal Service - USA Waste Management has indicated that service and capacity are available.
- Public Transit - The Riverside Transit Agency (RTA) provides public transportation services and has indicated that they will want a bus turnout on Clinton Keith Rd., on the south side of the road, east of the main Murrieta Oaks entrance (far side bus location).

Proposed Developed Condition

- Additional demand on school facilities is expected. Section 7.4.9 of the PFFP evaluates the impacts and mitigation measures with respect to school facilities.
- A 10-acres elementary school site has been identified by the Murrieta Oaks Specific Plan.
- The MVUSD has informally stated that they wish an elementary school located in Murrieta Oaks, and has initially indicated support of the school site as shown in this specific plan.

5.10 UTILITIES

All utilities will be provided to future customers by the existing public utility companies.

- Electric Service - Southern California Edison (SCE) has indicated that service can be provided.

6.0 PHASING

Phasing of Murrieta Oaks will be based on a logical succession of providing infrastructure and balancing grading cut and fill. Phase size and characteristics will also be heavily influenced by market opportunities and needs. This specific plan does not attempt to schedule a set phasing program, but rather to identify the infrastructure requirements which are likely to be needed for development within each phase. These identified improvements are the major backbone infrastructure facilities only; additional site specific facility improvements will be required for individual projects.

“borrowing” earth from identified areas of excess cut, or stockpiling excess earth on areas identified as needing additional fill.

6.1 Infrastructure Phasing Policies

- All new development must provide the appropriate level of services and utilities to adequately serve the proposed phase.
- Specific improvements will need to be evaluated as part of the subsequent development approval process, and are to consider the extent of improvements provided as part of any previous phase(s) of the project. If improvements are already in place as a result of prior phases, then only the additional improvements not already completed shall be constructed.
- Adequate public facilities to serve proposed project development shall be assured prior to the issuance of building permits.
- In the event improvements are constructed as part of a particular phase which are also required to serve all or part of other phases, reimbursement agreements may be entered into between the respective parties.
- In order to balance cut and fill on site, it will be necessary to transfer excess cut from one phase to another. This may be accomplished by grading both phases at the same time, or by

7.0 PUBLIC FACILITIES FINANCING PLAN

This chapter of the Murrieta Oaks Specific Plan represents the Public Facility Financing Plan (PFFP). The PFFP identifies the project impacts, the proposed public facility improvements, the cost for improvements and the financing mechanisms available to fund the facilities and improvements necessary for the proposed development of the Murrieta Oaks Specific Plan area.

7.1 INTRODUCTION

The PFFP specifically identifies the impacts to Circulation Facilities, Storm Water Drainage Facilities, Sewer Facilities, Water Facilities, Fire Protection Facilities, Law Enforcement Facilities, General Facilities and Equipment, Library Facilities, School Facilities, Open Space Acquisition and Park Land Facilities.

The Murrieta Oaks Specific Plan and this financing plan were prepared pursuant to parameters set forth by the City of Murrieta's General Plan Policy LU 3.2a - 3.2d. However, in order to simplify the PFFP preparation, much of the information required in the PFFP has been provided in other sections within the Murrieta Oaks Specific Plan and will only be referenced in the PFFP.

7.2 ASSUMPTIONS

The following section summarizes the build out potential for the Murrieta Oaks Specific Plan area. It includes the total acreage, the maximum number of dwelling units, build out population and estimated yearly phasing.

Acreage - 259.6 Acres

Maximum Dwelling Units - 560 Single Family Units

Population Generation Rate - 3.32 Persons per Dwelling Unit

Estimated Maximum Population - 1,859 Persons

Other Assumptions - Any additional assumptions are provided via footnotes throughout the PFFP

7.3. FACILITY FINANCING

As a part of the requirements for preparing a Public Facilities Financing Plan, this chapter identifies the various financing mechanisms available to fund the public facilities and improvements required for the development of the Murrieta Oaks Specific Plan.

In preparing this financing plan, it became clear that no single financing mechanism could fund the infrastructure requirements of this project area. Therefore, several financing mechanisms will be used to fund future facilities as development occurs.

The following financing mechanisms will be used to guarantee the public facilities needed to serve future development within the Murrieta Oaks Specific Plan:

A. Capital Facilities

To the greatest extent possible, funding for public facility improvements will come from sources other than the City of Murrieta's General Fund or Federal/State monies. Although these can be sources for public facility improvements, the City of Murrieta prefers to use other funding sources to meet the demand incurred from new development.

- **Developer/Builder Contribution**

Many of the drainage, sewer, water and circulation improvements will be directly funded and constructed by the developer and/or builder(s) through private funding sources. Facilities earmarked for developer/builder funding are typically those which normally would have been imposed as a condition of approval of a tentative map under the City's existing development review process.

- **Development Impact Fees**

The City has used this method of financing to pay for many capital improvements constructed. In concept, the City charges the development community a series of fees which provide the source of income to pay for capital projects. When enough funds have been assembled, the City constructs capital facility projects pursuant to the City's Capital Improvement Plan. These fees cover the following public services:

- Law Enforcement
- Fire Protection
- Streets and Minor Bridges
- Traffic Signals
- Storm Drainage
- General Facilities
- Open Space Acquisition
- Park Land & Facilities
- Community Center
- Public Library

- **Mello-Roos - Community Facilities District**

The Mello-Roos Community Facilities Act allows a legislative body to create a community facilities district. Once this district is created, special taxes can be levied to fund various facilities and services. The funds obtained through the special taxes can finance facilities or services directly, or go toward the payment of bonds issued for capital facility improvements. The Mello-Roos financing mechanism is designed to be flexible and allow for a variety of scenarios for the funding of facilities.

- **Special Assessment Districts**

Special Assessment Districts are formed for the purpose of financing specific improvements for the benefit of a specific area. A detailed report prepared by a qualified engineer is required and it must demonstrate that the assessment amount is of special benefit to the parcel upon which the assessment is levied. There are many assessment acts that govern the formation of assessment districts such as the Improvement Act of 1911, Municipal Improvement Act of 1913, Improvement Bond Act of 1915, Benefit Assessment Act of 1982, Integrated Financing District Act as well as other specific facility improvement acts. The provisions of Proposition 218 has altered the procedures and facilities that can be financed through some of these acts. Any assessment district formed must follow all applicable state laws including the provisions set forth in Proposition 218.

- **Dedications**

The City may acquire land when a property owner chooses to voluntarily give a portion of his land to the City for public use. Dedicated land is commonly used for new public roadways, parks or open space areas. In the case of the Murrieta Oaks project, the developer is proposing to dedicate land for roadways, parks, open space, trails and a school site. Fee credits and reimbursements may be made available to the developer/builder for certain dedications. The City of Murrieta will make the final determination regarding the ultimate availability of credits and reimbursements for these dedications.

B. Operation and Maintenance

- **General Fund**

The City's General Fund is a type of government fund used to support various improvements and services including general government operations, development services, public safety and community services. Revenue sources of the General Fund include property taxes, franchise taxes, sales taxes, intergovernmental revenues and miscellaneous fees.

- State and Federal Funding

Various government programs are available at the State and Federal levels to assist local jurisdictions in financing public facilities and services. Most funding sources at the State level require an application requesting assistance and specify the projects or purposes for which the funds can be used. Financial assistance from the state can also include grants, low interest loans and matching funds. At the Federal level financial assistance includes grants and federal matching funds for state run assistance programs.

- Murrieta Fire Protection District

The Murrieta Fire Protection District (MFPD) receives funding for the operation and maintenance of the fire protection services and facilities through property taxes and a voter-approved yearly assessment.

- Community Service District

The City of Murrieta formed the Murrieta Community Services District (CSD) in 1992 to provide its residents with special benefit services and improvements. Currently the CSD provides parks and recreations services, flood/drainage control, street sweeping, street lighting and landscape maintenance services. Funding for the CSD is generated by annual levies on properties located within the district. It is anticipated that the Murrieta Oaks Specific Plan area will annex into the CSD prior to the recordation of the first final map.

- Eastern Municipal Water District

The Eastern Municipal Water District (EMWD) will provide for the necessary operation and maintenance of the water and sewer systems needed to serve the Murrieta Oaks Specific Plan area. Funding for this service will be primarily through monthly service charges that will be paid by the future residents within the Murrieta Oaks community.

7.3.1 SUMMARY

The appropriate financing mechanism for all impacts to public facilities was determined based on the scale, scope and timing of the projected demand and improvement. The following matrix summarizes the costs and financing strategy for each public facility.

**MURRIETA OAKS SPECIFIC PLAN
FINANCE SUMMARY**

*** FOR FACILITY PLANNING PURPOSES ONLY ***

Table 4

ITEM	COST	REIMBURSEMENT / CREDIT	FINANCING MECHANISM	NOTES
CIRCULATION				
Clinton-Keith Road - S. of Centerline	\$387,380.40	\$0.00	CFD	
Clinton-Keith Road - N. of Centerline	\$355,037.10	\$0.00	CFD	
Greer Road	\$112,857.80	\$0.00	CFD	
Internal Streets	\$3,889,971.31	\$0.00	Developer	
Traffic Signalization	\$220,000.00	\$200,000.00	CFD	
Circulation Total	\$4,965,246.61	\$200,000.00		
DRAINAGE				
Drainage Facility Improvements	\$941,847.50	\$0.00	Developer / CFD	
Drainage Total	\$941,847.50	\$0.00		
SEWER				
Off-Site Sewer Facility Improvements	\$504,900.00	\$190,500.00	Assessment District	
On-Site Sewer Facility Improvements	\$537,405.00	\$389,500.00	Assessment District	
On-Site Internal Sewer Facility Improvements	\$896,698.00	\$0.00	Developer	
Sewer Total	\$1,939,003.00	\$580,000.00		
WATER				
Off-Site Water Facility Improvements	\$2,182,000.00	\$1,351,200.00	Assessment District	
On-Site Water Facility Improvements	\$1,259,412.00	\$0.00	Dev. / Assess. Dist.	
Water Total	\$3,441,412.00	\$1,351,200.00		

to the Streets and Minor Bridges Facilities Fund and the Traffic Signals and Controllers Fund should be \$304,673.60. This amount is determined by multiplying the 560 family dwelling units by $\$469.15^4 + \74.91^5 .

