

CITY OF MURRIETA MURRIETA HIGHLANDS SPECIFIC PLAN



Murrieta Highlands

Specific Plan

SPM-1

Specific Plan Amendment No. 2

Murrieta Highlands

Specific Plan SPM-1 Specific Plan Amendment No. 2

**Prepared for:
City of Murrieta
1 Town Square, Murrieta, California 92562**

**February 16, 2016
City Council**

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SPECIFIC PLAN SPM-1 SIGNIFICANT DATES

- **PUBLIC REVIEW PERIOD BEGAN** April 29, 1995
- **PUBLIC REVIEW PERIOD ENDED** June 12, 1995
- **APPROVED BY PLANNING COMMISSION** August, 16, 1995
- **APPROVED BY CITY COUNCIL** September 19, 1995
- **FORMAL ADOPTION DATE** October 3, 1995

SUBSTANTIAL CONFORMANCE NO. 1

- **APPROVED BY PLANNING COMMISSION** July 28, 1999

SPECIFIC PLAN AMENDMENT NO. 1

- **APPROVED BY PLANNING COMMISSION** April 24, 2002
- **APPROVED BY CITY COUNCIL** June 18, 2002

SPECIFIC PLAN AMENDMENT NO. 2

- **APPROVED BY PLANNING COMMISSION** January 13, 2016
- **APPROVED BY CITY COUNCIL** February 2, 2016
- **ADOPTED BY CITY COUNCIL** February 16, 2016

I. I. INTRODUCTION AND OVERVIEW

A. DOCUMENT PURPOSE AND AUTHORITY

The Murrieta Highlands Specific Plan (MHSP) is a comprehensive regulatory tool to ensure the legal and orderly development of this four hundred nineteen acres (419 ac) neighborhood community located in northeast Murrieta (See Figure I-A, Location Map). The Specific Plan was prepared pursuant to the provisions of California Government Code Section 65450, which grants local planning agencies the authority to prepare Specific Plans for the implementation of their General Plan. As prepared, the MHSP is consistent with the Murrieta General Plan Land Use Plan and policies.

The Murrieta Highlands property will be developed in accordance with this Specific Plan, which consists of a map and text. This Specific Plan, as adopted by the Murrieta City Council is required for the systematic execution of the City's General Plan. The purpose of the MHSP is to supplement, clarify and, where indicated, supersede typical development regulations which are applied to development projects citywide. Specific procedures of the systematic implementation of the project are presented. Unless specifically discussed in the MHSP, existing City policies and ordinances apply to development within the Murrieta Highlands Specific Plan Area.

According to the State of California's Specific Plan Guidelines, a specific plan is a tool for the systematic implementation of a jurisdiction's General Plan. The MHSP is an implementation document of the General Plan and establishes land uses, development standards, zoning, architecture and landscape guidelines and public facility requirements for the Specific Plan Area.

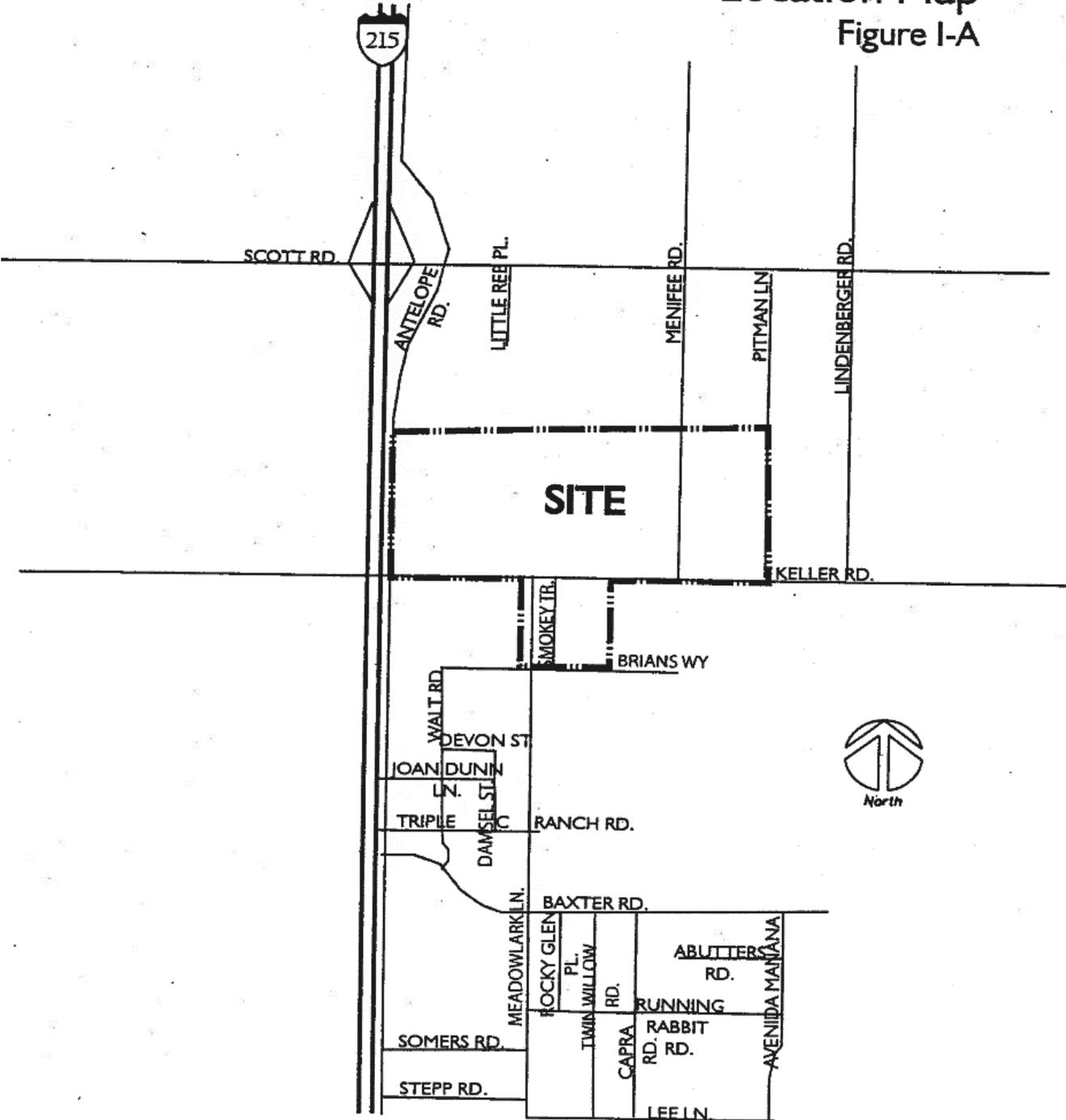
This Specific Plan contains three chapters. This first chapter summarizes the existing site conditions and describes the project features. Chapter two identifies the development standards for each land use district. Chapter three presents the Design.

B. LOCATION AND SETTING

The MHSP area is located in the northeastern portion of the City of Murrieta. The site is in the southern half of Section 23 and western half of the southwest quarter of Section 24 in Township 6 South, Range 3 West of the San Bernardino Base and Meridian USGS Romoland Quadrangle (See Figure I-B)¹.

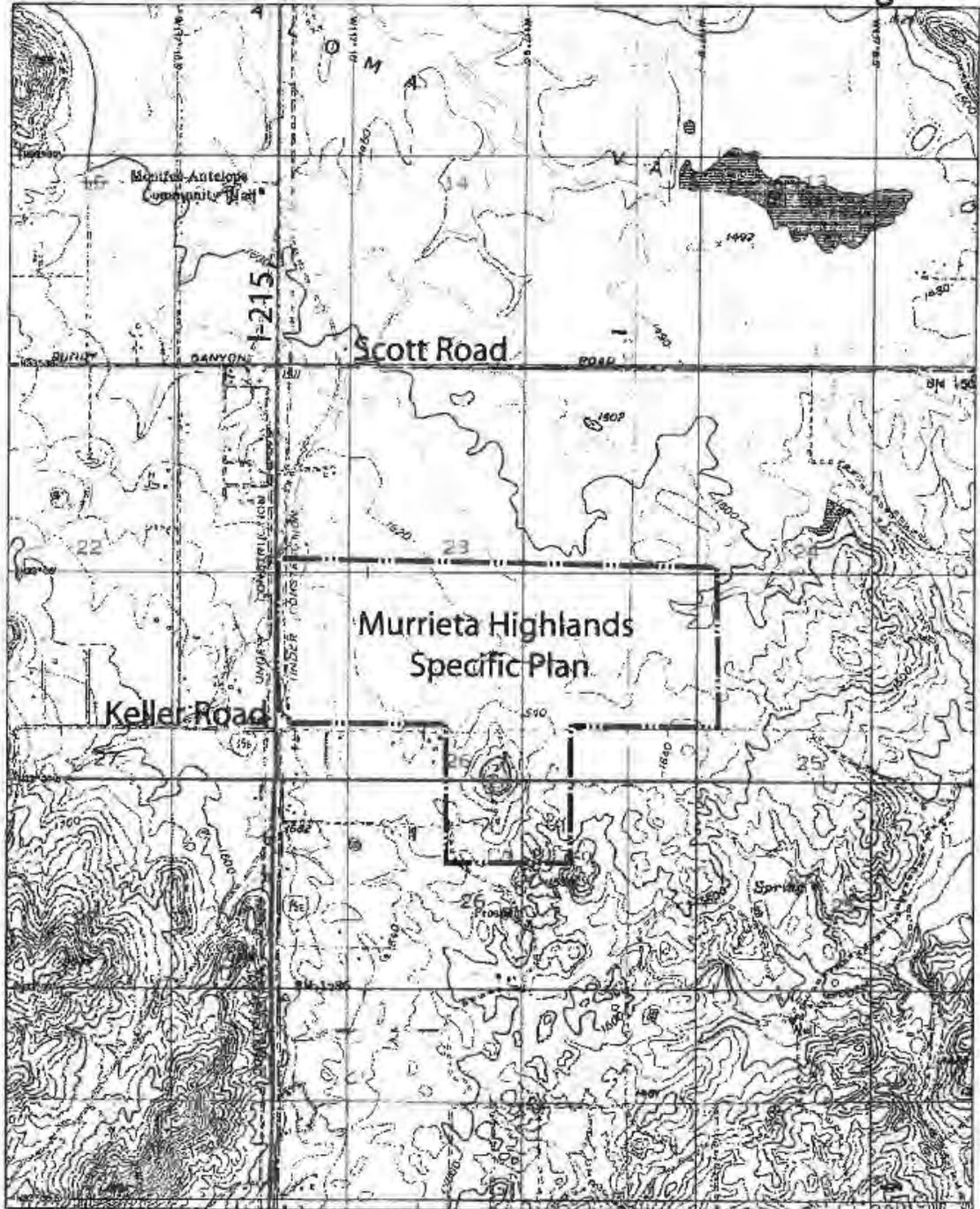
¹ For MU-2 Subarea 2, please refer to Figure I-A (SPA) located in Appendix A.

Location Map
Figure I-A



USGS Location Map

Figure I-B



3-D TopoQuads Copyright © 1999 DeLorme Vermont, ME 04066 Source Data: USGS 650 ft Scale: 1:22,400 Detail: 1:2 Detail: MADZ?

U.S.G.S.

Romoland and Murrieta Quadrangle



The site is northeast and adjacent to the intersection of Interstate 215 and Keller Road, approximately four miles north of the central portion of the City of Murrieta. Surrounding communities include Menifee, Wildomar, Perris, Hemet, and Sun City. Primary access to the site is from I-215. The property is bounded on the west by I-215; on the north by Scott Road and rural residential land uses; on the south by Keller Road and rural residential land uses and vacant land; and on the east by undeveloped land.

C. PROJECT ENTITLEMENT HISTORY

The Murrieta Highlands Specific Plan was approved by the City of Murrieta on September 19, 1995. At that time, the land encompassed by the Specific Plan was not within the incorporated limits of the City of Murrieta. On February 16, 1999 the Murrieta Highlands Specific Plan land area was annexed into the City of Murrieta. On July 28, 1999, the City approved Substantial Conformance No. 1 to modify the permitted land uses and lot sizes within the residential districts and revise the roadway system to be consistent with the General Plan Circulation Element.

Specific Plan Amendment No. 1: On June 18, 2002, the City of Murrieta City Council adopted Ordinance No. 255-02, amending Ordinance 151-95 and amending the Murrieta Highlands Specific Plan changing the Zoning Designation for approximately 19 acres from Multiple Use-2 (MU-2) to Multi-Family-2 (MF-2, 18 du/ac).

Specific Plan Amendment No. 2: Amends the Murrieta Highlands Specific Plan creating two (2) distinct subareas within the MU-2 Zoning Designation:

- Subarea 1 Commercial and Industrial Corridor and Subarea 2 Medical Center and Community Services.
- New permitted land uses within the MU-2 Zone includes hospital, urgent care, and other similar uses within Subarea 2
- Modifies the MU-2 development standards including building height up to 115 feet and a maximum floor area ratio (FAR) allowance of .75:1.
- Include a bike lane reclassification from a Class I to a Class II along Mapleton Avenue and Keller Rd.

This Amendment also includes revisions to original street descriptions and bike lane classifications to reflect the 2035 Murrieta General Plan adopted on July 19, 2011. Land use and development standard changes only apply to the MU-2 Zoning Designation; therefore, only the exhibits that pertain to the MU-2 Zoning Designation will be modified as part of this amendment.

In July of 2011, the City of Murrieta once again updated their General Plan and Zoning Code. This updated included the following land use policies regarding North Murrieta Business Corridor:

- Provide a mix of Office and Research Park and Commercial uses.
- Create a signature look as the northern gateway into the City.
- Become a major employment center in the northern part of the City.
- Provide high-quality and accessible health care in the City with the Loma Linda University Medical Center and medical related uses.
- Provide opportunities for a medical campus along with a high technology/office/research employment center in the area generally bounded by I-215 Freeway on the west, Keller Road on the north, Menifee Road on the east, and Clinton Keith Road on the south.
- Provide commercial uses that support medical, business, and employment needs in the Focus Area, such as restaurants or hotels

The amendment will provide opportunities that will serve as a catalyst for future growth and support services for the existing Loma Linda University Medical Center.

D. PROJECT GOALS AND OBJECTIVES

As previously stated, a specific plan is a tool for the systematic implementation of a jurisdiction's goals. The Murrieta Highlands Specific Plan has been prepared with the goal of creating quality neighborhoods that promote a strong sense of community. Further, it is the goal of this document to ensure the orderly development of a Master Planned Community and to serve as a blueprint for future development.

The strategy of the Murrieta Highlands Specific Plan (MHSP) is to provide guidelines for future development that are based upon sound community planning concepts. This plan provides a close integration and diversity of land uses that are within walking distances of each other. Retail, open space, recreation and an Elementary School site are centrally located adjacent to residential land use areas. This central location not only meets everyday needs of the residents, but also permits the coordination of a variety of future mass transit opportunities.

The MHSP will provide an efficient pattern of development that will assist in reducing automobile trips, traffic congestion and air pollution. Murrieta Highlands can become a self-reliant community within the City of Murrieta.

The following objectives support the overall goal and strategy for the Murrieta Highlands Plan:

1. To provide affordable home ownership opportunities, to existing and new residents of the City of Murrieta.
2. To create a mixed-use, pedestrian-oriented Master Planned Community.
3. To create livable neighborhoods within the overall Master Planned Community.
4. To create pedestrian friendly, safe and attractive Streetscapes.
5. To create a distinctive sense of community through high quality urban, architectural and landscape design.
6. To establish a plan which provides for the future population.
7. To develop an efficient street system that mitigates project related traffic and accommodates future mass transit.
8. To create flexible zoning standards.
9. To create a community that enhances the jobs-housing balance by providing job opportunities near housing.
10. To develop a community that is financially feasible and adds to the City of Murrieta's tax base.
11. To create a community that has a link to Murrieta's history through design and landscape materials that have been used historically in the community.
12. Implement "green" building features using the standards of the Green Guide and LEED certification or equivalent, as well as existing sustainable building strategies.
13. To provide the necessary infrastructure in accordance with the City of Murrieta and affected public agency goals and objectives.
14. To be consistent with the goals, objectives and policies of the Murrieta General Plan.
15. To provide a visually attractive Multi-purpose greenbelt that links neighborhoods and neighborhood parks together providing easy access for residents to both active and

passive recreation.

E. ENVIRONMENTAL DETERMINATION

A Final Environmental Impact Report (FEIR) was prepared in conjunction with the MHSP. The FEIR was prepared and certified with a statement of overriding considerations adopted under City Council Resolution No. 95-387 (SCH No. 93032090) on September 19, 1995, and an Addendum was prepared in August 1996. In September 1995, a Mitigation Monitoring and Reporting Program was adopted in conformance with the mitigation measures outlined within the FEIR. In July of 1999, a Specific Plan Substantial Conformance revision was completed. The Substantial Conformance was determined to be within the scope of the original EIR, Addendum, and Mitigation Monitoring and Reporting Program.

In November of 2015, a Project Specific and Program FEIR was prepared in conjunction with a Specific Plan Amendment to accommodate a multi-phased master planned medical center campus within the Commercial District of the MHSP. Future implementing projects shall prepare an Initial Study and the City of Murrieta, acting as lead Agency, shall determine the appropriate environmental determination, pursuant to the provisions of the California Environmental Quality Act (CEQA).

Major modifications to the Specific Plan uses not analyzed by the environmental documents may require a supplemental or subsequent EIR depending upon the requirements of the California Environmental Quality Act (CEQA). Minor modifications to the Specific Plan may not require additional review, especially if the modifications result in a reduced impact than what was anticipated in the EIRs.

F. FUTURE PROJECT CONSISTENCY

Adoption of the MHSP establishes the official development policy of the City of Murrieta for the Murrieta Highlands Specific Plan Area. All future actions such as discretionary approvals of Tentative Maps, Parcel Maps, Conditional Use Permits, Variances, Development Plans, and Development Agreements, as well as any ministerial actions such as building permits shall be consistent with the provisions of this Specific Plan. Where a conflict arises between the MHSP and a City Ordinance, this Specific Plan shall take precedence. Notwithstanding the foregoing, any conflict arising between the provision of this Specific Plan and a future Ordinance adopted solely for the purposes of public health or safety shall be reviewed by the City Attorney and/or City Planning Manager whose interpretations of the conflicting provisions shall take precedence. All existing City Development Code provision regarding administrative processing procedures for discretionary and ministerial permits shall be

utilized in order to implement the MHSP.

G. SEVERABILITY CLAUSE

If any term, provisions, covenant or condition of this Specific Plan shall be determined invalid, void or unenforceable, the remainder of this Specific Plan shall not be affected thereby to the extent such remaining provisions are not rendered impractical to perform, taking into consideration the purposes of this Specific Plan.

II. EXISTING CONDITIONS

The Existing Conditions Section of Chapter 1 provides an overview history, land use, streets and highways, property ownership, infrastructure, and natural resources. Natural resources topics include topography, soils, geology, biology, archeology, and paleontology.

A. HISTORY

The 419.02-acre Murrieta Highlands Specific Plan project area lies within the boundaries of historical "Antelope Valley." Antelope Valley is bordered on the north by Menifee Valley. Both Menifee Valley and Antelope Valley are historical dry farming areas with the land broken into large ranches. As farming became economically insupportable, some of the farms and ranches were sold to land developers and investors.

B. EXISTING LAND USE AND ZONING

In February of 1999, the MHSP property was annexed into the City of Murrieta. In July of 1999, the City of Murrieta updated their General Plan and Zoning Code. This update incorporated the subject property and identified a "Specific Plan" land use and zoning designation. In July of 2011, the City of Murrieta once again updated their General Plan and Zoning Code. This updated included the following land use policies regarding residential development:

LU-4.1 Provide for housing opportunities that address the needs of those who currently live or desire to live in Murrieta;

LU-4.2 Monitor the housing needs of the existing and future labor force and engage the business community to attract employees and new businesses to Murrieta; and,

LU-4.3 Locate multiple-family housing adjacent to jobs, retail, schools, open space, public transportation, and transportation corridors.

Figure 1-C illustrates the Murrieta General Plan and Zoning Map².

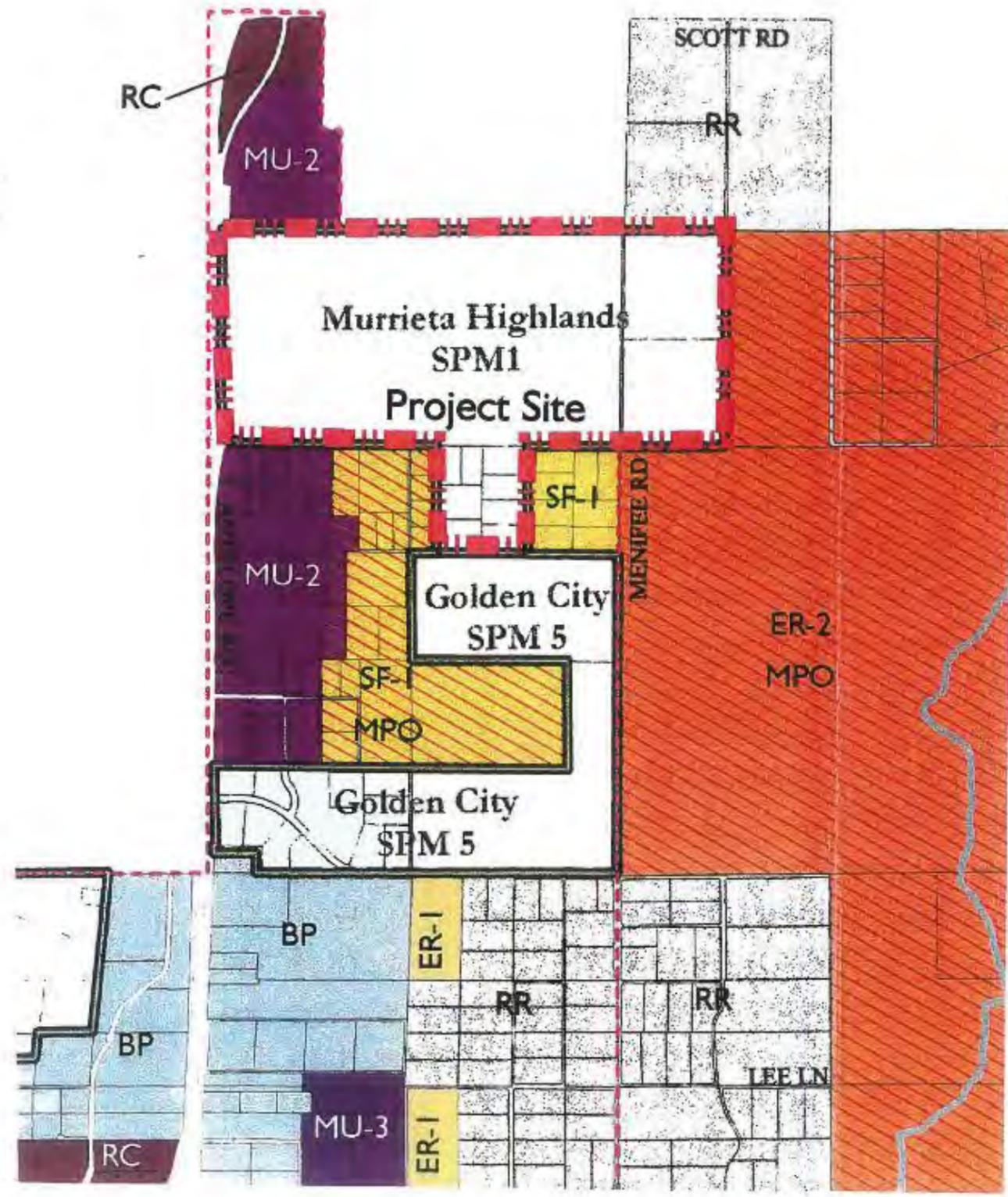
C. STREETS AND HIGHWAYS

Interstate I-215 borders the Western boundary of the Specific Plan along Antelope Road. A freeway underpass is located just west of the intersection of Antelope and Keller Roads.

² For MU-2 Subarea 2, please refer to Figure I-B (SPA) located in Appendix A.

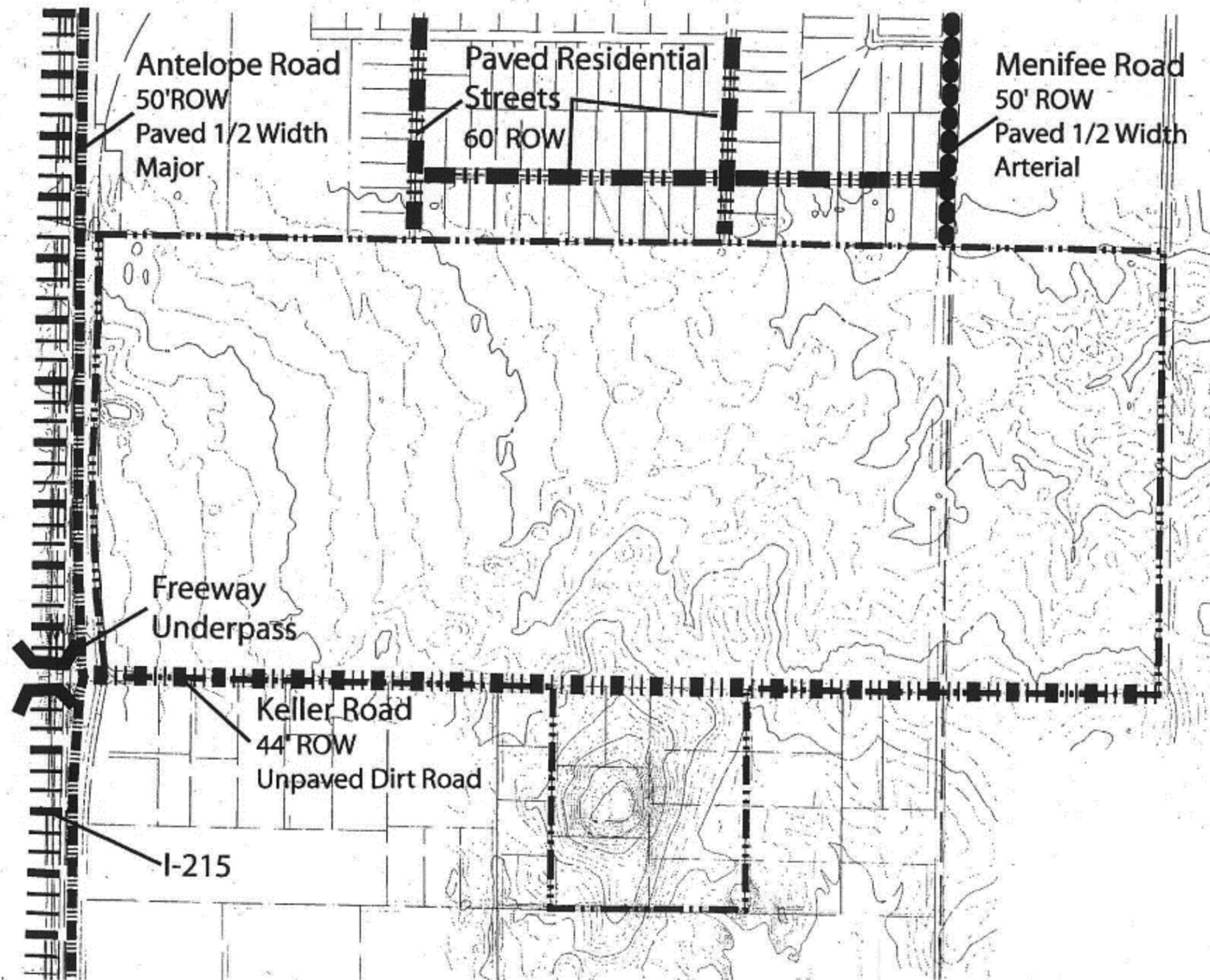
Antelope Road is currently paved as a two-lane road, approximately twenty-four feet (24') wide. The ultimate width of Antelope Road is one hundred foot right-of-way (100' ROW). Keller Road is also paved as a half width road from Antelope Road west to the intersection of Zeiders Road. At full width, Keller Road will become hundred-ten foot right-of-way (110' ROW). North of the site, Menifee Road is paved within a fifty-foot right-of-way (50' ROW) half width right-of-way and stubbed on the North side of the project. Menifee Road and Antelope Road will become major parallel corridors to I-215 when built out. Menifee Road, Meadowlark Road (south of Keller Road) and Antelope Roads connect to Scott Road on the north on and to the south on Clinton Keith Road. These two major east-west corridors access onto I-215 at existing freeway interchanges. The extension of Keller Road east of Antelope is on a dirt street section (Refer to Figure I-D, Existing Streets and Highways)³.

³ For MU-2 Subarea 2, please refer to Figure I-C (SPA) located in Appendix A.



**General Plan/
Zoning Map
Figure I-C**

- RR Rural Residential (2.5 acres)
- ER-1 Estate Residential 1 (1 acre)
- ER-2 Estate Residential 2 (.5 acres)
- SF-1 Single - Family 1 Residential (7,200 sf)
- RC Regional Commercial
- BP Business Park
- MU-2 Multiple-Use 2
- MU-3 Multiple-Use 3
- MPO Master Plan Overlay
- SPM Specific Plan Murrieta



Streets and Highways
Figure I-D

Note: There are no existing Right-of-Ways within the Boundary of the Murrieta Highlands Specific Plan.

Paved residential streets are stubbed into the J-Bar project on the northern border of the Specific Plan.

D. PROPERTY OWNERSHIP

The Murrieta Highlands Specific Plan has four (4) different ownerships. These ownerships are represented by different major parcels. These parcels and their representative ownership's are:

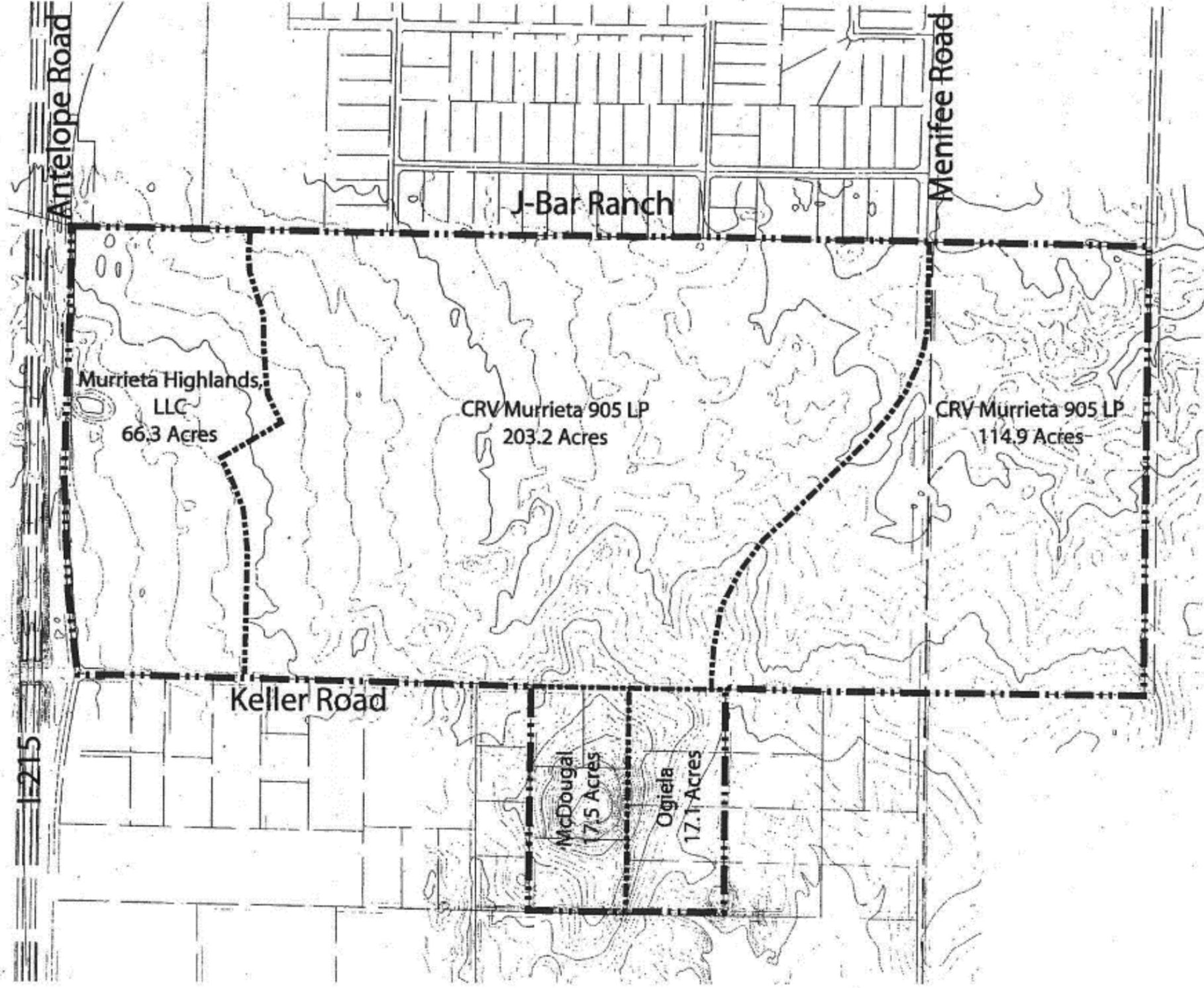
Parcel #	Current Land Owners	Acres
1.	CRV Murrieta 905 LP	318.10+/-
2.	Murrieta Highlands, LLC	66.30+/-
3.	McDougal	17.50+/-
4.	Ogielal	17.10+/-
	Total	419.00+/-

The Murrieta Highlands, LLC parcel is bordered by Antelope Road on the west, Keller Road on the south, the CRV Murrieta parcel on the east and J-Bar Ranch on the north. The CRV Murrieta parcel is bordered by the Murrieta Highlands, LLC parcel on the west, Keller Road on the south, and the La Jolla Pacific Equities Property on the east. The Ogiela/McDougal parcels are bordered by the CRV Murrieta parcel on the north, smaller multi-owned parcels on the east and west, and the Golden City, LTD Specific Plan on the south (Refer to Figure I-E).

E. INFRASTRUCTURE

Existing infrastructure includes proximate water and sewer lines, plus on-site or adjacent paved roads. Adjacent utilities include electricity, telephone, and gas (See Figure I-F).

Property Ownership
Figure I-E



Water: The entire project is within the Eastern Municipal Water District (EMWD). The only water line in close proximity is a twelve-inch (12") water line at the intersection of Keller and Zeiders Roads, which does not have the capability to serve Murrieta Highlands. The closest water line with the capability to serve the project area is the forty-eight inch (48") water line in Leon Road, approximately 10,000 feet to the east along the Keller Road alignment⁴.

Sewer: The only sewer facility in close proximity is an existing ten-inch (10") sewer line in Bellamy Road approximately two thousand five hundred feet (2,500') to the north in the J-Bar Ranch subdivision. This is the only existing facility available to serve the project area⁵.

Roads: Antelope Road (paved) runs parallel to the western project boundary for one-half mile. Menifee Road is paved from Scott Road to the project site. Keller Road is an improved dirt road along most of the southern boundary of the project.

Other Utilities: Southern California Edison, General Telephone Company, and the Gas Company are service providers to the project site. Service is available to the project site but must be expanded to meet the demand of future development.

Easements: There are no existing utility or road easements on site.

F. NATURAL RESOURCES

Topography/Slope Analysis: The Murrieta Highlands Specific Plan has two main topographic areas. The largest area is the three hundred eighty five acres (385+/- ac) north of Keller Road that is almost flat to gently sloping (0-15% slope). From west to east, the predominantly flat area ranges from a high of 1560+/- near I-215 to approximately 1480+/- on the eastern project border. (Refer to Figure I-G)⁶.

The southern topographic area can be described as having steeper slopes descending from a small but prominent knoll. In total, the thirty-five acre

⁴ For MU-2 Subarea 2, please refer to Figure I-D (SPA) located in Appendix A.