Additionally, impacts to regional roads and bridges will be mitigated by payment of the Regional Road and Bridge fee. This fee is in the amount of \$840 per dwelling unit. Assuming a total of 560 dwelling units, this project could generate \$470,400 toward regional road and bridge improvements.

Any available reimbursements or credits are identified on the Circulation Facility Improvements spread sheets beginning on page 65. The City of Murrieta will make the ultimate determination of the amount of any reimbursement or credit upon the request by the developer or builder.

- Operations and Maintenance

The cost for continued maintenance for existing and future roadways will be financed by monies obtained from the State Gas Tax, Measure A and other monies deemed appropriate by the City of Murrieta. Maintenance of the medians will be funded by the CSD.

E. Special Conditions

1. Prior to the recordation of the first final map, the Murrieta Oaks Specific Plan area shall be annexed into the CSD.
2. Prior to the commencement of grading operations, the formation of a community facilities district, if desired by the developer/builder, shall be completed.
3. Prior to the issuance of each individual

building permit, a Development Impact Fee must be paid for each dwelling unit.

4. Prior to the issuance of each individual building permit, that portion of the Transportation Uniform Mitigation Fee (TUMF) covered by the Southwest Road and Bridge Benefit Assessment District (SWR&B) shall be paid. If the TUMF fee is lower than the SWR&B fee, then the lower fee shall be paid.

5. Prior to occupancy of the school, the traffic signal at the intersection of Clinton Keith and future McElwain Road shall be installed.

6. The traffic signals at the intersection of Clinton Keith Road and future McElwain Road shall be installed when traffic conditions warrant as determined by the Murrieta Engineering Department.

7. All roadways identified on the Circulation Facility Improvements spreadsheets shall be graded and constructed to the appropriate widths specified in the Circulation chapter of the specific plan and in accordance with the City of Murrieta's Engineering Design Standards.

8. Roadway improvements must be completed prior to occupancy of the first unit within each future development phasing area.

9. All dry utilities necessary to service the Murrieta Oaks Specific Plan area shall be installed underground within the street right-of-way or other appropriate easement prior to completion of each phased roadway.

⁴ Source: Impact Fee for Streets and Minor Bridges, Development Impact Fee Calculation Report, August 1998, Schedule 2.1, page 26.

⁵ Source: Impact Fee for Traffic Signals, Development Impact Fee Calculation Report, August 1998, Schedule 2.1, page 26.

MURRIETA OAKS SPECIFIC PLAN
CIRCULATION FACILITY IMPROVEMENTS

*** FOR FACILITY PLANNING PURPOSES ONLY ***

CLINTON KEITH ROAD - SOUTH OF CENTER LINE

Table 5

ITEM	UNIT	QUANTITY	UNIT PRICE	COST	REIMBURSEMENT / CREDIT	FINANCING MECHANISM	NOTES
Excavation	Cubic Yard	300	\$1.00	\$300.00	None	CFD	
Fine Grading	Square Feet	54,850	\$0.20	\$10,970.00	None	CFD	
AC Over AB with P&S	Square Feet	49,360	\$2.50	\$123,400.00	None	CFD	
AC Over AB with P&S Transitions	Square Feet	5,250	\$2.50	\$13,125.00	None	CFD	
AC Overlay	Square Feet	63,080	\$0.65	\$41,002.00	None	CFD	
Curb & Gutter - 8"	Linear Feet	2,563	\$10.00	\$25,630.00	None	CFD	
6" AC Berm - Transitions	Linear Feet	500	\$7.00	\$3,500.00	None	CFD	
Curb Only	Linear Feet	2,400	\$7.00	\$16,800.00	None	CFD	
Sidewalks & Landings	Square Feet	12,815	\$2.00	\$25,630.00	None	CFD	
Sidewalk Access Ramps	Each	4	\$500.00	\$2,000.00	None	CFD	
PCC Cross-Gutters	Square Feet	3,006	\$2.00	\$6,012.00	None	CFD	
Street Name Signs	Each	2	\$250.00	\$500.00	None	CFD	
Striping Allowance	Linear Feet	2,675	\$1.00	\$2,675.00	None	CFD	
Street Lights - 180 Watt	Each	5	\$2,300.00	\$11,500.00	None	CFD	
Street Lights - 90 Watt	Each	0	\$1,875.00	\$0.00	None	CFD	
Median	Linear Feet	2,560	\$27.00	\$69,120.00	None	CFD	
Contingency at 10%		\$352,164	10%	\$35,216.40	None		
SUB-TOTAL				\$387,380.40	\$0.00		

**MURRIETA OAKS SPECIFIC PLAN
CIRCULATION FACILITY IMPROVEMENTS**

*** FOR FACILITY PLANNING PURPOSES ONLY ***

CLINTON KEITH ROAD - NORTH OF CENTER LINE

ITEM	UNIT	QUANTITY	UNIT PRICE	COST	REIMBURSEMENT / CREDIT	FINANCING MECHANISM	NOTES
Excavation	Cubic Yard	3,000	\$1.00	\$3,000.00	None	CFD	
Fine Grading	Square Feet	52,050	\$0.20	\$10,410.00	None	CFD	
AC Over AB with P&S	Square Feet	46,860	\$2.50	\$117,150.00	None	CFD	
AC Over AB with P&S Transitions	Square Feet	3,360	\$2.50	\$8,400.00	None	CFD	
AC Overlay	Square Feet	61,500	\$0.65	\$39,975.00	None	CFD	
Curb & Gutter - 8"	Linear Feet	2,285	\$10.00	\$22,850.00	None	CFD	
6" AC Berm - Transitions	Linear Feet	500	\$7.00	\$3,500.00	None	CFD	
Curb Only	Linear Feet	2,400	\$7.00	\$16,800.00	None	CFD	
Sidewalks & Landings	Linear Feet	11,425	\$2.00	\$22,850.00	None	CFD	
Sidewalk Access Ramps	Square Feet	2	\$500.00	\$1,000.00	None	CFD	
PCC Cross-Gutters	Each	1,503	\$2.00	\$3,006.00	None	CFD	
Street Name Signs	Each	1	\$250.00	\$250.00	None	CFD	
Striping Allowance	Linear Feet	2,675	\$1.00	\$2,675.00	None	CFD	
Street Lights - 180 Watt	Each	4	\$2,300.00	\$9,200.00	None	CFD	
Street Lights - 90 Watt	Each	0	\$1,875.00	\$0.00	None	CFD	
Median	Linear Feet	2,285	\$27.00	\$61,695.00	None	CFD	
Contingency at 10%		\$322,761	10%	\$32,276.10			
SUB-TOTAL				\$355,037.10	\$0.00		

MURRIETA OAKS SPECIFIC PLAN
CIRCULATION FACILITY IMPROVEMENTS

*** FOR FACILITY PLANNING PURPOSES ONLY ***

GREER ROAD

ITEM	UNIT	QUANTITY	UNIT PRICE	COST	REIMBURSEMENT / CREDIT	FINANCING MECHANISM	NOTES
Excavation	Cubic Yard	0	\$1.00	\$0.00	None	CFD	
Fine Grading	Square Feet	0	\$0.20	\$0.00	None	CFD	
AC Over AB with P&S	Square Feet	31,440	\$2.50	\$78,600.00	None	CFD	(1)
AC Over AB with P&S Transitions	Square Feet	0	\$2.50	\$0.00	None	CFD	
AC Overlay	Square Feet	0	\$0.65	\$0.00	None	CFD	
Curb & Gutter - 8"	Linear Feet	806	\$10.00	\$8,060.00	None	CFD	
6" AC Berm Transitions	Linear Feet	0	\$7.00	\$0.00	None	CFD	
Curb Only	Linear Feet	0	\$7.00	\$0.00	None	CFD	
Sidewalks & Landings	Square Feet	4,030	\$2.00	\$8,060.00	None	CFD	
Sidewalk Access Ramps	Each	2	\$500.00	\$1,000.00	None	CFD	
PCC Cross-Gutters	Square Feet	800	\$2.00	\$1,600.00	None	CFD	
Street Name Signs	Each	1	\$250.00	\$250.00	None	CFD	
Striping Allowance	Linear Feet	428	\$1.00	\$428.00	None	CFD	
Street Lights - 180 Watt	Each	2	\$2,300.00	\$4,600.00	None	CFD	
Street Lights - 90 Watt	Each	0	\$1,875.00	\$0.00	None	CFD	
Contingency at 10%		\$102,598.00	10%	\$10,259.80	\$0.00		
SUB-TOTAL				\$112,857.80	\$0.00		

NOTES

(1) A credit against the Streets and Minor Bridges impact fee may be made available to the developer for the construction of Greer Road in the amount of \$39,300.00 only if this facility is not included in a CFD. The credit amount is based on the additional lane provided by the developer which is 50% of the paving of Greer Road. The remainder is to be constructed by the developer again if it is not included in a CFD. Credit will be made available pursuant to the Master Facilities Plan dated August, 1998, page 82.