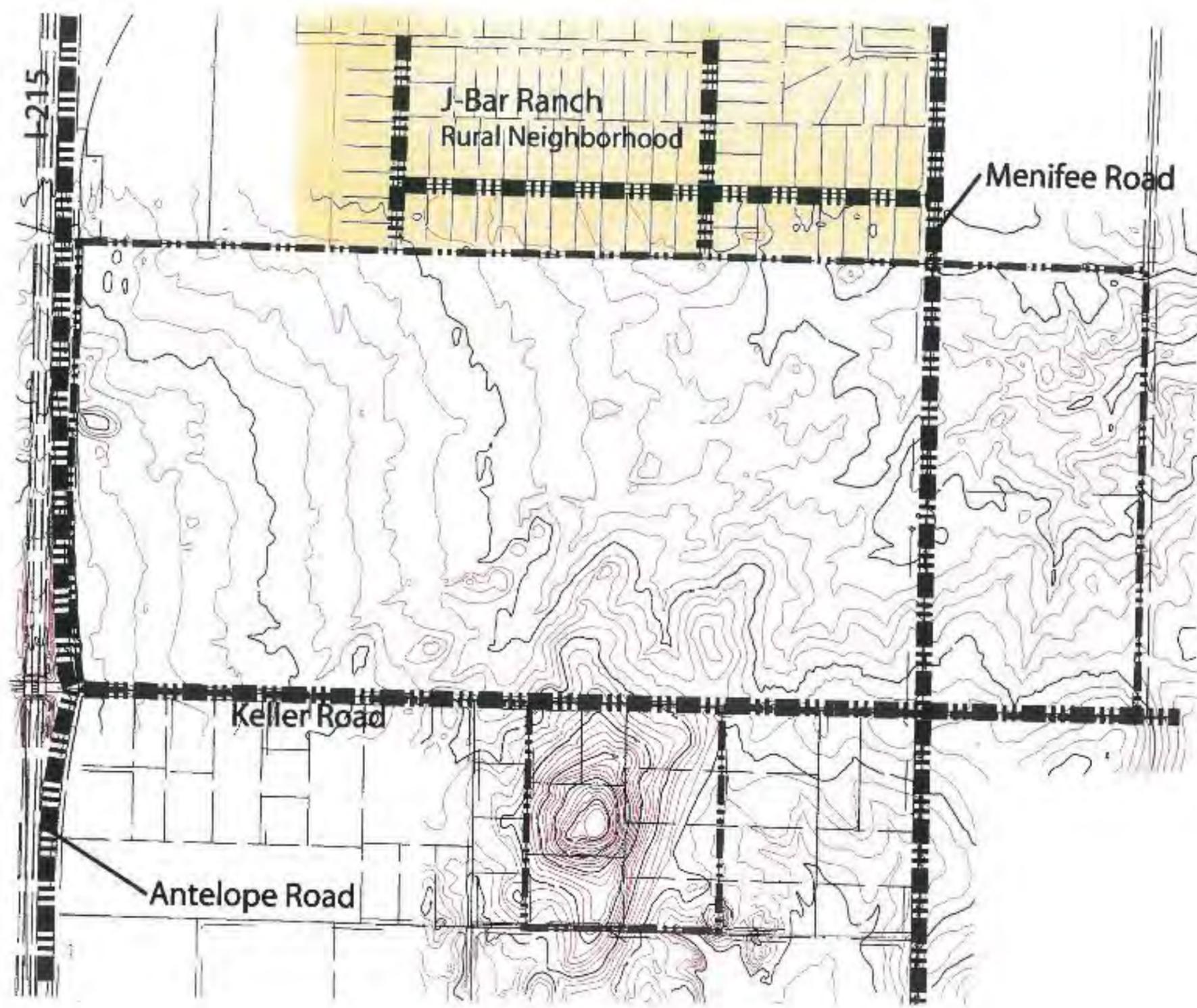
⁵ For MU-2 Subarea 2, please refer to Figure I-E (SPA) located in Appendix A.

⁶ For MU-2 Subarea 2, please refer to Figure I-F (SPA) located in Appendix A.

(35 ac) area (parcels 3 & 4) can be broken down into the following slope categories, including:

% of Slope	Acres
0-15%	18.0
12-25%	11.3
25+%	6.0
TOTAL	35.3+/-

Source: Real Estate Research



Existing Infrastructure
Figure I-F

- Rural Water & Sewer
- Road Easements

The balance of the property, 383.72+/- acres, consists of flat 0-15% slope gradient. The vast majority of the site has a slope gradient of 0-4%.

The elevation at the top of the knoll is 1620' according to flood control topo. The elevation drops to approximately 1500' on the northeastern border of the project area, which amounts to an overall difference in elevation of the thirty five acre (35+/- ac) site of almost 140' vertical feet.

Soils And Geology: The site has been considerably disturbed by past agricultural activities. A large portion of the property consists of cultivated pastures, The site has elevations ranging from a high of approximately 1,620 feet above Mean Sea Level (MSL) on the southern knoll, south of Keller Road, to a low of approximately 1,480 feet MSL in the northeast corner, and from flat valley areas to some limited slope areas. Portions in the north of the proposed project site currently drain to the Paloma Drainage Basin. The southern portion of the site drainage represents tributaries to Warm Springs Creek and ultimately drains southwestward towards Murrieta Hot Springs. A basin occurs at the convergence of Antelope Road and Mapleton Road. The feature appears in aerial images dating back to 1938 and appears as a closed depression on topographic maps dating to 1954.

The Geotechnical study identified four surficial soil types on the property. The study also observed three formational geologic units observed during the field reconnaissance. The surficial deposits onsite consist of undocumented fill, topsoil and slope wash. The geologic units identified include Dominigoni Valley and Woodson Mountain Granodiorite, San Marcos Gabbro and Bedford Canyon Formation (Refer to Figure I-H)⁷.

Undocumented Fill (Qudf): The fill soils observed on, or adjacent to, the site is primarily associated with the agricultural-related activities such as small embankments, gravel roads, or I-215 along the western portions of the site.

Topsoil (Unmapped): These soils are described as very similar to, and often indistinguishable, from the slope wash materials.

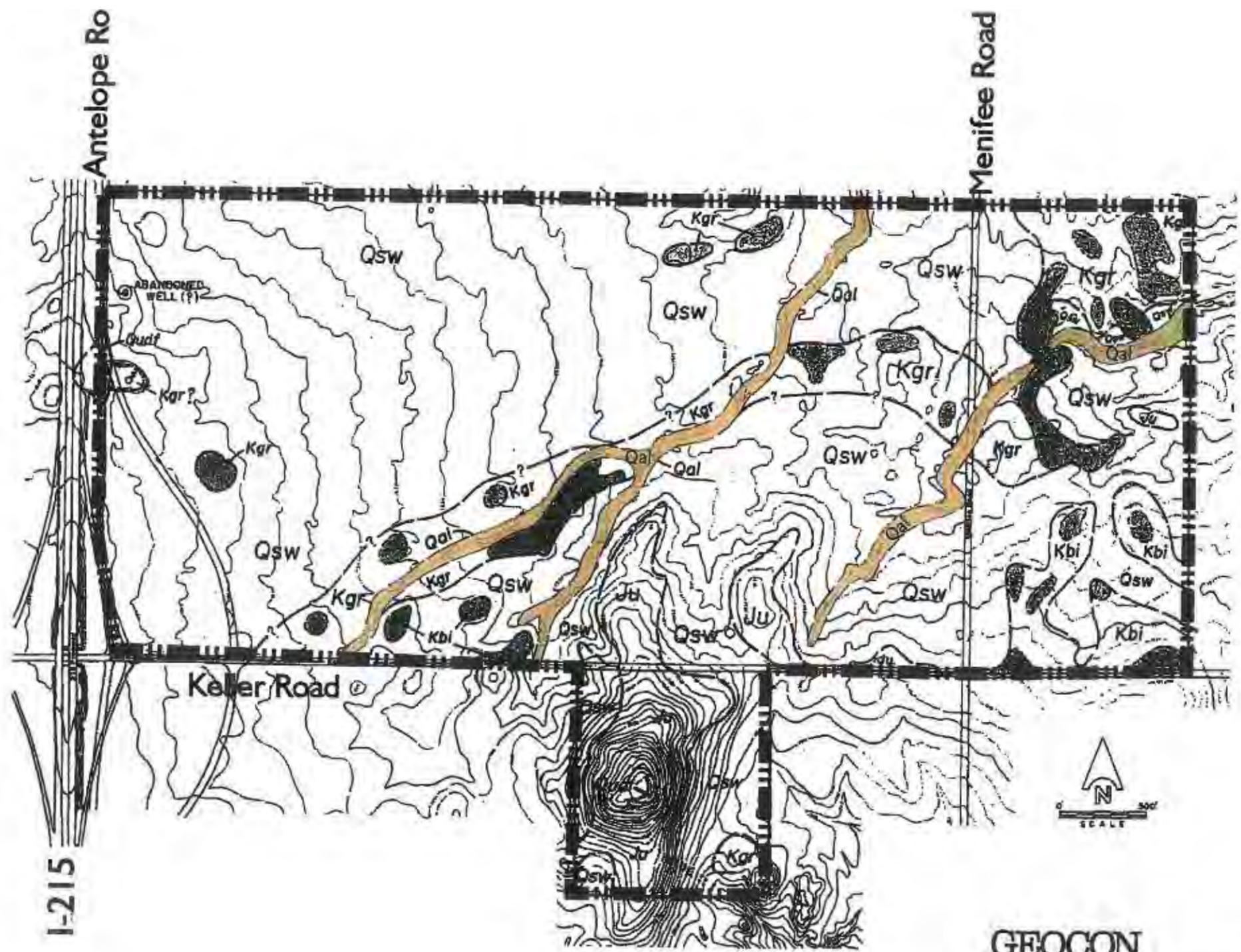
Slope wash (Qsw): Slope wash and colluvial soils were found to occur along the side slopes of the onsite hills and within the upper portions of the drainage's over a significant portion of the site. These deposits typically consist of soft to stiff, dark brown, sandy clay to loose, silty, coarse sand.

Alluvium (Qal): Alluvium, consisting of loose to soft, dark brown,

⁷ For MU-2 Subarea 2, please refer to Figure I-G (SPA) and Figure I-I (SPA) located in Appendix A

silty, coarse sand to stiff, sandy clay occurs as elongated diagonal bands within drainage courses, trending southwest-to-northeast across the central and eastern portions of the site.

Geologic Conditions
Figure I-H



- LEGEND**
- Qudf — UNDOCUMENTED FILL
 - Qal — ALLUVIUM
 - Qsw — SLOPEWASH / COLLUVIUM
 - Kgr — DOMINIONI VALLEY GRANODIORITE
 - Kbi — SAN MARCOS GABBRO
 - Ju — BEDFORD CANYON FORMATION
 - — PROBABLE SHALLOW NONRIPPABLE BEDROCK
 - — SPRING OR POTENTIAL SEEPAGE CONDITION

GEOCON
INCORPORATED

GEOTECHNICAL ENGINEERS AND ENGINEERING GEOLOGISTS
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PHONE 619 526-6000 — FAX 619 526-4169
FILE NO. 20006-07-01
FIG. 2

AEI • CASC

Dominigoni Valley Granodiorite (Kgr): This Cretaceous age, intrusive, crystalline rock is present in a northeastern to southwestern diagonal band across the site and is further characterized by outcrops of light-gray, resistant boulders, and solid "knobs" of bedrock. These areas represent the least fractured or weathered bedrock unit on the site. The geologists feel that it is likely to have low rippable potential in excavations at shallow depths.

San Marcos Gabbro (Kbi): These intrusive crystalline, moderately to intensely weathered, coarsely crystalline, hornblende-rich rocks were found to underlie the south central and southeast corner of the site.

Bedford Canyon Formation (Ju): Bedrock of a met sedimentary nature from the Jurassic age was found to underlie the higher elevations of the hills along the south-central margins of the site. Where observed, this unit consisted of a moderately weathered, foliated, light brown to gray, fine to medium grained argillite or metamorphosed shale.

Botanical Resources: There are six types of vegetation habitats identified onsite during the field survey (See Figure I-1, Biological Resources): Riversidian Sage Scrub, Chamise Chaparral, Disturbed Annual Grassland, Disturbed Field (Agricultural), Rock Outcrops (vegetation within rock formations) and Southern Willow.

There are a total of over ninety-four-plant species detected onsite. Seventeen of those identified on the three-hundred eighty-seven-acre (387 ac) portion of the site are not native to the region, while twenty-three of the species identified on the southern forty acres (40 ac) are invasive.

Based on the disturbed state of the site and the observations made during the field survey, a limited number of sensitive plants were observed and/or are expected to occur on the site.

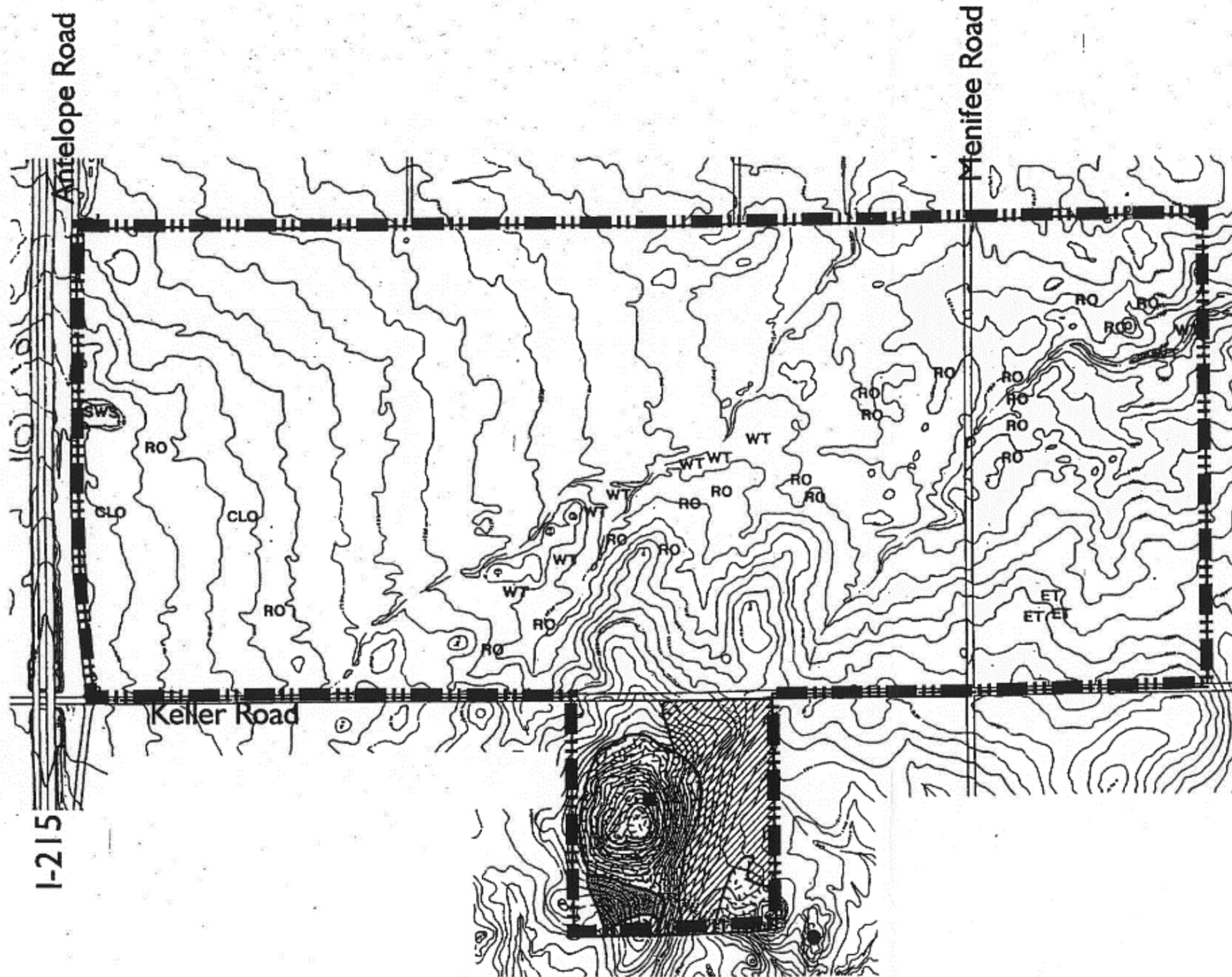
Zoological Resources: Four types of general habitats were delineated onsite: Disturbed Field, Rock Outcrop, Southern Willow Scrub, and Scattered Trees.

The field survey identified seventeen species of birds onsite or flying over the site. Of these, six are considered to be winter visitors and would not be anticipated to breed onsite. Some of the species observed onsite were the American Kestrel, Yellow-Rumped Warbler, Mourning Dove, Northern Mockingbird, white-crowned Sparrows, Western Meadowlarks, Savannah Sparrows, a Rock Wren, two flycatchers, two Killdeers, a Red-tailed Hawk,

Northern Harrier, California Towhee and House Finch. A Golden Eagle was observed flying in the area and perched on a boulder offsite.

Biological Resources

Figure I-1



LEGEND

-  RIVERSIDIAN SAGE SCRUB
-  CHAMISE CHAPARRAL
-  AGRICULTURAL LANDS
-  DISTURBED FIELD
- SWS SOUTHERN WILLOW SCRUB
- WT WILLOW TREES
- ET EXOTIC TREES
- CLO COAST LIVE OAK
- RO ROCK OUTCROP
-  RUFOUS-CROWNED SPARROW
-  GOLDEN EAGLE PERCH SITE

Four California Ground Squirrels were observed onsite and burrowing activities indicate that additional individuals are present. There appeared to be mounds from Botta's Pocket Gophers in the easternmost portion of the site. In the areas protected from disking, burrow configurations consistent with those known from kangaroo rats were observed.

Other mammals detected were Desert Cottontail, Gray Fox, and Coyote. Due to the lack of foraging areas on the site, the presence of these mammals is considered to being limited.

The southern portion of the site delineated by the areas of Riversidian Sage Scrub was determined to be of poor quality and the survey determined there were no California Gnatcatchers in the area.

See the draft EIR for a complete biological analysis and mitigation measures to minimize impacts.

Archaeological: In October 1991 an archaeological records check and survey were undertaken for the proposed Murrieta Highlands Specific Plan project to determine whether any cultural resources might be impacted by the proposed development. In April 1992 an addendum was prepared for the addition of the forty-acre (40 ac) parcel south of Keller Road. The Studies included a surface survey of the site and a records search of the archaeological site records on file at the Eastern California Information Center at the University of California, Riverside campus.

Prehistoric Background: The literature surveys conducted for the proposed project identified three archaeological sites that had previously been recorded on the site. Ruth Musser for the Archaeological Research Unit at the University of California, Riverside, conducted the earlier survey of portions of the site in the vicinity of Menifee Road in 1978. The two archaeological sites identified in the Musser Survey were a prehistoric milling station and an historic building foundation. Portions of the forty-acre (40 ac) parcel were surveyed in 1978 by Robert Laidlow and recorded one archaeological site. A site survey found the following:

CA-RIV-1558

This site was originally recorded by Musser in the 1978 survey and consisted of two (2) loci of prehistoric milling activity. The present survey was only able to relocate one (1) of the two (2) loci. This site, CA-RIV 1558(b) consists of one (1) low-lying granite boulder with five (5) slicks, a second one with four (4) slicks and a fairly extensive scatter of quartzite debitage. An exhaustive search for the second loci, CA-RIV-1558(a) failed to find any trace of the site.

CA-RIV-1559

This site consists of the remnants of a stone and mortar wall, a stone foundation, numerous scraps of iron and sheet metal and a few fragments of glass.

KAHN-1

This site, consisting of a single large boulder with two slicks ground onto its surface, was the only site-discovered onsite during the present field survey. There were no artifacts observed in the vicinity of the boulder.

CA-RIV-1803

This site, originally recorded by Laidlow, consists of two (2) loci of prehistoric milling activity and midden of unknown depth. The site is considered to be part of RIV-1074, a complex site to the southeast. Three grinding slicks were observed on one boulder and multiple slicks were recorded fifty feet (50') from the main loci.

Paleontology: A paleontological literature survey was undertaken for the vicinity of the subject site. The literature survey consisted of a review of the professional literature on record pertaining to the project region and site. The records of the Regional Paleontologic Locality Inventory for the area indicate no previous paleontology field assessments have been conducted on the subject parcel.

The geologic mapping in the area was done in 1965, according to the South Coast Geological Society, 1982. This mapping indicates that Mesozoic migmatite occurs on the subject site and that rock formations of Bonsall Tonalite occur in the Bernasconi Hills to the northwest and the Hogback formations to the south. These rocky formations are overlain by alluvium deposits on the site and by clays to the east of the site. These soil combinations do not yield high levels of paleontological resources. The EIR incorporates mitigation measures to ensure that impacts to archaeological and paleontological are minimized and/or avoided.

III. MURRIETA HIGHLANDS COMMUNITY DEVELOPMENT PLAN

COMMUNITY DEVELOPMENT CONCEPT

The City of Murrieta General Plan provided the land use foundation for the Murrieta Highlands Specific Plan. The purpose of the General Plan Land Use Element is to plan the location and intensity of future development within Murrieta while maintaining orderly growth and economic vitality with community character, historical identity, and the stewardship of natural resources.

The intent of the Murrieta Highlands Specific Plan is to create a community with characteristics such as comfortable tree-lined streets, the potential for work and shopping needs in close proximity and an abundance of parks and open spaces. The goals and standards of this Specific Plan are based on community values and offer a successful future direction.

The community development concept for the Murrieta Highlands Specific Plan is based upon proven planning techniques where a sense of "community" is developed through the use of pedestrian oriented "paseo systems" or walkways combined with and leading to open space, park sites, school sites and other community amenities. The Murrieta Highlands Specific Plan incorporates the Multi-purpose Greenbelt system where children can go to school without crossing streets, where traffic is slowed to minimum speeds and where cul-de-sac streets provide access to individual neighborhoods within the development all connected to this linked greenbelt system. Community development concepts are discussed in this section. The discussion will include the overall project design, master landscape plan and the master grading plans. Also discussed are sections on Air, Water Quality, and Transportation and Congestion Management Plans.

A. OVERALL COMMUNITY DESIGN

The Overall Community Plan is illustrated in Figure 1-J⁸. As shown, the plan consists of Residential, Commercial/Industrial, Neighborhood Parks, an Elementary School Site, a Multi-purpose greenbelt, including a major trail system (with equestrian trail where appropriate) and Open Space uses.

The design of the Murrieta Highlands community is based with the residential neighborhood in mind, where neighbors are friendly and they have a stake in essential foundation of the communities in which they live. Murrieta Highlands supports this concept by providing the fundamental

⁸ For MU-2 Subarea 2, please refer to Figure I-H (SPA) located in Appendix A.

and essential ingredients of neighborhoods. These ingredients are safe, walkable streets connecting homes to shopping, recreation, school, and employment and activity areas. As in historic towns, the accommodating mix of uses fosters a strong sense of community and a convenient lifestyle for residents of all ages. Parks and open spaces are distributed throughout the neighborhoods. They are designed as settings for informal social activity and recreation. Locations for a future Elementary School and Neighborhood Park sites are provided as the community focus. The Multi-purpose Greenbelt will serve to draw residents together.

Communities within these neighborhoods have a strong sense of place. This sense of place is reinforced by the linkage of architecture and landscape design. Murrieta Highlands accomplishes creation of a sense of place by using a collector street system providing access to a series of short cul-de-sacs. The internal collector streets will not have units fronting on them; cul-de-sac streets are designed to reduce traffic, as they will be primarily for residents. The Murrieta Highlands street layout is combined to work in conjunction with the pedestrian oriented Multi-purpose Greenbelt system. Further, the plan is one that can become readily familiar and comfortable to most people. Distances within the neighborhood are defined by walking time.

Architecture is vital to the character of this master planned community. The Murrieta Highlands architectural theme is based upon historical forces present in Murrieta and Southern California. The architectural materials are equally important to the style. The Design Guidelines for this Specific Plan suggests the use of the California Craftsman, California Ranch or Spanish Eclectic styles for residential, commercial, and Industrial uses; with contemporary modern architecture for freeway and Keller Road oriented buildings.

B. MASTER LANDSCAPE PLAN

The master landscape concept for Murrieta Highlands uses the landscape palette to identify the hierarchy of land uses and the transportation corridors. These corridors include a super arterial highway to interior residential streets as well as the Multi-purpose Greenbelt. The large trees that are planned will provide shade within these landscaped corridors as well as ameliorate the high summer heat and dry winds. The corridors will also create defined edges and transitions within and between land uses.

Landscaping is a key element of the greenbelt, pedestrian walkway/bicycle path and the streetscape. The greenbelt is a primary landscape feature of the Murrieta Highlands Specific Plan. It creates an open space corridor throughout the community. The community's northern and eastern boundary will be defined by a linear grouping of trees. This

grouping will consist of a hedgerow of Poplar Trees. The greenbelt will collect the urban runoff, provide recreational opportunity and act as a buffer to adjacent land uses.

The second major concept for Murrieta Highlands is the use of plant materials that are readily recognized and admired in older Southern California neighborhoods. Use of these familiar materials provides a relaxed sense of place. Further, these materials are generally drought tolerant. The use of native and low water use plant materials is mandatory as well as consistent with the goals and objectives of the City of Murrieta General Plan.

The goals of the Landscape Plan are to:

- Use plant materials that will visually identify neighborhoods while blending them into the larger community.
- Insure that landscaping considerations include low water consumption and erosion control.
- Mitigate high summer heat and dry desert winds.

C. LANDFORM GRADING PLAN

The Murrieta Highlands site consists of relatively flat terrain gently sloping to the north and east which will provide the opportunity to minimize changes to the natural topography. Nevertheless, except for the prominent knoll south of Keller Road, the entire site will be mass graded to fully accommodate the Specific Plan. (see Conceptual Grading Plan Figure I-K). It is anticipated that grading will be balanced within the limits of this project.

The Murrieta Highlands Conceptual Grading Plan establishes the general design basis for the appropriate treatment of the grading and drainage improvements required for this site. It also accommodates a street system that meets standards used in this region for acceptable street grades.

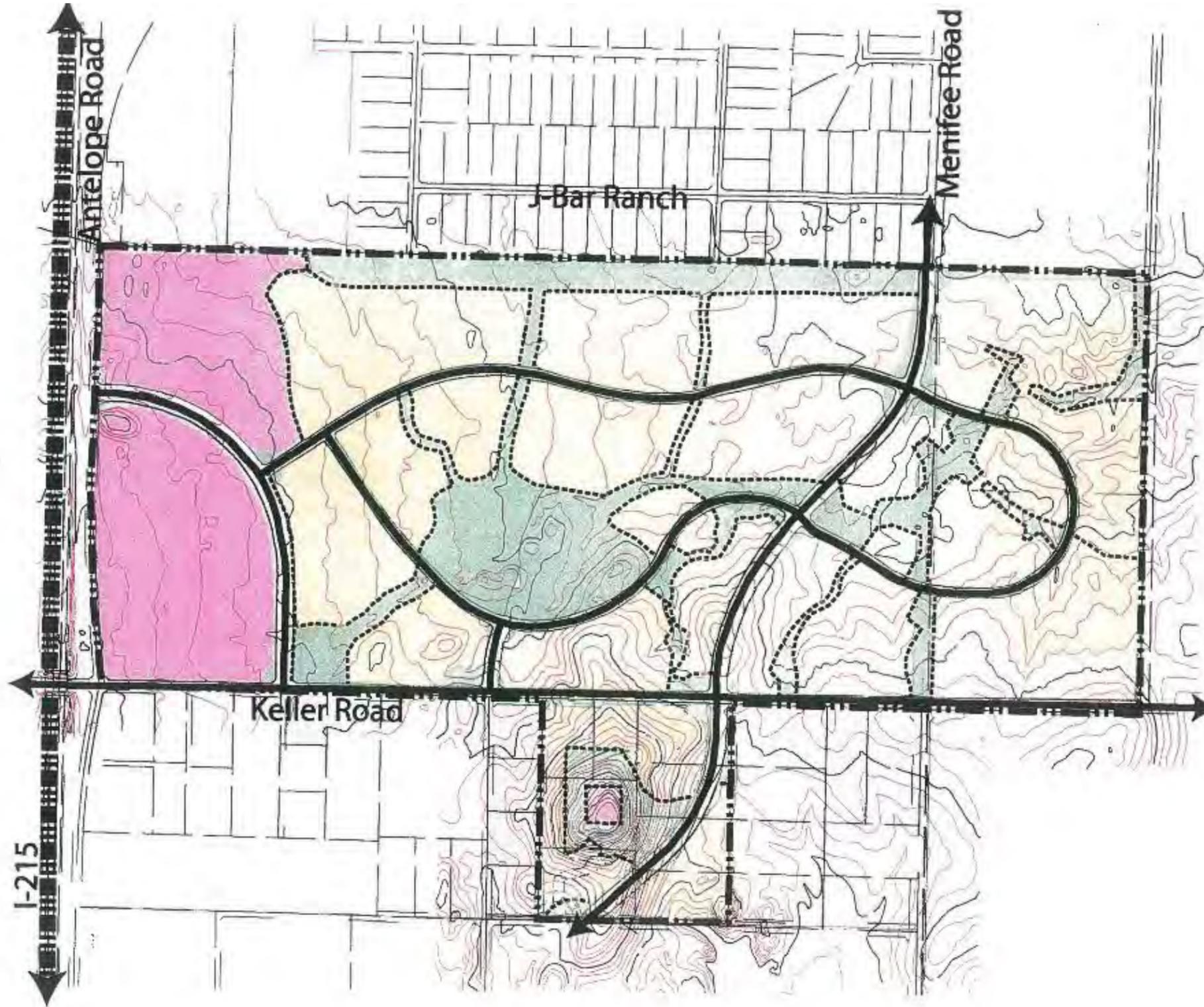
D. AIR QUALITY IMPROVEMENT PLAN

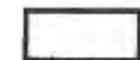
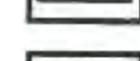
The project area is located in the South Coast Air Basin (SCAB), and Jurisdictionally, it is the responsibility of the South Coast Air Quality Management District (SCAQMD) and the California Air Resources Board (CARB) to regulate it. SCAQMD, in coordination with the Southern California Association of Governments (SCAG), have adopted the 1991 Air Quality Management Plan (AQMP), which is the current framework for achieving attainment of federal and state air quality standards in the

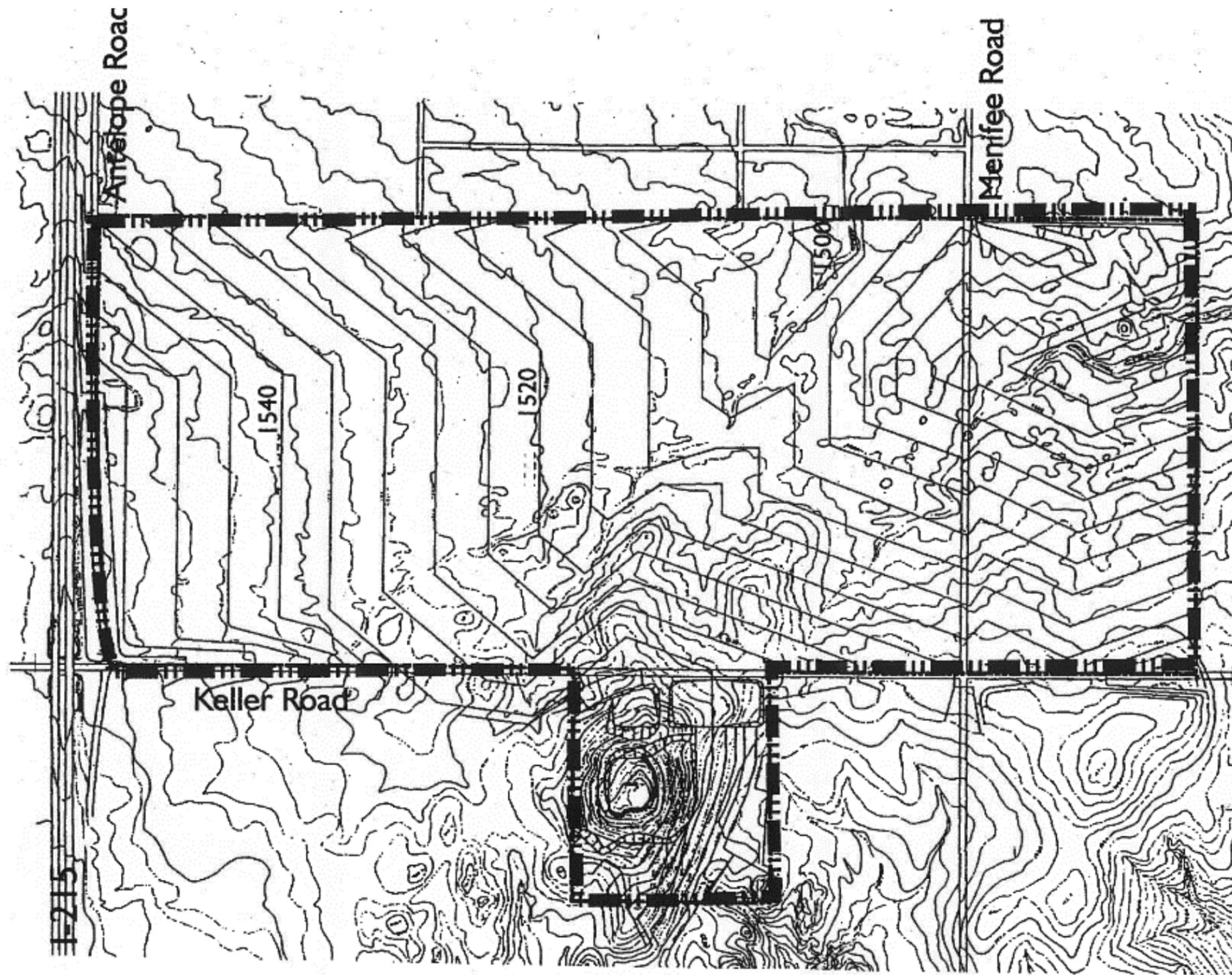
SCAB.

The 1991 AQMP is complementary to two (2) other planning documents developed by SCAG: the Growth Management Plan (GMP) and the Regional Mobility Plan (RMP). The GMP presents policies that focus on measures to reduce the number and length of automobile trips. The GMP encourages providing housing opportunities in job rich sub regions and in close proximity to employment centers. Recommended transportation improvements focus on implementation of the RMP, which includes infrastructure improvements, bus systems expansion and traffic pattern optimization.

Community Plan
Figure I-J



-  Residential
-  Commercial
-  Community Facilities & Open Space
-  Major Project Roads
-  Freeway (I-215)
-  Planning Areas



Conceptual
Grading Plan
Figure I-K

The project shall comply with all AQMP control measures applicable to the proposed project. The City of Murrieta's General Plan Air Quality section provides goals aimed at improving air quality (see the Air Quality Environmental Analysis section, of the EIR for additional information).

The project complies with the City goal to "reduce particulate matter and fugitive dust emissions" by:

1. Ensuring that trucks hauling construction materials is covered to minimize material loss.
2. Submitting a dust control plan to the City for approval prior to the issuance of grading permits.
3. Discontinuing construction and grading during second stage smog alerts and in winds in excess of 25 mph.
4. Wheel washers are required for all vehicles entering the street system.

At the time of Development Plan and/or Tract Map review, the project applicant shall provide evidence to the Planning Manager that all appropriate SCAQMD rules and regulations have been incorporated into the project design or a permit has been issued by SCAQMD.

E. WATER CONSERVATION PLAN

Significant water quality impacts will not occur as a result of this project if a combination of "best management practices" is followed as part of the planning, design, operation, and maintenance of the project. Further, water quality protection will be assured by following the findings, prohibitions, provisions, and monitoring programs adopted by the Riverside Regional Water Quality Control Board in the form of State Waste Discharge Requirements for the drainage system and reclaimed water use program proposed for this project⁹.

"Best Management Practices" such as efficient use of slow-release fertilizers, the elimination or judicious use of chemical pesticides and herbicides, and controlled use of irrigation water will significantly control, if not eliminate, the excess residuals associated with landscape maintenance.

⁹ For MU-2 Subarea 2, please refer to Figure I-I (SPA) located in Appendix A.

F. TRANSPORTATION DEMAND MANAGEMENT/CONGESTION MANAGEMENT PLAN

Transportation Demand Management (TDM) strategies involve measures that are intended to reduce vehicle trip generation or influence when vehicle trips are made. The City of Murrieta has an adopted TDM ordinance, Number 86-93. This ordinance applies to all new employment-generating developments that could employ 100 or more persons. These developments can include Retail Commercial, Office/Professional, Industrial/Manufacturing, Warehouse, Hotel/Motel and Hospitals.

The MHSP MU-2 area provides for the potential development of all of the aforementioned uses. In order to be in compliance with the City of Murrieta's ordinance this plan has adopted development standards to reduce automobile trips. Future development of this area will require developers and builders of the aforementioned uses to comply with the City's TDM ordinance.

The Specific Plan encourages reduced vehicle trips by the following measures:

- At the time of Development Plan and/or Tract Map review, the applicant will submit to the City Manager or designated appointee a plan for transit improvements, which may include bus shelters, benches and bus stop pedestrian access to facilitate transit usage by project residents and patrons.
- Prior to issuance of the first Certificate of Occupancy, the applicant for any residential development within the Specific Plan shall provide evidence to the City Manager or designated appointee for review and approval that information encouraging future residents to utilize public transportation, to participate in carpools and van pools, and to utilize telecommuting by providing information on public transportation, carpool/van pool information assistance and other trip reduction methods, is provided in homeowner's packets given to all new home purchasers.
- At the time of Development Plan and/or Tract Map review, the applicant shall submit for review and approval by the Planning Manager a plan that provides information on reducing vehicular trips. The plan should encourage a reduction of vehicular trips by including information regarding public transportation opportunities, and by providing bicycle racks and other trip reducing concepts.

The applicant shall distribute the approved plan to all future retail tenants within the project.

- Development Plan for Retail Commercial, Office/Professional, Industrial/Manufacturing, Warehouse, Hotel/Motel and Hospitals uses that meet the requirements of the City's TDM ordinance shall include: locations for bicycle parking; parking areas for van pools and parking areas for car pools. Other facilities or contributions to support regional facilities designed to reduce vehicle trips may be provided in accordance with ordinance 86-93 as amended.

In addition, the following transportation system management actions should be followed in determining the location of transit stops along planned transit routes in the community:

- As development in the area occurs, the Riverside Transit Agency (RTA) should consider expanding service in the area.
- The recommended bus turnouts and potential future bus stop locations should be implemented consistent with applicable bus turnout design standards.

To encourage ridesharing/transit ridership and to reduce commute trip impacts on access routes to the I-215 Freeway, a portion of the commercial parking area should be designated for park-and-ride use on weekdays between the hours of 6:00 a.m. and 6:00 p.m.

G. LAND USE PLAN

The four hundred nineteen acres (419 ac) MHSP includes three (3) general land uses: Residential, Commercial, and Community Facilities. A build out summary of the MHSP is provided in Table 1-A. Overall residential development potential is limited to 1,167 single family detached dwelling units and up to 342 multi-family dwelling units. Additionally, the MHSP provides extensive open space linkages to the various uses.

The mix of land uses emphasizes a pedestrian-oriented environment. Recreational and support needs are provided within walking distances inside the community. The street pattern provides convenient and direct access both within the project itself, as well as, a linkage to surrounding areas. An Elementary School, Hospital, and Neighborhood Parks provide a central focus to the community. Streets are planned to be interesting, comfortable tree lined and inviting for pedestrians. The neighborhood

streets are also planned to reduce automobile speeds by designing streets with reduced street sections and cul-de-sacs. This will provide interest and a sense of security.

TABLE 1-A GENERAL LAND USE SUMMARY

Specific Plan Land Use		SP Acres	Units	Density	% of SP
Residential					
SF-2 (6,000)		218.4	872	4.0	52.0
SF-1 (7,000)		59.1	295	2.0	14.1
MF-2 18 du/acre (Ord. No. 255-02)		19.0	342	18.0	4.5
Total		296.5			66.1
Commercial					
MU-2		48.3			11.5
Total		48.3			11.5
Special Purpose					
C/I (School)		12.6			12.6
P&R (Park, East)		12.3			12.3
P&R (Park, West)		10.2			10.2
P&R (Trail)		11.9			11.9
OS-NR (Knoll)		7.0			7.0
OS Open Space (Buffer		20.2			20.2
Total		74.2			17.9
Project Total		419.0	1,509	4.31	100.0

- #1 Multi-purpose Greenbelt included in figures
- #2 Multi-purpose Greenbelt included in figures
- #3 Streets and landscaped right-of-way included in gross figures

LAND USE DISTRICTS

A description of the land use districts is provided below. A Specific Plan land use district map is illustrated in Figure I-L¹⁰.

Residential

The MHSP provides three residential land use categories. These categories are Single Family 1, Single Family 2, and Multiple Family 2. Overall, approximately 1,167 single-family units and 342 multiple family units are permitted within the MHSP area.

Single Family 1 (SF-1)

The Single Family 1 category is the primary residential designation in the MHSP. This category accounts for approximately fifty-nine acres (59 ac) and allows single-family detached homes on minimum seven thousand square foot (7,000 sf) lots.

Single Family 2 (SF-2)

The Single Family 2 category allows single-family detached homes on minimum six thousand square foot (6,000 sf) lots. Approximately two hundred eighteen acres (218 ac) is devoted for this land use category.

Multiple Family 2 (MF-2)

The MF-2 zoning district is applied to parcels appropriate for multi-family development at 18 du/ac per gross acre. Development within the MF-2 District shall be regulated by all applicable provisions of the Title 16 of the Murrieta Municipal Code as they pertain to MF-2 development. This category accounts for approximately nineteen (19 ac) and allows for a maximum of 342 units.

Commercial

The MHSP includes approximately forty-nine acres (49 ac) of commercial land uses in the form of the Multiple Use category. There are two (2) Multiple Use-2 subareas:

1. Subarea 1 Commercial and Industrial Corridor
2. Subarea 2 Medical Center and Community Services

Subarea 1 Commercial and Industrial Corridor

This category permits the development of retail and office commercial as well as light industrial uses. These uses will be Antelope Road and Freeway oriented and compatible with the

¹⁰ For MU-2 Subarea 2, please refer to Figure I-K (SPA) located in Appendix A.

adjacent residential uses. This category will provide an employment base for the MHSP, giving the opportunity to provide jobs near residential uses. The Murrieta Highlands Specific Plan provides approximately twelve (12) acres of Subarea 1 designated land along Antelope Road frontage. The MU-2 area will provide a buffer to freeway noise and concentrations of vehicular pollution for future residential areas. This site is planned to be pedestrian friendly. It is within easy walking distance from the residential areas. This site will also be buffered from the residential areas to the east with combinations of landscaping, walls and berms. A 1.0-acre site of Multiple Use 2 may be built on the top of the knoll south of Keller Road for a restaurant/Civic Institutional type use.

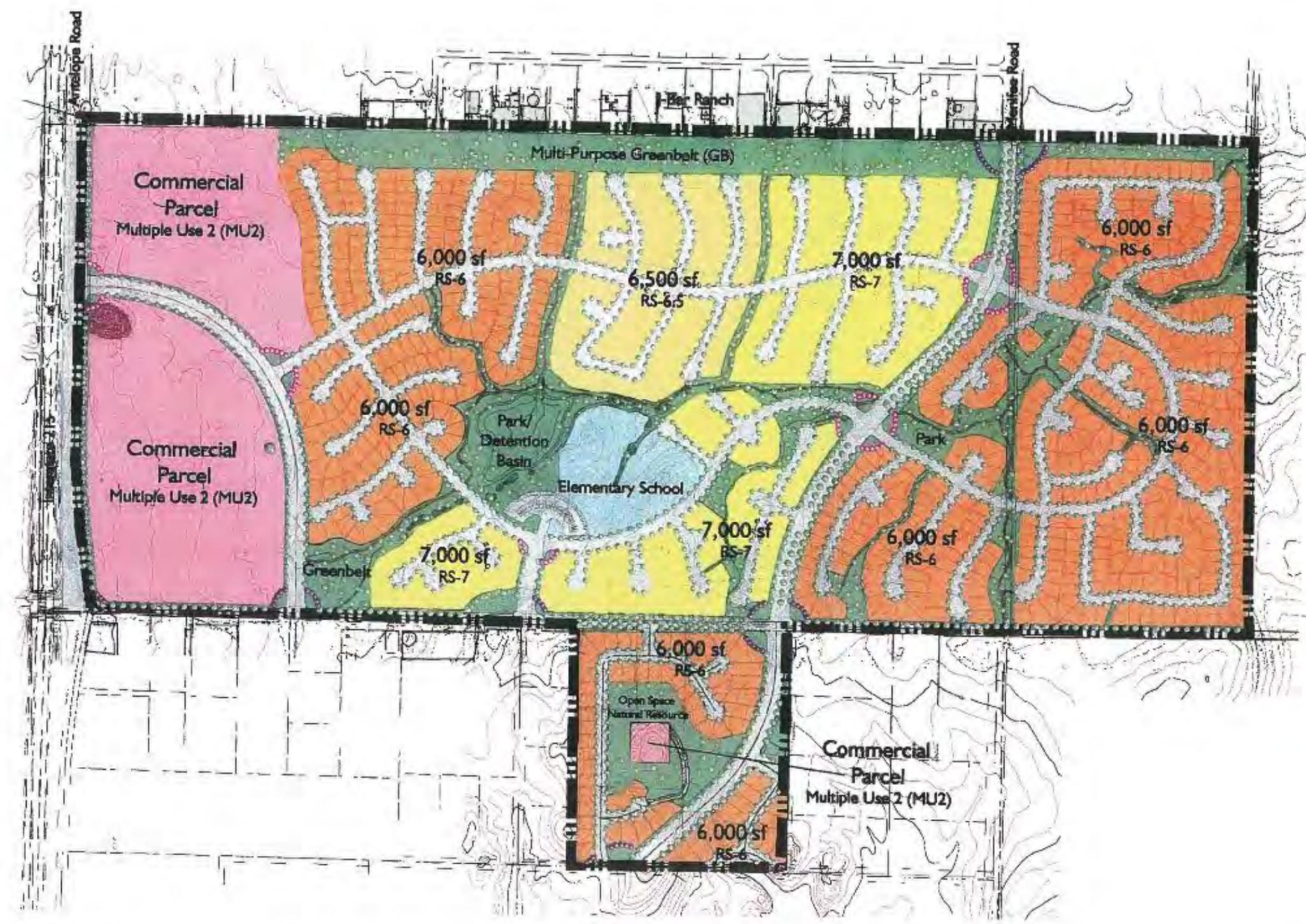
Subarea 2 Medical Center and Community Services

Medical Center and Community Services category permits medical uses, including outpatient medical, urgent care, hospitals, and ancillary support uses. The medical uses will be orientated towards the freeway and Keller Road. This category will provide an employment base; both blue and white collar jobs, giving the opportunity to provide jobs near residential uses. The MHSP provides approximately thirty-seven (37) acres within Subarea designated land between Antelope and Mapleton Road, north of Keller Road. Building and parking structures will be setback away from residential areas. Loading docks and zones will be screen from view with decorative walls, landscaping, or berms. Deliveries will be scheduled as not to interrupt residents.

Community Facilities

The MHSP has a variety of community uses and facilities, encompassing approximately seventy-four acres (74 ac). Among the community amenities provided to the future residents are a centrally located elementary school, neighborhood parks, multi-use greenbelts and open space paseos providing linkages to the other land uses.

Specific Plan
Land Use Map
Figure I-L



AEI • CASC
Murrieta Highlands SPM-1 Substantial Conformance #1

Lotting is conceptual for illustrative purposes only.

Elementary School (C/1)

Murrieta Highlands includes a public Elementary School site that is 12.6 acres net. This site is centrally located within the project area. The site is the focal point for the Murrieta Highlands community. The school site is connected to and adjacent to the Multi-purpose Greenbelt and the access trail. Further, the school playground could provide additional active recreational facilities on weekends and after school hours.

Neighborhood Parks (P&R)

The General Plan requires Neighborhood Parks to be geographically located within neighborhoods to provide easy and safe accessibility to bicyclists and pedestrians. A neighborhood park provides both active and passive recreational activities to residents living between a ½ to 1 mile radius. Neighborhood Parks may feature game fields, courts, playground areas, picnic facilities, passive lawn areas and drainage facilities.

The Murrieta Highlands Specific Plan provides 22.5 acres (gross) within two (2) Neighborhood Parks. The westerly most parks are located within the SF-2 residential area adjacent to the Elementary School site. This park is approximately 10.2 acres gross with approximately ten acres (10.0 ac) of net area. The easterly most parks are located east of Menifee Road. This park is approximately 12.3 acres (gross) with approximately ten acres (10.0 ac) net. Both parks have easy access for local residents. In addition, both of these parks will be constructed according to the standards of the City of Murrieta.

Multi-purpose Greenbelt/Paseos (P&R)

Murrieta Highlands provides an approximately 11.9 acres (gross) greenbelt/paseos within the residential areas and located with the Open Space areas to the north of the project area. Within these Open Space areas, the Multi-purpose Greenbelt/Paseos has not been separated out in terms of acreage area. The area of the Multi-purpose Greenbelt/Paseos is included within the Open Space calculations. These greenbelt/paseos areas contain a series of drainage areas for flood control. Also, planned within the greenbelt/paseos is an access road or pedestrian/bicycle trail including access road (and in some cases an equestrian trail) for maintenance and pedestrian access. The areas outside of the drainages will be landscaped with species that will naturalize to the area. This trail access road will link the various neighborhoods and community facilities. In addition, the greenbelt/paseos will provide visual relief and a landmark to the community. The greenbelt/paseos will provide a passive park like areas as well as a buffer. The Multi-purpose Greenbelt/Paseos and the Neighborhood Parks provide open space and parkland within a quarter mile walk of every future resident.

Open Space Natural Resource (OS-NR)

Open Space lands are those properties that contain natural resources that the General Plan requires to be preserved or replaced. Steep slopes and creeks are designated as natural resources.

Murrieta Highlands contains steep slope lands within the knoll feature in the southern portion of the site. The specific plan designates approximately 7.03 acres (gross) as open space surrounding the knoll. It is anticipated that a civic/institutional use may be permitted on the top of the knoll. This type of use is permitted within the residential designations.

LAND USE DEVELOPMENT REQUIREMENTS

This section will provide general development standards that apply to the Murrieta Highlands Specific Plan. The purpose of these standards is to ensure the orderly and sensitive development of the residential, commercial, community facilities and open space uses that are proposed within the project boundary. The Murrieta Highlands Land Use Development Standards are as follows:

1. The development of Murrieta Highlands shall be in accordance with the mandatory requirements of all City of Murrieta ordinances and State of California laws and substantially conform to this Specific Plan, as shown.
2. The Land Use Plan contained in the Specific Plan represents the general arrangement and type of land use intended for development. The maximum number of units, 1,167 single-family dwelling units and up to 342 multi-family dwelling units shall be permitted subject to the conditions of approval of the Specific Plan and the mitigation measures contained within the Final EIR. Approval of the tentative subdivision maps will determine the actual number of lots, lot sizes, lot design or street design, grading and other design elements and improvements.
3. The District Regulations for Murrieta Highlands are located in Chapter two of this Specific Plan document. This District Regulations provides the zoning standards that apply to Murrieta Highlands. The District Regulations are standards for the development of Residential, Commercial, Multiple Use and Special Purpose Districts as well as Signage, Off-Street Parking and General Provisions. These regulations are in conformance with the City of Murrieta's District Regulations. Where development regulations or standards are not specifically identified in this document, City of Murrieta Development Code and other City Council adopted policies shall prevail.
4. The deeds for the homes constructed in this project shall have a covenant recorded to acknowledge the "right to farm" for the properties within the J-Bar Ranch neighborhood. All residential structures north of the east/west sixty-foot right-of-way (60' ROW) local street or within six hundred feet (600'), which ever is greater, of this project's northern boundary shall be subject to this condition.
5. To improve the separation between Murrieta Highlands and the J-Bar Ranch neighborhood, the open space along the northern property line adjacent to J-Bar Ranch shall be designed such that it

has a minimum width dimension of two hundred feet (200') and residential lots shall not be located directly adjacent to this feature, except for the lots having frontage on local streets located adjacent to the Greenbelt/Paseos. The berm feature proposed for the northerly boundary shall be a minimum height of eight feet (8'). The fence/wall treatment along this property line shall be subject to the approval of the Planning Manager.

6. All development design guidelines, including, but not limited to, signage, landscape architecture, site planning, building materials, exterior building treatments, structure massing, parking and street frontage treatment will conform to the City of Murrieta requirements or as included in this Specific Plan. When appropriate and necessary to meet the goals of this Specific Plan, the standards will exceed the Development Code requirements.
7. For project-wide Landscape Architectural Design Guidelines, please refer to the Landscape Design Guidelines section of Chapter three, Community Design Manual of this Specific Plan reports.
8. Development Plans, conditional use permits, variances and zone changes shall be processed per the City's Development Code.
9. Passive solar techniques will be employed whenever possible within the project. Passive systems involve orienting buildings properly, planting trees to take advantage of the sun, providing adequate roof overhangs where possible, making sure that walls are properly insulated and installing simple heat storage systems.
10. Murrieta Highlands is located within the Mount Palomar Observatory Special Lighting Area. To ensure project lighting does not interfere with astronomical data collection, Murrieta Highlands will be lighted with low-pressure sodium vapor lamps in accordance with Mount Palomar standards. (See Murrieta Development Code, Section 16.18.110 Mount Palomar).
11. Prior to the issuance of building permits, grading and improvement plans shall be approved. These plans shall be submitted and approved by the City of Murrieta.
12. The Murrieta Highlands project provides for 1,167 single-family detached lots and up to 342 multi-family units. Single-family lots will range from a minimum six thousand to seven thousand square feet (6,000 to 7,000 sf) in size.

13. Flag lots shall not be permitted except as approved by the Planning Manager.
14. The standard single family siting concepts, types D & E in the Community Design Chapter shall be limited as approved by the Planning Manager. The single family siting shall vary to provide a wide variety of single family housing types in the MHSP.

H. PARKS AND OPEN SPACE PLAN

The major unifying element of the Murrieta Highlands Community is the Parks and Open Space Plan. The plan reflects the overall qualities of a neighborhood design with the parks easily accessible to all residents and providing a strong unifying visual element to the community.

PARK AND OPEN SPACE NEEDS

The City of Murrieta General Plan recommends five acres (5 ac) per 1,000 populations. Based on 3.2 persons per dwelling unit, at five acres (5 ac) per 1,000 population the Specific Plan would create a demand for 24.14 acres of park land as shown in the table below.

**TABLE 1-B
PARKS AND OPEN SPACE ACREAGE**

Plans	SF Dwelling Units	MF Dwelling Units	PP/DU	Population Projection	Park Access Required
Traditional Neighborhood Plan	1,167	342	3.2	4,829	24.14

The Murrieta Highlands Specific Plan proposes three open space and park elements that meet or exceed the requirements of the City of Murrieta General Plan, including:

1. The provision of 32.1 acres of Multi-purpose Greenbelt/Paseos, landscaped setbacks, and buffer areas. The greenbelt/paseos serve a dual purpose of providing for on site storm water drainage area and a trail system. The drainage area may be accessible during the dry season for recreation. The Multi-purpose greenbelt/paseos provides passive recreational opportunities.
2. The provision of two (2) Neighborhood Parks. The total gross acreage for these two (2) parks is 22.5 acres, with a total net acreage of twenty acres (20 ac).
3. Provision of 12.6 gross acres of community facilities (elementary school). The school playground, at the discretion of the school district, may provide active recreational opportunities. The major street parkways and medians will provide a softening, green unifying element within the community.

**TABLE 1-C
PARKS AND OPEN SPACE PLAN**

Park Element	Net Acreage	Acreage Credit	Gross Acres
Elementary School	12.0	0.0	12.6
Multi-purpose Greenbelt	11.0	0.0	11.9
Neighborhood Parks	22.0	22.0	22.5
Open Space*			27.2
TOTAL		22.0	74.2**

* Includes landscaped parkway setbacks and undisturbed open space.

** Only neighborhood parkland is considered for purposes of complying with City policy

Acreage's are approximations and may vary during final engineering. Net acreage's for the Elementary School site and Neighborhood Parks shall meet or exceed net acreage figures.

Neighborhood Park/Detention Basin

The two (2) Neighborhood Parks will be designed and developed with the Parks and Recreation Department of the City of Murrieta. The specific details of plant materials and design are located in Chapter Three, Community Design Manual. Facilities provided in the Neighborhood Parks may include:

- A baseball / softball / soccer / football field
- Children's play area or tot lot
- Picnic area
- Open lawn area
- Access for pedestrians and maintenance vehicles
- A tennis court
- A multi use volleyball / basketball court
- Other uses as may be appropriate
- Provide Detention Facilities during storm events

Multi-purpose Greenbelt/Paseos

The 11.9 acre Multi-purpose Greenbelt/Paseos will contain drainage areas, to control storm flows, open space areas for passive recreation, and a multi-purpose trail system. Maintenance responsibility of the drainage areas will be determined at the Master Tentative Map stage. The greenbelt/paseo trail system will be used by pedestrians and bicyclists. The trail is a multi-purpose trail, which in some areas may be used as an equestrian trail. The greenbelt/paseo will be landscaped with appropriate native and low water use plant material depending upon the use of the area. The specific details of greenbelt/paseo design, plant materials and trail design are located in Chapter Three, Community Design Manual.

Recreational facilities may be located within the multi-purpose greenbelt/paseo if permitted by the maintenance entity. Facilities that could be located in the multi-purpose greenbelt/paseo include:

- Children's play area or tot lot.
- Open turf areas for unstructured active recreation.
- Multi-use trail for pedestrian, bicyclist and maintenance use
- Fitness course and seating areas along the trail.
- Drainage areas

Open Space-Natural Resource

This 7.03-acre parcel is located on the hillside of the knoll located in the southern portion of the site. This area will be dedicated as permanent open space. No structures or improvements are proposed. Revegetation with natives or low water use plant material will be used on disturbed areas.

Parkways/ Medians and Rights-of Ways for Major Roads

Parkways and Medians of all public streets will be landscaped with ground cover, shrubs and trees. The specific details of plant materials and design are located in Chapter three, Community Design Manual.

School Site

The School District will determine the types of recreational facilities and their availability to the public.

PARK, RECREATION AND OPEN SPACE PLAN REQUIREMENTS

1. Multi-purpose Greenbelt/Paseos will be provided for the benefit of all residents within the Community. The greenbelt/paseos will be mass graded by the Master Developer at the time the project is graded. The greenbelt/paseos finish grading and landscaping may be phased concurrent with the development of each planning area or areas.
2. A portion of the greenbelt/paseos will be dedicated for flood control. The drainage areas will be landscaped as they are constructed for each phase.
3. The greenbelt/paseos will be dedicated as open space.
4. Twenty-two acres (22 ac) net of Neighborhood Parks will be provided. These parks may be landscaped by the developer. Neighborhood Parks shall be improved in phases to provide

recreational opportunities to the future residents as occupancy occurs. One Neighborhood Park will be improved and completed most likely when phase 1 is completed. All park sites shall be dedicated to the Community Service District (CSD) by the developer upon completion of the construction of the improvements.

5. A twelve-acre (12 ac) net Elementary School site will be provided and may be available to the community for recreational and open space purposes.
6. All landscaped areas will be irrigated in accordance with the City of Murrieta's requirements. The specific details of plant materials and design are located in Chapter three, Community Design Manual.
7. Landscaping within recreation and open space areas will be governed by the Landscaping Plan Development Standards and the Community Design Manual (Chapter Three).
8. Development applications which incorporate common areas shall be accompanied by design plans for the common area. Such plans shall specify the location and extent of landscaping, irrigation systems, structures and circulation (vehicular, pedestrian, and equestrian, if applicable).
9. All open space and park areas include all designated open space, including natural open space, open space/easements, street parkways and medians and portions of the multi-purpose greenbelt.
10. Final approval of pedestrian paths, equestrian trails, hiking trails, bikeways or bike paths, and any park or open space, drainage/detention facilities and park facility design shall be subject to City Public Works Department, Planning Department and the Parks and Recreation department approval, consistent with Specific Plan and tentative subdivision map alignments and cross-sections.
11. All plant materials, sizes and locations within parks and open space areas shall require approval by the City Manager or designated appointee prior to final subdivision approval.
12. Details and responsibilities for fuel modification areas within dedicated open space areas shall be delineated at the tentative subdivision map stage. The developer shall be

responsible for the initial cycle of fire management/brush clearance within natural open space areas.

13. All fuel breaks and plant materials for fuel breaks shall be subject to the City's approval. Details of the fuel modification zones shall be subject to review and approval of the Fire Chief prior to any tentative subdivision map approval.
14. Open space maintenance access points shall be a minimum of 10 feet (10') in width and subject to the approval of the City Manager or designated appointee.
15. The determination of open space district boundaries and maintenance responsibilities shall be subject to the approval of the City Manager or designated appointee prior to the approval of any tentative subdivision map.
16. Access to open space for maintenance shall be subject to approval of the City Manager or designated appointee prior to tentative subdivision map approval.
17. Final details of habitat enhancement, protective measures for sensitive habitat/species, brush modification and temporary irrigation shall be subject to approval of the City Manager or designated appointee prior the issuance of final grading permits.
18. The location and maintenance responsibility for all perimeter walls shall be determined at the time of tentative subdivision map approval or development plan approval. If a perimeter wall is to be maintained by a public entity, it may be required that the perimeter wall be constructed entirely within a lot dedicated to the City.
19. Street trees and streetscape landscaping standards shall be subject to the approval of the Planning Manager and Parks and Recreation Department.
20. The berm feature proposed for the northerly boundary landscape treatment shall be a minimum height of eight feet (8'). The fence/wall treatment along this property line shall be subject to the approval of the City Manager or designed appointee.

I. TRANSPORTATION AND CIRCULATION PLAN

The Transportation and Circulation Section presents the circulation system and provides a review and comparison of street standards, street classification diagrams and cross-sections, along with a discussion of other transportation facilities. Off-site improvements, as well as, methods and programs to finance these types of facilities may change over the lifetime of the project.

CIRCULATION PLAN

A detailed traffic analysis was conducted on the Murrieta Highlands Specific Plan site by Robert Kahn, John Kain and Associates (refer to Technical Appendices in the FEIR). The proposed specific plan circulation plan is consistent with the Murrieta General Plan Circulation Element.

Principle east-west access to the project site will be achieved via Keller Road. Primary north-south access to the site will be via Antelope Road on the west and Menifee Road/Meadowlark Road through the center of the project. Menifee Road/Meadowlark Road will serve as the major road for the project. Several smaller collectors will link the external urban arterials to the remainder of the site.

On-site circulation will be accommodated by a hierarchical network of roadways. Each roadway location and size is designated to facilitate the efficient movement of traffic throughout the site. The main objective of the Circulation Plan is to provide direct and convenient access to the individual residential neighborhoods, school site, park, recreation areas, and commercial uses, through a safe and efficient system of urban arterial, secondary, collector and local roadways. Refer to Figure I-M¹¹ for project street classifications. The Circulation Plan is illustrated in Figure I-N¹².

Appropriate intersections will be posted with stop signs. The road system as designed combined with these stop signs will tend to slow potential traffic speeds.

Pedestrian access is provided by sidewalks parallel to the streets. Sidewalks are proposed for all the streets. These sidewalks will be separated from the street curb and/or by a landscaped parkway that will have shade trees planted, at least, every fifty feet (50 '). Sidewalks will be a minimum of four feet (4') wide. Parkways will vary in width. Please reference the proposed street sections, Figures I-O through I-R.

¹¹ For MU-2 Subarea 2, please refer to Figure I-L (SPA) located in Appendix A.

¹² For MU-2 Subarea 2, please refer to Figure I-L (SPA) located in Appendix A.

BUS STOPS AND TURNOUTS

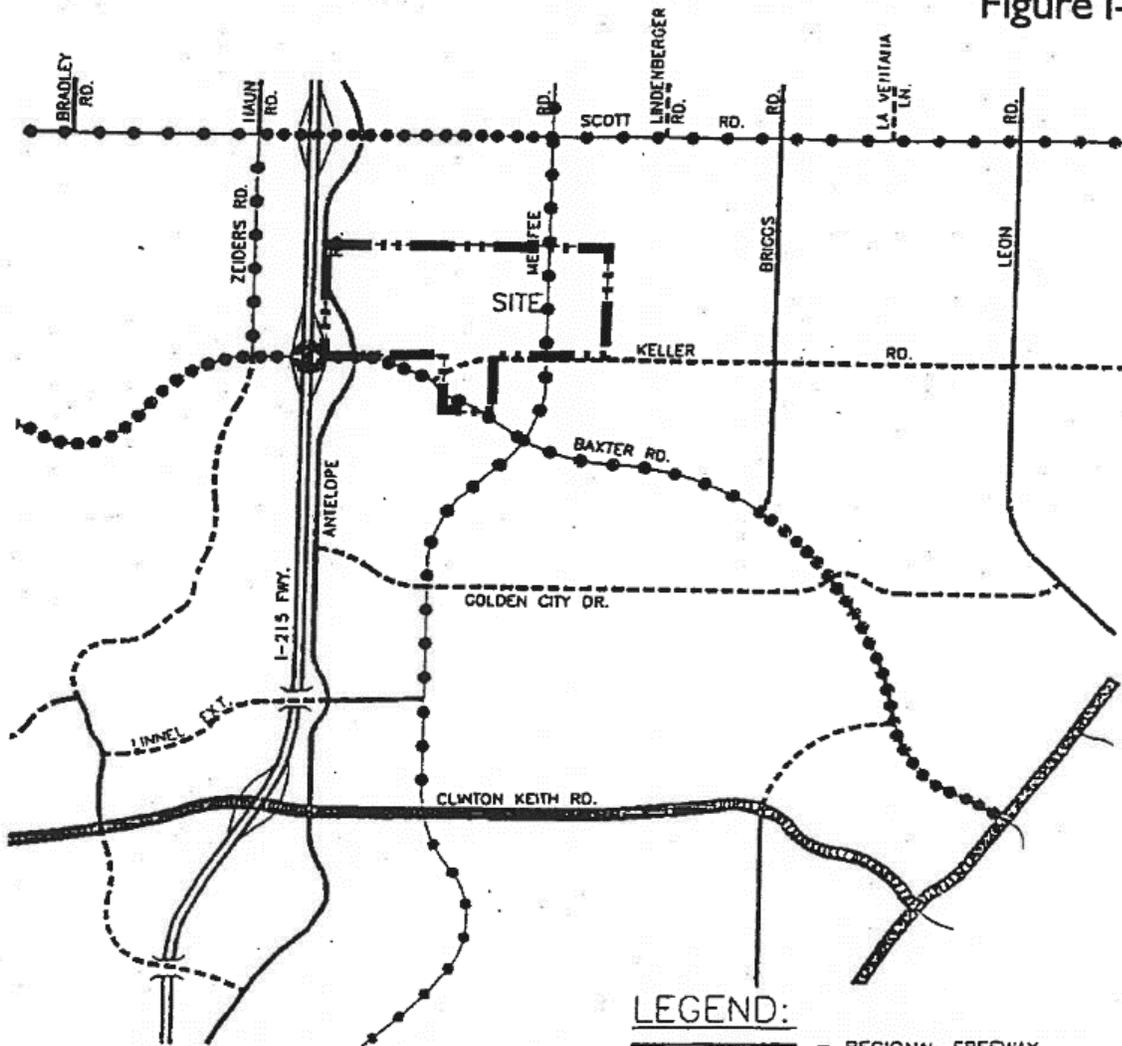
The Murrieta Highlands Specific Plan is not currently served by a transit agency. In accordance with the City of Murrieta's Transportation Demand Management ordinance this Specific Plan provides for Mass Transit. Future development of the site will provide for bus stops. If bus service is not available at the time of development, the developer or builder will dedicate sufficient space to accommodate bus stops and turnouts.

STREET CLASSIFICATION DIAGRAMS

Antelope Road is shown on the Circulation Element of the City of Murrieta General Plan as a Major Road one hundred foot right-of-way (100' ROW), this Major Road is being proposed as possibly being realigned in the future in order to accommodate a future interchange at the intersection of Keller Road and the I-215 Freeway.

General Plan Street Classification Map

Figure I-M

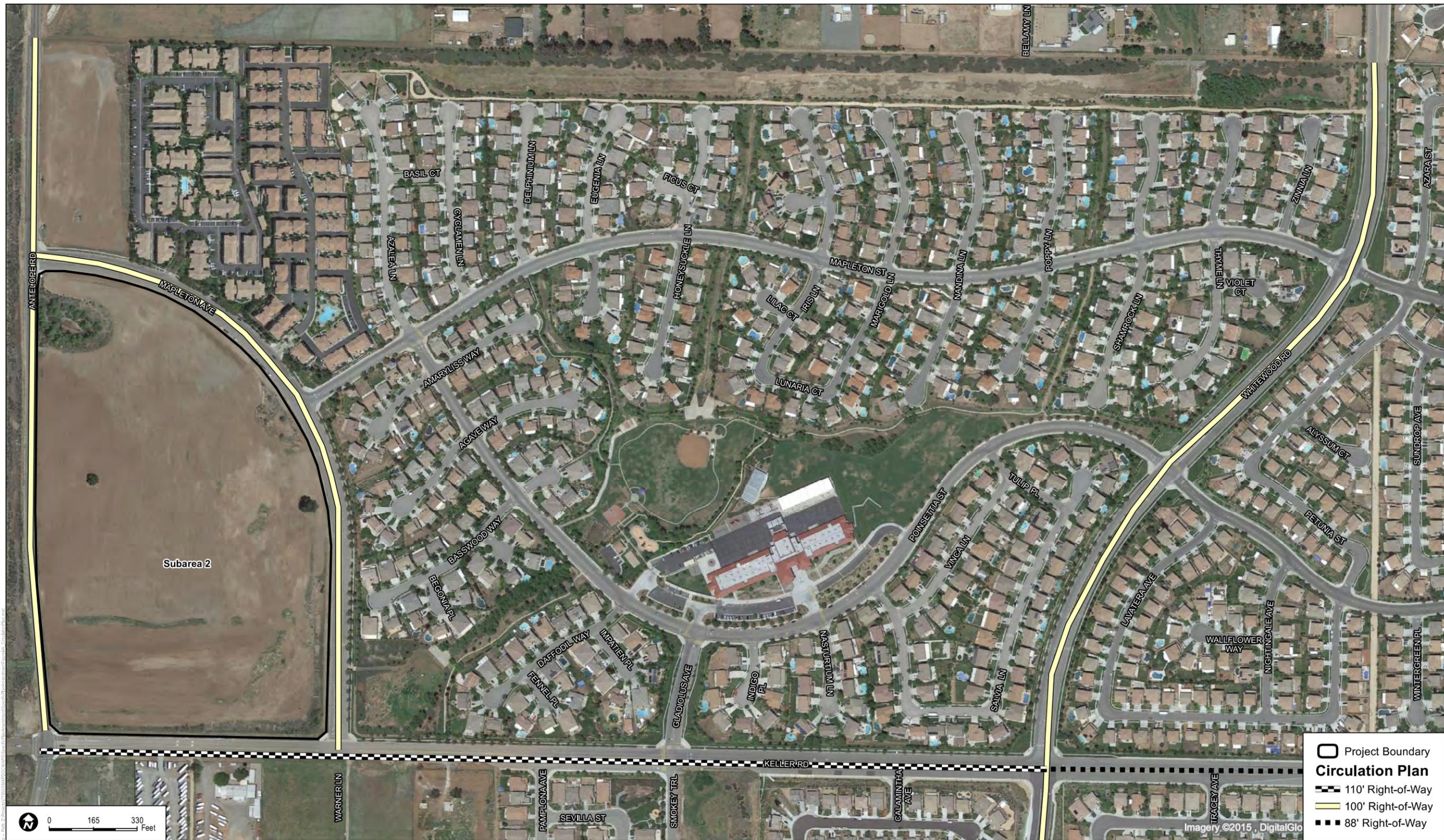


NOTE:
ROADWAY CLASSIFICATIONS
PER THE GENERAL PLAN

LEGEND:

-  = REGIONAL FREEWAY CORRIDOR / HOV FACILITY
-  = MULTI-MODAL TRANSPORTATION CORRIDOR
-  = URBAN ARTERIAL
-  = ARTERIAL
-  = MAJOR
-  = SECONDARY
-  = PROPOSED ADDITIONAL INTERCHANGE

Robert Kahn, John Kain
& Associates, Inc.



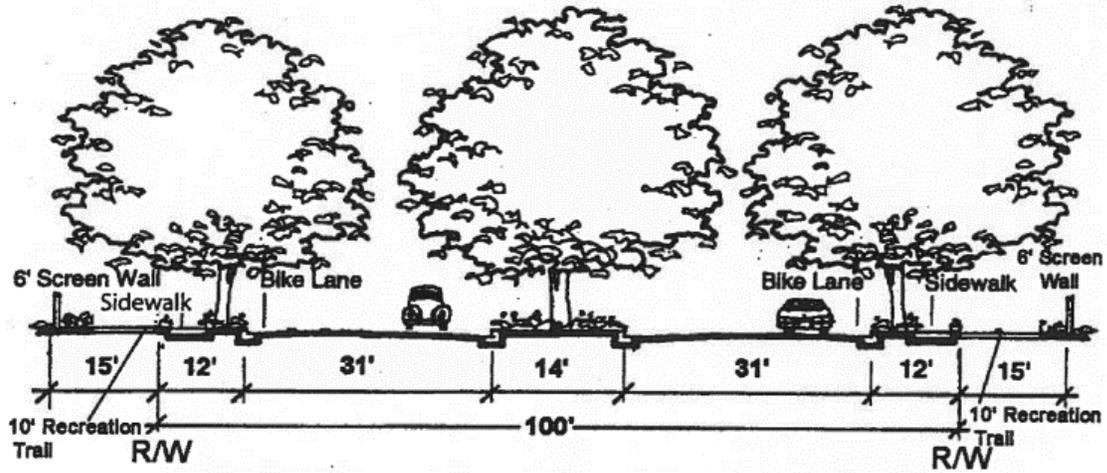
SOURCE: Google Imagery, 2015; Murrieta Highlands Specific Plan, 2001; Murrieta General Plan Update.