CIRCULATION FACILITY IMPROVEMENTS

INTERNAL STREETS	ITEM	UNIT	QUANTITY	UNIT PRICE	COST	REIMBURSEMENT / CREDIT	FINANCING MECHANISM	NOTES
	Fine Grading	Cubic Yards	0	\$0.20	\$0.00	None	Developer	
	AC Over AB with P&S	Square Feet	959,257	\$2.15	\$2,062,402.55	None	Developer	
	Curb & Gutter - 6"	Linear Feet	51,689	\$8.00	\$413,512.00	None	Developer	
	Curb & Gutter - 8"	Linear Feet	0	\$10.00	\$0.00	None	Developer	
	Curb Only - 6"	Linear Feet	0	\$7.00	\$0.00	None	Developer	
	Sidewalks & Landings	Linear Feet	284,349	\$2.00	\$568,698.00	None	Developer	
	Driveway Approaches	Each	560	\$400.00	\$224,000.00	None	Developer	
	Sidewalk Access Ramps	Each	77	\$500.00	\$38,500.00	None	Developer	
	PCC Cross-Gutters	Square Feet	15,896	\$2.00	\$31,792.00	None	Developer	
	Street Name Signs	Each	39	\$250.00	\$9,750.00	None	Developer	
	Striping Allowance	Linear Feet	23,033	\$1.00	\$23,033.00	None	Developer	
	Street Lights - 180 Watt	Each	8	\$2,300.00	\$18,400.00	None	Developer	
	Street Lights - 90 Watt	Each	78	\$1,875.00	\$146,250.00	None	Developer	
	Contingency at 10%		\$3,536,337.55	10%	\$353,633.76			
	TOTAL				\$3,889,971.31			

TRAFFIC SIGNALIZATION ON CLINTON KEITH ROAD

ITEM	QUANTITY	UNIT PRICE	COST	REIMBURSEMENT / CREDIT	FINANCING MECHANISM	NOTES
Traffic Signal - Greer Road	1	\$100,000.00	\$100,000.00	\$100,000.00	CFD	(1)(2)
Traffic Signal - McElwain Road	1	\$100,000.00	\$100,000.00	\$100,000.00	CFD	(1)(3)
Contingency at 10%	200,000	10%	\$20,000.00			
SUB-TOTAL PHASE I			\$220,000.00	\$200,000.00		

NOTES

- (1) Since the traffic signal at this location is identified as a facility to be financed by the development impact fee, the developer is entitled to a 100% credit against the Traffic Signal impact fee.
- (2) Traffic signal shall be installed when traffic conditions warrant as determined by the Murrieta Engineering Department.
- (3) Traffic signal shall be installed prior to occupancy of the school or when traffic conditions warrant as determined by the Engineering Department.

7.4.2 Storm Water Drainage Facilities

For a complete description of Storm Water Drainage Facilities, refer to section 5.2 of this specific plan.

A. Performance Standard

Mitigate storm water runoff to ensure that developed and undeveloped downstream parcels will not be adversely affected by storm water.

B. Project Impacts⁶

- Developed Lots - 98.73 Acres
- Road R/W - 41.27 Acres
- Elementary School - 10.00 Acres
- The project will significantly increase impervious surfaces, thus resulting in an increase in storm water runoff.

C. Project Improvements

The specific improvements and costs are provided on the Drainage Facility Improvements spreadsheet on page 71.

D. Financing

- Capital Facilities -

Storm Drain related improvements may be financed by the following mechanisms which are also identified on the Drainage Facility Improvements spreadsheets on page 71:

- Developer/Builder
- Mello-Roos Community Facilities District

The total cost for all facilities is anticipated to be \$941,847.50⁷.

Development within the Murrieta Oaks Specific Plan will mitigate impacts to the Storm Water Drainage Facilities by the payment of Development Impact Fees at the time of building permit issuance.

Based on a maximum number 560 dwelling units, the amount of funding contributed to the Storm Drainage Facilities fund should be \$514,528.00. This amount is determined by multiplying the 560 family dwelling units by \$918.80⁸.

An additional Area Drainage Fee is also required to mitigate against storm water impacts. The Murrieta Oaks project is located within the Murrieta Valley drainage area which requires a payment of \$4,139 per gross acre. A total of \$1,074,484.40 (\$4,139 per gross acre x 259.6 acres) will be required to be paid prior to the issuance of a grading permit or building permit.

There are no reimbursements or credits available to the developer for drainage improvements.

- Operation and Maintenance

Operation and maintenance of the flood drainage facilities will be financed by the CSD. An estimated annual special tax of approximately \$45⁹ will be added to the property tax for each dwelling unit. This special tax will generate approximately \$25,000 per year toward operation and

⁶ Source: Murrieta Oaks Specific Plan, January 4, 2000

⁷ Source: Land Development Cost Estimate prepared by Crosby, Mead, Benton & Assoc, January 11, 2000

⁸ Source: Impact Fee for Storm Drainage, Development Impact Fee Calculation Report, August 1998, Schedule 2.1, page 26

⁹ Jim Holston, Murrieta Parks Superintendent, June 1999

maintenance of the drainage facilities, roadway medians, park, trails, modified slopes and open space areas within the Murrieta Oaks Specific Plan area.

E. Special Conditions

1. Prior to the first final map, the Murrieta Oaks Specific Plan area shall be annexed into the CSD.
2. Prior to the issuance of a grading permit, a Type A - Area Drainage Fee shall be paid.
3. Prior to the commencement of grading operations, the formation of a community facilities district, if desired by the developer/builder, shall be completed.
4. Prior to the issuance of each individual building permit, a Development Impact Fee must be paid for each dwelling unit.
5. There shall be no net increase in storm water runoff exiting the Murrieta Oaks Specific Plan area
6. All drainage facilities shall be constructed to ensure that there will be no adverse impacts to downstream properties.
7. All drainage facilities identified on the Drainage Facility Improvements spreadsheets shall be installed as specified in the Drainage Conditions chapter of the specific plan and in accordance with the City of Murrieta's Engineering Design Standards.
8. All drainage facility improvements must be completed prior to occupancy of the first unit contributing to the drainage facility.
9. All drainage facilities shall comply with NPDES and Clean Water Act programs.

DRAINAGE FACILITY IMPROVEMENTS

*** FOR FACILITY PLANNING PURPOSES ONLY ***

DRAINAGE FACILITY IMPROVEMENTS

Table 6

ITEM	UNIT	QUANTITY	UNIT PRICE	COST	REIMBURSEMENT / CREDIT	FINANCING MECHANISM	NOTES
Pipe - 18" RCP	Linear Feet	5,305	\$45.00	\$238,725.00	\$0.00	Developer	
Pipe - 24" RCP	Linear Feet	2,230	\$50.00	\$111,500.00	\$0.00	Developer	
Pipe - 30" RCP	Linear Feet	1,310	\$60.00	\$78,600.00	\$0.00	Developer	
Pipe - 48" RCP	Linear Feet	120	\$100.00	\$12,000.00	\$0.00	CFD	
Pipe - 54" RCP	Linear Feet	100	\$120.00	\$12,000.00	\$0.00	CFD	
Catch Basin / Curb Inlet	Each	38	\$3,000.00	\$114,000.00	\$0.00	Developer / CFD	
Inlet / Outlet Structure	Each	19	\$2,500.00	\$47,500.00	\$0.00	Developer / CFD	
10' x 12' Box Culvert	Each	400	\$180.00	\$72,000.00	\$0.00	CFD	
Detention Basin	Each	5	\$20,000.00	\$100,000.00	\$0.00	CFD	
Manhole No. 1	Each	23	\$2,300.00	\$52,900.00	\$0.00	Developer / CFD	
Stream Protection Allowance	Linear Feet	170	\$100.00	\$17,000.00	\$0.00	CFD	
Contingency			10%	\$85,622.50			
SUB-TOTAL		\$856,225.00		\$941,847.50	\$0.00		

7.4.3 SEWER FACILITIES

For a complete description of Sewer Facilities, refer to section 5.3 of this specific plan.

A. Performance Standard

- Sewer system to be designed in accordance with Eastern Municipal Water District (EMWD) requirements.

B. Project Impacts

- 560 Single Family Dwellings - 168,000 Gallons per Day¹⁰
- 10.0 Acre Elementary School - 25,500 Gallons per Day¹¹
- TOTAL - 193,500 Gallons per Day

C. Project Improvements

The specific improvements and costs are provided on the Sewer Facility Improvements spreadsheets.

D. Financing

- Capital Facilities - Sewer facility related improvements may be financed by the following mechanisms which are also identified on the Sewer Facility Improvements spreadsheets on page 74:
- Developer/Builder - Subject to credit and/or reimbursement from EMWD for oversized facilities.

- Special Assessment District

The total cost for all facilities is anticipated to be \$1,939,003¹².

Development within the Murrieta Oaks Specific Plan will mitigate project impacts to the wastewater disposal system by the payment of all applicable fees as required by EMWD.

Credits and reimbursements will be made available to the developer/builder. The estimated amount of potential credits and reimbursements for facilities are provided on the Sewer Facility Improvements spread sheets.

- Operations and Maintenance - The cost for continued maintenance for system improvements will be financed by monies obtained from the monthly services charges collected by EMWD and other monies deemed appropriate by EMWD.

E. Special Conditions

1. All sewer facilities shall be designed and constructed in accordance with the design standards of EMWD.
2. EMWD shall review all tentative maps and provide applicable conditions related to said tentative maps.
3. EMWD shall review and approve all improvement plans relating the design and construction of all sewer facilities.

¹⁰ 560 EDU x 3.0 person/EDU x 100 GPD/person = 168,000 GPD. Source: Letter dated November 12, 1999 from Alex Urquhart to Warren Back of EMWD

¹¹ Source: Letter dated November 12, 1999 from Alex Urquhart to Warren Back of EMWD

¹² Source: Land Development Cost Estimate prepared by Crosby, Mead, Benton & Assoc, May 8, 2000

4. Prior to recordation of the first final map, a letter from EMWD is required confirming that wastewater treatment facilities are available.

5. Prior to the commencement of grading operations, the formation of an assessment district, if desired by the developer/builder, shall be completed.

6. Prior to the issuance of each individual building permit, applicable Sewer Capacity Fees shall be paid to EMWD.

7. All other applicable fees shall be paid at the appropriate time as required by EMWD.

8. EMWD will make the ultimate determination regarding the amount of any reimbursement or credit upon the request by the developer or builder.

9. EMWD shall monitor the capacity of the Temecula Valley Regional Water Reclamation Facility to ensure that adequate treatment facilities are available.