Murrieta Specific Plan Amendment

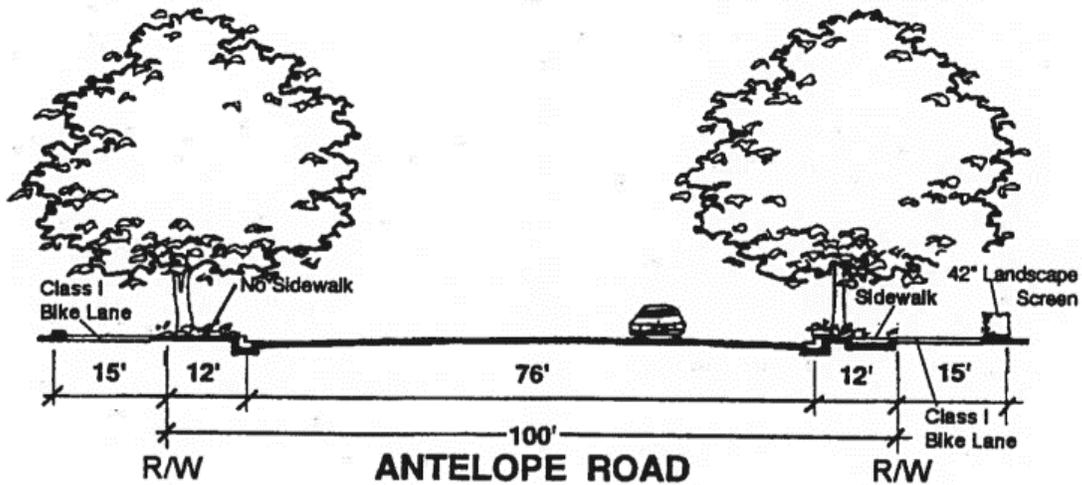
FIGURE I-N
Circulation Plan

Street Cross Sections

Figure I-O



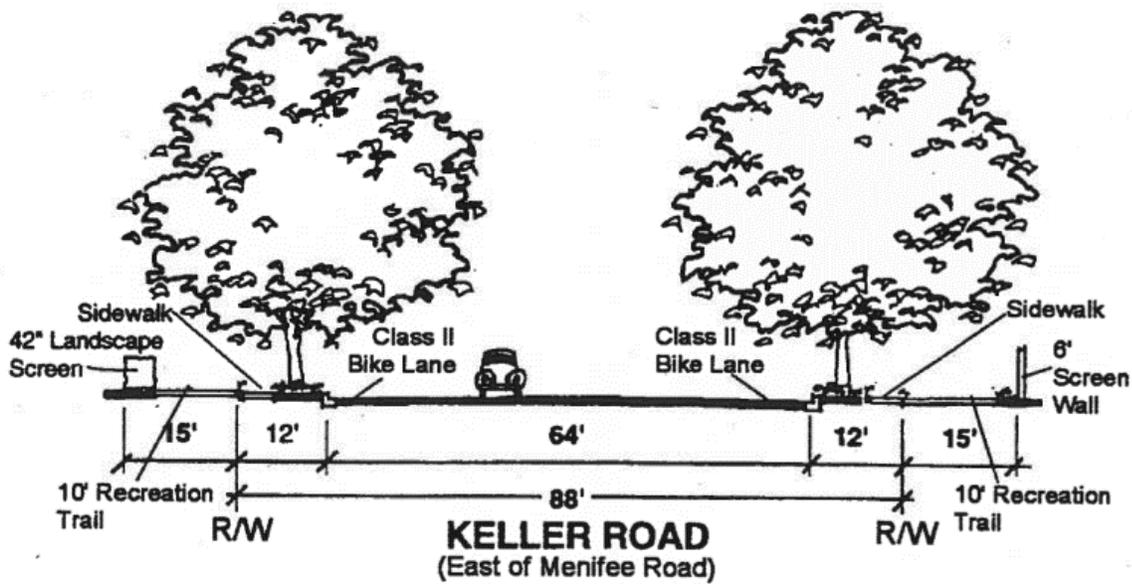
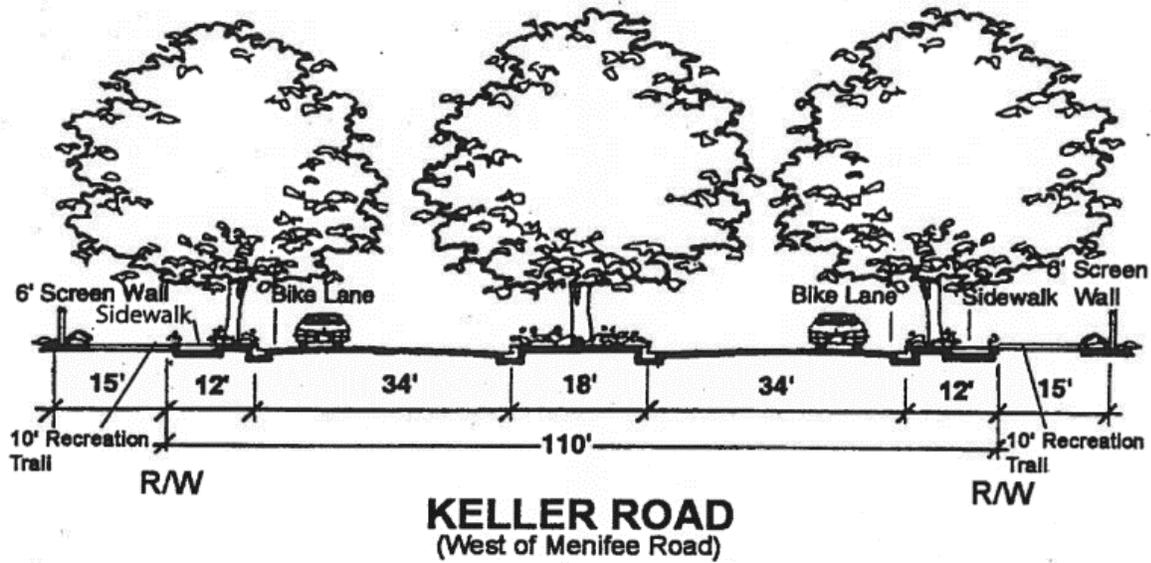
MENIFEE ROAD / MEADOWLARK ROAD

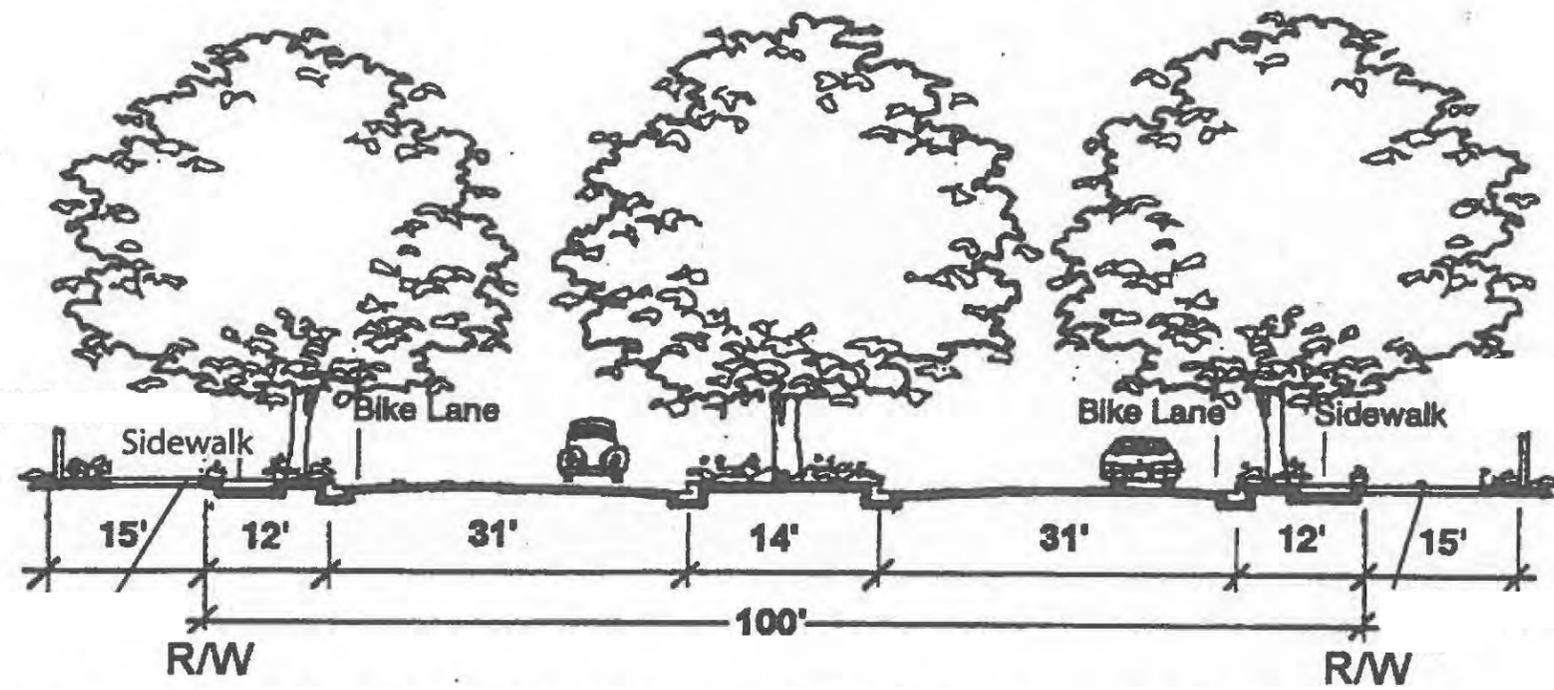


ANTELOPE ROAD

Street Cross Sections

Figure I-P

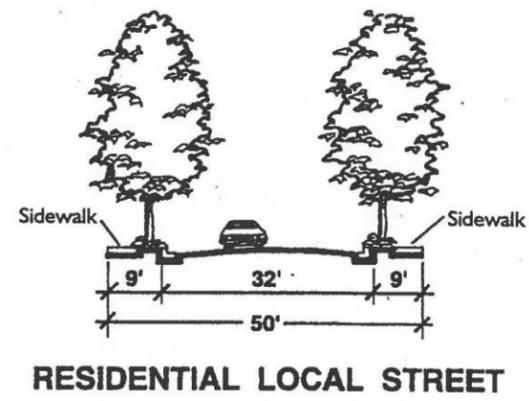
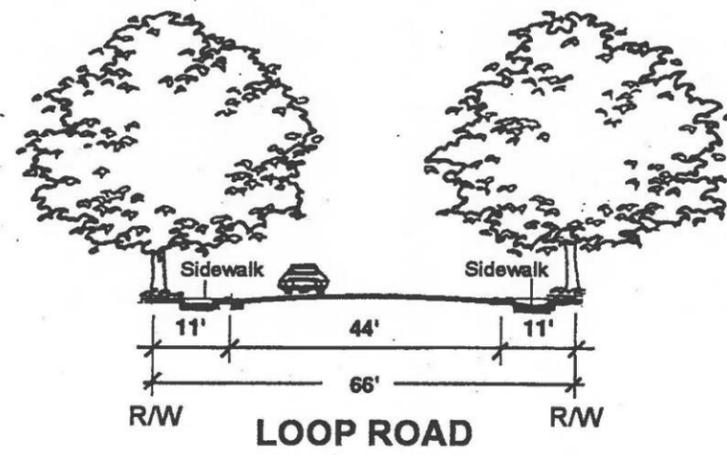




Mapleton Avenue

SOURCE: HGA, 06/22/2015.

FIGURE I-Q
Mapleton Avenue Cross Section



SOURCE: HGA, 06/22/2015.

FIGURE I-R
Street Sections

Antelope Loop Road is shown as a Major Road one hundred foot right-of-way (100' ROW) from Keller Road until it intersects at a "T" intersection with existing Antelope Road. If this realignment occurs, "T" intersection would be realigned to transition into existing Antelope Road (as shown). Antelope Road would be vacated between Keller Road and where Antelope Loop Road would make this transition into existing Antelope Road. Antelope Road would also be realigned southerly of Keller Road as shown on the Circulation Element of the General Plan.

Keller Road is show as the Arterial Road one hundred-ten foot right-of-way (110' ROW); Menifee Road north of Keller Road is shown as a Major Road one hundred foot right-of-way (100' ROW), Meadowlark Road south of Keller Road is shown as a Major Road one hundred foot right-of-way (100' ROW). Mapleton Avenue is shown as the Major Arterial Road one hundred foot right-of-way (100' ROW) as shown on Figure I-Q.

Local internal residential streets are proposed at fifty and sixty foot right-of-way (50' and 60' ROW). The project design does not propose connection to any existing county roads that are not on the County Circulation Plan and currently serve existing rural neighborhoods.

STREET CROSS-SECTIONS

Pedestrian friendly residential streets are being proposed for the Murrieta Highlands project. The street widths are consistent with City standards. However, the locations of sidewalks and landscaping may be different from City standards. Landscaped or tree lined parkways are used. Refer to Street Sections for illustrations of the cross sections.

BIKE LANES

The City of Murrieta's General Plan proposes Class II Bike Lanes within the MHSP area. One Class II Bike Lane is located on Mapleton Avenue and one along Keller Road. Class II Bike Lanes are bike paths that are a minimum of five feet (5') in width and stripped usually located within thoroughfares. The Murrieta Highlands Specific Plan provides a Class II Bike lane along Mapleton Avenue, Menifee Road, and Keller Road.

CIRCULATION PLAN REQUIREMENTS

In the absence of an existing Road & Bridge Fee (RBBD) or Transportation Uniform Mitigation Fee (TUMF), it is not feasible for an individual project to construct small percentages of the individual offsite improvements but Murrieta Highlands will construct a series of discreet offsite improvements that most directly affect Murrieta Highlands. These improvements will be constructed in their entirety on a phased basis and is

intended to satisfy the total obligation of Murrieta Highlands for their fair share of the impacts to the circulation system of the City of Murrieta based on the North Murrieta Traffic Model (“NMTM”) at the year 2005 planning horizon. Should the final traffic analysis or Road and Bridge analysis determine that the constructed offsite NMTM improvements exceed each projects impacts fair share of the ultimate build out, the Developer may be reimbursed or receive credit for the costs in excess of the Murrieta Highlands fair share by means of a proposed Road and Bridge Benefit District. Should the final traffic analysis or Road and Bridge District analysis determine that the constructed offsite NMTM improvements do not meet each projects impacts fair share of the ultimate build out, the Developer shall pay the additional costs or provide additional improvements as determined by the City of Murrieta.

The onsite improvements may also qualify for reimbursement or credit for all construction costs in excess of the project's respective fair share of traffic impact to the ultimate improvements required by the Circulation Element of the General Plan. This reimbursement will come in the form of a reimbursement agreement or the tailoring of the improvements to reflect the percentage of Developer responsibility in relationship to the ultimate improvement requirements while maintaining access acceptable to the Fire and Public Works Departments at the time of tract map, parcel map, development plan or conditional/public use permit approval.

The circulation plan development requirements are as follows:

1. Subsequent traffic studies shall be done at the time of approval of each implementing project to assess the continued compliance with the Level of Service criteria of the City of Murrieta General Plan.
2. Sight distance at each intersection shall be reviewed with respect to standard CALTRANS/City of Murrieta sight distance standards at the time of preparation of Tentative Tract Map.
3. Ultimate intersection lane requirements shall be provided per the implementing project traffic report.
4. The project collector roadway systems shall be implemented per the implementing project traffic report.
5. Heavy through traffic should be prevented from residential neighborhoods. Major roadways that include Collectors and above will be restricted from direct access from residential neighborhoods. Sixty shall serve the single-family

neighborhoods and fifty-foot right-of-way (60' and 50' R/W) wide residential streets.

6. Single-family residential lots will not have direct access to collector and larger roads.
7. The subdivision shall comply with the on-site street improvement recommendations/mitigation outlined in the implementing project traffic analysis including internal design.
8. Landscape requirements shall be implemented in accordance with the roadway landscape sections provided in this section as well as the treatments depicted in Chapter 3, Community Design Manual.
9. Noise attenuation wall shall be located between residential areas and all streets that are classified Collector and above.
10. Proposed Future Keller Road/1-215 interchange. This facility is not anticipated to be required prior to the planning horizon at the year 2005 defined in the NMTM analysis although the design of the Murrieta Highlands project, specifically the Antelope Road intersection with Keller Road will dedicate the right-of-way required on the financing parcel map for the north bound on ramp and the realignment of Antelope Road to accommodate the required geometrics for the future interchange.
11. All streets will be constructed to the City of Murrieta's design standards and the standards of this Specific Plan.
12. All roadways will be designed in accordance with City of Murrieta Standards and City of Murrieta Department of Public Works Roadway Requirements with regard to the permitted access and intersection intervals and the vertical and horizontal alignment, unless approved by the City Engineer. (See the Conditions of Approval in the Transportation and Circulation section of City Council Resolution No. 95-388).
13. Private streets shall meet the standards specified by the City Manager or designated appointee. Private street cross sections shall conform to those shown in the Specific Plan for curb-to-curb width and right-of-way width unless otherwise specified. (See the condition number 2 of the

Transportation and Circulation section of City Council Resolution No. 95-388).

14. Development of transportation facilities shall be coordinated with the County of Riverside, in particular where the County's authority is necessary to carry out required improvements (Condition number 3 of the Transportation and Circulation section of City Council Resolution No. 95-388).
15. All sidewalks shall have a minimum width of four feet (4'). All public sidewalks shall meet City standards (Condition number 4 of the Transportation and Circulation section of City Council Resolution No. 388).
16. All private streets shall provide easements for fire hydrants, cable television and other utilities and facilities as required by said utilities (Condition number 5 of the Transportation and Circulation section of City Council Resolution No. 95-388).
17. Any private or public street which does not meet all aspects of the design standards of the City of Murrieta shall be indicated on the tentative subdivision map. The City will condition the approval of any deviation prior to tentative map approval (Condition number 6 of the Transportation and Circulation section of City Council Resolution No. 388).
18. The maximum roadway gradient within the project shall not exceed 15% (Condition number 7 of the Transportation and Circulation section of City Council Resolution No. 95-388).
19. Pedestrian walkways shall be provided from specific cul-de-sac ends, which are designed with open ends. Details of the pedestrian walk system will be subject to review prior to approval of any tentative subdivision map (Condition number 8 of the Transportation and Circulation section of City Council Resolution No. 95-388).
20. Transit stop designs, including benches and shelters, shall be reviewed by the City Manager or designated appointee prior to approval of the tentative subdivision map (Condition number 9 of the Transportation and Circulation section of City Council Resolution No. 95-388).
21. The installation of transit facilities, such as bus stops, shelters and turnouts, shall be concurrent with transit service

availability. Since this may not coincide with project development the developer shall commit to funding these facilities and that they be installed when requested by the City (Condition number 10 of the Transportation and Circulation section of City Council Resolution No. 95-388).

22. The developer shall commit to funding the project's fair share of a park-and-ride facility at such time as one is located in the vicinity of Keller Road and the 1-215 (Condition number 11 of the Transportation and Circulation section of City Council Resolution No. 95-388).
23. The development perimeter adjacent to streets classified as Highlands Parkway shall have the same "noise attenuation" wall proposed for streets with a higher classification (Condition number 12 of the Transportation and Circulation section of City Council Resolution No. 95-388).
24. Circulation through the single-family areas is accommodated by using local residential streets with fifty to sixty foot right-of-way (50'-60' ROW) street widths.

J. WATER, SEWER AND STORM DRAINAGE PLAN

WATER

Murrieta Highlands will be supplied water service by Eastern Municipal Water District (EMWD). The future water requirements have been evaluated by EMWD. The system is designed to comply with the EMWD Plan of Service which sets forth the domestic and fire flow requirements. Additionally, the fire flow standards, as required by the Murrieta Fire District will be satisfied.

The major elements proposed to serve the project site include the following:

Off-Site Water:

The proposed off-site water supply system consists of a pump station, thirty inch (30") and twenty-four inch (24") transmission mains from Leon Road to a 4.2 million gallon storage tank west of the 1-215 freeway. This system will provide for all domestic water consumption needs and full residential, commercial and industrial fire flow requirements. This system is designed to accommodate the EMWD master plan (1,750 elevation zone) service area, with the exception of the storage tank. The storage tank is sized to only provide service to Murrieta Highlands and is envisioned to be an initial phase of a series of tanks at that site. Alternatively, a larger tank may be constructed with these projects contributing their fair share.

On-Site Water:

The proposed onsite water distribution system will branch off from the twenty-four inch (24") transmission main in Keller Road to provide service to all phases of the. Project. The water distribution system is depicted in Figure I-S to be constructed on a phased basis consistent with the circulation element roadways.

Detailed water improvement plans will be submitted to EMWD for review and approval concurrently or subsequent to City review and approval.

SEWER (WASTE WATER)

Murrieta Highlands sewer requirements have been evaluated by Eastern Municipal Water District (EMWD). The system will be designed in accord

with the EMWD Plan of Service. All residential, commercial and industrial systems will be designed in compliance with the appropriate Regional Water Quality Discharge Permits for the Sun City and Perris treatment facilities.

EMWD has conducted demand studies to determine the percentage use of these major facilities by area wide projects. Major sewer facilities will be shared by major developments on a pro rata use basis. The major elements proposed to serve the project site include the following:

Off-Site Sewer:

The site is projected to be served by future trunk lines that will gravity flow to the North within the Haleblain and Pittman Road alignments to the existing Garboni Road trunk line, which flows to the West, to the Haun Road trunk line. The Haun Road trunk sewer flows north to the existing forty-eight inch (48") Salt Creek Sewer Line, for treatment in the Sun City Treatment Plant. The Haleblain Road and Garboni Road trunk lines have been sized to include the Murrieta Highlands project. The Haleblain Road and Garboni Road trunk lines have been constructed by EMWD. Off-site improvements as well as methods and programs to finance these types of facilities may change over the lifetime of the project.

On-Site Sewer:

On-site sewer collection systems will connect to EMWD regional sewer collection facilities. The conceptual location for the on-site sewer collection system is shown in Figure I-T. Approval of these sewer alignments and their sizes will occur during the Tentative Tract Map process. Detailed sewer improvement plans will be submitted to EMWD for review and approval concurrently or subsequent to City review and approval.

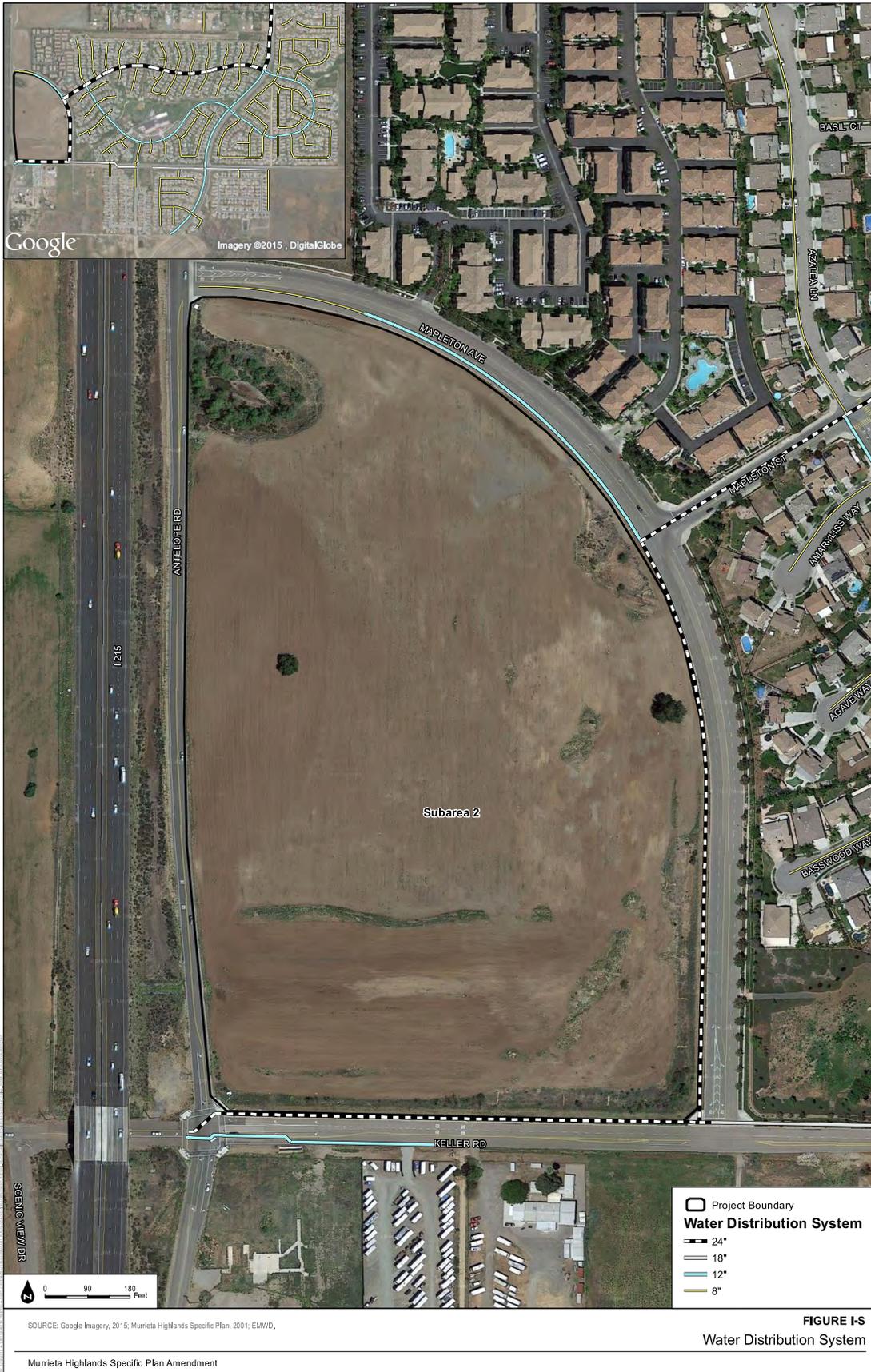


FIGURE I-5
Water Distribution System

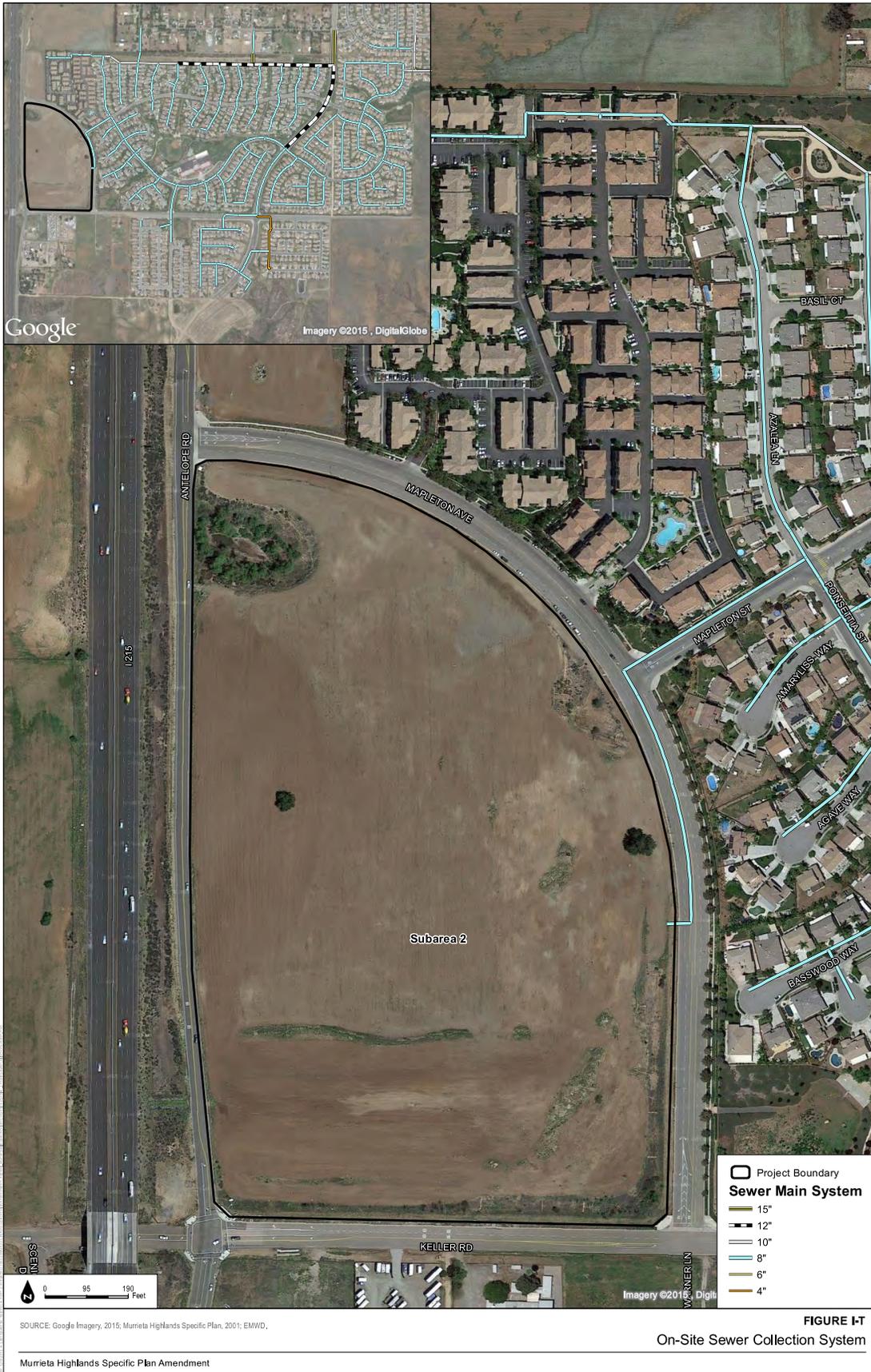


FIGURE I-T

On-Site Sewer Collection System

DRAINAGE (STORM WATER)

Jurisdictional responsibility for Storm Drainage for the project area is split between the City of Murrieta and the Riverside County Flood Control District. Major drainage facilities are controlled by the County Flood Control District, while the smaller drainage facilities as it is the case with this project, are controlled by the City. The project site drains into two distinct watersheds. The westerly two thirds drains north towards Paloma Creek in the Santa Ana River Watershed. The easterly one third of the project site drains easterly and eventually flows into Warm Springs Creel, which is part of the Santa Margarita Watershed. There are no improved regional storm drains facilities in the vicinity of the Murrieta Highlands project. Required off-site improvements as well as methods and programs to finance those types of facilities may change over the lifetime of the project.

The only existing upstream drainage facilities occur at the watershed natural swale crossings of the I-215 freeway and processing easterly under Antelope Road discharging ultimately onto the Murrieta Highlands projects typically in a sheet flow manner. The existing downstream facilities occur within the J-Bar Ranch subdivision and consist of unimproved drainage swales across private property with culverts conveying the drainage under the street system. Most of the drainage from this is in a northward direction ultimately into the Santa Ana Basin.

Streets:

All streets shall be allowed to convey the 10-year storm flows within the curb-to-curb section of the street. The 100-year storm flows will be conveyed within the street section up to the right-of-way. Should the tributary storm flows exceed either condition, a separate storm drain system shall be constructed either as an open channel or a closed conduit.

Channel and Conduits:

All channels and conduits shall be designed to convey the 100-year storm flow with adequate discharge protection.

Detention Basins:

Murrieta Highlands overlay two distinct drainage areas each served by a series of detention basins. The purpose of the detention basin is to provide the detention capacity needed to limit the post-development discharge quantities to be no greater than the existing natural discharge quantities for the 1, 3, 6 and 24-hour duration storm for the 2, 5, 10 and 100-year flood events. Owing to the special drainage concerns of the J-Bar Ranch residents, the post development discharge levels will be reduced to reduce the existing

discharge quantities. The design process for the detention basins shall strive to achieve a 10% reduction of the 100-Year Storm Event existing flow.

The basins are designed to fill gradually to shallow depths, with low velocities and to discharge over a period of hours. The physical design is that of a wide, shallow grass lined basin inlet and outlet protection. Low flow or nuisance drainage shall be channeled through the basins with appropriate landscaping materials bordering the low flow channels. Landscape materials and design will detain and absorb and filter this runoff. Appropriate National Pollution Discharge Elimination System (NPDES) requirements shall be accommodated in the design of the detention basins. The detention basins shall be constructed and operational as needed and determined by project specific drainage studies.

The storm water detention basin is planned to be located in the Park/detention basin area, and will be designed to spread storm water over broad flat basins. These basins will be designed to be shallow and as broad as possible thus serving dual purposes for recreation when dry and for safety reasons when wet. This design will reduce the need for off-site detention or major channelization of creeks like Warm Springs Creek. The basin should fill with water during a storm. The basin will require several hours to dissipate water following a storm. During the rainy season, this basin may not be available for recreational activities. When the basin is dry, recreational activities will be limited to passive uses within the detention basin. Trail systems will be routed around the basin. Landscaping will be planted within and surrounding the basin. The basin will be planted in native grasses to control dust and erosion (see Chapter III, Community Design Manual for detention basin landscaping concept).

Sedimentation:

A debris basin is proposed at the corner of Keller Road and Antelope Loop Road. This debris basin will capture and trap the sediment load that's tributary to the project. All provisions of the NPDES program will be implemented during construction and appropriate Best Management Practices (BMP) compliance will be attained through the City of Murrieta's NPDES Municipal Permit. The developers and builders will provide all required documentation and evidence of construction permit compliance by October 1 of each year. Off-site storm water discharges are planned to remain at existing levels. The locations of the proposed on-site storm drain facilities are shown in Figure I-U A conceptual storing water detention system is shown in Figure I-V. In addition, these storm

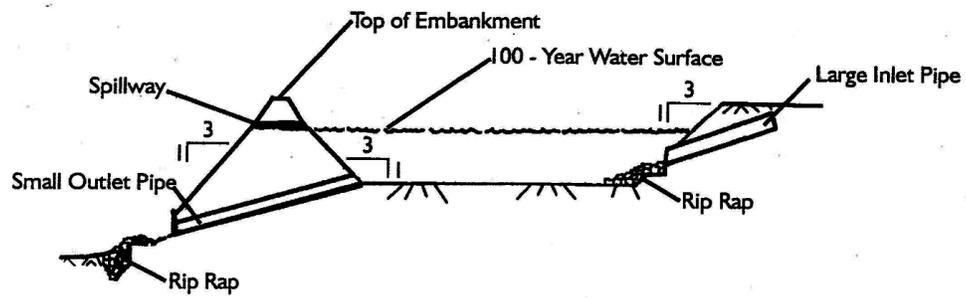
water detention basins will be designed to meet the requirements of the National Pollution Discharge Elimination System (NPDES) program.



- Project Boundary**
- On-Site Storm Drain Facilities**
- Catch Basin
 - Detention Basin
 - Drop Inlet
 - Inflow
 - Man Hole
 - Outflow
 - Channel
 - Connector (virtual concept)
 - Curb/Gutter
 - Lateral Pipe
 - Main Pipe
 - Spillway
 - Stream
 - Swale
 - Desiltation Basin
 - Detention Basin

SOURCE: Google Imagery, 2015; Murrieta Highlands Specific Plan, 2001; EMWD.

FIGURE I-4
On-Site Storm Drain Facilities



SOURCE: Murrieta Highlands Specific Plan, 2001.

FIGURE I-V
 Conceptual Storing Water Detention System

Murrieta Specific Plan Amendment

RECLAIMED WATER

Major regional reclaimed water facilities are proposed in Leon Road with a potential transmission system aligned in Keller Road to serve the proposed Rose Hills Cemetery. The transmission of reclaimed water up Keller Road will require a pump station and storage facilities.

The regional reclaimed water system is in the planning stages at EMWD. Service to the Murrieta Highlands Specific Plan is planned. EMWD will be preparing detailed plans for this system. As plans become available, a 1750 Core District System will be designed and implemented. Reclaimed water could be used for the multi-purpose greenbelt, street landscaping and potentially for the Neighborhood Parks.

WATER, SEWER, AND DRAINAGE PLAN DEVELOPMENT REQUIREMENTS

1. Specific methods of handling drainage and sewer issues shall be subject to approval by the Director of Public Works prior to approval of final maps. All current provisions of the NPDES and the Clean Water Program shall be met. (Condition number 1 of the Potable Water, Reclaimed Water, Sewer and Drainage section of City Council Resolution No. 95-388).
2. The developer shall enter into agreements with the City to provide for diversion of drainage at such time as required by any conditions placed on the tentative map. (Condition number 2 of the Potable Water, Reclaimed Water, Sewer and Drainage section of City Council Resolution No. 95-388).
3. Runoff from the development shall not exceed present flows of the 100-year frequency storm. Retention/detention facilities will be required as approved by the Director of Public Works prior to issuance of grading permits to reduce the quantity of runoff to an amount equal to or less than present flows (Condition number 3 of the Potable Water, Reclaimed Water, Sewer and Drainage section of City Council Resolution No. 95-388).
4. Graded access shall be provided to all storm drain cleanouts, inlets and outlets, and paved access shall be provided to all sewer manholes (Condition number 4 of the Potable Water, Reclaimed Water, Sewer and Drainage section of City Council Resolution No. 95-388).