**MURRIETA OAKS SPECIFIC PLAN
SEWER FACILITY IMPROVEMENTS**

*** FOR FACILITY PLANNING PURPOSES ONLY ***

Table 7

OFF-SITE SEWER FACILITY IMPROVEMENTS

ITEM	UNIT	QUANTITY	UNIT PRICE	COST	POTENTIAL REIMBURSEMENT/CREDIT	FINANCING MECHANISM	NOTES
18" PVC Sewer Main	Linear Feet	5,300	\$65.00	\$344,500.00	\$159,000.00	Assessment District	(1)
15" PVC Sewer Main	Linear Feet	1,500	\$35.00	\$52,500.00	\$31,500.00	Assessment District	(1)
R/W Acquisition	Acre	.70	\$40,000.00	\$28,000.00	Unknown	Assessment District	(2)
Standard Sewer Manhole	Each	17	\$2,000.00	\$34,000.00	\$0.00	Assessment District	(3)
Contingency at 10%		\$459,000.00	10%	\$45,900.00	\$0.00	Assessment District	
SUB-TOTAL				\$504,900.00	\$199,500.00	Assessment District	(4)

ON-SITE SEWER FACILITY IMPROVEMENTS

ITEM	UNIT	QUANTITY	UNIT PRICE	COST	POTENTIAL REIMBURSEMENT/CREDIT	FINANCING MECHANISM	NOTES
12" PVC Sewer Main	Linear Feet	2,225	\$30.00	\$66,750.00	\$26,700.00	Assessment District	(1)(5)
Sewer Lift Station	Each	1	\$250,000.00	\$250,000.00	\$250,000.00	Assessment District	(6)
6" Force Main	Linear Feet	2,700	\$20.00	\$54,000.00	\$54,000.00	Assessment District	(6)
15" PVC Sewer Main	Linear Feet	2,800	\$35.00	\$98,000.00	\$58,800.00	Assessment District	(1)
Standard Sewer Manhole	Each	11	\$1,800.00	\$19,800.00	\$0.00	Assessment District	(3)
Contingency at 10%		\$488,550.00	10%	\$48,855.00	\$0.00	Assessment District	
SUB-TOTAL				\$337,405.00	\$389,500.00	Assessment District	(4)

NOTES:

- The potential reimbursement/credit amount is based on \$3.00 per diameter inch per linear foot of oversized. Oversizing is pipe over 8" in diameter. (Source: EMWD, Verified - January 28, 2000, Warren Back, EMWD)
- The reimbursement/credit amount is unknown at this time. Determination of potential reimbursement/credit will be determined with the formation of an assessment district. If there is no assessment district formed then there will be no reimbursement/credit. (Source: EMWD, Verified - January 28, 2000, Warren Back, EMWD)
- Potential reimbursement/credit for manholes is included in oversized reimbursement/credit. (Source: EMWD, Verified - January 28, 2000, Warren Back, EMWD)
- The total potential reimbursement/credit will be ultimately determined by EMWD or the Assessment District. (Source: EMWD, Verified - January 28, 2000, Warren Back, EMWD)
- This facility improvement will include the portion of the sewer line within Greer Road and Clinton Keith Road as well as the portion of the sewer line in Street "A".
- This facility improvement may receive a 100% reimbursement/credit.

ON-SITE INTERNAL SEWER FACILITY IMPROVEMENTS

ITEM	UNIT	QUANTITY	UNIT PRICE	COST	REIMBURSEMENT/CREDIT	FINANCING MECHANISM	NOTES
8" PVC Sewer Main	Linear Feet	21,819	\$20.00	\$436,380.00	\$0.00	Developer	
Standard Sewer Manhole	Each	86	\$1,800.00	\$154,800.00	\$0.00	Developer	
4" PVC Sewer Lateral	Each	560	\$400.00	\$224,000.00	\$0.00	Developer	
Contingency at 10%		\$815,180.00	10%	\$81,518.00	\$0.00	Developer	
SUB-TOTAL				\$896,698.00	\$0.00	Developer	

7.4.4 WATER FACILITIES

For a complete description of Water Services, refer to section 5.4 of this specific plan.

A. Performance Standard

- Water supply system to be designed in accordance with EMWD requirements.
- Water supply must meet the fire flow requirements specified by the Murrieta Fire Protection District.

B. Project Impacts

- 550 Single Family Dwellings - 770,000 Gallons per Day¹³
 - 10.0 Acre Elementary School - 25,500 Gallons per Day¹⁴
- TOTAL - 795,500 Gallons per Day

C. Project Improvements

The specific improvements and costs are provided on the Water Facility Improvements spreadsheets beginning on page 77.

D. Financing

- Capital Facilities - Water Facilities related improvements may be financed by the following mechanisms which are also identified on the Water Facility Improvements spreadsheets beginning on page 77:

- Developer/Builder - Subject to credits and/or reimbursements from EMWD for oversized facilities
- Special Assessment District

The total cost for all facilities is anticipated to be \$3,441,412.00¹⁵.

Development within the Murrieta Oaks Specific Plan will mitigate project impacts to the potable water system by the payment of water connection fees.

Credits and reimbursements will be made available to the developer/builder. The amount of potential credits and reimbursements for facilities are provided on the Water Facility Improvements spreadsheets.

- Operations and Maintenance

The cost for continued maintenance for system improvements will be financed by monies obtained from the monthly service charges collected by EMWD and other monies deemed appropriate by EMWD.

F. Special Conditions

1. All sewer facilities shall be designed and constructed in accordance with the design standards of EMWD.
2. EMWD shall review all tentative maps and provide applicable conditions related to said tentative maps.

¹³ Source: Letter dated November 12, 1999 from Crosby, Mead, Benton & Assoc, to Warren Back of EMWD. The letter assumed 550 dwellings

¹⁴ Source: Letter dated November 12, 1999 from Crosby, Mead, Benton & Assoc, to Warren Back of EMWD.

¹⁵ Source: Land Development Cost Estimate prepared by Crosby, Mead, Benton & Assoc, January 11, 2000

3. EMWD shall review and approve all improvement plans relating to the design and construction of all water facilities.
4. Prior to recordation of the first final map, a letter from EMWD is required confirming that potable water is available.
5. Prior to the commencement of grading operations, the formation of an assessment district, if desired by the developer/builder, shall be completed.
6. Prior to the issuance of each individual building permit, applicable Water Capacity Fees shall be paid to EMWD.
7. All other applicable fees shall be paid at the appropriate time as required by EMWD.
8. EMWD will make the ultimate determination regarding the amount of any reimbursement or credit upon the request by the developer or builder.

**MURRIETA OAKS SPECIFIC PLAN
WATER FACILITY IMPROVEMENTS**

Table 8

*** FOR FACILITY PLANNING PURPOSES ONLY ***

OFF-SITE WATER FACILITY IMPROVEMENTS

ITEM	UNIT	QUANTITY	UNIT PRICE	COST	POTENTIAL REIMBURSEMENT/ CREDIT	FINANCING MECHANISM	NOTES
12" PVC Water Main	Linear Feet	4,420	\$45.00	\$198,900.00	\$0.00	Assessment District	(1)
24" Water Main	Linear Feet	4,200	\$110.00	\$462,000.00	\$151,200.00	Assessment District	(2)
R/W Acquisition	Acre	0.79	\$40,000.00	\$31,600.00	Unknown	Assessment District	(3)
12" Gate Valves	Each	5	\$1,500.00	\$7,500.00	\$0.00	Assessment District	(4)
24" Valves	Each	4	\$5,000.00	\$20,000.00	\$0.00	Assessment District	(4)
584 GPM Pump Station	LS	1	\$100,000.00	\$100,000.00	\$100,000.00	Assessment District	(2)
1.0 MG Storage Tank	LS	1	\$1,000,000.00	\$1,000,000.00	Unknown	Assessment District	(4)
Storage Tank Land Acquisition	Acre	2	\$40,000.00	\$80,000.00	Unknown	Assessment District	(2)
Upgrade to Lower Las Brisas Pump Station	LS	1	\$100,000.00	\$100,000.00	\$100,000.00	Assessment District	(4)
Contingency at 10%		\$1,820,000.00	\$0.10	\$182,000.00			
SUB-TOTAL				\$2,182,000.00	\$1,351,200.00		(5)

NOTES:

- (1) The potential reimbursement/credit amount is based on \$3.00 per diameter inch per linear foot of oversizing. Oversizing is pipe over 12" in diameter. (Source: EMWD, Verified - January 28, 2000, Warren Back, EMWD)
- (2) The reimbursement/credit amount is unknown at this time. Determination of potential reimbursement/credit will be determined with the formation of an assessment district. If there is no assessment district formed then there will be no reimbursement/credit. (Source: EMWD, Verified - January 28, 2000, Warren Back, EMWD)
- (3) Potential reimbursement/credit for Gate Valves are included in oversizing reimbursement/credit. (Source: EMWD, Verified - January 28, 2000, Warren Back, EMWD)
- (4) In accordance with EMWD, there is a 100% reimbursement/credit for the storage facility and pump station. The precise reimbursement/credit amount will be determined by EMWD or the Assessment District.
- (5) The total potential reimbursement/credit will be ultimately determined by EMWD or the Assessment District.