5. Public improvements shall be installed as indicated in accordance with the approval of the Director of Public Works. Specific improvements will be determined prior to approval of the tentative map (Condition number 5 of the Potable Water, Reclaimed Water, Sewer and Drainage section of City Council Resolution No. 95-388).
6. Potable water, reclaimed water and sewer facilities shall be installed in accordance with the requirements and specifications of Eastern Municipal Water District (EMWD) (Condition number 6 of the Potable Water, Reclaimed Water, Sewer and Drainage section of City Council Resolution No. 95-388).
7. Any plans for water reservoir siting shall be reviewed by the City Engineer and Planning Department and coordinated with Eastern Municipal Water District (Condition number 7 of the Potable Water, Reclaimed Water, Sewer and Drainage section of City Council Resolution No. 95-388).
8. The developer shall provide in writing from EMWD, a statement that an agreement has been reached with respect to providing services to this project prior to recordation of any tract maps or any implementing project (Condition number 8 of the Potable Water, Reclaimed Water, Sewer and Drainage section of City Council Resolution No. 95-388).
9. Prior to individual project approvals, additional on-site hydrology/hydraulic studies shall be prepared to determine the existing and developed 10-year and 100-year storm peak flows. Development shall detain the 10-year incremental developed increased storm water runoff by means of on-site or off-site detention. Detention techniques shall include, but are not limited to:
 - a) Parking Lot Detention; or
 - b) On-site Detention Basin; or
 - c) Other methods approved by the City Engineer.

(See Condition of Approval number 9 of the Potable Water, Reclaimed Water, Sewer and Drainage section of City Council Resolution No. 95-388.)

10. The design process for the detention basins shall strive to achieve a 10% reduction to the 100-year storm level. (Condition number 10 of the Potable Water, Reclaimed Water, Sewer and Drainage section of City Council Resolution No. 95-388).
11. Plans for detention basins shall be evaluated at the tract map phase to determine the need for fencing the facility. It is intended that these basins serve as useable open space and therefore be accessible to the public (Condition number 11 of the Potable Water, Reclaimed Water, Sewer and Drainage section of City Council Resolution No. 95-388).
12. All water and sewer lines shall be placed underground.
13. All lines will be designed in accordance with requirements and specifications for Eastern Municipal Water District.
14. Water and sewerage disposal facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department.
15. Drainage and flood control facilities and improvements shall be designed and constructed in accordance with City of Murrieta and Riverside County's Flood Control and Water Conservation District criteria.
16. Drainage facilities will be either maintained by Riverside County Flood Control District, the City of Murrieta or the City's CSD. Maintenance responsibilities for drainage facilities will be determined upon filing of individual tract maps.
17. Water conservation requirements and standards that are required by the City of Murrieta, EMWD and the State of California will be met or exceeded by this project.

K. SOLID WASTE PLAN

The Murrieta Highlands Specific Plan is served by the Riverside County Waste Resources Management District. This agency enforces State Regulations and County Ordinances that pertain to solid waste collection and disposal. There is one solid waste disposal site in southwestern Riverside County that may serve the project. The disposal site is the El Sobrante landfill approximately sixteen (16) miles northwest of the project

site. This landfill is anticipated to reach capacity by the year 2007.

ASSEMBLY BILL 939

Assembly Bill 939 (AB 939), the California Integrated Solid Waste Management Act of 1989, and its implementing regulations (adopted on March 19, 1990), have established mandatory goals for the reduction of solid waste. The main purpose of the statute is to reduce, recycle and reuse solid waste to the maximum extent feasible. AB 939 requires that cities and counties reduce the amount of solid waste being sent to landfills by 25 percent over the next three years (by January 1, 1995), and by 50 percent over the next eight years (by January 1, 2000). To insure that cities meet this mandate, they are required to prepare a Source Reduction and Recycling Element ("SRR Element") for approval by the California State Solid Waste Management Plans incorporating the plans for all cities located within the County. The City is currently in the process of preparing a SRR Element in compliance with AB 939. Subsequent to preparation of the Element, the City will be required to submit the document to Riverside County for its ultimate incorporation into the County Integrated Solid Waste Management Plan.

Curbside residential refuse service in the City includes a curbside program for recycling and diversion of green waste. Containers are provided for newspaper and other recyclables (such as glass, aluminum and plastic) and stickers are provided for labeling trash containers and bags that contain green waste. Murrieta Highlands Specific Plan will comply with all State and local-level regulations.

L. ENERGY PLAN

ENERGY PROVIDERS

Electricity

The Murrieta Highland Specific Plan site is served by Southern California Edison from substations located near Sun City. These substations can adequately handle energy demand from the development of the Specific Plan.

Natural Gas

The project site is served by Southern California Gas (SCG). SCG facilities are proposed at Antelope and Clinton Keith Roads. The specific plan project can be adequately served by the current natural gas supply that is managed through regulatory policy. A typical single family home uses approximately 800 therms per year, while a multifamily unit uses about 500 therms per year.

FACILITIES

There will be some new electrical facilities required to serve the proposed project according to officials at Southern California Edison (SCE).

A major gas line runs parallel to I-215 along Antelope Road with connections planned at Clinton Keith, Keller, and Scott Roads. No new natural gas facilities will be required to serve the proposed project.

ENERGY CONSERVATION MEASURES

The Murrieta Highlands Specific Plan Project will be required to comply with Title 24 energy code requirements.

Energy conservation measures will be employed in building design in solar heating, insulation, heat storage systems, building placement, and vegetative plantings.

M. OTHER PUBLIC FACILITIES PLAN

SCHOOLS

The Murrieta Highlands Specific Plan proposes a minimum twelve (12) net acre Elementary School. The school and Neighborhood Parks along with the Multi-purpose Greenbelt is the focus or focal point of the community. Both the school and roads accessible from are internal collectors as well as local collectors. The school site is also accessible through this greenbelt system. On the basis of on student demand, the proposed Elementary School site may be shared with students from the Golden City and Murrieta Hills Specific Plans.

Middle school and high school students, generated from the Murrieta Highlands Specific Plan, will use existing facilities provided through the Menifee Union and Perris Unified School Districts, which boundaries lay within the Murrieta Sphere of Influence and into the current City limits.

The Murrieta Highlands Specific Plan proposes a significant portion of the project be developed for use by seniors. Approximately forty percent (40%) of the project's housing could be sold to seniors according to the project economist. A recent survey of Murrieta housing shows that over twenty five percent (25%) of existing housing is occupied by seniors. The amount of senior housing sold will be reflected in lowered demand for schools. Exact project demand will be determined by City and school officials.

FIRE PREVENTION

Fire Station No. 4 is located at 28155 Baxter Road that serves as the primary fire station for the Murrieta Highlands Specific Plan..

There are two existing fire station sites with an approximate 5-minute response time to the project. One station is located approximately 5 miles from the site at Murrieta Hot Springs Road and Whitewood. The other station is located approximately 1.3 miles from the site at Baxter and Antelope Road.

COMMUNICATIONS

Telephone

The proposed project will be served by Verizon California. Telephone facilities exist along Keller Road adjacent to the Murrieta Highlands Specific Plan. There are currently no plans for expansion of the facilities. It may be necessary to expand service in the vicinity of Murrieta Highlands to accommodate full build out of the project.

Cable

The Murrieta Highlands Specific Plan will be served by AT&T Broad Band who will provide Cable TV services and programs.

Public Safety

The City of Murrieta Police Department provides services to the project. Services provided by the Murrieta Police Department will include receiving and dispatching emergency calls for services (police, fire, medical) via the "911" system; responding to police calls for service; providing visible patrols; law enforcement; investigating traffic accidents; and providing crime prevention educational programs.

LIBRARIES

The proposed Murrieta Highlands Specific Plan project will be served by the City library facilities. In addition, there are three other libraries in the area near the proposed project site, including the Temecula, Lake Elsinore, and Sun City libraries.

IV. IMPLEMENTATION

The land uses illustrated by this Specific Plan represent the general arrangement and type of land use intended for development. The maximum number of dwelling units, 1,167 single-family dwelling units and up to 342 multi-family dwelling units shall be permitted subject to the City of Murrieta's Specific Plan approval. Approval of the tentative subdivision maps will determine the actual number of lots, lot sizes, lot design or street design, grading and other design elements and improvements. Existing and future city ordinances and studies that will apply to this project may result in a reduction in the final number of lots and or dwelling units.

A. ZONING PROVISIONS

The Murrieta Highlands District Regulations are included as Chapter two of this document. The Murrieta Highlands District Regulations establishes development standards and use restrictions within the project boundaries.

The Murrieta Highlands District Regulations is intended to preserve and promote the public health, safety and general welfare of the planned community. The City of Murrieta will be responsible for issuing licenses and permits and enforcing the provisions of the ordinance. No license or permit will be issued by the City unless the proposed land uses are in conformance with ordinance provisions.

B. COMMUNITY DESIGN MANUAL

The Murrieta Highlands Community Design Manual is provided is included under Chapter Three of this document. The Community Design Manual ensures a high quality and aesthetically pleasing environment will be created for the Murrieta Highlands community. Murrieta Highlands has been designed as a high quality community. The design manual will ensure the City of Murrieta that the Specific Plan develops in accordance with the high quality and standards envisioned.

The manual will provide guidance to developers, builders, engineers, architects, landscape architects and other professionals in order to maintain a high quality plan. The manual will provide guidance to City staff, the Planning Commission and the City Council during their review of development projects within the Specific Plan boundaries. In addition, the manual will provide guidance in formulating concise development guidelines for project sites within the Specific Plan boundaries.

C. DEVELOPMENT PHASING

Public Facilities Phasing

A Phasing Plan was prepared to ensure timely development of the Multi-purpose Greenbelt/Paseo system, Neighborhood Parks and Elementary School site.

Multi-Purpose Greenbelts/Paseos

The Multi-purpose Greenbelt/Paseo system between Antelope and Menifee Roads will be developed during the first phase of the project in accordance with the approved Phasing Plan. Construction of the detention basins within the greenbelt will be completed before occupancy permits are granted by the City of Murrieta.

Neighborhood Parks

The Neighborhood Park Sites will be developed concurrently with the appropriate residential phases of the project. These parks will either be constructed by the developer or by the City of Murrieta. If the City of Murrieta constructs the parks, it will be through park dedication fees paid by the developer. Murrieta Highlands may dedicate land and a portion of the facilities instead of fees as their pro-rata share.

D. SUBSEQUENT DEVELOPMENT ENTITLEMENTS

Subsequent development entitlements to the Murrieta Highlands Specific Plan may include conditional use permits, tentative maps, final maps, public use permits, plot plans, site plan reviews and variances. These procedural permits could be used to implement the Specific Plan and would require review and approval by the City of Murrieta.

E. MITIGATION MONITORING

The Mitigation Monitoring and Reporting Program have been prepared in compliance with the California Environmental Quality Act (CEQA) Section 21081.6. The Mitigation Monitoring and Reporting Program is within the EIR. It describes the requirements and procedures to be followed by the project proponent and the City of Murrieta to ensure that all mitigation measures adopted as part of this project will be carried out as described in the Murrieta Highlands' EIR. The EIR summarizes the key components of this mitigation-monitoring program and provides an inventory of the project mitigation measures. The adopted mitigation measures will be implemented through a combination of three methods. These methods are: 1) redesign, which is verified by plan check and inspection; 2) compliance with various codes, ordinances, policies, standards and

conditions of approval that are satisfied prior to or during construction and verified by plan check and/or inspection; and 3) monitoring and reporting after construction is completed.

A Program EIR (PEIR) for the creation of the MU-2 Subarea 2 and associated Medical Center project has been prepared to address the potential environmental impacts and, where appropriate, recommend measures to mitigate these impacts. As such, a mitigation monitoring plan is required to ensure that the adopted mitigation measures are successfully implemented. This plan lists each mitigation measure and project design feature, describes the methods for implementation and verification, and identifies the responsible party or parties. The City of Murrieta will be responsible for administering the mitigation monitoring plan and ensuring that all parties comply with its provisions. The City may delegate monitoring activities to staff, consultants, or contractors. The City will also ensure that monitoring is documented through periodic reports and that deficiencies are promptly corrected. The designated environmental monitor will track and document compliance with mitigation measures, note any problems that may result, and take appropriate action to rectify problems.

V. SPECIFIC PLAN ADMINISTRATION AND ENFORCEMENT

A. SPECIFIC PLAN FEES

Fee schedules are provided by the City of Murrieta and are subject to modification by the City Council.

B. SPECIFIC PLAN AMENDMENT PROCEDURES

Specific Plan Amendment procedures shall be consistent with those set forth in the City of Murrieta Development Code.

C. STATEMENT OF POLICY/REGULATORY NATURE OF PLAN

This Specific Plan is a policy document that has been prepared to achieve the goals and objectives of the City of Murrieta. This document is a tool to ensure the orderly development of a neighborhood community and providing a legal foundation for this for this future growth. Violation of the requirements of a specific plan adopted by the City Council constitutes a violation of the Murrieta City Development Code.

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I. INTRODUCTION

A. BACKGROUND AND SCOPE

This Murrieta Highlands Specific Plan intends to define in more detailed terms the development parameters for the Murrieta Highlands Planned Community, including the land use mix, design criteria, primary circulation pattern, open space and recreation concept, and infrastructure requirements. Additionally, the character and form of the project will be implemented through a series of guidelines and development standards in accordance with the District Regulations of this Murrieta Highlands Specific Plan.

The purpose of the plan is as follows:

1. Assure a high quality of development, consistent with City and Community goals and objectives, and those of the developer and/or his designated representative.
2. Create an economically viable plan that can be realistically implemented within current and projected economic conditions.
3. Provide for orderly planning and long-range development of the project to ensure community compatibility.
4. Facilitate adequate provision for community facilities, such as transportation, water, flood control, sewage disposal, healthcare, retail and community services, schools and parks and provide adequate assurance to the Developer that approved development will be allowed in a timely and economically viable manner.
5. Preserve open space and natural amenities on the property where possible.
6. Establish a planning and development framework which will allow diverse land uses to exist in harmony within the community.

This Murrieta Highlands Specific Plan provides the Murrieta Highlands District Regulations as a supplement to other existing City regulations. The Specific Plan regulations supersede other regulations where there is a conflict; where a topic is not addressed by this Specific Plan, appropriate City regulations shall apply.

The Murrieta Highlands Specific Plan, once approved, is the implementation tool of the Murrieta General Plan. It establishes design criteria for the site and defines precisely the type and amount of development permitted. It establishes the City's standards for that development including open space provisions and major improvements to be constructed by the developer.

Murrieta Highlands District Regulations serve as an important tool through which the City will review and evaluate schematic, preliminary and final drawings of each individual project to be built in the Planned Community. Such guidance is imperative to the design review function.

These Specific Plan District Regulations are adopted pursuant to the Murrieta Development Code (MDC) and are intended to implement and integrate the Murrieta General Plan and the Murrieta Highlands Specific Plan for the Murrieta Highlands Planned Community. These regulations set forth the development and use standards for all property within the Specific Plan by establishing:

- Setbacks;
- Building heights;
- Parking requirements;
- Landscape requirements;
- Use restrictions;
- Animal regulations;
- Density of development;
- Lot size, width and depth;
- Fencing requirements; and,
- Signing regulations.

The District Regulations are organized into three basic land use districts:

- Residential District;
- Commercial District; and,
- Special Purpose District.

Each of these three basic land use districts is further broken down into specific zoning categories.

II. GENERAL PROVISIONS

A. INTRODUCTION

This section intends to define the District Regulations for the Specific Plan Zoning set forth in the Murrieta Highlands Specific Plan.

Purpose and Intent:

The Specific Plan District Regulations for Murrieta Highlands are intended to:

- a) Provide for the orderly planning and long term development of Murrieta Highlands so that the entire community and subsequent extensions of planning areas will provide an environment of stable and desirable character;
- b) Provide reasonable assurance that this Specific Plan prepared in accordance with an approved General Plan will be acceptable to the City;
- c) Enable the City to adopt measures providing for the development of the surrounding area compatible with the Planned Community Zone;
- d) Enhance and implement the City of Murrieta General Plan;
- e) Secure for the citizens of the City the social and economic advantages resulting from an orderly planned use of its urban resources;
- f) Establish conditions which will allow proposed land uses to exist in harmony within the community;
- g) Provide for community facilities, such as transportation, water, sewage, healthcare, retail and community services, parks, schools and other public requirements;
- h) Provide flexibility in development standards and permit planned diversification in the location of land uses and structures;
- i) Recognize the inherent influence that economic conditions and consumer needs will have in the establishment of the Murrieta Highlands Planned Community;
- j) Allow a diversity of uses, site relationships and heights of buildings and open space in planned building groups, while insuring compliance with the spirit, intent, and provisions of the Murrieta Development Code; and,
- k) Individual acreage's indicated on the Master Plan are indicated to the nearest one-tenth acre based on planimeter readings. Slight modifications that may result from technical

refinements such as land surveys performed during the development permit and subdivision process will not require an amendment to this document, providing the spirit and intent is maintained.

Residential Density and Dwelling Unit Summary:

The residential density governing this site is a maximum of 1,167 detached single-family dwelling units and 342 multi-family dwelling units as designated by the General Plan. The proposed mixture of residential types as depicted on the Murrieta Highlands Specific Plan is as follows:

TABLE 2-A – Residential Mix Summary

Land Use	Acres*	Density**	D.U.	%***
SF-2 Single Family Residential (6,000)	218.4	4.0	872	73.7%
SF-1 Single Family Residential (7,000)	59.1	2.0	295	19.9%
MF-2 Multi Family (18 du/acre)	19	18	342	6.4%
Total	296.5	5.08	1,509	100.0%

*Acreage's are approximations and may vary during Tentative and Final Mapping.

**Densities may vary per Planning Area.

***Percentages of total residential unit types.

Density Transfer:

In order to allow for density flexibility and residential diversity, the transfer of dwelling units from one residential category to another within the Specific Plan may be approved as part of this Specific Plan approval process or the Tentative Map approval process. Transfers of density shall be based on evidence that the proposed transfer would substantially improve spatial or functional relationships or would materially increase the quality of the land use, circulation or conservation pattern thereof. An increase in the number of dwellings must always be accompanied by a corresponding decrease in dwellings within a Planning Area in another area. The use of this transfer method shall not result in an increase in dwelling units of more than fifty percent (50%) within the planning area receiving the transferred units. Should such a transfer be approved, applicable statistics and figures shall be revised in an administrative manner by the Planning Manager without necessity of a Zone Change.

B. PRIVATE AGREEMENTS

The provisions of this Ordinance are not intended to abrogate any easement, covenant, or other existing agreements that are more restrictive than the provisions of this Ordinance.

C. REPEAL OF CONFLICTING ORDINANCES

Whenever the provisions of this Ordinance impose more or less restrictive regulations upon construction or use of buildings or structures, or the use of lands or premises, than are imposed or required by other ordinances previously adopted, the provisions of this Ordinance or rules or regulations promulgated hereunder shall govern.

D. GENERAL NOTES

Purpose and Intent:

This section is included to provide definitions, methods of statistical computation, provision for services, relationship of this document to existing codes, and other miscellaneous notes required for clarification.

General Notes:

- a) Exceptions to Development Standards. The development standards contained herein may be waived or modified as part of the development plan or conditional use permit process if it is determined that the standard is inappropriate for the proposed use, and that the waiver or modification of the standard will not be contrary to the public health, safety, and general welfare.
- b) Any land use regulations not specifically covered by this plan and supplemental text, or included in subsequent approvals provided herein, shall be subject to the zoning regulations of the Murrieta Development Code.
- c) The several Land Use Districts and boundaries of said Districts and each of them hereby are established and adopted as shown, delineated and designated on the Murrieta Highlands Land Use Plan of the City of Murrieta, Riverside County, which map, together with all notations, references, data, district boundaries, and other information thereon, is made a part hereof and is adopted concurrently herewith.
- d) The original of the Murrieta Highlands Master Plan shall be kept on file with the City Clerk and shall constitute the original record. A copy of said map shall be also filed with the Planning Department.
- e) All construction within the boundaries of the Murrieta

Highlands Specific Plan shall comply with all provisions of the construction and building codes applicable in the City of Murrieta.

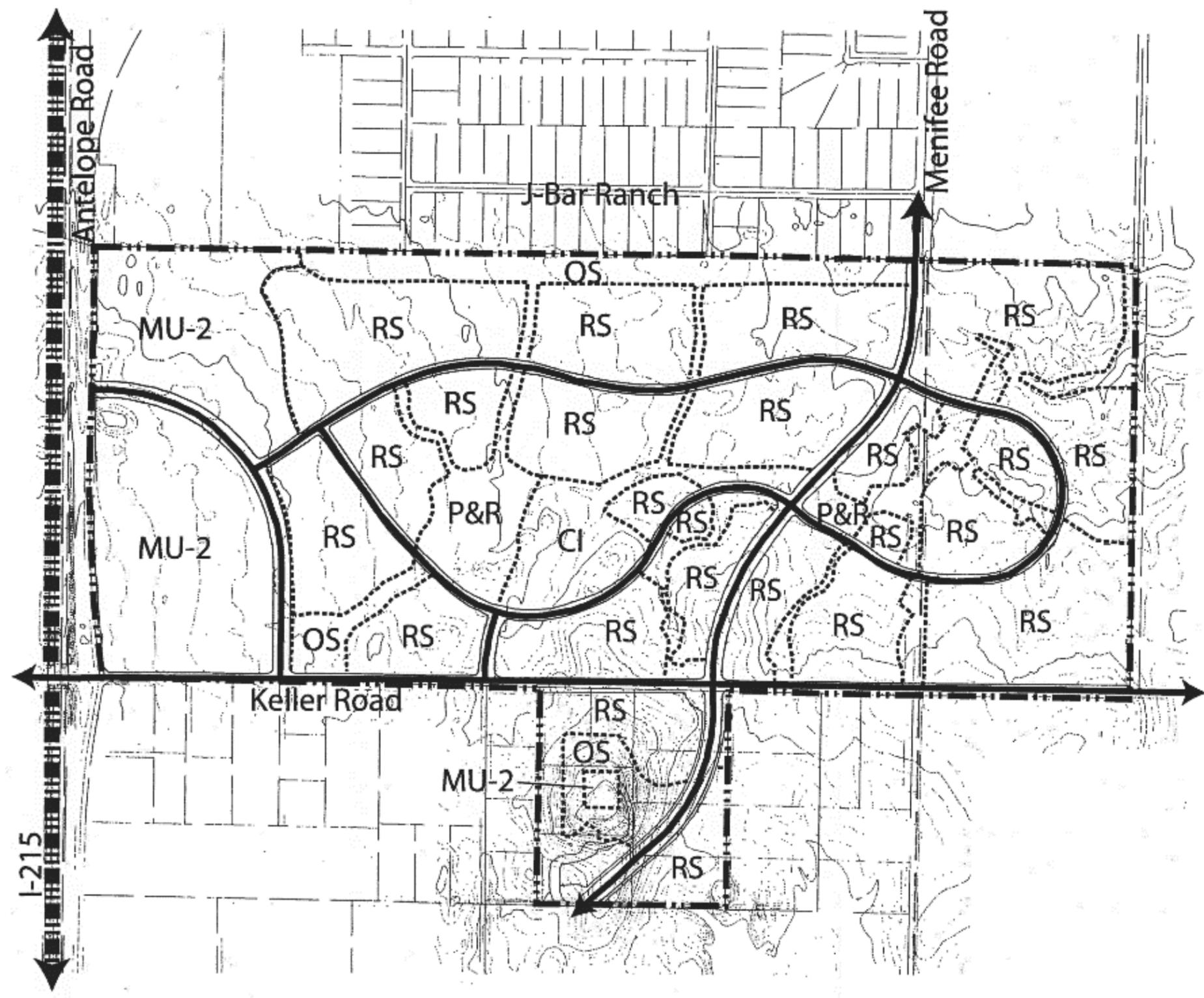
- f) Terms used in this ordinance shall have the same meaning as defined in the City of Murrieta Development Code unless otherwise defined herein.
- g) The terms "Murrieta Highlands", "the Murrieta Highlands Planned Community", "this Planned Community", "Specific Plan" and "this SP," as used herein are interchangeable and refer to the SP Zoning on the land legally described in the Appendices.
- h) Unless otherwise noted, references to section numbers and paragraphs are references to sections and paragraphs herein.
- i) The Murrieta Highlands District Regulations include this text and map (see Figure II-A, Zoning Map Districts for the project)¹³ together with all references to the Murrieta Development Code
- j) Following are the definitions for abbreviations used within the Specific Plan District Regulations:

Ac.	Acre(s)
Avg.	Average
CC&R'S	Covenants, Conditions & Restrictions
CC	Commercial-Community
CN	Commercial-Neighborhood
CO	Commercial-Office
CUP	Conditional Use Permit
D.U.	Dwelling Units(s)
DU/AC	Dwelling Units Per Acre
FAR	Floor Area Ratio
GFA	Gross Floor Area
GP	General Plan
Max.	Maximum
Min.	Minimum
MDC	Murrieta Development Code
NC	Neighborhood Commercial
No.	Number
OS-AR	Open Space-Active Recreation
OS-NR	Open Space-Natural Resource

¹³ For MU-2 Subarea 2, please refer to Figure II-A (SPA) located in the Appendix

OS-SU	Open Space-Streetscape/Utility Right of Way
PA	Planning Area
PI	Public/Institutional
Res.	Residential
RP	Residential Planned Development
RS	Residential Planned Development
SFD	Single Family Detached
SP	Specific Plan
S.F.	Square Foot or Feet
UBC	Uniform Building Code

Zoning Map
Figure II-A



- RS Residential
- MU-2 Multiple Use 2 (Specific Plan)
- CI Civic Institutional
- P&R Park and Recreation
- OS Open Space

- k) Circulation routes indicated on the Specific Plan/Circulation. Plan shows the general location of anticipated highways and collector streets. The addition, deletion, or other modification of circulation routes approved by the City Council as a result of a General Plan, Circulation Element Amendment may occur without a revision to this Specific Plan. The total dwelling units permitted cannot be increased as a result of a circulation route change without this Specific Plan being amended and/or approved by the City Council.
- l) Changes in the numbering of sections in the Development Code shall not require an amendment to this Specific Plan.
- m) Public services and utilities will be provided by the following, unless otherwise approved during the adoption of this Specific Plan.

Water- Eastern Municipal Water District

Sewer - Eastern Municipal Water District

Flood control - City of Murrieta & County of

Riverside Electrical - Southern California Edison

Natural Gas - Southern California Gas

School Facilities - Local School District

Public Parks - City of Murrieta

Fire Protection - City of Murrieta

Police Protection - City of Murrieta

Telephone Service- Verizon of California

- n) Whenever the regulations contained herein conflict with the regulations of the Murrieta Development Code, the regulations contained herein shall apply.
- o) Grading may be permitted within this Specific Plan upon preparation of a grading plan and the securing of a grading permit. Any off-site grading shall be subject to the same approval process.

- p) References to regulations in the Murrieta Development Code are references to the provisions in effect at the time of the implementation of this Specific Plan.

E. ENFORCEMENT

Enforcement by City Officials:

All officials charged with the issuance of licenses, or permit, shall enforce the provisions of this Ordinance. Any permit, certificate, or license issued in conflict with provisions of this Ordinance shall be void.

Actions Deemed a Nuisance:

Any building or structure erected hereafter, or any use of property contrary to the provisions of a duly approved Development Plan, Variance, Conditional Use Permit, and/or this Ordinance, shall be declared to be unlawful and a public nuisance, and be subject to abatement in accordance with the local Ordinance.

Remedies:

All remedies concerning this Ordinance shall be cumulative and not exclusive. The conviction and punishment of any person hereunder shall not relieve such persons from the responsibility of correcting prohibited conditions or removing prohibited buildings, structures, signs, or improvements, and shall not prevent the enforced corrections or removal thereof.

Penalties:

Any person, partnership, organization, firm or corporation, whether as principal, agent, employee or otherwise, violating any provisions of this Ordinance or violating or failing to comply with any order or regulation made hereunder, shall be guilty of an infraction and, upon conviction thereof, shall be punishable as provided by local ordinance.

F. ESTABLISHMENT OF SPECIFIC PLAN DISTRICTS

Division into Specific Plan Districts

In order to classify, regulate, restrict and separate the use of land, buildings and structures, and to regulate and limit the type, height and bulk of buildings and structures in the various districts, and to regulate the areas of yards and other open area abutting and between buildings and structures, and to regulate the density of population, Murrieta Highlands is hereby divided into the following Specific Plan Districts:

RESIDENTIAL DISTRICT

SF-1 Single-Family minimum seven thousand square feet (7,000 sf

min.)
SF-2 Single-Family minimum six thousand square feet (6,000 sf min.)
MF-2 zoning district is applied to parcels appropriate for multi-family development at 18 du/ac per gross acre.

COMMERCIAL DISTRICT

MU-2 Commercial

MU-2 Subarea 1 Commercial and Industrial Corridor
MU-2 Subarea 2 Medical Center and Community Services

SPECIAL PURPOSE DISTRICT

C/I	Civic Institutional - Elementary School
P&R	Parks and Recreation - Neighborhood Park
P&R	Parks and Recreation - Multi-purpose Greenbelt
OS-NR	Open Space-Natural Resource
OS Open	Open Space-Landscape right-of-way

Changes to the Specific Plan Zoning Districts Map

Changes to the boundaries of the specific plan districts shall be made by ordinance and shall be reflected on the Murrieta Highlands Official Specific Plan Zoning Districts Map. Minor Modifications to the Specific Plan which do not require a Specific Plan Amendment are subject to review and approval of the City Manager and or designated appointee. The City Manager and or designated appointee, however, shall have the discretion to refer any such request for modification to the Planning Commission.

- a) Final facility sizing and precise location of water, sewer and storm drainage improvements with recommendations of the City Engineer.
- b) Change in utility and/or infrastructure servicing agency.
- c) Arterial, collector or local road alignment revisions when the centerline moves by less than two hundred feet (200').
- d) Collector street alignments within individual planning area tracts.
- e) Alignment of pedestrian trails and off-street bike lanes.
- f) Decrease in project density.
- g) Adjustment of planning areas so long as the total acreage does not decrease or increase by more than ten percent (10%) of that stated within this Specific Plan.
- h) Minor changes to landscape, wall material, wall alignment and streetscape design modifications, which are consistent with the design guidelines contained in Chapter three.

- i) Minor revisions to project graphics, which do not substantially change the intent of the graphics within the Murrieta Highlands Specific Plan.
- j) Transfer of units of ten percent (10%) or less only if the same land use.
- k) Minor modifications to architecture, plotting and unit size that have been previously reviewed and approved through the design review process.
- l) Specific modifications of a similar nature to those listed above, which are in keeping with the intent of the Specific Plan and which are in conformance with the General Plan.
- m) Changes resulting from the more precise engineering of an approved final tract map.

Such revisions shall be documented in the same manner as a formal amendment, showing the date and official action precipitating the revision.

G. DEFINITIONS:

For the purposes of this Ordinance, certain words, phrases, and terms used herein shall have the meaning assigned to them by the City of Murrieta Development Code (MDC).

When not inconsistent with the context, words used in the present tense include the future; words in the singular number include the plural; and those in the plural number include the singular. The word "shall" is mandatory; the word "may" is permissive. The word "Ordinance" refers to this Specific Plan.

Any aspect of land use regulation within Murrieta Highlands Specific Plan not covered by these district regulations or subsequent plan approvals shall be regulated by the applicable section of Murrieta Development Code (MDC).

H. VARIANCE PROCEDURE:

All variance applications shall be processed according to the City of Murrieta Development Code (MDC).

III. RESIDENTIAL DISTRICT

SF-1 (Single-Family Residential 1) District. The SF-1 zoning district is applied to parcels appropriate for single-family subdivisions. Minimum lot size is seven thousand square feet (7,000 sf).

SF-2 (Single-Family Residential 2) District. The SF-2 zoning district is applied to parcels appropriate for single-family subdivisions. Minimum lot size is six thousand square feet (6,000 sf).

MF-2 (Multiple-Family Residential 2) District. The MF-2 zoning district is applied to parcels appropriate for multi-family development at 18 du/ac per gross acre.

PERMITTED AND CONDITIONAL USES:

The following uses shall be permitted where the symbol "P" appears and shall be permitted subject to a Conditional Use Permit where the symbol "C" appears. Where the symbol "N" appears said use is not Permitted. Permitted uses shall be subject to Plot Plan review.

LAND USE DISTRICT	USES	RS-ZONE	MF-ZONE
A. Residential	1. Single-family dwelling	P	N
	2. Duplex dwelling	C	N
	3. Mobile homes on individual lots which are certified under the National Mobilehome Construction and Safety Standards Act of 1974	P	N
	4. Group residential, for more than 6 persons, including but not limited to, boarding or rooming homes, dormitories, retirement homes	N	N
	5. Multi-family dwelling	N	P
B. Agricultural	1. All types of horticulture	P	N
	2. Agricultural crops	P	N

	3. Keeping of a maximum of three (3) dogs or three (3) cats (over the age of four months) or combination thereof	P	P
C. Public and Semi Public Uses	1. Day nurseries, day care schools and nursery schools (over 6 children). Subject to City Ordinance Standards	C	C
	2. Convalescent homes	N	N
	3. Churches, convents, monasteries and other religious places of worship	C	C
	4. Essential public services, including but not limited to: schools, libraries, museums, parks, public works facilities and other civic uses	C	C
	5. Public safety facilities such as police or fire stations	P	C
	6. Public utility and public service substation, reservoirs, pumping plants, and similar installations	C	C
	7. recreational facilities, including but not limited to, country clubs, tennis and swim clubs, golf courses, racquetball and handball	C	C
	8. recreational courts, including but not limited to, tennis, basketball and similar uses	P	P
	9. Uses permitted in	P	P

	the open space district, herein		
D. Home Occupations	1. Home occupations, subject to approval of a Home Occupation Permit	P	P
E. Accessory Uses and Buildings	1. Accessory uses and accessory buildings customarily appurtenant to a permitted use	P	P
	2. Temporary tract offices and tract signs per City procedure	P	P

A. RESIDENTIAL DISTRICTS GENERAL DEVELOPMENT STANDARDS

New land uses and structures, and alterations to existing land uses and structures, shall be designated, constructed, and/or established in compliance with the requirements of the City of Murrieta Development Code, and all Building Codes, including setbacks, height limits, landscaping, parking, and all other development regulations except as modified herein. The following Property Development Standards shall apply to all land and buildings, other than accessory buildings, permitted in the residential land use district. Dimensions and standards are minimums. Minor variations may be permitted subject to plot plan or tract map approval providing that the minimums specified herein are maintained as average minimums. Lot widths and depths are typical minimums but may vary slightly with irregular shaped lots and site-specific conditions. The parking standards for a planned Senior Citizen or "affordable" residential development may be reduced from those specified herein for the district in which it is located at the discretion of the City Council through the C.U.P. process.

Development Standards RS Zone	
Lot Area (in net S.F.) Minimum	5,000 square feet
Lot Area (in net 00's S.F.) Minimum Average	5,500 square feet
Lot Width Minimum	50 feet
Minimum Frontage 1,2	40 feet
Lot Depth Minimum	90 feet
Lot Coverage	50%
FAR	N/A
Front Yard Setback to direct entry garage 3	18 feet
Front Yard Setback to side entry garage 3	10 feet
Front Yard Setback to main residence 3	16 feet
Side Yard Setback to adjacent residential lot 4	10/5 feet
Side Yard Setback between detached units 4	10 feet
Side Yard Setback to adjacent street 4	10 feet
Side Yard Setback to direct garage entry 4	15 feet
Rear Yard Setback	20 feet
Building Height, Main Residence	35 feet
Building Height, Accessory Structures 5	25 feet

1 For RS zone, there shall be a maximum of four (4) lots fronting on the circular portion of a standard cul-de-sac; and a maximum of two (2) lots fronting on the circular portion of standard knuckles.

2 Minimum lot widths on cul-de-sac lots shall be thirty-five feet (35') at the front setback.

3 Minimum setbacks is measured from public street R.O.W. Garage setbacks may be reduced to five (5) feet, when fronting on private driveways and there is adequate off-street parking provided with the project. Front yard porches may encroach four (4) feet into the minimum sixteen (16) feet setback.

4 Side yard setbacks shall be a minimum of five (5) feet, but may be modified to zero on one side with Plot Plan approval. Distance between residential units shall be a minimum of ten (10) feet.

5 Fifteen (15) feet height for single story structures and twenty-five (25) feet for two-story structures.

MODIFICATIONS TO DEVELOPMENT CODE PROVISIONS

The following Development Code modifications are specific to Murrieta Highlands.

1. Only Single Family detached product type is permitted in the single-family residential districts, except as described below.
2. Minimum lot size for SF-1 shall be seven thousand square feet (7,000 sf).
3. Minimum lot size for SF-2 shall be six thousand square feet (6,000 sf).
4. MF-2 zone shall comply with development standards of Development Code and shall not exceed a maximum of 18 dwelling units per acre for the MF-2

B. CANDIDATE INSTITUTIONAL SITE

Land shall be set aside and held in reservation for community institutions whose principal use shall be places of community service. The reservation shall carry with the land for a period not to exceed five (5) years from the approval date. The candidate site shall be established prior to the approval of the first Tentative Tract Map for this plan. If within such time said acreage is not secured, these acres shall revert to the underlying adopted Zoning district, and development shall be permitted thereon according to the provisions of this Specific Plan. All future candidate sites shall be located on a Collector Street classification or higher.

C. AFFORDABLE HOUSING PROVISIONS

The construction of affordable housing may be a required component of this Planned Community. If affordable housing is required, the provision of affordable housing shall be consistent with the General Plan Housing Element. Any Affordable Housing Program shall be developed in conjunction with the Planning and Development Department and approved by the Planning Commission and City Council. The approval of the affordable housing program shall occur prior to or concurrent with the approval of tentative tract maps for the respective phases of this Plan.

D. SPECIAL REQUIREMENTS

Model homes and their garages and private recreation facilities may be used as offices for the first sale of homes within a recorded tract and subsequent similar tracts utilizing the same architectural designs, subject to the provisions of Chapter 3, the Community Design Manual and the regulations of the City of Murrieta governing said uses and activities.

E. RECREATIONAL VEHICLES

The parking or storage of recreational vehicles in front yard setbacks or on public streets for greater than 48 hours in RS districts shall be prohibited. In addition, such parking shall also be further regulated by the Murrieta Municipal Code.

F. SCHOOLS

1. The Murrieta Highlands Specific Plan provides for a twelve-acre elementary school site to be located within CI District (Civic Institutional). This school site will be offered to the Menifee Unified School District.
2. If the School District should select an alternate site, then the school site originally indicated in the Specific Plan may be developed as single family.
3. If the School District should reject the school site indicated in the Specific Plan then that site may be also used for Single Family Residential.
4. Any dwelling permitted by Paragraphs 2 and/or 3, shall be subject to the maximum number of dwellings specified in the Land Use section of the Specific Plan, and shall be subject to these District Regulations.

III.I PERFORMANCE STANDARDS:

In Residential Districts, the following performance standards shall be met:

A. EQUIPMENT

Air conditioners, antennas, ham radio antennas, solar panels, heating, cooling, ventilation equipment and all other mechanical, lighting, or electrical devices shall be operated and located so that they do not disturb the peace, quiet and comfort of neighboring residents and shall be screened, shielded and/or sound buffered from surrounding properties and streets. All equipment shall be installed and operated in accordance with all other applicable Ordinances. Heights of said equipment shall not exceed the required height of the zone in which they are located.

Private, individual satellite dish antennas shall be screened from view from any public street. Community or association operated satellite dish antennas may be allowed subject to a Conditional Use Permit.

B. LANDSCAPING:

Required front and exterior side yards shall be landscaped and shall consist predominantly of trees, plant materials, ground cover and decorative rocks, except for necessary walks, drives and fences. All required landscaping shall be permanently maintained in a healthy and thriving condition, free from weeds, trash and debris. Landscaping requirements may be met by either installation by the builder or developer.

The landscaping of all properties shall be subject further to the Murrieta Development Code. The Mature Tree Preservation, Cutting and Removal Ordinance; and the provisions of Chapter III, the MURRIETA HIGHLANDS Community Design Guidelines.

C. UTILITIES

All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility providers. Pad-mounted transformers and/or meter box locations shall be included in the site plan with any appropriate screening treatment as approved by each utility.

D. EXTERIOR NOISE

The acceptable outdoor noise exposure level, measured at the property line, for each residential district is given in table as follows:

Exterior Noise Limits		
RS zone	7am to 10pm	10pm to 7am
	60dBA	55 dBA

- * Environmental Noise - CNEL
- * Nuisance Noise -not exceeded at any time

E. INTERIOR NOISE

The maximum permissible dwelling unit interior noise level is 45 dBA at all times.

F. ENERGY CONSERVATION

Buildings shall be located on the site to provide adjacent building adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption requirements, including, but not necessarily limited to, the following conservation considerations:

- Cogeneration;
- South facing windows;
- Eave coverage for windows and walls;
- Double glazed windows;
- Earth berming against exterior walls;
- Greenhouses; and,
- Deciduous shade trees.

G. PARKING STANDARDS: RS DISTRICTS

In all Residential Single Family (RS) District not less than three (3) off street parking spaces shall be provided for each main dwelling unit. Two (2) of these parking spaces shall be covered. Tandem parking spaces may be used to satisfy this requirement.

III.II ACCESSORY STRUCTURES

Accessory building and structures, attached or detached, used either wholly or in part for living purposes, shall meet all of the requirements for location of the main structure as constructed or required by the District whichever is less restrictive; except as herein provided. Any accessory building or structure used for habitation shall require a conditional use permit. Accessory structures exceeding eight hundred (800) square feet or including a bathroom shall require a conditional use permit prior to construction. Single story detached accessory structures (i.e. metal storage buildings, green houses and children's play houses) less than one hundred (100) square feet with no utility connections and located within rear yards and in compliance with required setbacks, are not required to obtain building permits.

- A. Enclosed accessory buildings attached to the main building shall not be allowed to encroach into the required rear yard setback. Open structures, such as patios, may be allowed to encroach into the rear yard setback subject to approval by the City of Murrieta.
- B. A detached accessory structure shall meet the setback requirements of the main building for the front and street side yard areas.
- C. A detached accessory structure may be located within an interior side yard or rear yard; provided, that such structure is located no closer than five (5) feet to an interior side or rear lot line and is at least six (6) feet from the main structure.

- D. Porches, steps, and architectural features such as eaves, awnings, chimneys, balconies, stairways, wing walls or bay windows may project not more than four (4) feet into any required front or rear yard area, and not into any required side yard more than one-half of said required side yard.

III.III WALLS AND FENCES

In any required front yard or side yard adjacent to a street, a wall, fence, or hedge shall not exceed forty-two (42) inches in height, except as provided herein.

- A. A wall, fence, or hedge not more than six (6) feet in height may be maintained along the interior side or rear lot lines, provided, that such wall, fence, or hedge does not extend into a required front yard or side yard adjacent to a street except for noise attenuation as required by the City and as herein provided.
- B. A wall, fence, or hedge adjacent to a driveway or street providing vehicular access to an abutting lot or street shall not exceed forty-two (42) inches in height within the front or sideyard setback area of the lot. Corner cut-offs may be required to maintain a reduced height in special circumstances for safety and visibility.
- C. Fiberglass sheeting, bamboo, sheeting or other similar temporary material shall not be permitted as a fencing material on street frontages or anywhere visible from public rights of way.
- D. Wrought Iron Fencing not more than six (6) feet in height may be maintained along the front yard or side yard adjacent to a street, provided, that such fence, or fence/wall combination is necessary for special security and safety circumstances. Such fencing shall permit visibility above the forty-two (42) inch requirement above. Wrought iron fencing must be approved by the City of Murrieta.

III.IV SIGNS

No sign or outdoor advertising structure shall be permitted in any residential district except as provided in Section VI.

IV.I COMMERCIAL DISTRICT

MU-2 (Mixed Use-2) District. The MU-2 zoning district is applied specifically to the forty-nine (49) acre site adjacent to I-215, and deemed appropriate for a flexible mixture of freeway serving industrial, community serving retail, general and medical office, hospitals and urgent care, multi-

family residential and retail commercial use, including hotels and motels. The MU-2 zoning district is consistent with the Multiple Use, Area 2 land use designation of the General Plan.

This district is intended to provide for area of Commercial and Business Park uses including light industrial uses, research and specialized manufacturing organizations, hospital and urgent care, and administrative, professional, and medical offices that can meet high performance and development standards.

The objectives of the Multiple Use-2 District are to provide for a quality-working environment and to achieve a harmonious mixture of uses, which might otherwise be considered incompatible when located in close proximity. These uses include professional and medical office, general office, manufacturing, service, research and development, engineering, hospital and urgent care, wholesale and retail trade. In addition, the Multiple Use-2 District is structured to advance the following objectives:

1. To reserve appropriately located areas for commercial, light industrial and service uses and protect these areas from intrusion by dwellings and other inharmonious uses.
2. To protect residential uses from noise, odor, dust, smoke, light intrusion, truck traffic, and other objectionable influences and to prevent fire, explosion, radiation, and other hazards incidental to certain industrial activities.
3. To provide sufficient open space around industrial structures to protect them from hazard and to minimize the impact of industrial operations on nearby residential districts.
4. To minimize traffic congestion and to avoid the overloading of utilities by restricting the construction of buildings of excessive size in relation to the amount of land around them.
5. Implementing “green” building features using the standards of the Green Guide as such standards evolve over time, and LEED certification or equivalent, as well as adopting sustainable building strategies.
6. To promote high standards of site planning, architecture and landscape design for light industrial, commercial and office developments within the City of Murrieta.

IV.II COMMERCIAL DISTRICT

A. PERMITTED AND CONDITIONAL USES

Permitted uses shall be subject to Plot Plan review.

1. Commercial Uses

- a. Antique Shop
- Art Gallery
- Art and Draft Supplies
- Auto Accessory Store (no parts installation)

Bakeries, Retail
Barber Shop
Beauty Salon
Book Store
Boutique
Business and Professional Office

Camera/Video Sales and Rental
Catalog Sales
Clothes Cleaning (agency)
Clothes Store
Coffee Shop
Confectionary
Community Meeting Center
Community Park
Community Swim Facility

Dance/Art Studio
Decorator and Home Accessory Shops

Delicatessen
Dressmaker or Millinery

Drug Store

Electronic Equipment

Financial Institution
Florist, Retail
Food/Grocery Store
Furniture Store

Gift and Novelty Shop

Hardware Store

Health Club
Health Education Club
Hobby Store
Home Appliance Store
Home Electronics Store
Hotel/Motel

Ice Cream Parlor

Jewelry Store

Leather Goods, Retail
Library
Limited Print Shop
Locksmith

Manufacturing
Machine Shop and Sheet Metal Shop
Medical/Dental office or Clinic
Music Store

Open Space and Public Uses

Paint Store
Parking lots and structures
Pet Shop/Grooming
Pharmacy
Photographic Gallery

Post Office/Box Rentals

Resort Hotels and Motels
Restaurants
Realty Office

Shoe Store/Repair
Sporting Goods Store
Stationers and Card Shops
Supermarkets

Telecommuting Center
Television Sales/Repair
Tennis Courts
Toy Shop
Travel Agency

Word-processing Center

- b. Liquor Store (package, off-sale only);
- c. Coin-operated laundry, with maximum capacity washing units of twenty pounds and comparable drying equipment, and clothes cleaning agency;
- d. Any other retail business or service establishment supplying commodities or performing services for residents of the neighborhood which is determined by the planning commission to be the same general character as the above-mentioned retail business or service uses, and open during normal business hours of the above uses;
- e. The Planning Commission may determine unlisted uses as being similar to listed uses if they appear to meet the spirit and intent of this section;

2. Administrative and Professional Office

- a) Medical and dental offices and clinics, medical, optical and dental laboratories, not including the manufacture of pharmaceutical or other products for general sale or distribution;
- b) Administrative and executive offices;
- c) Professional offices, for lawyers, engineers, architects, stockbrokers, insurance/financial planners and other business uses;
- d) Financial offices, including banks, and real estate and other general business offices;
- e) Any other office use which is determined by the commission to be the same general character as the above permitted uses;
- f) Prescription pharmacies
- g) Process Office Uses
 - i. Computer/data processing centers
 - ii. Archival storage facilities

3. Civic, Public and Quasi-Public

- a) Library
- b) Post office/box rentals and post office terminals
- c) Public safety facilities such as fire station

and/or police substation

4. Light Industrial and Business Park Uses

- a) Manufacturing, compounding, assembly or treatment of articles or merchandise from the following previously prepared typical materials such as canvas, cellophane, cloth, cork, felt, fiber, fur, glass, leather, paper (no milling), precious or semi-precious stones or metals, plaster, plastics, shells, textiles, tobacco, wood, and yams; novelty items (not including fireworks or other explosive type items)
- b) Electrical and related parts; electrical appliances, motors, and devices; radio, television, phonograph and computers; electronic precision instruments; medical and dental instruments; timing and measuring instruments; audio machinery; visual machinery; cosmetics; drugs, perfumes, toiletries, and soap (not including refining or rendering fat or oils)
- c) Furniture upholstery
- d) Laboratories; research, experimental, film, electronic testing, chemical and mechanical
- e) Laboratories; dental, electrical, optical, mechanical, and medical
- f) Research and Development consistent with the objectives noted above in IV.I and consistent with uses identified in this subsection.

5. Storage and Wholesale Trades

- a) Mini-storage, public storage, and storage warehouses
- b) Moving and storage firms
- c) Wholesale goods and sales services

6. Industrial and Business Park Support Services

- a) Blueprinting and photocopying
- b) Clothes-cleaning pick-up agencies with incidental pressing

7. The Planning Commission may determine unlisted uses as being similar to listed uses if they appear to meet the spirit and intent of this section.

B. ACCESSORY USES

1. Accessory uses and buildings customarily appurtenant to a permitted use or conditional use;
2. Incidental services for employees on a site occupied by a permitted or conditional use, including day care, recreational facilities, showers and locker rooms;
3. Satellite dish antenna, including roof-mounted satellite dishes, may be permitted subject to the following standards or conditions:
 - a. Dishes shall be screened from public view, using walls, fences, appropriate matching architectural materials or parapet walls
 - b. Dishes shall be of a neutral color, match the building or as otherwise approved by the City
 - c. A building permit shall be required
 - d. No advertising material shall be allowed on the satellite dish antenna. Satellite dish antenna containing advertising material should be considered a sign
4. Other accessory uses, which the City of Murrieta finds to be similar in character to the uses enumerated above.

C. USES REQUIRING A CONDITIONAL USE PERMIT

1. Public and quasi-public uses appropriate to the district, such as professional, business, and technical schools of a public service type, not including corporation yards and warehouses;
2. Private Schools;
3. Commercial parking lots and parking garages;
4. Radio and television broadcasting, excluding towers;

5. Restaurants with live entertainment, dancing, outdoor eating areas, drive-through or sale of alcoholic beverages for consumption on the premises, or drive-in care service;
6. Electric substations and gas regulators;
7. Plant nurseries; and the sale of related hardware items provided they are clearly incidental and secondary to the plant nursery;
8. Automobile and Truck service and repair facilities, gas stations;
9. Sale of beer or other alcoholic beverages for consumption on the premises which may include the sale of food;
10. Religious Institutions, Churches, and places of Worship;
11. Veterinary Clinics;
12. Plastic and other synthetics manufacturing;
13. Laboratories; chemical;
14. Rubber and metal stamp manufacturing;
15. Manufacturing, compounding, assembly or treatment of articles or merchandise that use explosive materials;
16. Storage and Wholesale Trades
 - a. Building equipment sales, rentals
 - b. Public and private building material sales yards, service yards, storage yards, and equipment rental
17. Services
 - a. Newspaper publishing, printing, and distribution, general printing and lithography
 - b. The retail sales of such bulky items as furniture, carpets, outdoor sales, lumberyards, plant nurseries, trucks, trailers, mobile homes, boats, fanning and construction equipment, and other similar items

- c. Retail sales distribution centers and manufacturer's outlets which require extensive floor areas for the storage and display of merchandise, and the high-volume, warehouse-type sale of goods and retail uses which are related to. And supportive of existing, on-site retail distribution centers of manufacturer's outlets. Conditional use permits applications for the establishment of retail commercial uses, covered by the City Council subsequent to its receipt of recommendations thereon from the Planning Commission.

18. Public and Quasi-Public Uses

- a. Day nurseries, day care schools and nursery schools;
- b. Education institutions, public or private including vocational schools;
- c. Post office and post office terminals;
- d. Public utility pumping stations, equipment building, and installation;
- e. Recreation, private, semi-private, or commercial;
- f. Public and quasi-public uses appropriate to the district, such as professional, business and technical schools of a public service type;
- g. Schools and studios for music and dance;
- h. Community-oriented parks and open space

19. The Planning Commission may determine unlisted uses as being similar to listed uses if they appear to meet the spirit and intent of this section.

D. SPECIALITY USES NOT REQUIRING A CONDITIONAL USE PERMIT

The following uses are permitted in MU-2 Subarea 2 Medical Center and Community Services Subarea:

- 1. Hospitals and hospital support

2. Urgent care
3. Community Garden

IV.III PROPERTY DEVELOPMENT STANDARDS:

The following property development standards apply to all land and buildings other than accessory buildings authorized in this district. Any legal lot may be used as a building site, however no building permit shall be issued for any lot size less than ten thousand (10,000) square feet.

A. GENERAL REQUIREMENTS:

Multiple Use-2 Subarea 1 Commercial and Industrial Corridor

The following requirements are minimums for Subarea 1 designations unless otherwise stated.

Development Standards MU-2 Subarea 1 Commercial and Industrial Corridor	
Lot area, net square feet*	10,000
Lot width	100 feet
Lot depth	100 feet
Front yard setback	25 feet**
Side yard setback each side	10 feet***
Public street setback	20 feet
Rear yard setback	10 feet
Building height, Maximum	45 feet or 3 stories, whichever is less
Lot coverage (percent, net, maximum): Business Park Use	50%
Lot coverage (percent, net, maximum): Commercial	25%
Floor Area Ratio (Maximum): Business Park Use	0.40:1
Floor Area Ratio (Maximum): Commercial	0.25:1

- * For condominium development minimum lot area may be reduced to less than ten thousand (10,000) square feet for master planned building complexes subject to approval of a Plot Plan and/or air space-tract map, however, the total site shall be no less than sixty thousand (60,000) square feet.
- ** May be reduced to zero (0) with Plot Plan approval if a Nee-traditional or New Urbanism concept is used.
- *** May be reduced to zero (0) with Plot Plan approval.

Multiple Use-2 Subarea 2 Medical Center and Community Services

The following requirements are minimums for Multiple Use-2 Subarea 2 Medical Center and Community Services designation unless otherwise stated.

Development Standards MU-2 Subarea 2 Medical Center and Community Services	
Minimum lot area, net square feet	10,000
Minimum lot width	100 feet
Minimum lot depth	100 feet
Keller Road, minimum setback	50 feet
Mapleton Avenue, minimum setback	100 feet
Antelope Road/I-215, minimum setback	25 feet
Maximum Floor Area Ratio (FAR)*	.75
Building height** Maximum	80 feet maximum when setback a minimum of 100 feet from any property line. 115 feet maximum when setback a minimum of 200 feet from property lines that front residential. Buildings with a minimum setback of 25 feet from Antelope Road/I-215 may have a maximum building height of 115 feet.
Building height: parking structures, maximum ***	80 feet maximum

* Parking structures exempt from FAR calculation

** Includes mechanical equipment and mechanical equipment screening

*** Photovoltaic may exceed the maximum height allowed by 15 feet.

B. SPECIAL REQUIREMENTS:

1. Along all street frontages situated across from any residentially zoned property, a minimum three-foot (3') high landscaped earthen berm or a minimum forty-two inch (42") high wall shall be constructed. Walls should blend in with the site's architecture.
2. Streetscapes shall be enhanced to provide an easy access from the street to the building and designated parking areas. Surface parking areas can be located in required setbacks.
3. Within the MU-2 Subarea 2, solar carport structures may be located with parking areas and can be located in required setbacks. The City Manager or his or her designee may

allow other sustainable technologies, such as fuel cells, to encroach into setbacks areas if adequately screened by walls and/or landscaping.

4. Reciprocal ingress and egress, circulation and parking arrangements shall be required where possible and feasible to facilitate vehicular movement between adjoining properties and to reduce driveways along busy thoroughfares.

IV.IV GENERAL PERFORMANCE STANDARDS:

The following performance standards are general guidelines intended to describe the overall minimum design standards for Multiple Use - 2 districts.

A. LANDSCAPING:

In all Multiple Use-2 districts, the required front and exterior side (street side) yard setbacks shall be landscaped. Parking, driveways, and other decorative hardscape areas will be permitted within the required setbacks. Landscaping shall consist predominantly of plant materials and shall be irrigated by automatic sprinklers. All planting and irrigation shall be in accordance with the City's standards and guidelines. All landscaping shall be permanently maintained in a clean, healthy and thriving condition, free of weeds, trash and debris.

B. EQUIPMENT:

All ground and roof mounted mechanical equipment, including heating and air conditioning units and trash receptacle areas, shall be completely screened from view/surrounding properties. Sustainable technologies, such as photovoltaic and fuel cells, may be exempted from this section at the discretion of the Community Development Director.

C. UTILITIES:

All utility connections shall be designed to coordinate with the architectural elements of the site so as not to be exposed except where required by utility providers.

D. LIGHTING:

All light sources shall be shielded in such a manner that the light is directed away from streets and adjoining properties. Wall mounted luminaries shall be integrated within the architecture of the building.

E. ELECTRICAL DISTURBANCE, HEAT AND COLD GLARE:

No use except a temporary construction operation shall be permitted which creates changes in temperature or direct glare, detectable by the human senses without the aid of instruments, beyond the boundaries of the site. No use shall be permitted which creates electrical disturbances that affect the operation of any equipment beyond the boundaries of the lot.

F. FIRE AND EXPLOSIVE HAZARD:

All storage of and activities involving inflammable and explosive materials shall be provided with adequate safety and fire fighting device to the specifications of the Uniform Fire Code. All incineration is prohibited. Adequate smoke detectors shall be installed in all new construction.

G. NOISE:

The maximum acceptable outdoor noise exposure level, measured at the property line, for the MU-2 District is 70 dBA CNEL subject to the City of Murrieta Noise Ordinance.

H. ODOR:

No use shall be permitted which creates odor in such quantities as to be readily detectable beyond the boundaries of the site.

I. RADIOACTIVITY:

In the MU-2 District, the use of radioactive materials shall be limited to measuring, gauging and calibration devices, and medical x-ray and other healthcare related diagnostic equipment.

J. VIBRATION:

No use except a temporary construction operation shall be permitted which generates inherent and recurrent ground vibration perceptible, without instruments, at the boundary of the lot on which the use is located.

K. OUTDOOR STORAGE:

Outdoor storage areas shall be entirely enclosed by visual barriers to adequately screen views from the external boundaries of the property.

L. ENERGY CONSERVATION:

Buildings shall be located on the site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption.

M. TOXIC MATERIALS:

No land or building shall be used or occupied in any manner, which creates an unhealthful, dangerous, noxious or otherwise objectionable condition due to the use, storage or proximity to toxic materials.

N. LIQUID OR SOLID WASTE:

The discharge or deposit of liquid or solid wastes shall be subject to the provisions of local, state and federal level.

O. AESTHETIC STANDARDS:

1. All uses along the perimeter of an MU-2 district shall be landscaped to provide a buffered transition to adjacent uses as required by the City of Murrieta.
2. Visual appearance shall be a principal consideration in the approval of Conditional Use Permits, especially any uses involving outdoor storage or activity. Consideration should be given to all prospective vantage points, including residential areas at higher elevations.

IV.V SIGNS:

No sign or outdoor advertising structure shall be permitted in any MU-2 district except as provide in Section VI.

V. SPECIAL PURPOSE DISTRICTS

V.I PURPOSE

These districts are intended for open space, landscaping, recreation, public and quasi-public uses. Only those additional uses, which are complementary to, and can exist in harmony with, open space are permitted. There is no lot size limitation and it is intended that this district may be applied to a portion of a lot provided that the remainder of the lot meets the requirements for which it is zoned.

The Special Purpose Districts are included in the Specific Plan District Regulations to achieve the following purposes:

- A. To preserve open space for the conservation of natural resources;
- B. Maintain the natural character of the land;
- C. Provide for public/quasi-public and recreational uses;
- D. Conserve areas of historic and community significance for the enjoyment of future generations;
- E. Provide for private use of land under limited development; and,
- F. Promote public health and safety
- G. Special Purpose zones shall be established as follows:

C/I (Civic Institutional) District. The C/I zoning district is applied to parcels appropriate for a variety of public uses, including civic centers, educational facilities, general aviation airports, government offices, hospitals, libraries and public agency facilities which may require appropriate buffering from adjacent residential designations. The C/I zoning district is consistent with the Civic/Institutional land use designation of the General Plan.

P&R (Parks and Recreation) District. The P&R zoning district is applied to appropriate areas for active and passive open space and recreational areas generally open to the public. Development in this designation is subject to special review by the City. Additional details and policies for Recreation/Parks are included in the Conservation and Open Space

Element. The P&R zoning district is consistent with the Recreation/Parks and Private Recreation land use designations of the General Plan.

OS (Open Space) District. The OS zoning district is applied to appropriate areas to ensure the conservation and protection of natural resources, including earthquake fault zones, fire protection areas, flood plains, open space areas, steep slopes of fifty (50) percent or more and other significant habitat areas identified in the Conservation and Open Space Element of the General Plan. The OS zoning district is consistent with the Open Space land use designation of the General Plan.

- Open Space-Active Recreation OS-AR
- Open Space-Natural Resources OS-NR
- Open Space-Streetscape and Utility R.O.W. OS-SU

V.II PERMITTED, TEMPORARY AND CONDITIONAL USES

The following uses shall be permitted uses where the symbol “P” appears and shall be permitted subject to a Conditional Use Permit where the “C” appears. Uses shall be permitted subject to a Temporary Use Permit where the “T” appears. Permitted uses shall be subject to Plot Plan review.

LAND USE	OS-AR	OS-NR	OS-SU	C/I	P&R
Agriculture	P	P	P	P	P
Arboreta – (Horticultural garden)	P	P	P	P	P
Christmas tree sales	-	T	T	T	-
Community facilities	P	P	-	P	P
Conference facilities	C	C	-	C	C
Day care facilities*	C	C	-	C	C
Fruit and vegetable stands	-	C	C	-	-
Golf courses/Country clubs	C	C	-	C	C
Heliports	-	-	-	C	-
Hotel/Motel, Lodging facilities	C	C	-	C	C
Incidental concessions	P	P	-	P	P
Nursery facilities (plants)	P	P	P	P	P
Parks and recreation facilities	P	P	P	P	P
Places of worship	-	-	-	C	-
Public and quasi-public uses	P	P	P	P	P
Recreation facilities	P	P	P	P	P
Tract signs and offices,	T	T	T	T	T

temporary					
Tree farming	P	P	P	P	P
Utilities (public and private)	P	P	P	P	P

* Subject to City Ordinance

V.III PROPERTY DEVELOPMENT STANDARDS;

The following regulations shall apply to the site of a Permitted or Conditioned Use. The requirements are minimum unless otherwise stated:

Development Standards – Special Use Districts	
Density – Maximum Dwelling unit per legal lot	0
Lot width	0
Lot depth	0
Front yard setback	20 feet
Rear yard setback	20 feet
Side yard setback	20/10 feet
Building height	35 feet or two stories whichever is less
Height of poles, clock towers, or special features	Per Plot Plan Approval

V.IV RECREATIONAL COURTS

Construction of recreation courts including necessary fencing and lighting may be permitted subject to Plot Plan approval and a finding that adjacent properties will not be unduly affected.

Recreational courts shall meet the following minimum standards:

A. FENCES

A maximum twenty feet (20') high fence (measured from the finished grade of the court) shall be allowed. Fences shall include a screening material which screens the court activity from off-site view and which improves the appearance of the fence.

B. SETBACKS

Setbacks for the court shall be ten feet (10') from any property line.

C. LIGHTING

A grid analysis shall be conducted to establish the height, spacing and intensity of all light fixtures. All light and light fixtures shall be certified by a qualified lighting engineer to:

1. Be designed, constructed, mounted, and maintained such that, the light source is cut off when viewed from any point five (5) feet above the ground measured at the lot line.
2. Be designed, constructed, mounted, and maintained such that the maximum illumination intensity measured at the wall of any residential building on abutting property shall not exceed one-half (1/2) foot candle at ground level. Lighting shall be further limited to a seven to one (7:1) illuminance ratio.

D. GLARE

The surface area of any recreational court shall be designed, painted, colored and/or textured to reduce the reflection from any light incident thereon.

E. LANDSCAPING

Landscaping shall be installed as required between the fence and any adjacent property line.

V.V SIGNS

Signs approved, as a component of the Specific Plan shall be permitted within open space and recreation districts included within the Specific Plan. Other signs shall be permitted only as provided in Section VI.III of these regulations.

VI. COMPREHENSIVE SIGN REGULATIONS

VI.I PURPOSE

The provisions of this Section shall be known as the Comprehensive Sign Regulations. It is the purpose of these provisions to establish a comprehensive system for the regulation of on-site and off-site signs.

The City of Murrieta recognizes the need for signs as a means to identify businesses within the community. However, the City also recognizes that signing is an important design element of the physical environment. Regulations consistent with the goals and objectives of the community are necessary to ensure that the character and image the community is striving for can be attained.

It is the purpose of this chapter to make the Murrieta Highlands Planned

Community attractive to residents, visitors, and commercial, industrial and professional businesses while maintaining economic stability through an attractive signing program. Specifically, the purposes of this chapter are to:

- A. Protect the general public health, safety and welfare of the community; reduce possible traffic and safety hazards through good signing;
- B. Direct persons to various activities and uses, in order to provide for maximum public convenience;
- C. Provide a reasonable system of sign regulations, to ensure the development of a high quality visual environment;
- D. Encourage signs which are well designed and pleasing in appearance and to provide incentive and latitude for variety, good design relationship to the business or use its identity, and spacing between signs and buildings;
- E. Encourage a desirable urban character which has a minimum of clutter;
- F. Enhance the economic value of the community and each area, business and use thereof, through the regulation of such elements as size, number, location, design and illumination of signs; and,
- G. Encourage signs, which are well located, and take into account the service and usage of adjacent areas.

VI.II PERMITTED REQUIREMENTS AND REVIEW PROCEDURES

No person except a public officer or employee in performance of a public duty shall post, paint, erect, place or otherwise fasten any sign, pennant or notice of any kind, visible from a public street except as provided herein. To ensure compliance with this section, a sign permit shall be required for any sign, except as provided below.

A. SIGN PERMIT EXCEPTIONS:

The following signs shall be exempt from the sign permit requirements, however an electrical and/or building permit may be required. Any signage in excess of the specific exemptions listed below are prohibited:

1. Permanent window signage not exceeding twelve (12) square feet per business frontage and limited to the name of

the business, service, or use, hours of operation, address and emergency information, except exposed neon tubing signs advertising products for sale on the premises, are permitted as permanent signs.

2. Temporary advertising signage painted on the window or constructed of paper, cloth, or similar expendable material affixed on the window, wall, or building surface, provided that all of the following conditions are met:
 - a. The total area of such signs shall not exceed ten (10) percent of the window area, however, in all cases twelve (12) square feet per business frontage is permitted.
 - b. Such signs shall be affixed to the surface for no more than thirty (30) continuous calendar days but for not more than sixty (60) days each calendar year, to promote a particular event or sale product of merchandise.
3. Real Estate Signs for Residential Sales: One (1) sign per street frontage not to exceed four (4) square feet in area and five feet in height provided it is unlit and is removed within fifteen (15) days after the close of escrow or the rental or lease has been accomplished. Signs placed on the rear street frontage are prohibited. Open House signs not exceeding four (4) square feet in area and five (5) feet in height are permitted for directing prospective buyers to property offered for sale.
4. Political signs: Shall be in conformance with the City of Murrieta Development Code, Sign Ordinance.
5. Contractor or Construction Signs: For residential projects greater than four (4) dwelling units, commercial, and industrial projects, two (2) directory signs shall be permitted on the construction site for all contractors (may include financial institutions, real estate agents, subcontractors, etc.) not exceeding thirty-two (32) square feet each, unless legally required by government contracts to be larger. No sign shall exceed eight (8) feet in overall height and shall be located no closer than ten (10) feet to any property line. Such sign shall be removed upon the granting of occupancy by the City. For all other projects, at total of two (2) signs per development site may be installed

with a maximum of four (4) square feet in area and five (5) feet in height for each sign. Such sign(s) shall be removed upon finalization of building permits.

6. Future Tenant Identification Signs: Future tenant identification signs may be placed on vacant or developing property to advertise the future use of an approved project on the property and where information may be obtained. Such signs shall be limited to one (1) per fronting street and to a maximum of ninety-six (96) square feet in area and twelve (12) feet in overall height each. Further, such signs shall be placed no closer than ten (10) feet to any property line. Any such sign shall be removed upon finalization of building permits. Where a project has in excess of six hundred (600) lineal feet of frontage, one additional sign for each six hundred (600) lineal feet is allowed.
7. Real Estate signs for Sale of MU-2 Property: One (1) sign per street frontage not to exceed thirty-two (32) square feet in area to advertise the availability of the property for sale, lease, or rent. No such sign shall exceed eight (8) feet in overall height and shall not be located within the public right-of-way. Where a property has in excess of six hundred (600) lineal feet is allowed.
8. Interior signs: Within a structure or building when not visible or readable, nor intended to be read from off-site or from outside of the structure or building.
9. Identification signs for a business service or use no greater than four (4) square feet in area may be permitted. Said signs shall not be visible from the public right-of-way, shall be attached to the main building, shall be for pedestrian traffic, and shall not otherwise require a building permit.
10. Memorial tablets, plaques, or directional signs for community historical resources, installed by a City recognized Historical Society or civic organization.
11. Convenience signs and secondary directional signs not exceeding four (4) square feet in area.
12. Residential building identification signs used to identify individual residences and not exceeding four (4) square feet in area.

13. One nameplate per parcel not exceeding four (4) square feet in area for single-family residential uses and agricultural uses.
14. Official and legal notices issued by any court, public body, person, or officer or in furtherance of any non-judicial process approved by state or local law.
15. Signs providing direction, warning, or informational signs or structures required or authorized by law or by Federal, State, County, or City authority.
16. A single official flag of the United States of America and/or two (2) flags of either the State of California, or other states of the United States, counties, municipalities or official flags for nations, and flags of internationally or nationally recognized organizations or the company flag. Flags shall be a maximum of five (5) feet by eight (8) feet unless otherwise specifically approved on a Site Plan.
17. Signs of public utility companies, indicating danger or which serve as an aid to public safety, or which show locations of underground facilities or public telephones.
18. Safety signs on construction sites.
19. One (1) freestanding time and temperature sign that conveys time and temperature only not exceeding twelve (12) square feet in area or fifteen (15) feet in height, or not higher than the roofline, whichever is less, when combined with business identification in accordance with Section VI.III, and counted toward sign area for the freestanding sign.
20. One (1) wall mounted time and temperature sign that conveys time and temperature only not exceeding twelve (12) square feet in area shown when combined with business identification in accordance with Section VI.III, and counted toward sign area for the wall sign.
21. "No Trespassing", "no parking," and similar warning signs not exceeding four (4) square feet.
22. Signs on public transportation vehicles regulated by a political subdivision, including but not limited of buses and

taxicabs.

23. Signs on licensed commercial vehicles, provided such vehicles are not used or intended for use as portable signs or as may be prohibited in Section VI.IL
24. A change of copy conforming to an approved Comprehensive Sign Program. All other changes of copy shall comply with this section.
25. Incidental signs for automobile repair stores, gasoline service stations, automobile dealers with service repairs, motels and hotels, showing notices of services provided or required by law, trade affiliations, credit cards accepted, and the like, attached to a freestanding sign, structure or building; provided that all of the following conditions exist:
 - a. The signs number no more than four (4)
 - b. No such sign projects beyond any property line
 - c. No such sign shall exceed an area per face of four (4) square feet
26. Copy applied to fuel pumps or dispensers by the manufacturer such as fuel identification, station logo, and other signs required by the law.
27. Architectural signs, either wall or freestanding types, non-illuminated, and not exceeding four (4) square feet for lots two (2) acres or less and sixteen (16) square feet for lots greater than two (2) acres, identifying only the agricultural products grown on the premises. The number of such signs shall be one (1) per street frontage or a maximum of two (2), with all signs to be located below the roofline and freestanding signs to be no higher than eight (8) feet.

B. PROHIBITED SIGNS AND LIGHTING

All signs and lighting not expressly permitted are prohibited in all zones, including but not limited to the following:

1. Roof signs;
2. Flashing lights or signs (except time and temperature signs);

3. Animated signs or lights (conveying the illusion of motion);
4. Revolving or rotating signs;
5. Vehicle signs (when parked or stored on property to identify a business or advertise a product);
6. Portable signs (except where permitted in this section);
7. Off-site signs (except temporary subdivision signs);
8. Signs within the public right-of-way (except those required by a governmental agency). No sign shall be supported, erected or constructed on a utility pole, traffic device, traffic sign, warning sign, or so as to impede access to any public improvement, or to obstruct the vision of any such signs except as may be permitted in Section VI.II.A.IV of this section;
9. Signs located on public property except as may be permitted in Section VI.II.A.IV of this section or those required by a governmental agency;
10. Signs within public right-of-way prohibited by the Streets and Highways Code (Sec. 101 et. Seq. and Sec. 1460 et. Seq.), the Vehicle Code (Sec. 21400 et. Seq.) and the Public Utilities Code (Sec. 7538 et. Seq.);
11. Signs blocking doors or fire escapes;
12. Outside light bulb strings and exposed neon tubing outside of buildings (except for temporary uses such as Christmas tree lots, carnival, and other similar events with prior approval of the City);
13. Inflatable advertising devices of a temporary nature, including hot air balloons (except for special events as provided for in this section);
14. Advertising structures (except as otherwise permitted in this section);
15. Statuary (statues or sculptures) advertising products or logos of the business that are located outside of the structure that houses the business;
16. The use of decals, stick-on or transfer letters, or tape on the walls or parapets of buildings, fences, walls or other structures;

17. Readerboard/changeable copy signs, either electric or non-electric except as permitted in this section; and,
18. Signs which purport to be or are an imitation of or resemble official traffic warning devices or signs, that by color, location or lighting may confuse or disorient vehicular or pedestrian traffic. This does not include traffic or directional signs installed on private property to control on-site traffic.