ON-SITE WATER FACILITY IMPROVEMENTS

ITEM	UNIT	QUANTITY	UNIT PRICE	COST	POTENTIAL REIMBURSEMENT/ CREDIT	FINANCING MECHANISM	NOTES
12" Water Main	Linear Feet	2,650	\$45.00	\$119,250.00	\$0.00	Assessment District	
12" Gate Valves	Each	8	\$1,500.00	\$12,000.00	\$0.00	Assessment District	
8" Water Main	Linear Feet	20,621	\$20.00	\$412,420.00	\$0.00	Developer	
8" Gate Valves	Each	57	\$750.00	\$42,750.00	\$0.00	Developer	
Fire Hydrant Assembly	Each	75	\$2,500.00	\$187,500.00	\$0.00	Developer	
3/4" Water Service	Each	560	\$400.00	\$224,000.00	\$0.00	Developer	
House Meters with Box	Each	560	\$250.00	\$140,000.00	\$0.00	Developer	
1.5" Irrigation Meter Service	Each	7	\$500.00	\$3,500.00	\$0.00	Developer	
Irrigation Meters	Each	7	\$500.00	\$3,500.00	\$0.00	Developer	
Contingency at 10%		\$1,144,920.00	10%	\$114,492.00	\$0.00		
SUB-TOTAL				\$1,259,412.00	\$0.00		

**MURRIETA OAKS SPECIFIC PLAN
ALTERNATIVE WATER FACILITY IMPROVEMENTS**

*** FOR FACILITY PLANNING PURPOSES ONLY ***

OFF-SITE WATER FACILITY IMPROVEMENTS

ITEM	UNIT	QUANTITY	UNIT PRICE	COST	POTENTIAL REIMBURSEMENT/ CREDIT	FINANCING MECHANISM	NOTES
12" PVC Water Main	Linear Feet	3,180	\$45.00	\$143,100.00	\$0.00	Assessment District	(1)
24" Water Main	Linear Feet	1,600	\$110.00	\$176,000.00	\$57,600.00	Assessment District	
Jacking Under 215 Freeway	Linear Feet	550	\$100.00	\$55,000.00	Unknown	Assessment District	
12" Gate Valves	Each	3	\$1,500.00	\$4,500.00	\$0.00	Assessment District	(2)
24" Valves	Each	4	\$5,000.00	\$20,000.00	\$0.00	Assessment District	
Contingency at 10%			\$0.10	\$39,860.00			
SUB-TOTAL				\$438,460.00	\$57,600.00		(3)

NOTES:

- (1) The potential reimbursement/credit amount is based on \$3.00 per diameter inch per linear foot of oversized. Oversizing is pipe over 12" in diameter.
(Source: EMWD, Verified - January 28, 2000, Warren Back, EMWD)
- (2) Potential reimbursement/credit for Gate Valves are included in oversized reimbursement/credit.
(Source: EMWD, Verified - January 28, 2000, Warren Back, EMWD)
- (3) The total potential reimbursement/credit will be ultimately determined by EMWD or the Assessment District.

ON-SITE WATER FACILITY IMPROVEMENTS

ITEM	UNIT	QUANTITY	UNIT PRICE	COST	POTENTIAL REIMBURSEMENT/ CREDIT	FINANCING MECHANISM	NOTES
8" Water Main	Linear Feet	23,271	\$20.00	\$465,420.00	\$0.00	Developer	
8" Gate Valves	Each	65	\$750.00	\$48,750.00	\$0.00	Developer	
Fire Hydrant Assembly	Each	75	\$2,500.00	\$187,500.00	\$0.00	Developer	
3/4" Water Service	Each	560	\$400.00	\$224,000.00	\$0.00	Developer	
House Meters with Box	Each	560	\$250.00	\$140,000.00	\$0.00	Developer	
1.5" Irrigation Meter Service	Each	7	\$500.00	\$3,500.00	\$0.00	Developer	
Irrigation Meters	Each	7	\$500.00	\$3,500.00	\$0.00	Developer	
Contingency at 10%			10%	\$107,267.00	\$0.00		
SUB-TOTAL				\$1,179,937.00	\$0.00		

7.4.5 FIRE PROTECTION FACILITIES

For a complete description of Fire Protection Facilities, refer to section 5.5 of this specific plan.

A. Performance Standard

- Maintain a 7 1/2 -Minute or Less Response Time from the Time the 911 Call is made for medical emergencies¹⁶.
- Maintain an 8-Minute or Less Response Time from the time the 911 Call is made for 90% of the calls.
- Ensure Water Main Capabilities Provide Adequate Fire Flows¹⁷.

B. Project Impacts

- 42 total estimated annual calls for assistance¹⁸.
- Project site is within 8-minute response time¹⁹.

C. Project Improvements

- Water Distribution System providing adequate fire flow capability.
- The demand for facilities is provided on the Demand for Fire Protection Facilities table on page 81.

D. Financing

- Capital Facilities - Financing for the water distribution system is provided for under the Water Facilities section.

Development within the Murrieta Oaks Specific Plan will mitigate impacts to the fire protection capital facilities by the payment of Development Impact Fees at the time of building permit issuance. In accordance with the Development Impact Fee Calculation Report dated August 1998, the Development Mitigation Fees collected for Fire Protection Facilities will finance future impacts to fire protection capital facilities created by development. As specified on page 46 of the Development Impact Fee Calculation Report, *"no developer will be required to construct any portion of the facility as a condition of development. All contributions will be in the form of an impact fee payment amount representing their fiscal contribution."*

Based on a maximum number of 560 dwelling units, the amount of funding contributed to the Fire Protection Facilities fund could be up to \$224,229.60. This amount is determined by multiplying the 560 family dwelling units by \$400.41²⁰.

- Operations and Maintenance - Funding for the continued operation and maintenance of the Murrieta Fire Protection District will be provided through property taxes (11.5 cents per property tax dollar²¹) and a voter-approved assessment (\$40 per year per household²²).

¹⁶ Source: Jerry Allen, Fire Chief - Murrieta Fire Protection District, May 12, 2000

¹⁷ Source: Jerry Allen, Fire Chief - Murrieta Fire Protection District, September 10, 1999

¹⁸ Based on an average of 0.075 calls per year per single family dwelling. Source: Development Impact Fee Calculation Report, August 1998, page 41

¹⁹ Source: Jerry Allen, Fire Chief - Murrieta Fire Protection District, September 10, 1999

²⁰ Impact Fee for Fire Protection, Development Impact Fee Calculation Report, August 1998, Schedule 2.1, page 26.

²¹ Source: City of Murrieta 1999-2000 Operating Budget, Page 248.

²² City of Murrieta 1999-2000 Operating Budget, page 248.

E. Special Conditions

1. Prior to the issuance of each individual building permit, a Development Impact Fee must be paid for each dwelling unit.
2. MFPD shall review all tentative maps and provide applicable conditions related to said tentative maps.
3. MFPD shall review and approve all improvement plans relating to the water facilities to ensure that adequate fire flows are provided.
4. Any applicable fees shall be paid at the appropriate time as required by MFPD.

DEMAND FOR FIRE PROTECTION FACILITIES

*** FOR FACILITY PLANNING PURPOSES ONLY ***

Table 9

YEAR	DWELLING UNITS	POPULATION	ADDITIONAL # OF CALLS PER YEAR	
			PERFORMANCE STANDARD (calls/d.u.)	PROJECTED CUMULATIVE
1999	0	0	0.075	0
2000	0	0	0.075	0
2001	174	578	0.075	13
2002	135	448	0.075	10
2003	156	518	0.075	12
2004	95	315	0.075	7
TOTAL	560	1,859		42

7.4.6 LAW ENFORCEMENT FACILITIES

For a complete description of Law Enforcement Facilities, refer to section 5.6 of this specific plan.

A. Performance Standard

- 1.00 Sworn Offices per 1,000 Population²⁵.
- 200 square feet per Sworn Officer²⁶.
- 0.81 vehicles per Sworn Officer²⁷.

B. Project Impacts

- Total annual calls for assistance - 535²⁸
- Demand for additional officers - 2.0 officers²⁹
- Demand for additional sq. ft. - 400 sq. ft.³⁰
- Demand for additional vehicles - 1.6 Vehicles³¹

C. Project Improvements

- None provided.
- The demand for facilities is provided on the Demand for Law Enforcement Facilities table on page 83. Law enforcement facilities will be provided as determined appropriate by the Police Department and the City of Murrieta.

D. Financing

- Capital Facilities
Development within the Murrieta Oaks Specific Plan will mitigate impacts to the law enforcement capital facilities by the payment of Development

Impact Fees at the time of building permit issuance. In accordance with the Development Impact Fee Calculation Report dated August 1998, the Development Impact Fees collected for Law Enforcement Facilities will finance future impacts created by development. As specified on page 31 of the Development Impact Fee Calculation Report, "No developer will be required to construct any portion of the law enforcement facility as a condition of development. All contributions will be in the form of an impact fee representing their fiscal contribution matching their increased demand."

Based on a maximum number 560 dwelling units, the amount of funding contributed to the Law Enforcement Facilities fund should be \$77,532.00. This amount is determined by multiplying the 560 family dwelling units by \$138.45³².

- Operations and Maintenance - Funding for the continued operation and maintenance of the Murrieta Police Department will be provided by the City of Murrieta's General Fund and through the City's special revenue funds such as Seized Assets Forfeiture and the Supplemental Law Enforcement Services Fund.

E. Special Conditions

Prior to the issuance of each individual building permit, a Development Impact Fee must be paid for each dwelling unit.

²⁵ Source: Jim Miller, Development Services Director, May 2, 2000.

²⁶ Source: Development Impact Fee Calculation Report, August 1998, page 31.

²⁷ Source: Development Impact Fee Calculation Report, August 1998, page 30.

²⁸ Based on an average of 0.951 calls per year per single family dwelling. Source: Development Fee Calculation Report, August 1998, page 29.

²⁹ 1.00 Officers / 1,000 Population x 1,859 Population = 2.0 Officers (rounded up to the nearest half).

³⁰ 200 SF / Officer x 2.0 Officers = 400 SF

³¹ 0.81 Vehicles / Officer x 2.0 Officers = 1.6 Vehicles (rounded to the nearest tenth).