C. SIGNS RELATING TO INOPERATIVE ACTIVITIES

Signs pertaining to activities or business which are no longer in operation, except for temporary closures for repairs, alteration or similar situations, shall be removed from the premises or the sign copy shall be removed within thirty (30) days after the premises has been vacated. Any such sign not removed within the specified time shall constitute a nuisance and shall be subject to removal under the provisions of this chapter and local ordinance.

D. ENFORCEMENT, LEGAL PROCEDURES, AND PENALTIES

Enforcement, legal procedures and penalties shall be in accordance with the enforcement procedures established by the Murrieta Development Code. Unauthorized illegal signs may be abated by the City in accordance with local ordinance. If said the City stores sign the owner may recover said sign from the City upon payment to the City of any storage and/or removal charge incurred by the City. The minimum charge shall be no less than three (3) dollars per sign. All signs removed by the City may be destroyed thirty-calendar (30) days following removal. If any sign, in the opinion of the City of Murrieta is an immediate threat to the public health and safety, said sign shall be immediately and summarily removed with the cost of said removal charged to the property owner in accordance with local ordinances.

E. CONSTRUCTION AND MAINTENANCE

1. Construction: Every sign and all parts, portions, and materials shall be manufactured, assembled, and erected in compliance withal applicable State, Federal, and City regulations and the Uniform Building Code.
2. Maintenance: Every sign and all parts, portions, and materials shall be maintained and kept in proper repair. The display surface of all signs shall be kept clean, neatly painted and free from rust and corrosion. Any cracked, or

broken surfaces, and malfunctioning or damaged portions of a sign shall be repaired or replaced within thirty (30) calendar days following notification of the business by the City. Noncompliance with such a request will constitute a nuisance and will be abated. Any maintenance, except a change of copy, which does not involve structural changes, is permitted.

VI.III. PERMITTED SIGN REGULATIONS

Sign permits may be issued for signs included under this section provided the signs are in compliance with all other applicable laws and ordinances.

A. SIGNS PERMITTED IN ANY LAND DISTRICT

The following signs may be permitted in any land use district. These signs are in addition to those signs expressly permitted in each land use district and are subject to the provisions listed:

1. Convenience Signs: On-site signs no greater than six (6) square feet necessary for public convenience or safety may be approved by the City of Murrieta. Signs containing information such as "entrance," "exit," or directional arrows shall be designed to be viewed from on-site or from an area adjacent to the site by pedestrians or motorists. Signs that convey advertising or products shall not be considered a convenience sign.
2. Comprehensive Sign Program for MU-2 Districts: shall be developed for all MU-2 Subareas consisting of four (4) or more tenant spaces or 60,000 square feet of gross building area or greater. The purpose of the program shall be to integrate signs and building and landscaping design into a unified architectural unit. This shall be achieved by:
 - a. Using the same background color on all signs.
 - b. Using not more than three (3) different colors for sign lettering.
 - c. Using the same type of cabinet supports, or method of mounting the signs of the same type, or by using the same type of construction material for components, such as sign copy, cabinets and supports, or by using dissimilar signing determined compatible by the City of Murrieta.

- d. Using the same form of illumination for all signs, or by using varied forms of illumination determined compatible by the City of Murrieta.
 - e. Allowing the use of different colors for logos.
 - f. Within the MU-2 Subarea 2, allowing creative signs that may require exceptions from the sign regulations although in conformance with the intent of the sign regulations and the exceptions result in an improved relationship among the signs and building facades on the premises.
3. Special Event Signs: Special event signs may be approved for a limited period of time as a means of publicizing special events such as grand opening, new management, inventory sales, Christmas tree lots, parades, rodeos, and fairs that are to take place within Murrieta Highlands.
- a. Community Special Events such as a rodeo or community fair may be permitted the following signage:
 - (1). No more than four (4) off-site signs up to thirty-two (32) square feet and eight (8) feet in height to publicize the event indicated above.
 - (2) All other on-site special event signs can be wall and window signs, flags, banners and pennants. Inflatable advertising devices of a temporary nature may be permitted. In no case shall any signage, flag, pennant, inflatable device, or banner be placed above the roofline.
4. On-Site Subdivision Signs
- a. One (1) temporary, on-site subdivision sign not to exceed sixty-four (64) square feet total area for two (2) sides or thirty-two (32) square feet for one (1) side and total overall height of twelve (12) feet may be permitted on each Circulation Element street frontage of the property being subdivided, not to exceed two (2) such signs for all phases of any subdivision, otherwise a maximum of one (1) sign is permitted.

- b. Such sign shall be for the identification of a subdivision, price information and the developers name, address, and telephone number.
- c. Such signs shall be removed within ten (10) calendar days from the date of the final sale of the land and/or residences or within twenty-four (24) months, whichever comes first. Extension of twelve (12) months may be approved by the City of Murrieta.
- d. Signs shall be maintained in good repair at all times.
- e. A cash deposit of three hundred (300) dollars per sign shall be deposited with the sign application to ensure compliance with this chapter and removal of such sign. Said deposit shall be "refunded to the applicant upon sign removal by the applicant. If the City is forced to remove any signs, then the cost of removal shall be deducted from the deposit.

5. Off-Site Subdivision Directional Sign

- a. A maximum of four (4) signs may be used to lead customers to the site.
- b. Signs shall be made of panels, which shall be no longer than seventy-two (72) inches by twelve (12) inches each and shall be grouped on a single, double or four-sided sign kiosk. Such structure shall contain no more than seven (7) panels per side nor exceed seven (7) feet in height.
- c. A sign kiosk shall be located not less than three hundred (300) feet from an existing approved sign site. Further, each sign may only contain the name of the planned community, subdivision, developer or development logo and a directional arrow.
- d. The placement of each sign structure and its copy shall be reviewed and approved by the City of Murrieta prior to installation.
- e. All kiosks that are placed on private property shall be with prior written consent of the property owner, to allow the City, in the event of noncompliance, to enter said property and remove the sign. A copy of said

consent shall be filled with the City of Murrieta prior to the acceptance of a sign permit application.

- f. A kiosk location plan shall be prepared showing the site of each kiosk and shall be submitted and approved by the City of Murrieta prior to the acceptance of a sign permit application.
- g. Any sign approved for a particular subdivision within Murrieta Highlands Specific Plan shall not be changed to another subdivision without prior approval of the City of Murrieta.
- h. There shall be no addition, tag signs, streamers, devices, display boards, or appurtenances added to the sign as originally approved. Further, no other directional signing may be used as posters, portable signs, vehicle signs, trailer signs or temporary subdivision (bootleg) signs.
- i. All off-site subdivision signs not conforming to this ordinance shall be deemed a public nuisance and removed.
- j. A three hundred (300) dollar cash deposit shall be placed with the City to ensure compliance with this chapter. Any sign placed contrary to the provisions of this chapter may be removed by the City and the cost of removal shall be deducted from said deposit. Additional costs incurred by the City resulting from the removal of illegal signs shall be charged to the developer.
- k. Said sign shall be allowed until the units within the subdivision are sold out, or for a period twenty-four (24) months, whichever occurs first. Extensions of twelve (12) months may be approved by the City of Murrieta.

VI.IV DESIGN STANDARDS

Each sign shall be designed with the intent and purpose of complementing the architectural style of the main building or buildings, or type of business on the site, and to the extent possible, signs located on commercial sites, but in a predominantly residential area, shall take into consideration compatibility with the residential area.

A. RELATIONSHIP TO BUILDINGS

Signs located upon a lot with only one main building housing the use which the sign identifies, shall be designed to be compatible with the predominant visual elements of the building such as construction materials, color, or other design details. Each sign located upon a lot with more than one main building, such as a shopping center or other commercial or industrial area developed in accordance with a common development plan, shall be designed to be compatible with predominant visual design elements common or similar to all such buildings or the buildings occupied by the “main tenants” or principal uses.

The City of Murrieta may condition approval of any sign to require such visual elements to be incorporated into the design of the sign where such element(s) is necessary to achieve a significant visual relationship between the sign and building or buildings.

B. RELATIONSHIP TO OTHER SIGNS

Where there is more than one (1) freestanding sign located upon a lot, all such signs shall have designs which are complementary to each other by each other by either similar treatment or incorporation of one (1) or more of the following five (5) design elements:

1. Type of construction materials (such as cabinet, sign copy, supports);
2. Letter style of sign copy;
3. Type or method used for supports, uprights or structure on which sign is supported;
4. Sign cabinets or other configuration of sign area; or,
5. Shape of entire sign and its several components.

C. LANDSCAPING

Each freestanding sign shall be located in a landscaped area, which is of a shape, design and size (equal to at least the maximum allowable sign area) that will provide a compatible setting and ground definition to the sign. The landscaped area shall be maintained in a neat, healthy, and thriving condition.

D. ILLUMINATION AND MOTION

Signs shall be stationary structures (in all components) and illumination, if any, shall be maintained by artificial light which is stationary and constant in intensity and color at all times (non-flashing).

E. SIGN COPY

The name of the business, use, service and/or identifying logo shall be the dominant message on the sign. The inclusion of advertising information such as lists of products (more than one product) is prohibited.

F. RELATIONSHIP TO STREETS

Signs shall be designed so as not to obstruct any pedestrian, bicyclist, or driver's view of the street right-of-way.

VII. OFF-STREET PARKING

VII.I PURPOSE

All regulations set forth in this section are for the purpose of providing convenient off-street parking space for vehicles. The parking requirements of this section are to be considered as the minimum necessary for such uses permitted by the respective zone.

The intent of these regulations is to provide adequately designed parking areas with sufficient capacity and adequate circulation to minimize traffic congestion and promote public safety. It shall be the responsibility of the developer, owner, or operator of the specific use to provide and maintain adequate off-street parking.

The provisions and standards set forth in this section apply primarily to non-residential uses. The standards for residential uses are included in Section II.IV, Property Development Standards for residential uses.

VII.II GENERAL PROVISIONS

- A. Off-street parking facilities, for both motor vehicles and bicycles, shall be provided for any new building constructed, for any new use established, for any addition or enlargement of an existing building or use, and for any change in the occupancy of an existing building.
- B. For additions or enlargement of any existing building or use, or any change of occupancy or manner or operation that would increase

the number of parking spaces required, the additional parking spaces shall be required only for such addition, enlargement, or change and not for the entire building or use, unless required as a condition or approval of a Conditional Use Permit.

- C. The required parking facilities needed for any development shall be located on the same site or, if an irrevocable access and/or parking easement are obtained, the parking may be on an adjacent site. Property within the ultimate right-of-way of a street or highway shall not be used to provide required parking or loading or unloading facilities.
- D. The requirements of this ordinance shall apply to temporary as well as permanent uses.
- E. All required off-street parking spaces shall be designed, located, constructed, and maintained so as to be fully usable during workday periods or as needed by the use of the premises.
- F. Where the application of these schedules results in a fractional parking space then the fraction shall be rounded to the higher whole number.
- G. The parking requirement for uses not specifically listed in the matrix shall be determined by the approval body for the proposed use on the basis of requirements for similar uses, and on any traffic engineering and planning data that is appropriate to the establishment of a minimum requirement.
- H. In the calculation of parking requirements for centers, off-peak hour uses from the normal operating hours of the center shall not be counted toward the parking requirement.
- I. In situations where a combination of uses are developed on a site, parking shall be provided for each of the uses on the site according to the schedule given in this section. Shared parking is permitted when two (2) or more uses have different operating hours which do not conflict with each other. Shared parking shall be approved by the City of Murrieta.

VII.III SCHEDULE OF OFF-STREET PARKING REQUIREMENTS

USE	MINIMUM OFF-STREET PARKING
A. Administrative and Professional Services	1 space/300 square feet of GFA; minimum of 4 spaces.
B. Shopping Center and General Commercial Uses, except as noted below:	1-space/200 square feet GFA.
Eating and drinking establishments (not fast food)	1 space/each 2 ½ seats or 1-space/50 square feet of seating area where there are no fixed seats.
Fast food restaurants with drive-in or drive through	1 space/each 7 seats plus 1 space per employee, minimum 15 spaces and an on-site queue line for at least 8 vehicles when drive-through is included.
Gasoline dispensing and/or automotive service stations	2 spaces plus 4 for each service bay.
Appliance and/or furniture stores	1 space/600 square feet of gross floor area
Hotel and motels	1 space/unit plus 1 space for every 25 rooms or portion thereof provided on the same lot
Senior Citizen Housing/Congregate Care	As required by MDC.
Auto and/or truck sales	1 space/10 of the car storage capacity of the facility
Medical and dental offices or clinics, veterinary offices or clinics/urgent care	1 space/200 square feet of gross floor area; minimum of 5 spaces.
Commercial Recreation Facilities	
a. Bowling alleys, billiards halls	5 spaces/alley plus 2 for each billiard table plus required parking for other uses on the site.
b. Commercial stables	1 space/5 horses boarded on the site
c. Driving range	1 space/tee plus required parking for any other uses on the site
d. Golf Course	To be determined by City
e. Miniature golf	3 spaces/hole plus required parking for any other uses on the site
f. Parks (public or private)	To be determined by City
g. Skating rinks	1 space/100 square feet of GFA
h. Tennis, handball, and racquetball facilities	To be determined by City
i. Theatre (Motion Picture)	1 space/3 ½ seats
j. Theatre (Playhouse)	1 space/3 ½ seats
C. Public and semi-public uses	
Day nurseries, day care schools	1 space/staff member plus 1-space/5

	children or 1-space/10 children if adequate drop-off facilities are provided. Drop-off facilities must be designed to accommodate a continuous flow of passenger vehicles to safety load and unload children. The adequacy of drop-off facilities proposed shall be determined by the City
Convalescent and/or nursing homes	1-space/3 beds.
Hospitals	A minimum of 1 ½ /bed
Educational Institutions, public or private	
a. Elementary and junior high	1 space per employee plus 5 spaces
b. Senior high school	1 space per 4 students
c. Colleges and vocational schools	.5 spaces/faculty member and employee plus 1 space/3 students
d. Churches, convents, monasteries, other religious institutions, and other spaces of public assembly	1 space/3 ½ seats within the main auditorium or 1 space/ 45 square feet of GFA within the main auditorium where there are no fixed seats. Space on bench seating will be determined by UBC
e. Cemeteries	Per MDC
Public Utilities	To be determined by City
D. Manufactured Uses	
Manufactured	1 space/800 square feet of GFA devoted to manufacturing plus the required parking for square footage devoted to other uses or 1 space per 1 ½ employees, whichever is greater. 10% of the spaces provided must be designated for use by carpools
Research and Development	1-space/300 square feet of GFA. 10% of the spaces proved must be designated for use by carpools.
Storage	1-space/1,000 square feet of GFA for the first 20,000 square feet devoted to storage plus the required parking for square footage devoted to other uses. 1-space/2,000 square feet for the second 20,000 square feet. 1-space/4,000 square feet for area in excess of 40,000 square feet.
E. Single Family Residential and Multiple Family Residential	
RS zone	2 garage spaces per unit plus 1 guest space
MU 2 (RC)	1 ½ spaces/1 bedroom unit 2 spaces/2 bedroom unit 2 ½ spaces/3+ bedroom unit
F. Handicapped Parking Requirements	Handicapped parking requirements are established by California Administrative Code, Title 24 of the State Building Code

G. Bicycle Parking Requirements	The matrix below contains the minimum bicycle parking requirements. Only those uses identified in the matrix are required to install bicycle parking. Bicycle parking facilities shall be stationary storage racks or devices designed to secure the frame and wheel of the bicycle.
USE	MINIMUM BICYCLE PARKING REQUIRED
Administrative and Professional Services	1 space/300 square feet with a minimum of 4 spaces
Shopping centers with 50,000 square feet of GFA	1 space/33 automobile parking spaces required
Eating and drinking establishments	1 space/500 square feet with a minimum of 2 spaces
Medical and dental offices or clinics, veterinary offices or clinics	1-space/300 square feet with a minimum of 2 spaces.
Commercial Recreation	1 space/33 automobile spaces required
Hospitals	1 space/500 square feet with a minimum of 4 spaces
Churches	1 space/300 square feet with a minimum of 4 spaces

MOTORCYCLE OFF-STREET PARKING REQUIREMENTS

Motorcycle parking spaces shall be provided for all uses, except residential, at the following rate:

1. Uses with twenty-five (25) to one hundred (100) automobile parking spaces shall provide one (1) designated space for use by motorcycles.
2. Uses with more than one hundred (100) automobile parking spaces shall provide two (2) motorcycle parking spaces and one (1) motorcycle parking space for every additional one hundred (100) automobile parking spaces provided.

VII.IV PARKING DEVELOPMENT STANDARDS

The following property development standards shall apply to all parking areas required by the Specific Plan District Regulations.

A. GENERAL REQUIRMENTS:

The following are minimums unless otherwise stated:

1. Residential

- a. Covered in a garage or carport=10'x20' each space
 - b. Uncovered=9'x19' each space
- 2. Multiple Use 2 District shall be a standard size parking space 9'x18'
- 3. All other shall use Parking Table on the following page
- 4. Motorcycle parking spaces: 4'x8'
- 5. Bicycle parking space: 2'x6'
- 6. Surfacing: All parking stalls for automobile, handicapped, motorcycle, and bicycle maneuvering areas shall be paved and permanently maintained with asphalt, concrete, or any other similar all-weather surfacing approved by the City of Murrieta and subject to current City standards.
- 7. Striping and Identification
 - a. Automobile: All parking stalls shall be clearly outlined with double lines (hairpin) on the surface of the parking facility.
 - b. Handicapped: All handicapped spaces shall be striped and marked according to the applicable State standards.
 - c. Motorcycle: All motorcycle spaces shall have bollards installed and appropriately spaced to prevent automobile usage of the motorcycle area. Motorcycle spaces shall be marked so that they can be clearly identified for motorcycle usage.
 - d. Bicycle: All bicycle spaces shall be clearly identified.

B. SPECIAL REQUIREMENTS

- 1. Within a parking lot area the perimeters, ends of aisles, and finger (island) planter or tree well planters shall be located and landscaped so that no parking space is more than thirty (30) feet from a tree trunk. Any unused space resulting from design of the parking area shall be used for landscaping purposes.
- 2. All parking lot landscaped areas shall have a minimum inside

planting dimension of four (4) feet and be separated from vehicular areas by a six (6) inch high, six (6) inch wide Portland concrete cement curbing. A twelve (12) inch wide walk shall be located within the landscape area outside of the required minimum-planting dimension where it is adjacent to parking stalls.

3. All landscaping areas shall be irrigated automatically and kept in a healthy and thriving condition free from weeds, debris, and trash.
4. All parking facilities shall have lighting in accordance with the current City standards. The lighting shall be designed and installed so as to confine direct rays to the site. Parking lot lights shall be a maximum height of eighteen (18) feet from the finished grade of the parking surface and directed away from the property lines.
5. All parking facilities shall be graded and drained so as to provide for the disposal of all surface water on the site.
6. In any R zone the parking of motorized and non-motorized vehicles shall be subject to the following requirements:
 - a. No motorized or non-motorized vehicle shall be parked, stored or kept in the front yard except on the driveway.
 - b. If motorized or non-motorized vehicles are to be parked, stored, or kept on the lot, other than as permitted above, they must be screened from view and be for the personal use of the resident.

VII.V PERFORMANCE STANDARDS

A. MAINTENANCE

All parking facilities required by this ordinance shall be maintained in good operating condition for the duration of the use requiring such facilities. Such facilities shall be used exclusively for the parking of vehicles. The parking facilities shall not be used for the storage of merchandise, or for the storage or repair of vehicles or equipment. Parking facilities shall not be used for the sale of merchandise, except on a temporary basis pursuant to Section VI.II (Temporary Uses).

B. SHOPPING CARTS

All shopping centers that use shopping carts shall provide convenient and safe on-site storage/return areas for the shopping carts.

C. SPECIAL REQUIREMENTS

Handicapped motorcycle, and carpool parking areas, when required, shall be located within close proximity of the entrance to the facility.

VIII. ADMINISTRATION

VIII.I PURPOSE

The Land Use District Map and these Specific Plan District Regulations shall be administered as provided for herein.

VIII.II STANDARD PROCEDURES

A. GENERAL

Administrative Procedures contained in the Murrieta Development Code for Conditional Uses, Variances, Development Plans, Temporary Uses, Tract Maps and other permits shall be utilized as applicable to the administration of the Murrieta Highlands Specific Plan.

B. SPECIFIC PLANS (SP)

The administration of the Specific Plan shall be as provided for in the Murrieta Development Code, except that the City of Murrieta may accept less detail or require additional detail to suit the scope of the SP.

VIII.III PLOT PLAN AND ARCHITECTURAL APPROVAL

A. PURPOSE

The purpose of the plot plan and architectural approval is to review the proposed projects to determine compliance with the provisions of these regulations and to promote orderly and harmonious development with good design character as described within this Specific Plan.

B. APPLICATION

This approval process is applicable to projects within all districts except RS districts, where the Tentative Tract Map approval process may be used. Single-family detached units on lots of/or exceeding five thousand (5,000) square feet may use the Tentative Tract Map to satisfy the Plot Plan review requirement. Commercial and industrial projects shall be reviewed by the Plot Plan procedures as specified in the Murrieta Development Code.

C. PROCEDURES

The procedures shall be specified in the Murrieta Development Code.

VIII.IV TEMPORARY USES

A. PURPOSE

The provisions of this section shall be known as the Temporary Use Regulations and shall provide regulations for the uses hereinafter enumerated. Temporary uses are subject to approval by the City of Murrieta, except as noted.

B. TEMPORARY USES LISTED

1. Circuses, rodeos, parades or similar outdoor entertainment or enterprises, subject to not more than five (5) calendar days of operation in any calendar year.
2. Christmas tree sales lots, Halloween pumpkin sales, and other holiday sales subject to not more than forty (40) calendar days of site occupation and operation in any calendar year.
3. Subdivision sales offices, sales information centers, sale pavilions, and model home complexes located within the subdivision, subject to the following minimum requirements:
 - a. Offices shall be no closer than one vacant lot to an existing dwelling unit not part of the subdivision, trailers may be used for no more than ninety (90) calendar days or until such time as the subdivision sales offices have been completed whichever is less,
 - b. Trailers used as sales offices for lot sales without model homes may be used for a period greater than ninety (90) days subject to site plan and architectural review approval, and the maximum use period listed below:
 - c. An asphaltic concrete paved parking lot shall be provided with sufficient parking spaces to accommodate said use;
 - d. Faithful performance bonding in an amount appropriate to guarantee removal and/or conversion

of the sales office and attendant facilities shall be required; and,

- e. Other conditions that the City deems necessary to assure that the sales office will not constitute a nuisance or be objectionable to the residential uses in the neighborhood.
4. Outdoor art and craft shows and figures, subject to not more than three (3) calendar days or operation or exhibition in any sixty (60) calendar day period.
5. Contractors' offices and storage yards on the site of an active construction project.
6. Mobile home residences for security purposes on the site of an active construction project.
7. Outdoor display and sales located within commercially zoned properties not to exceed more than five (5) calendar days in any sixty (60) calendar days and subject to appropriate conditions of the City.
8. Seasonal retail sales of agricultural products (fruit and vegetable stands) for periods of less than ninety (90) days.
9. Temporary use of properly designed mobile trailer units for classrooms, offices, banks, etc., for periods not to exceed ninety (90) days in duration shall require the approval of a Development Plan. Such units shall meet all necessary requirements of the building, fire and health codes.
10. For any agricultural and animal husbandry activity or project (4H, FFA, or similar) conducted for educational purposes or school credits, a Temporary Use Permit may be granted in any district within the City determines that such a use will not cause a public nuisance relative to sanitation and health conditions.
11. Charitable or school sponsored drop-off bins for recycling of cans, newspapers, or similar items, or for drop-off of clothes and small items. Bins shall be located in the parking lots of businesses or other public or semi-public property on a temporary basis when written permission is granted by the property owner or business owner. Said bins shall be kept in a neat and orderly manner.
12. Additional uses determined to be similar to the foregoing in the

manner prescribed by Section IX.II of these regulations.

C. TEMPORARY EVENTS WITHIN THE MU-2 SUBAREA 2

The following uses are permitted with the MU-2 Subarea 2 if associated with onsite use and not located within a designated parking area:

- a. Farmers markets not exceed one (1) day per week or four (4) per calendar month.
- b. Employee recognition events, health fairs, and other similar activities associated with permitted commercial or institutional uses, subject to not more than six (6) calendar days in any calendar year.

D. PERMITS AND BONDS

All temporary uses shall be subject to the issuance of a Temporary Use Permit by the City and other necessary permits and licenses, including but not limited to building permits, sign permits, and solicitors or vending licenses. In the issuance of such a permit, the City shall indicate the permitted hours of operation and any other conditions, such as walls or fences and lighting, which are deemed necessary to reduce possible detrimental effects to surrounding developments and to protect the public health, safety and welfare.

Prior to the issuance of a permit for a temporary use, except those listed under 3, 6, 7, 11 and 12 above, a cash deposit may be required to be deposited by the City. This cash deposit shall be used to defray the costs of cleanup of the property by the City in the event the permittee fails to do it.

E. EXTENSION OR MODIFICATION OF LIMITS

Upon written application, the City may extend the time within which temporary uses may be operated, or may modify the limitations under which such uses may be conducted if the City determines that such extension or modification is in accordance with the purposes of the zoning regulations.

F. CONDITION OF SITE FOLLOWING TEMPORARY USAGE

Each site occupied by a temporary use shall be left free of debris, litter, or any other evidence of the temporary use upon completion or removal of the use, and shall thereafter be used only in accord with the provisions of the zoning regulations.

G. FEE

The application shall be accompanied by a fee established by the Fee Ordinance to cover the cost of processing the application prescribed in this section. This fee may be waived by the approving authority for charitable groups that do not need any public services.

VIII.V OTHER PROVISIONS

In the event that these regulations do not address any particular matter relevant to the proper development and use of property within Murrieta Highlands Specific Plan, the provisions of the Murrieta Development Code shall apply.

IX. AFFORDABLE HOUSING/DENSITY BONUS

IX.I. AFFORDABLE HOUSING/DENSITY BONUS PROGRAM

The Murrieta Highlands Density Bonus Program is consistent with California State Law, which requires local government to grant density bonuses or other incentives to developers who agree to construct housing affordable to persons and/or families of low or moderate income. The elderly/retirement age group and young families who qualify as first time buyers are the primary target groups of the project. Although there are incentives for future developers to utilize the density bonus program, it is not mandatory. The program is only an option for the developer to consider. The Density Bonus program shall be implemented in conformance with the Murrieta Development Code and General Plan. The program is only an option for the developer to consider.

City of Murrieta's Planning Director is authorized to approve density bonuses up to twenty-five (25) percent increase in density to developers who agree to make bonus units affordable to low or moderate income households. The twenty-five (25) percent density bonus is in addition to the maximum permitted under this specific plan. Further the director is authorized to grant deviations from the standard twenty-five (25) percent bonus and/or affordable housing ratios and approve density transfers provided certain specified conditions are met.

A. THE DENSITY BONUS

There are four (4) situations when density bonuses or density transfers can be granted; the situations are as follows:

1. Standard Density Bonus
If a developer has a legal building site and needs no permits other

than a building permit, the developer may enter into an Affordable Housing Density Bonus Agreement with the City (provided written documentation is obtained).

2. **Development Permits Needed**
If the project requires other development permits, such as a subdivision map, specific plan amendment or variance, etc., the developer must apply for these permits at the same time as the Density Bonus Agreement. To ensure consistency, the Density Bonus Agreement will be conditioned upon the developer obtaining all other necessary permits.
3. **Deviations from the Standard Density bonus Provisions:**
Deviations from the Standard Density Bonus and Affordable Housing ratios will be permitted only when a project will provide housing affordable by persons of very low income. These deviations are intended to provide the additional incentives needed to make these projects financially feasible. The actual ratios will be negotiated based upon the circumstances of the individual project, but in no case will the Bonus exceed fifty (50) percent of the density permitted by the underlying zone nor will the Affordable Housing constitute less than ten (10) percent of the total project. A Conditional Use Permit will be required in all situations whenever the developer requests a deviation from the Standard Density Bonus provisions.

In order to receive a deviation from the standard twenty-five (25) percent Density Bonus, the developer must present evidence satisfactory to the Planning Director that the deviation will further affordable housing within the community and is in conformance with all other provisions of the Murrieta Development Code. Generally, the developer who wishes to receive a deviation from the standard Affordable Housing Density Bonus ratios will be required to provide evidence regarding the income levels in the project area, and an economic analysis of the proposed project, in addition to the information required for all Residential Developments and Affordable Housing Density Bonus Agreements.

4. **Density Transfer**
Transfer of density rights from one site to another, either contiguous or non- contiguous, requires a noticed public hearing if the transfer results in density exceeding twenty-five (25) percent of the density permitted by the zone or planning area/district.

B. CALCULATING DENSITY BONUS AND AFFORDABLE HOUSING REQUIREMENT

To determine the number of units permitted with the density bonus, the number of units permitted within a particular planning area is multiplied by 1.25. Round the calculation to the nearest whole unit before multiplying by 1.25. Round off the product of the calculation to the next higher number only if: the remaining fraction is .5 or greater; and previous rounding did not involve rounding upward to the next higher number (i.e. rounding upward is allowed only once).

C. INFORMATION REQUIRED FOR PROCESSING A DENSITY BONUS

To obtain a Density Bonus permit, a developer must submit the following information to the Density Bonus Program, City Planning Department, and City of Murrieta:

Project Address
Zone Designation
Square Footage of Site
Number of Units Proposed
Project Bedroom Mix
Affordable Unit Bedroom Mix
Rental or Sale Project
Copy of Grant Deed with Assessor's Parcel Numbers (s)
Site Plan indicating affordable units (3 black-lined copies)

- * Elevation, Grading and Landscape Plans (1 copy)
- * Photographs of Site and Adjacent Properties

Name and Address of Entity Entering Agreement
Names of Signatures to Agreement
A market study indicating the current level of need in Murrieta with substantiating demographic data

If a Density Transfer is proposed, prepare a detailed description.

- * Only required on projects which are not already subject to design review by the Planning Department in conjunction with discretionary permits (e.g. subdivision map or zone variance) or specific plan design standards.

In designating affordable units on the site plan, the applicant shall provide affordable units which are comparable to the market rate units in the residential project and the affordable units shall be dispersed throughout the project. The number of bedrooms in the affordable units shall be in proportion to the total project bedrooms-per-unit ratio. For example, a developer designating two (2) bonus units in a project of ten (10) units consisting of five (5) one (1) bedroom units and five (5) two (2) bedroom units will provide one (1) one (1) bedroom and one (1) two (2) bedroom units as affordable.

After all of the information has been provided, a draft agreement will be prepared. Once the agreement is satisfactory to all parties and all related permits and/or density transfers have been approved, a letter to the Building and Safety Department authorizing the additional density will be prepared.

D. SALES AND RENTAL QUALIFICATIONS

The median income determines both the qualifying income of the Density Bonus Tenants/Buyers and the maximum rent/sale of bonus units. For rental units, the maximum rent at unit can be rented for is ten (10) percent less than the rent charged for the most recently rented, nearest and comparable market rate unit within the City of Murrieta. For-sale units are based on the following:

1. For low-income households the monthly payment cannot exceed thirty (30) percent of their gross income.
2. For moderate-income households the monthly payment cannot exceed twenty-eight (28) percent of their gross income.

X. LEGAL DESCRIPTION

A brief legal description for Murrieta Highlands is as follows:

The South one-half of Section 23, Township 6 South, Range 3 West, San Bernardino Base and Meridian. Parcels 3 and 4 together with Lettered Lots C, D, E, F and G of Parcel Map No. 18725, as shown by Map on file in Book 115, pages 45 and 46 of Parcel Maps Records of Riverside County, California. Parcel 1 and 2 of Parcel Map 6219 as shown by map on file in book 15, page 90 of Parcel Map records of Riverside County, California.

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I. INTRODUCTION

A. PURPOSE

The intent of these general development guidelines is to create a livable neighborhood community. This plan provides a close integration of land uses including residential neighborhood shopping, open space, recreation and school facilities are located adjacent to residential areas.

Community design standards are vital to the neighborhood character of Murrieta Highlands. These guidelines are not intended to limit creativity, but to inspire individuality within the proposed architectural themes. Builders are encouraged to be creative within the context of these guidelines and to produce quality-housing opportunities.

The Murrieta Highlands Specific Plan provides an efficient pattern of development, consistent with master planned community of today. Murrieta Highlands has the ability to become a self-reliant community within the City of Murrieta. The plan locates housing and commercial uses adjacent the planned industrial land uses along the I-215 corridor south of Keller Road.

The following objectives support the overall goal and strategy for the Murrieta Highlands plan:

1. To provide affordable home ownership opportunities, to existing and new residents of the City of Murrieta.
2. To create a mixed-use, pedestrian-oriented master planned community.
3. To create livable neighborhoods within the master planned community.
4. To create pedestrian friendly, safe and attractive streetscapes consistent with master planned communities.
5. To create a distinctive sense of community through high quality urban, architectural and landscape design.
6. To establish a plan which provides for the future population.
7. To develop an efficient street system that mitigates project related traffic and accommodates future mass transit.
8. To create flexible zoning standards.

9. To create a community that enhances the jobs-housing balance by providing job opportunities near housing.
10. To develop a community that is financially feasible and adds to the City of Murrieta's tax base.
11. To create a community that has a link to Murrieta's history through design and landscape materials that have been used historically in the community.
12. Implement "green" building features using the standards of the Green Guide and LEED certification or equivalent, as well as existing sustainable building strategies.
13. To provide the necessary infrastructure in accordance with the City of Murrieta and affected public agency goals and objectives.
14. To be consistent with the goals, objectives and policies of the Murrieta General Plan.
15. To provide a visually attractive multi-purpose greenbelt that links the neighborhoods and the two neighborhoods parks and open space areas together providing easy access for residents to both active and passive recreation.

B. ORGANIZATION

This chapter will address the residential, multiple use, parks and open space and potential civic institutional uses of the Murrieta Highlands development. The community design manual will cover the following aspects of architectural standards: design review process, community design guidelines, general development guidelines, landscape design, and site planning criteria.

C. COMMUNITY DESIGN CONCEPT

Community Design Concept for Murrieta Highlands draws upon California traditions and history for architectural interpretation. These ideals are based on historical, environmental, and social forces present in Murrieta since the late nineteenth century. Historical design forces in the town of Murrieta began with the railroad in 1882. The rail line axis impacted the town plan, which established the grid pattern. Other design forces include the climate and natural topography. Hot, dry summers encouraged the use of porches and eave overhangs. Windy, dry and cool winters established a need for fireplaces and windbreak landscaping techniques.

Variety and attention to architectural details are to be a trademark of Murrieta Highlands. Builders are strongly encouraged to develop variety and details pursuant to these standards. The use of different materials and building articulation is encouraged to establish a pleasant streetscape. The following standards are general and applicable to the entire project.

1. General Architectural Guidelines

a) Residential

The architectural guidelines for the residential areas of the Murrieta Highlands Specific Plan are intended to facilitate the creation of diverse and varied streetscapes, while creating a cohesive sense of place inspired by historic California traditions. Each of these architectural traditions are rooted in historically appropriate responses to the local climate, materials, and forms:

*Spanish Eclectic

*Arts and Crafts

*California Ranch/Farmhouse

These architectural forms fill many Southern California old towns and neighborhoods with character and functionality. Locally, Murrieta Hot Springs contains excellent examples of the Craftsman and Spanish Eclectic traditions.

In quality-designed structures, beauty comes from the natural function of simple forms inherent in them, from the natural appearance of quality materials used, and from the standards of craftsmanship applied. No matter what the size of the house, quality "home style" features such as a fireplace, porch, spaciousness and abundant windows are present to create a sense of coziness while respecting the need for economy.

Spanish Eclectic Tradition

The architectural vocabulary of the Spanish Colonial, Mission, and Monterey styles has its roots in the state's early Spanish colonization, missions and vernacular adobes. The state's first settlers adapted Spanish and Mexican architectural precedents to the natural landscape and climate of California. The

process often involved simplifying the more complex and ornate Spanish details, adjusting to the more Spartan economy and conditions, different building materials, and primitive workmanship of California. As American conquest of California proceeded, the new settlers brought elements of Eastern United States and Classical Revival architecture, combining theme with the early adobe and mission examples, resulting in what is now referred to as the Monterey style. Through over 200 years of interpretation, revival, and change, the various styles (referred to collectively as "Spanish Eclectic") have become strongly associated with Southern California.