³² Impact Fee for Law Enforcement, Development Impact Fee Calculation Report, August 1998, Schedule 2.1, page 26

Table 10

LAW ENFORCEMENT DEMAND

*** FOR FACILITY PLANNING PURPOSES ONLY ***

YEAR	DWELLING UNITS	POPULATION	POLICE OFFICER DEMAND			POLICE FACILITY DEMAND		
			PERFORMANCE STANDARD (Officers/1,000 pop.)	PROJECTED (# of Officers)	PERFORMANCE STANDARD (sf/Officer)	PROJECTED (square feet)	CUMULATIVE (square feet)	
1999	0	0	1.00	0.00	200	0	0	
2000	0	0	1.00	0.00	200	0	0	
2001	174	578	1.00	0.40	200	116	116	
2002	135	449	1.00	0.31	200	90	205	
2003	156	518	1.00	0.36	200	104	309	
2004	95	316	1.00	0.22	200	63	372	
TOTAL	560	1,859	1.00	2.00		400	400	

YEAR	DWELLING UNITS	POPULATION	POLICE VEHICLE DEMAND			ADDITIONAL CALLS		
			PERFORMANCE STANDARD (vehicle/Officer)	PROJECTED (# of vehicles)	PERFORMANCE STANDARD (calls/Officer)	PROJECTED (# of calls)	CUMULATIVE (# of calls)	
1999	0	0	0.81	0.0	0.951	0	0	
2000	0	0	0.81	0.0	0.951	0	0	
2001	174	578	0.81	0.6	0.951	166	166	
2002	135	448	0.81	0.4	0.951	129	295	
2003	156	518	0.81	0.4	0.951	149	444	
2004	95	315	0.81	0.2	0.951	91	535	
TOTAL	560	1,859	0.81	1.6	0.95	535	535	

7.4.7 GENERAL FACILITIES AND EQUIPMENT

For a complete description of General Facilities and Equipment, refer to section 5.7 of this specific plan.

A. Performance Standard

- 391.6 Square Feet per 1,000 Population³³

B. Project Impacts

- 560 Dwelling Units - 728.1 Square Feet of Demand³⁴

C. Project Improvements

- None provided
- The demand for facilities is provided on the Demand for General City Facilities table on page 85.

D. Financing

- Capital Facilities

Development within the Murrieta Oaks Specific Plan will mitigate impacts to the General Facilities and Equipment by the payment of Development Impact Fees at the time of building permit issuance. In accordance with the Development Impact Fee Calculation Report dated August 1998, *"No developer will be required to construct any portion of any general facility as a condition of development. All contributions will be in the form of a dollar amount representing their fiscal contributions."*

Based on a maximum number of 560 dwelling units, the amount of funding contributed to the General Facilities and Equipment Fund should be \$90,238.40. This amount is determined by multiplying the 560 single family dwelling units by \$161.14³⁵.

- Operations and Maintenance

Funding for the continued operation and maintenance of the City of Murrieta's General Facilities and Equipment will be provided by the City of Murrieta's General Fund.

E. Special Conditions

- Prior to the issuance of each individual building permit, a Development Impact Fee must be paid for each dwelling unit.

³³ Build out general facilities: City Hall - 30,000 sf, General Maintenance Facility - 10,400 SF
Build out population of 103,164
Formula: $(30,000 \text{ SF} + 10,400 \text{ SF}) / 103,164 \text{ Population} / 1,000 \text{ Population} = 391.6 \text{ SF per } 1,000 \text{ Population}$

³⁴ $560 \text{ du} * 3.32 \text{ population} / \text{du} * 391.6 \text{ SF} / 1,000 \text{ Population} = 728.1 \text{ SF}$

³⁵ Impact Fee for General Facilities, Development Impact Fee Calculation Report, August 1998, Schedule 2.1, page 26.

**MURRIETA OAKS SPECIFIC PLAN
DEMAND FOR GENERAL CITY FACILITIES AND EQUIPMENT**

*** FOR FACILITY PLANNING PURPOSES ONLY ***

Table 11

YEAR	DWELLING UNITS PER YEAR	POPULATION	FACILITY DEMAND PER YEAR		
			PERFORMANCE STANDARD (SF/1,000 pop.)	PROJECTIONS (SF)	CUMULATIVE (SF)
1999	0	0	391.6	0.0	0.0
2000	0	0	391.6	0.0	0.0
2001	174	578	391.6	226.2	226.2
2002	135	448	391.6	175.5	401.7
2003	156	518	391.6	202.8	604.6
2004	95	315	391.6	123.5	728.1
TOTAL	560	1,859		728.1	728.1

NOTES

The performance standard is based on a build out population of 103,164 and the assumed need for a 30,000 SF city hall, 2,400 SF of office and training/locker space and 8,000 SF of general maintenance and fleet maintenance shop for a total of 40,400 SF of general facilities area.

The square footages were obtained from the Master Facilities Plan for the City of Murrieta, August 1998.

7.4.8 LIBRARY FACILITIES

For a complete description of Library Facilities, refer to section 5.8 of this specific plan.

A. Performance Standard

- 245 Square Feet per 1,000 Population³⁶
- 154 Books per 1,000 Population³⁷

B. Project Impacts

- Total demand for additional library facility space - 456 square feet
- Total demand for additional books - 286

C. Project Improvements

- None provided.
- The demand for facilities is provided on the Demand for Library Facilities table on page 87.

D. Financing

- Capital Facilities

Development within the Murrieta Oaks Specific Plan will mitigate impacts to the Library Facilities by the payment of Development Impact Fees at the time of building permit issuance.

Based on a maximum number of 560 dwelling units, the amount of funding contributed to the Library Facilities fund should be \$70,812.00.

This amount is determined by multiplying the 560 single family dwelling units by \$126.45³⁸.

- Operation and Maintenance -

Three cents of every property tax dollar is used for library services³⁹.

Assuming a per unit valuation of \$250,000 and a 1.13307% TRA⁴⁰, the per dwelling unit property tax revenue is \$2,832.68. Therefore, at \$0.03 for every property tax dollar, every unit within the Murrieta Oaks Specific Plan would contribute approximately \$84.98 per year toward library services.

E. Special Conditions

Prior to the issuance of each individual building permit, a Development Impact Fee must be paid for each dwelling unit.

³⁶ Impact Fee for Library Facilities and Collection, Development Impact Fee Calculation Report, August, 1998, page 128.

³⁷ Impact Fee for Library Facilities and Collection, Development Impact Fee Calculation Report, August, 1998, page 129.

³⁸ Impact Fee for Public Library, Development Impact Fee Calculation Report, August 1998, Schedule 2.1, page 26.

³⁹ Source: Verified by Terri Ferro, City of Murrieta Finance Director, January 27, 2000.

⁴⁰ Riverside County Assessor's Office, September 1999.

MURRIETA OAKS SPECIFIC PLAN
 DEMAND FOR LIBRARY FACILITIES

Table 12

*** FOR FACILITY PLANNING PURPOSES ONLY ***

YEAR	DWELLING UNITS PER YEAR	POPULATION	PERFORMANCE		FACILITY DEMAND		BOOK DEMAND	
			STANDARD	PROJECTED (SF)	PROJECTED (SF)	CUMULATIVE (SF)	PERFORMANCE STANDARD	PROJECTED (# of books)
1999	0	0	245	0	0	154	0	0
2000	0	0	245	0	0	154	0	0
2001	174	578	245	142	142	154	89	89
2002	135	448	245	110	251	154	69	158
2003	156	518	245	127	378	154	80	238
2004	95	315	245	77	456	154	49	286
TOTAL	560	1,859		456	456		286	286

7.4.9 SCHOOL FACILITIES

For a complete description of School Facilities, refer to section 5.9 of this specific plan.

A. Performance Standard

School capacity to meet projected enrollment as determined by the Murrieta Valley School District.

B. Project Impacts

- **Tovashal Elementary School⁴¹:**
 - Current Capacity - 812 Students
 - Current Enrollment - 439 Students
 - Excess Capacity - 373 Students
 - Impact - 228 Students⁴²

- **Thompson Middle School⁴³:**
 - Current Capacity - 1,182 Students
 - Current Enrollment - 757 Students
 - Excess Capacity - 425 Students
 - Impact - 104 Students⁴⁴

- **Murrieta Valley High School⁴⁵:**
 - Current Capacity - 3,245 Students
 - Current Enrollment - 2,555 Students
 - Excess Capacity - 690 Students
 - Impact - 115 Students⁴⁶

- The the impacts on school facilities is provided on the Demand for School Facilities table on page 89.

C. Financing

The MVUSD currently requires a total mitigation payment of \$4.48 per square foot. If the State has

money to contribute their 50% of construction costs, then a mitigation payment of \$2.24 per square foot is required. For the purposes of this plan, the average dwelling unit size anticipated for Murrieta Oaks is assumed to be 1,800 square feet. Based on that average, the maximum and minimum per unit school fee will be \$8,100 and \$4,050 respectively. If the proposed school site is accepted by MVUSD, the school fee required may be negotiated based on the value of the land provided.

Assuming \$8,100 per dwelling unit and a maximum of 560 units, the school district could anticipate \$4,536,000 to be paid to mitigate against impacts to school facilities. With an assumed value of \$240,000 per acre and a 10.0 acre site proposed, the value of the school site to be dedicated is assumed to be \$2,400,000. By subtracting the value of the school site (\$2,400,000⁴⁷) from the school fee (\$4,536,000) the remaining amount of \$2,136,000 would be paid by the developer/builder prior to the issuance of building permits.

D. Special Conditions

1. Any school mitigation agreement must specify the timing of the construction of the school site (if applicable), the specific amount of land dedication credit (if any), and/or the specific amount of any school facilities impact mitigation fees.

2. Prior to the issuance of individual building permits, applicable mitigation fees shall be paid to MVUSD.

⁴² 0.4024 students / DU * 560.

⁴³ Source of Capacity and Enrollment - MVUSD.

⁴⁴ 0.1809 students / DU * 560

⁴⁵ Source of Capacity and Enrollment - MVUSD.

⁴⁶ 0.2004 students / DU * 560.

⁴⁷ Source: Bob Lacoss of PDS West, September 1999. Assumes rough graded, multi-acre pad with access and utilities

**MURRIETA OAKS SPECIFIC PLAN
MURRIETA UNIFIED SCHOOL DISTRICT
DEMAND FOR SCHOOL FACILITIES**

Table 13

*** FOR FACILITY PLANNING PURPOSES ONLY ***

YEAR	DWELLING UNITS	STUDENT GENERATION RATES (Students/DU)			STUDENT GENERATION						TOTAL ADDITIONAL STUDENTS
		E	JH	HS	PROJECTIONS			CUMULATIVE			
		E	JH	HS	E	JH	HS	E	JH	HS	
1999	0	0.4024	0.1809	0.2004	0	0	0	0	0	0	0
2000	0	0.4024	0.1809	0.2004	0	0	0	0	0	0	0
2001	174	0.4024	0.1809	0.2004	71	32	35	71	32	35	138
2002	135	0.4024	0.1809	0.2004	55	25	28	126	57	63	108
2003	156	0.4024	0.1809	0.2004	63	29	32	189	86	95	124
2004	95	0.4024	0.1809	0.2004	39	18	20	228	104	115	77
TOTAL	560							228	104	115	447

7.4.10 OPEN SPACE ACQUISITION FACILITIES

For a complete description of Open Space, refer to sections 2.2.3, 3.4.2, 3.4.4 and 3.4.5 of this specific plan.

A. Performance Standard

- 0.107 OS Acres per Developed Acre⁴⁸

B. Project Impacts

- Total Demand for Open Space - 16.05 Acres⁴⁹

C. Project Improvements

- Open Space to be Provided - 104.47 Acres
- Trails to be Provided - 2.20 Acres
- Various open space areas will be available as development occurs.
- Trails shall be installed prior to the occupancy of adjacent dwelling units.

D. Financing

- Capital Facilities -

Development within the Murrieta Oaks Specific Plan will mitigate impacts to the city's ability to acquire open space by deeding in fee title to the City of Murrieta a total of 104.47 acres of preserved and modified open space. This amount of acreage exceeds the proportionate share contribution for open space.

Payment of Development Impact Fees for Open Space Acquisition at the time of building permit issuance is typically required for residential development. However, since this project is contributing 104.47⁵⁰ acres, no dwelling unit shall be required to pay the impact fee for Open Space Acquisition. No reimbursement for Open Space dedication is available.

- Operation and Maintenance

Operation and maintenance of the open space areas will be financed by the CSD. An annual special tax of approximately \$45.00⁵¹ will be added to the property tax for each dwelling unit. This special tax will generate approximately \$25,000 per year toward operation and maintenance of the drainage facilities, roadway medians, park, trails, modified slopes and open space areas within the Murrieta Oaks Specific Plan area.

E. Special Conditions

1. Prior to the recordation of the first final map, the Murrieta Oaks Specific Plan shall annex into the CSD.
2. Trails shall be in place and open to the public prior to the occupancy of the adjacent dwelling units.
3. No Development Impact Fee for Open Space Acquisition is required.

⁴⁸ Development Impact Fee Calculation Report, August 1998, Ch. 9 - Open Space Acquisition, Pages 106-108

⁴⁹ 140.0 acres Developed Lots and Road R/W + 10.0 Ac Developed
150.0 acres x 0.107 OS Performance Standard = 16.05 acres of demand

⁵⁰ 46.62 Ac of Hillside OS + 28.45 acres of Modified OS + 8.77 acres of Fuel Modification OS = 104.47 Ac
(see Land Use Acreage Tables - Table 1 of this specific plan).

⁵¹ Jim Holston, Murrieta Parks Superintendent, June 1999

7.4.11 PARK LAND AND FACILITIES

For a complete description of Park Land and Facilities, refer to section 3.4.1 and 3.4.2 of this specific plan.

A. Performance Standard

- \$2,297.14 per Dwelling Unit⁵²

B. Project Impacts

- Project Demand for Improvements- \$1,286,398.40⁵³

C. Project Improvements

- Park Land to be Provided - Dedication of 5.13 Acres
- Trails to be Provided - Dedication and Construction of 2.2 Acres
- Total Value of Dedication - \$1,579,200⁵⁴
- The demand for facilities is provided on the Park Land Demand tables beginning on page 92.

D. Financing

- Capital Facilities -

Development within the Murrieta Oaks Specific Plan can mitigate against impacts to the Park Land and Facilities by the payment of Development Impact Fees at the time of building permit issuance. Based on a maximum number of 560 dwelling units, the amount of funding contributed to the Park Land and Facilities

Fund should be \$1,286,398.40. This amount is determined by multiplying the 560 family dwelling units by \$2,297.14.

Pursuant to future negotiations between the developer and the City of Murrieta, a credit or reimbursement may be available if the valuation of the land dedication and/or park improvements are greater than the impact fee amount.

- Operation and Maintenance

Operation and maintenance of the park site will be financed by the CSD. An annual special tax of approximately \$45.00⁵⁵ will be added to the property tax for each dwelling unit. This special tax will generate approximately \$25,000 per year toward operation and maintenance of the drainage facilities, roadway medians, park, trails, modified slopes and open space areas within the Murrieta Oaks Specific Plan area.

E. Special Conditions

1. Prior to the recordation of the first final map, the Murrieta Oaks Specific Plan shall annex into the CSD.
2. Until a parks facility improvement agreement is approved, a Development Impact Fee shall be paid for each dwelling unit prior to the issuance of each individual building permit.
3. A parks agreement shall be in place between the developer and the City of

⁵² Based on Park Land & Facilities Development Impact Fee, Development Impact Fee Calculation Report, August 1998, Schedule 2.1, page 26. Source: Jim Holston, Murrieta Parks Superintendent, November 1999

⁵³ 560 du * \$2,297.14 / du = \$1,286,398.40.

⁵⁴ This is an estimate for the purpose of this study only. Future negotiations will be required between the developer and the City of Murrieta. Assumes land valuation of \$240,000 per acre (source: Bob Lacoss, PDS West, September 1999). Formula - [(5.13 Ac + 2.2 Ac) x \$240,000] = \$1,579,200.

⁵⁵ Jim Holston, Murrieta Parks Superintendent, June 1999

Murrieta prior to the issuance of building permits for the 201st dwelling unit or the construction of the school site, whichever occurs first. Construction of the park site shall commence in accordance with the parks agreement.

Any park facility improvement agreement must specify the timing of the construction of the park, the specific amount of land dedication credit, and the specific amount of any credit or reimbursement available to the developer/builder.

4. Trails shall be in place and open to the public prior to the occupancy of the adjacent dwelling units.

MURRIETA OAKS SPECIFIC PLAN

Table 14

DEMAND FOR PARK LAND AND FACILITIES

*** FOR FACILITY PLANNING PURPOSES ONLY ***

YEAR	DWELLING UNITS PER YEAR	POPULATION	FACILITY DEMAND PER YEAR (DOLLARS)		
			DEVELOPMENT IMPACT FEE	PROJECTED IMPACT	CUMULATIVE IMPACT
1999	0	0	\$2,297.14	\$0.00	\$0.00
2000	0	0	\$2,297.14	\$0.00	\$0.00
2001	174	578	\$2,297.14	\$399,702.36	\$399,702.36
2002	135	448	\$2,297.14	\$310,113.90	\$709,816.26
2003	156	518	\$2,297.14	\$358,353.84	\$1,068,170.10
2004	95	315	\$2,297.14	\$218,228.30	\$1,286,398.40
TOTAL	560	1,859		\$1,286,398.40	\$1,286,398.40

NOTES

A parks agreement shall be in place between the developer and the City of Murrieta prior to the issuance of building permits for the 201st dwelling unit or the construction of the school site, whichever occurs first.

Construction of the park site shall commence in accordance with the parks agreement.

8.0 IMPLEMENTATION AND ADMINISTRATION

8.1 Specific Plan Amendments: The following changes require Specific Plan Amendments

- A. Increase in density /number of units.
- B. Area and boundary adjustment of Specific Plan.

8.2 Substantial Conformance: (The following may be approved by a Substantial Conformance by the Planning Commission).

- A. Changes in location of infrastructure (such as roadways, drainage facilities, etc.) that alters the spatial relationship of land uses.
- B. Changes in park amenities or locations (Changes can include but are not limited to the deletion of playing fields and/or equipment, or the addition of lighted fields, etc.).
- C. Combine Planning Area.
- D. Modify neighborhoods to reflect new Phasing Plan.
- E. The addition or deletion of text and graphics within the Specific Plan that do not fall within a scope of a Specific Plan Amendment as identified in Section 8.1 above..

8.3 Minor Adjustments

The following may be approved by the Development Service Director without a public hearing. The Director may refer any of these items to the Planning Commission (public hearing required).

- A. Density Transfer.
- B. The addition or deletion of text and graphics within the Specific Plan for administrative

corrections and that do not fall within the scope of a Specific Plan Amendment or Substantial Conformance, and does not have an adverse impact on surrounding properties.

C. The reduction in density or units within the Specific Plan.

D. Change of fence type location and material.

E. Change in landscaping materials and/or locations.

F. Minor changes of less consideration, that will have a lower impact in internal circulation design.

8.4 Processing Applications

A. All applications for implementing the project (i.e. Tentative Tract Maps, Development Plans, etc.) shall be processed per the Murrieta Municipal Code.

9.0 MITIGATION MONITORING CHECKLIST

The following Mitigation Monitoring Checklist for the Murrieta Oaks Project was prepared in conjunction with the Final Environmental Impact Report for the Proposed Murrieta Oaks Project (SP 98-102), SCH No. 99031094, prepared by The City of Murrieta and Affinis.

Mitigation Monitoring Checklist for the Murrieta Oaks Project *

Please note:

CM = Construction-related Mitigation (mitigation requiring monitoring during project construction, such as dust control or road improvements)

OM = Operational Mitigation (mitigation measures necessary to reduce impacts required for implementation of the project)

Mitigation Measure	Type	Monitor	Schedule
Aesthetics			
Development shall be clustered with lots situated on the flatter portions of the property, 70-80 ft below the major ridge line, preserving the dominant physical features on-site and consequently preserving the associated viewsheds.	CM	Engineering Division	Prior to issuance of a Grading Permit
Six-ft-high walls constructed of slumpstone or splitface masonry shall be constructed on the property frontage along the length of Clinton Keith Road, both north and south of the roadway.	CM	Planning Division	Prior to issuance of a Grading Permit
A minimum 50-ft setback along the Highland Neighborhood (northern portion of the site) frontage with Interstate-215 shall be maintained. A 6-8-ft-high masonry wall shall be constructed to block views of the development from north and southbound traffic on Interstate-215. Vines shall be planted to cover the walls, softening the visual impact.	CM	Planning Division	Prior to issuance of a Building Permit
Manufactured slopes shall be landscaped with variable gradients, clustered landscape elements, and rounded slope edges to lessen visual impacts.	CM	Engineering Division	Prior to issuance of a Grading Permit
Air Quality			
ROC emissions from painting and other architectural coatings, including asphalt, shall be minimized by using products with the lowest ROC content available that is feasible for the application and in conformance with SCACMD Rule 113, Architectural Coatings.	CM	Building and Safety Division	During construction

* Source: Final EIR for Murrieta Oaks Project (SP 98-102) - Prepared by The City of Murrieta and Affinis - May, 2000

<u>Mitigation Measure</u>	<u>Type</u>	<u>Monitor</u>	<u>Schedule</u>
While projected construction emissions of PM ₁₀ would not be significant, mitigation measures to minimize the generation of fugitive dust shall be followed. Project construction activities should conform to the requirements and recommendations contained in SCAQMD Rule 403, Fugitive Dust.	CM	Engineering Division	During construction
Exposed surfaces must be watered twice daily.	CM	Engineering Division	During construction
All haul roads must be watered twice daily.	CM	Engineering Division	During construction
Speeds on unpaved roads must be reduced to 15 miles per hour or less.	CM	Building and Safety Division	During construction
Construction and mobile equipment must be properly maintained.	CM	Building and Safety Division	During construction
Measures shall be incorporated into the proposed project to minimize adverse air quality impacts, as included in the requirements of SCAQMD Rules and Regulations or as recommended in the 1993 SCAQMD Air Quality Handbook.	CM	Planning Division	Prior to the issuance of a Building Permit
<u>Biological Resources</u>			
Although no mitigation is required for the loss of chaparral habitat, the project will retain 44.05 acres of this habitat on the ridge line which will be left in open space. The project will be required to purchase 29.5 acres of off-site habitat to mitigate the loss.	CM	Planning Division	Prior to issuance of a Grading Permit
Mitigation for un-occupied Quino habitat would be provided off-site at a 1:1 ratio, requiring purchase of habitat with suitable host and nectaring plants.	CM	Planning Division	Prior to issuance of a Grading Permit
The project will preserve 8.17 acres of riparian habitats (4.81 acres of oak woodland, 0.37 acres of southern willow scrub, 2.99 acres of riparian forest, and 0.0 acre of mulefat scrub) in open space, providing mitigation at a 1.3:1 ratio.	CM	Planning Division	Prior to issuance of a Grading Permit

<u>Mitigation Measure</u>	<u>Type</u>	<u>Monitor</u>	<u>Schedule</u>
A Tree Removal Permit will be required prior to removal of the four coast live oaks and single canyon oak. Mitigation will be determined by an appraised value report as required.	CM	Planning Division	Prior to issuance of a Grading Permit
The proposed project must obtain a permit from the U.S. Army Corps of Engineers for its fill in jurisdictional waters.	CM	Planning Division	Prior to issuance of a Grading Permit
A Streambed Alteration Agreement must be made with the California Department of Fish and Game. Habitat creation will be done in Drainage "A" and in the portion of Drainage "A" outside the project footprint on the parcel north of Clinton Keith Road. Plantings will be made within the existing channel, and the channel will be widened in areas to create additional habitat.	CM	Planning Division	Prior to issuance of a Grading Permit
<u>Cultural Resources</u>			
The developer shall make arrangements with the Pechanga Band to have Native American monitors present during grading activities. The Native American monitors shall be compensated by the developer.	CM	Planning Division	Prior to issuance of a Grading Permit
The developer shall make a good faith effort to enter into a Pre-Excavation Agreement, which is mutually acceptable to both the developer and the Pechanga Band, which will address any accidental discoveries of cultural resources and human remains uncovered during grading activities.	CM	Planning Division	Prior to issuance of a Grading Permit

Mitigation Measure	Type	Monitor	Schedule
Geology/Soils			
Remedial grading in the form of partial to total removal of alluvium and colluvium/topsoil and recompaction shall be used to alleviate the potential for settlement. Detailed soil removal quantities would be determined by the geotechnical engineer in conjunction with review of the final grading plan.	CM	Engineering Division	Prior to issuance of a Grading Permit
Cut and fill slopes shall be designed at inclinations of 2:1 or flatter.	CM	Engineering Division	Prior to issuance of a Grading Permit
Geologic observation during the grading process would identify potential boulder and rock fall areas that may be created by site grading. Stabilization fills, rock bolting or debris catchment areas are possible mitigation measures to be evaluated on a case by case basis.	CM	Engineering Division	During construction
The following standard engineering practices must be incorporated into the project in order to remedy constraints associated with development in areas of alluvial and colluvial soils and to reduce the potential for erosion during grading and construction:			
a) Fill slopes shall be landscaped as soon as practical to reduce the erosion potential.	CM	Engineering Division	During construction
b) Proposed structures shall be built in accordance with the current lateral force requirements of the Structural Engineers Association of California to reduce earthquake hazards.	CM		

Mitigation Measure	Type	Monitor	Schedule
<u>Fire Hazards</u>			
Fuel modification zones ranging from 100-150 ft from the adjacent property line, based on vegetation type, shall be created.	CM	Murrieta Fire Department	Prior to issuance of a Grading Permit
Access to the fuel modification zones shall be provided at a maximum of every 1,500 ft.	CM	Murrieta Fire Department	Prior to issuance of a Grading Permit
All high fire hazard plant species shall be removed.	CM	Murrieta Fire Department	Prior to occupancy
Tree branches shall be pruned up 6 ft.	CM/OM	Murrieta Fire Department/ Planning Division	Prior to occupancy
Plant material shall be pruned to a height of 18 inches.	CM/OM	Murrieta Fire Department/ Planning Division	Prior to occupancy
Manufactured slopes shall be planted with Fire Protection District List B and C recommended species.	CM	Murrieta Fire Department/ Planning Division	Prior to occupancy
Trees shall be placed at a distance of three times their mature diameter. Large shrubs shall be planted at 20 ft on center.	CM	Murrieta Fire Department/ Planning Division	Prior to occupancy

<u>Mitigation Measure</u>	Type	Monitor	Schedule
<u>Landform Alteration</u>			
Grading shall be minimized on slopes, ridges, and canyons.	CM	Engineering Division/Planning Division	Prior to issuance of a Grading Permit
Contour grading techniques shall be used wherever possible.	CM	Engineering Division/Planning Division	Prior to issuance of a Grading Permit
Cut and fill shall be balanced on-site.	CM	Engineering Division/Planning Division	Prior to issuance of a Grading Permit
Excess soil shall be used on-site.	CM	Engineering Division/Planning Division	Prior to issuance of a Grading Permit/ During construction
All grading and drainage system plans shall be prepared under the direction of a licensed Civil Engineer.	CM	Engineering Division	Prior to issuance of a Grading Permit
Slope variation and undulation shall be followed wherever possible to retain natural contours .	CM	Engineering Division	Prior to issuance of a Grading Permit
Existing dominant landforms shall be retained and incorporated into the project design.	CM	Engineering Division	Prior to issuance of a Grading Permit
<u>Land Use</u>			
Adherence to the Specific Plan, which identifies a minimum 50-ft wide setback between the northeastern portion of the project area and Interstate-215. The entire eastern portion of the project would be enclosed with a 6-to-8 ft-high masonry sound attenuation wall.	CM	Planning Division	Prior to issuance of a Building Permit
Adherence to the Specific Plan which identifies a 6-ft high masonry community wall between residential lots and Clinton Keith Road.	CM	Planning Division	Prior to issuance of a Building Permit

<u>Mitigation Measure</u>	<u>Type</u>	<u>Monitor</u>	<u>Schedule</u>
<u>Noise</u>			
The project would construct a 6-to-8 ft-high split stone or slumpstone wall along the perimeter of the property. Construction of this barrier would reduce exterior ground level impacts to below a level of significance.	CM	Planning Division	Prior to issuance of a Building Permit
Natural or artificial barriers shall be constructed at those areas of the project experiencing exterior ground level noise levels in excess of 60 dBA CNEL.	CM	Planning Division	Prior to issuance of a Building Permit
When development plans are generated, noise analyses shall be performed for all areas where exterior noise levels could exceed 60 dB CNEL to determine if noise mitigation would be required to meet City standards for exterior and interior noise levels.	CM	Planning Division	Prior to issuance of a Grading Permit
The City's noise standards for residential air conditioning shall be incorporated into development requirements.	CM	Planning Division	Prior to issuance of a Building Permit
<u>Recreation</u>			
The project would provide active and passive parkland improvements and shall pay a Developer Impact Fee to the City for parks and recreation.	CM	Community Services District	Prior to issuance of a Building Permit
<u>Schools</u>			
The applicant shall pay a developers fee of \$2.24 per square foot of habitable living space.	CM	Murrieta Valley Unified School District	0

Mitigation Measure	Type	Monitor	Schedule
<u>Traffic/Circulation</u>			
Project traffic impact mitigation measures shall consist of:			
a) Installing traffic signals at the intersection of Clinton Keith Road and Greer Road.	CM/OM	Engineering Division	When warranted by traffic or prior to the issuance of the building permit for the 400 th dwelling unit
b) Installing traffic signals at the intersection of Clinton Keith Road and McElwain Road.	CM/OM	Engineering Division	When warranted by traffic or prior to the issuance of the building permit for the 400 th dwelling unit