The general character of the Spanish Eclectic style is asymmetry wall design with low-pitched roofs, usually with little or no eave overhang, or flat roofs. Red tile roofs and prominent arches placed above a door or window are very strong design elements. This style uses decorative details borrowed from the entire history of Spanish architecture. These details include: dramatically carved doors; gardens; patios; decorative window grilles of wood or iron; red-tiled elaborate chimney tops; fountains; arcades; towers, round or square; balconies and decorative stucco or tile vents. Exterior wall cladding is usually stucco; however, stone and brick materials are acceptable wall claddings. Southern California is home to many historic communities defined by Spanish Eclectic architecture, with notable examples including Santa Barbara, San Juan Capistrano, Monterey, and Riverside's Mission Inn District.

Arts and Crafts Tradition

The Craftsman style of the early twentieth century residential architecture was very popular. This popularity can be attributed to the Craftsman design focus on the harmony of indoor and outdoor life. Influenced by the earlier Mission aesthetic the Arts & Crafts architects designed homes which were well crafted, and used materials left as close as possible to their natural state such as cobblestones and rough hewn beams. Wherever possible, aesthetic and functional interiors are integrated in simple living spaces. These easy, asymmetrical gabled, stuccoed works of art are a large part of Southern California's

architectural heritage.

The primary wall form relies on a simple "box" orientation adorned with detailing such as wall articulation, unique window locations, large eave overhangs and porches. Typical building materials include wood, stone and stucco. The limitless combinations of these elements can enhance the street scene and create a unique resident identity.

The Craftsman idea is broad enough to include all types and uses of buildings. However the Craftsman bungalow style of dwelling has received more attention than any other. Southern California is ideally suited for the bungalow. The mild climate permits a thorough integration of a house with its immediate surroundings. For example, living space may open onto a screened or open-air porch, which may adjoin a blooming garden.

The related Prairie style is characterized with horizontal expression and delicate proportions. The roof often "floats" with deep overhangs. Stately, strong and weighty proportions provide a massive, earthy feel. Windows are grouped in horizontal bands with vertical proportions. Stucco or wood siding with horizontal emphasis are predominant with brick, stone or concrete block detailing. Roofs are typically flat tile or slate, and colors are earth tone with both light and dark shades.

California Ranch / Farmhouse tradition

Concurrent with the Craftsman period are the California Ranch / Farmhouse styles. California Ranch style is indigenous to California and is loosely based upon early Spanish California architecture with influences based upon the horizontal Prairie style.

The general character of California Ranch style is derived from the Mediterranean, Bungalow, and 1940's Ranch styles. It consists of one and two story volumes with hip and gable roofs. Roof pitches vary from 4:12 to 5:12 with moderate to broad roof overhangs or eaves. Typical exterior wall cladding

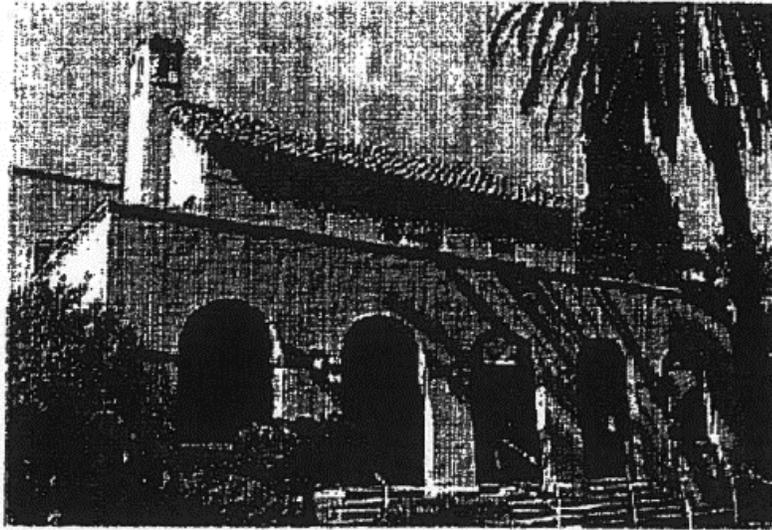
includes clapboard (horizontal boards), board and batten (vertical boards), shingles and stucco. Indoor-outdoor relationships are accentuated by such elements as: large areas of glass, sheltered porches, greenhouse rooms and corner windows. Exposed beam-ends and deep fascias are used with columns and piers to create strong shadow patterns. Private gardens, patios and pot shelves are typical.

The Farmhouse style is typically characterized by wrapping front porches with a variety of wood columns and railings. The asymmetrical cottage look may be used. Dormers and asymmetrical elevations can also be thematic for the elevation. Characteristic details are cupolas, dovecotes, vertical windows and shutters, wood pot shelves, siding, and gable end vent details. The simple two-story massing forms are broken by gables both perpendicular and parallel to the front elevation and porches covered by either shed or side hip roofs.

Figures III-A to III-D illustrates the architectural themes of Murrieta Highlands. These examples provide a short list of the major design features that must be considered during architectural plan preparation. These examples are for reference only.

Murrieta Hot Springs Architectural Style

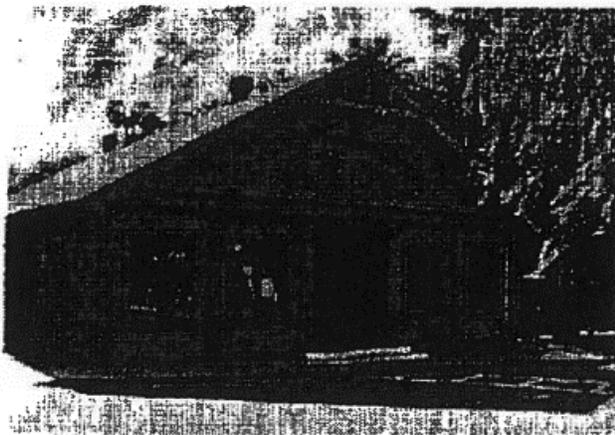
Figure III-A



Spanish Eclectic Commercial Building

Typical Spanish Eclectic Features:

- Covered arched porch
- Multi-level roofs with Mission or Spanish tile
- Elaborate chimney tops
- See lower right and text for additional details



Craftsman Commercial Building

Typical Craftsman features:

- Front gabled roofs
- Exposed roof beams and rafter tails
- Large transomed windows



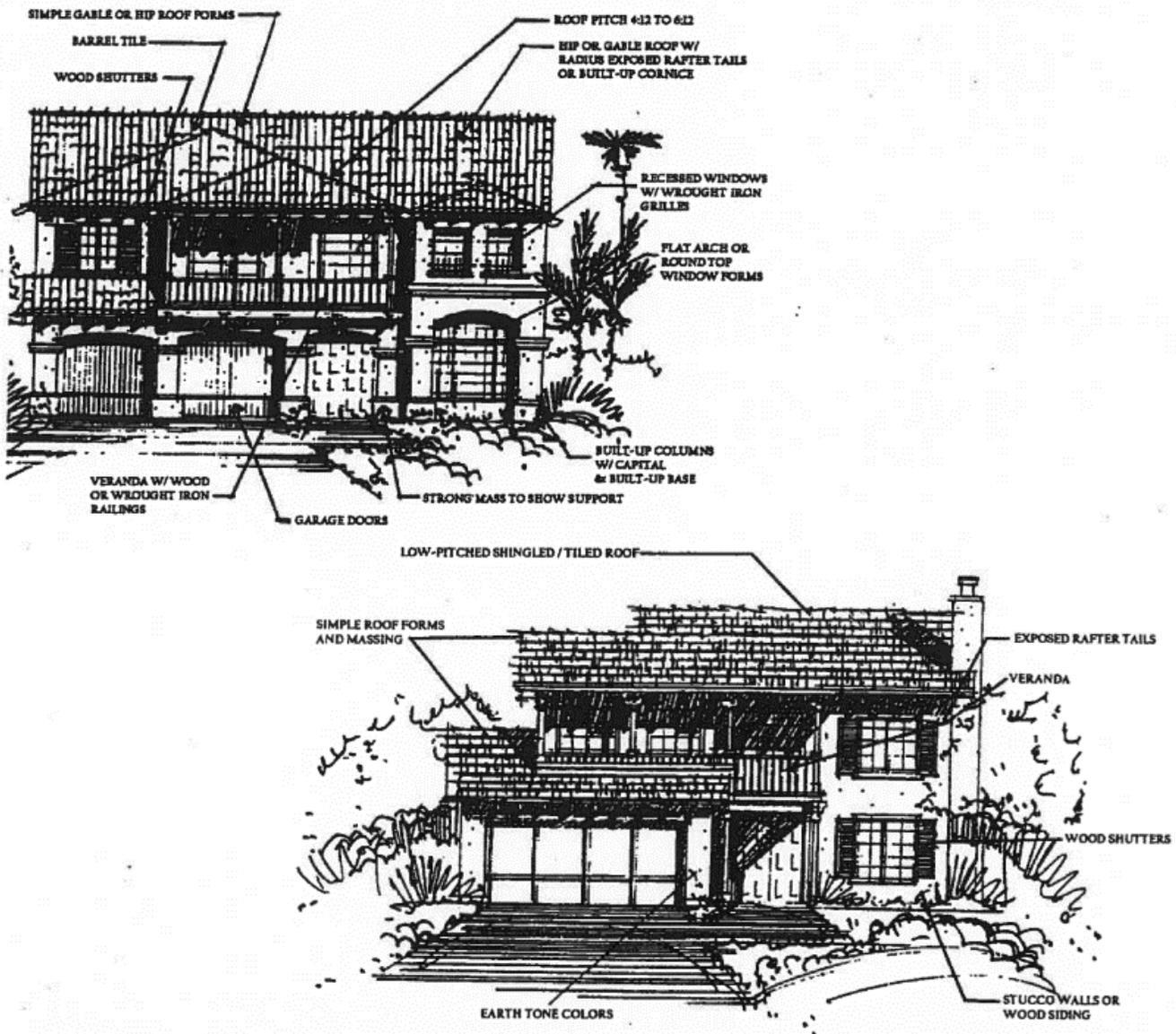
Spanish Eclectic Style

Typical Spanish Eclectic features:

- Low-pitched roofs
- Little or no eave overhang
- Simple cross gable roof

Spanish Eclectic Tradition

Figure III-B

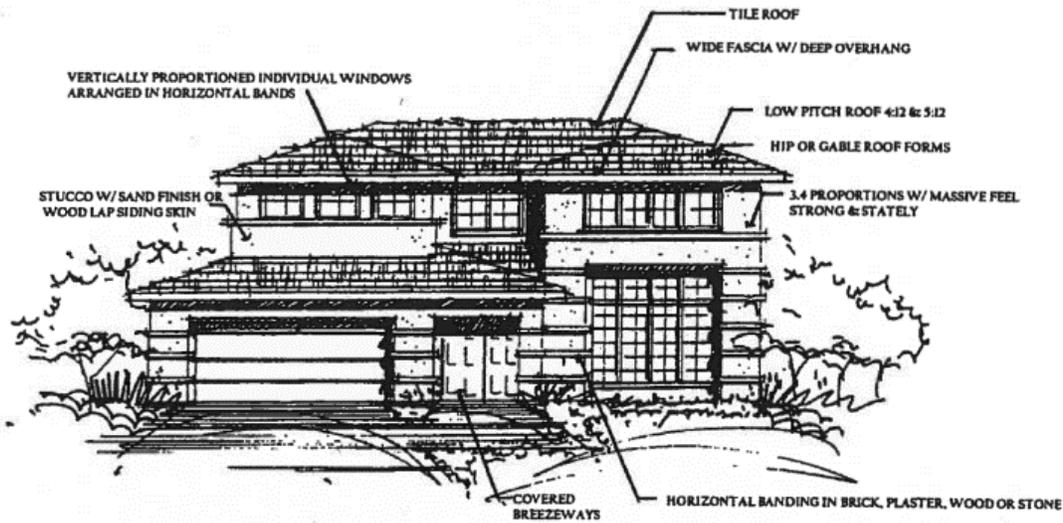
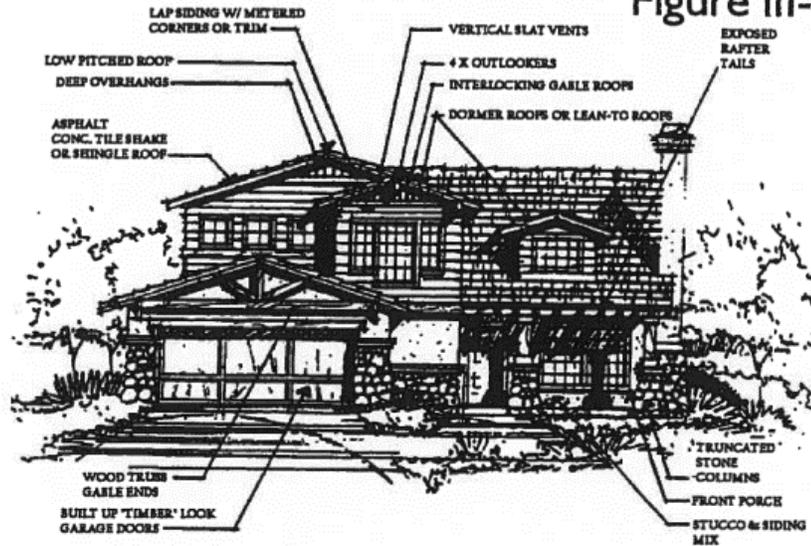


SPANISH ECLECTIC TRADITION

Note: The architectural elevation shown here indicates the variety of architectural components associated with each style. Individual homes may contain a portion rather than all components of the associated architectural style. Each builder is encouraged to use a minimum of three different components that are indicated in the above example.

Arts & Crafts Tradition

Figure III-C

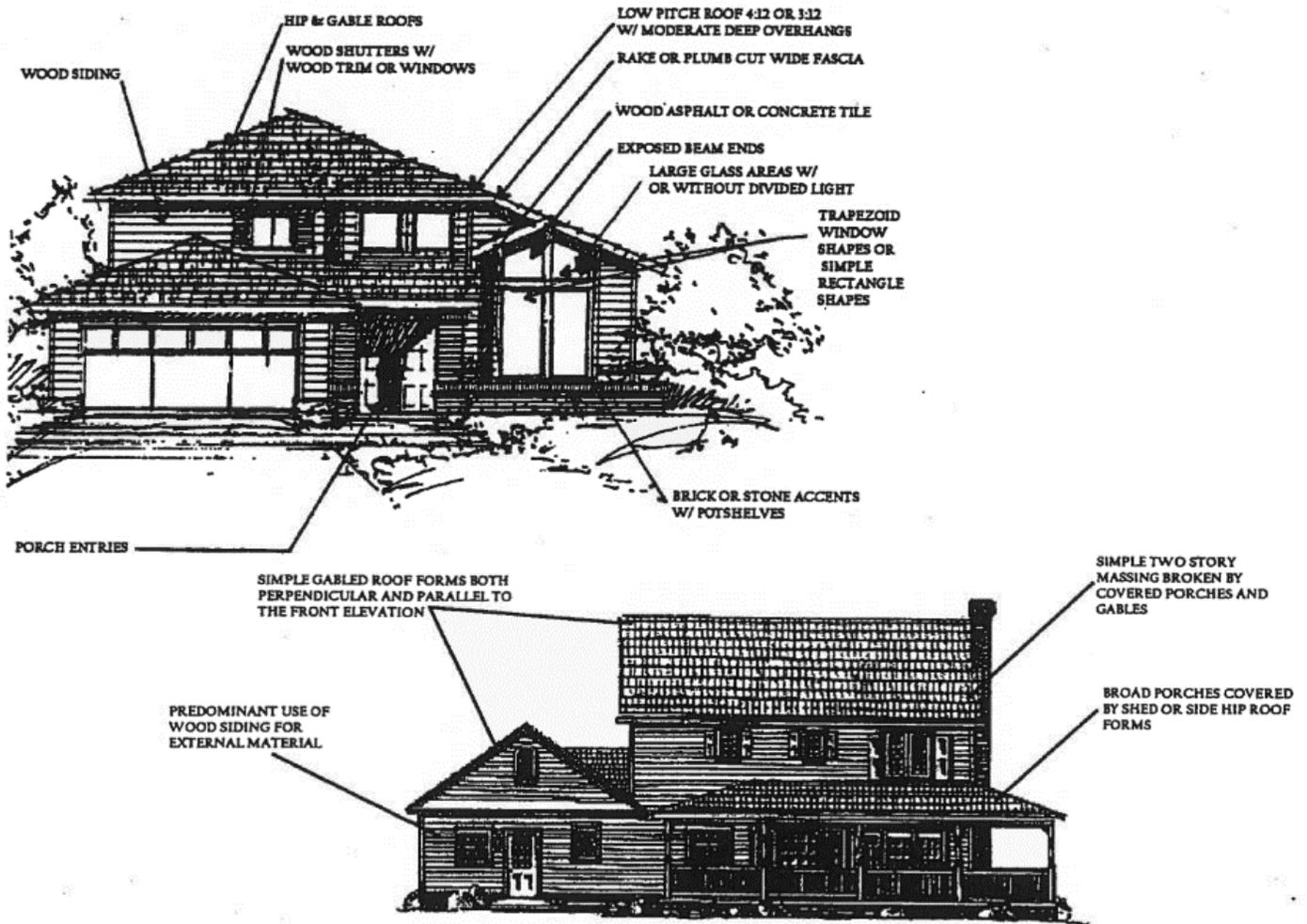


ARTS AND CRAFTS TRADITION

Note: The architectural elevation shown here indicates the variety of architectural components associated with each style. Individual homes may contain a portion rather than all components of the associated architectural style. Each builder is encouraged to use a minimum of three different components that are indicated in the above example.

California Ranch / Farmhouse Tradition

Figure III-D



CALIFORNIA RANCH / FARMHOUSE TRADITION

Note: The architectural elevation shown here indicates the variety of architectural components associated with each style. Individual homes may contain a portion rather than all components of the associated architectural style. Each builder is encouraged to use a minimum of three different components that are indicated in the above example.

b) Multiple Use

Multiple Use (MU-2) land use is a unique commercial land use that permits freeway serving retail uses. Since there are a variety of permitted uses in the MU-2 subareas, there are a variety of architectural styles that are permitted. These guidelines are intended to create the maximum opportunity for creative site planning and harmonious building designs.

The freeway serving retail uses will use the Spanish Eclectic design theme as shown on Figure III-D.

c) Miscellaneous

Civic uses (school- fire station) are encouraged to conform to the preferred and acceptable Murrieta Highlands architectural theme.

2. Building Massing and Scale

The public perception of the image of Murrieta Highlands will be dictated by the view of the buildings from public edges such as streets, parks, plazas, or parking lots. Building massing, scale and roof forms comprise the primary design components, and therefore, require articulation. Building scale must match building style and maintain the integrity of the style's massing. In order to achieve a balance between a building's mass and scale, the following use of design elements is encouraged: porches, window articulation, door variety, arches, trellis work, brick articulation, planter boxes, gabled roofs, arbors and pergolas. Flat and unarticulated elevations for residential structures will not be allowed. Unarticulated wall elevations for commercial and industrial buildings will require City of Manager or designated appointee approval. Building massing and elevations must encourage visual interest. Careful attention will be paid to views of rooflines and pitches as viewed from public spaces.

3. Building Materials and Colors:

The selection of residential and commercial building materials shall enhance the Murrieta Highlands architectural theme. The preferred color themes shall be earthy light hues. The use of light earth tones and off-whites with accent colors and materials to create visual interest is encouraged.

Color will play a predominate role in unifying the overall visual aspect of the community while accent materials and detailing will provide architectural uniqueness. The body of color used to unify the visual background will be stucco plaster or wood/Masonite siding. Accents of color are encouraged to offset the common denominator stucco or other siding, and will be used to impart individuality to the streetscape. Allowable and preferred residential stucco colors (standard EXPO colors) are listed in this chapter. Siding material color selections are encouraged to be similar to the preferred stucco colors. Other colors may be permitted by the City Manager or designated appointee.

Architectural accents shall be encouraged, such as (but not limited to) wood trim, stone, window/door frames, score lines, and glazed tiles. Metal finishes will be limited to such items as hardware, flashing, vents, and doors. All enclosed metal, inclusive of roof-mounted equipment shall be painted to match the adjoining surface or match the accent colors where appropriate.

Due to their large size, commercial and industrial looking buildings may deviate from the overall architectural theme for Murrieta Highlands. However, this type of building must be transitioned with adjacent residential uses in terms of bulk and scale. Where the bulk of the building cannot be sized down to a residential-like scale, transitioning can be accomplished either through increased setbacks or walls and /or landscape buffering. These types of buildings may use colored metal finishes for windows and doors.

4. Building Height

The maximum building height within the Residential District and MU-2 Subarea 1 is fifty feet (50'). MU-2 Subarea 2 allows for a maximum height of 115 when setback a minimum of 200 feet from property lines that front residentially zoned property. Residential uses may not exceed 2 stories in height unless they are commercial/residential mixed-use properties where 3 stories are acceptable as long as the maximum height of fifty feet (50') is not exceeded.

Varied building heights will reflect the desired architectural character. Construction of commercial buildings over parking is encouraged, where feasible.

5. Building Roofs and Projections

In order to create variety and scale in building facades, eave overhangs; fireplaces, bay windows and projections of up to 2.5' feet will be allowed in residential front, side, and rear yard setbacks. Porches may encroach four feet (4') into the front or rear yard setbacks. These projections must be designed in such a way as to avoid visual competition with front porches and/or entries. The projections, however, cannot extend into the public right of way or across lot lines.

Sensitive roof design includes attention to the arrangement and screening of mechanical equipment. The following guidelines are intended to create a community with attractive and cohesive rooflines.

a) Residential

- (1) Mechanical equipment is not permitted on building roofs with the exception of solar collectors
- (2) Satellite dishes must be located on the ground, in the rear yard, and below the eave line
- (3) Building roof colors shall be varied; no more than three (3) consecutive residences shall have identical color.

b) Multiple Use

- (1) All roof-mounted mechanical equipment and/or ductwork are to be screened from view by an enclosure consistent with the building's architecture with the exception of solar panels and panel mounts.
- (2) Consideration will be given to the view plane of neighboring residential developments and public rights-of-way.
- (3) Satellite dishes are preferred to be located on the ground, in the rear yard. Roof mounted dishes must be screened from view and approved by the City of Murrieta

6. Design Variation

In order to create a sense of individuality, each homebuilder must develop as much variety in design and material as possible.

Builders with 10-149 production homes must have at least three (3) models with a minimum of three (3) different elevations for each model. Projects of 150 homes or more must have at least four models with three elevations. Material change and articulation between residential units are encouraged. The different homes should exploit the possibilities of variation offered by the garage location, entry and porches, and design options discussed above. Elevation variation should use different architectural features, building massing and details, as well as different facade and roof materials. No identical model and elevation type are permitted side by side. Similar roof materials with different colors or shades are required for housing tracts.

7. Lighting

Adherence to an overall lighting program is necessary as a part of the detailed development plans. The Murrieta Highlands Specific Plan program shall provide lighting levels, which promote public safety and security, but do not impinge on neighboring land uses or the Mount Palomar Observatory, located thirty miles to the southeast of the site. The coordinated program will limit street and parking lot lighting to a low-pressure sodium source, which can be filtered by the Mount Palomar Observatory telescope. The light sources and levels shall be located and specified so as not to cause annoyance to users and adjacent residents. Light sources shall be shielded and directed to avoid spillover into adjacent areas per City of Murrieta standards.

8. Utilities

All dry utilities (i.e., electric, telephone and cable TV) shall be placed underground. All wet utilities (water, sewer and storm drain) shall be installed in accordance with the City of Murrieta's standards. Placement of all underground utilities shall be coordinated so as not to interfere with nor pre-empt required landscape plantings.

II. DESIGN REVIEW PROCESS

A. PROCESS SUMMARY

Building concept must adhere to the community design standards set by the Murrieta Highlands Specific Plan. The City of Murrieta will perform the conformance review and will serve as the ultimate approval authority.

B. MASTER DEVELOPER REVIEW PROCESS

All designs shall conform to the standards created by the Murrieta Highlands Specific Plan. City of Murrieta will review for consistent to the MHSP and will serve as the ultimate approval authority.

1. Production Residential Development:

Three (3) sets of the following items are required for submittal of production residential development plans prior to submittal to the City of Murrieta:

- A detailed 1:40 scale Development plan showing; building footprint, driveway and/or alley placement, street trees, fence locations and heights, and adjacent. street(s) is required for each production phase. Model and elevation must be specified.
- Floor plans and elevations for all four sides, including elevations for detached garages where applicable.
- Exterior material sample boards are required to show exact materials and colors. All acceptable alternative colors must be included.
- Each area of 1-149 production homes must have at least three (3) models with three (3) elevations. Areas of 150 production homes or more must have at least four (4) models with three (3) elevations. In cases of 200 or more production homes, the MHDRC may require additional plans and elevations.
- A 1:40 scale landscape plan indicating street tree species, size, location, neighborhood entry, planting and fencing details .

- A full colored architectural rendering of the front elevation or street view is required for all models.
- Lots backing onto the multi-purpose greenbelt and/or visible from public parks, major streets, or with exposed side or rear yard conditions shall have side and/or rear facade elevations as detailed and attractive as front elevations, with the MHDRC taking economics into account.
- Plans must also show any other structures

Within twenty one (21) working days of receipt of a complete submittal, the MHDRC shall: approve; approve with modifications; or deny the site plan, and shall forward such decision to the applicant in writing. Failure to approve is denial.

An initial fee of \$2,500.00 per production neighborhood is required at the time of submittal. Upon review of the submittal, additional fees may be required to cover expenses incurred by the MHDRC, up to a maximum of \$5,000.00.

2. Multiple Use Development

Three (3) sets of the following items are required for submittal of all Multiple Use (commercial/industrial) development plans prior to submittal to the City of Murrieta:

- A detailed 1:40 scale Development plan showing; building footprint, driveway and/or alley placement, street trees, fence locations and heights, and adjacent street(s) is required.
- Exterior materials sample board, showing exact materials and colors. All acceptable alternative colors must be included.
- A 1:40 scale landscape plan indicating street tree species, size, location and planting and fencing details.
- A full colored architectural rendering of the front elevation or streetscape is required.

- Plans must also show any other structures.

Within twenty one (21) working days of receipt of a complete submittal, the MHDRC shall approve, approve the modification or deny the site plan, and shall forward such decision to the applicant in writing . Failure to approve is denial.

An initial fee of \$2,500.00 per lot is required at the time of submittal. Upon review of submittal, additional fees may be required to cover expenses incurred by the MHDRC, up to a maximum of \$5,000.00.

The three (3) members of the Murrieta Highlands Design Review Committee (MHDRC) will consist of the members listed below. The MHDRC will review all developmental plans for Murrieta Highlands.

- One member appointed by the Master Developer
- Two Architects, Planners or Landscape Architects, or other consultants appointed by the Master Developer
- A Chairperson will be selected from this committee by the members. Other, non-voting individuals may attend meeting of the Committee.

C. CITY OF MURRIETA DESIGN REVIEW PROCESS

The following procedures shall apply to all applications for approval of a development plan.

1. Classification of Development Plans:

Development plans are classified as follows:

- Development plans that are not subject to the California Environmental Quality Act and are not transmitted to any governmental agency other than the City of Murrieta for review and comment.
- Development plans that are not subject to the

California Environmental Quality Act and are transmitted to one or more governmental agencies other than the City of Murrieta Departments

- Development plans that are subject to the California Environmental Quality Act
- Development plans for outdoor advertising displays that require field checking by the City of Murrieta.

2. Application

- a) Filing. Applications for consideration of a Development plan shall be made to the Planning Manager on the forms provided by the Planning department, shall be accompanied by the filing fee set forth by the City of Murrieta and shall include such information and documents as may be required by the Planning Manager and in conformance with the Murrieta Development Code.
- b) If the application requires a public hearing, a list of the names and addresses of all owners of real property located within three hundred feet (300') of the exterior boundaries of the property to be considered, as shown on the last equalized assessment roll and any update issued by the County Assessor.
- c) If the application is for the location or placement of an outdoor advertising display the requirements and standards set forth in Chapter 2 District Regulations, ordinance shall apply.
- d) Clearance. No application that requires compliance with the City of Murrieta rules for implementing the California Environmental Quality Act shall be considered at a public hearing until all procedures required by the rules to hear a matter are completed.

3. Requirements For Approval

No Development Plan shall be approved unless it complies with the following standards:

- a) The proposed use must conform to all the requirements of the General Plan for the City of Murrieta and with all applicable requirements of State law and the ordinances of

the City of Murrieta.

- b) The overall development of the land shall be designed for the protection of the public health, safety and general welfare to conform to the logical development of the land and to be compatible with the present and future logical development of the surrounding property. The plan shall consider the location and need for dedication and improvement of necessary streets and sidewalks, including the avoidance of traffic congestion; and shall take into account topographical and drainage conditions, including the need for dedication and improvements or necessary structures as a part thereof.
- c) All Development plans which permit the construction of more than one structure on a single legally divided parcel shall, in addition to all other requirements, be subject to a condition which prohibits the sale of any existing or subsequently constructed structures on the parcel until the parcel is divided and a final map recorded in accordance with the City of Murrieta's Ordinance No. 460 in such a manner that each building is located on a separate legally divided parcel.

4. Action On Development Plans

Development Plans shall be processed and decisions rendered based upon the procedures identified in the Murrieta Development Code.

5. Appeals

An applicant or any other interested party may appeal from the decision of the Planning Manager by the following procedure:

- a) Appeal to Planning Commission. Within 10 calendar days after the date of the mailing of the decision by the Planning Manager, an appeal in writing may be made on the form provided by the Planning Department and which shall be accompanied by a filing fee as set forth by the City of Murrieta. Upon receipt of a completed appeal the Planning Manager shall set the matter for hearing and mail notice thereof to the applicant and the appellant if the Development plan did not require a public hearing. If the Development plan required a public hearing, notice of the appeal shall be given in the same manner that notice was given for the original hearing.

- b) Appeal to the City Council. Within 10 calendar days after the date of the mailing of the decision of the Planning Commission, the appellant may appeal that decision, in writing, to the City Council, on the forms provided by the Planning Department, which shall be accompanied by a filing fee of \$25.00. Upon receipt of a completed appeal, the City Clerk shall set the matter for hearing before the City Council not less than five days nor more than 30 days thereafter and shall give written notice of the hearing to the City Council appellant and the Planning Manager. The City Council shall render its decision within 30 days following the close of the hearing on the appeal.

6. Approval Period

The approval of a Development plan shall be valid for a period of two years from its effective date within which time the construction authorized must be substantially begun or the occupancy authorized be in use; otherwise, Development Plan approval shall be void and of no further effect. The Planning Commission may grant two one-year extensions if the applicant can demonstrate substantial progress has been made in complying with the City's conditions of approval.

Notwithstanding the specific requirements of the zoning classification and this section, no Development plan is required to establish a proposed use when the proposed use is replacing an existing use provided that:

- a) The existing and proposed use are conforming uses;
- b) The existing use was subject to a Development Plan approval;
- c) The proposed use will not require the construction of a building, or the reconstruction or expansion of an existing building;
- d) The proposed use complies with the parking and landscaping requirements of the City of Murrieta and this ordinance; and,
- e) The proposed site has adequate road and other improvements required for the implementation of the proposed use available on site.

III. COMMUNITY DESIGN GUIDELINES

A. CIRCULATION

The Circulation Plan for the Murrieta Highlands Specific Plan provides both the physical and the visual connection between residential neighborhoods and adjacent non-reside land uses. The Circulation Plan provides the necessary access for vehicles, mass transit, bicycles and pedestrians. The MHSP encourages pedestrian and bicycle use by its street design and land use locations.

The backbone of the circulation plan is the proposed street pattern. This pattern is based upon a street hierarchy that has been partially determined by the City of Murrieta's Circulation Element of the General Plan. The circulation plan for Murrieta Highlands is displayed in Chapter 1.

1. Streets

Streets define the character of a community. They also contribute to a community's sense of place -- whether a quiet village, comfortable single family neighborhood or a busy city thoroughfare. The streets of Murrieta Highlands can be broken into three (3) categories: Arterials, inter-community thoroughfares and local residential streets. Regardless of their classification, the streets of Murrieta Highlands will be designed to efficiently accommodate vehicular traffic as well as bicycles and pedestrians.

Antelope Road is shown on the Circulation Element of the City of Murrieta General Plan as a Major Road one hundred foot right-of-way (100' ROW), this Major Road is being proposed as possibly being realigned in the future in order to accommodate a future interchange at the intersection of Keller Road and the I-215 Freeway.

Antelope Loop Road is shown as a Major Road one hundred foot right-of-way (100' ROW) from Keller Road until it intersects at a "T" intersection with existing Antelope Road. If this realignment occurs, the "T" intersection would be realigned to transition into existing Antelope Road (as shown). Antelope Road would be vacated between Keller Road and where Antelope Loop Road would make this transition into existing Antelope Road. Antelope Road would also be realigned southerly of Keller Road as shown on the Circulation Element of the General Plan.

Keller Road is shown as an Arterial Road one hundred-ten foot right-of-way (110' ROW), Menifee Road north of Keller Road is shown as a Major Road one hundred foot right-of-way (100' ROW), Meadowlark Road south of Keller Road is shown as a Major Road one hundred foot right-of-way

(100' ROW).

The City of Murrieta's General Plan proposes Class II Bike Lanes within the MHSP area. One Class II Bike Lane is located on Mapleton Avenue and one along Keller Road. Class II Bike Lanes are bike paths that are a minimum of five feet (5') in width and striped usually located within thoroughfares. The Murrieta Highlands Specific Plan provides a Class II Bike lane along Mapleton Avenue, Menifee Road, and Keller Road.

These inter-community thoroughfares will provide an efficient and smooth flowing network for both vehicular and mass transit use. The thoroughfares are mostly located at the edge or perimeter of Murrieta Highlands. Higher intensity land uses, including commercial use, have been selected to border them. Lower intensity uses, including single-family residential and open space areas, have been located internally to be insulated from the thoroughfares.

Parkways are planned for all thoroughfare streets. These parkways will be located on one side of the street to accommodate pedestrians. These parkways include sidewalks that are separated from the curb and adjacent traffic by a landscape strip. These separations will enhance pedestrian safety. The parkway landscaping together with the planned landscaped setbacks will create a pedestrian friendly streetscape.

While the interstate highway and the thoroughfares properly address traffic needs, the residential environment must respond to many other concerns. Residential streets are more than conduits for traffic; they form the setting for homes, they form the setting for children to play, they form the setting for meeting and talking to neighbors. Therefore, streets must consider the pedestrian as well as traffic needs.

The residential street pattern for Murrieta Highlands is simple and provides a pedestrian friendly environment through an interconnected street system. This minimizes the risk of any street becoming overburdened with excessive traffic. The street pattern coordinates with the greenbelt/paseo trail system to encourage pedestrian use.

2. Multi-purpose Greenbelt/Paseo

The primary purpose of the greenbelt/paseo system is to create neighborhood definition for the MHSP community. Also the greenbelt/paseo provides internal neighborhood definition for Murrieta Highlands by providing separation between neighborhoods. The greenbelt is approximately twelve acres (12 ac) and extends along the northern boundary of the project area. In addition, the greenbelt/paseo will provide visual relief and a landmark to the community.

The greenbelt/paseos as planned contain an opportunity for drainage facilities for flood control. Planned within the greenbelt/paseo is a minimum ten feet (10') wide access road or trail that will be used for access by pedestrians, bicyclists, maintenance personnel, and equestrian use where appropriate. The areas outside drainage areas will be landscaped with species that will be drought tolerant and will naturalize to the area. This access road will act as a trail system that will link the various neighborhoods and community facilities.

The greenbelt/paseo will provide a passive park like area as well as a buffer. One of these locations parallels the Neighborhood Park and Elementary School site. Other locations are smaller but will still contain a trail system; a detention basin and naturalizing open space. An eight-foot (8') high berm will be constructed and landscaped along the northern and eastern project boundaries within the greenbelt. In addition, a dense hedgerow of trees will be planted along the berm to provide community definition and a link to the historic rural past of Murrieta. The greenbelt varies in width between two-hundred to three-hundred feet (200' to 300'). However, the greenbelt/paseo shall not be less than two hundred feet (200') wide along the northern boundary of the site adjacent to J-Bar Ranch.

The Multi-purpose Greenbelt/Paseo and the Neighborhood Parks provide Open Space and parkland within a quarter mile walk of every future resident. The greenbelt connects the Elementary School site and the two Neighborhood Parks together. Each of these parks will be designed and developed with the Parks and Recreation Department of the City of Murrieta. The specific details of plant materials, facilities and design are located in this chapter.

B. GRADING

The project is very flat with an overall slope gradient of less than five percent (5%). There is no significant soil or geological conditions which preclude the proposed project. The only area with topographic constraints is the knoll, which is located south of Keller Road. Grading for the entire site will be minimal. Site grading, however, will be conducted in a manner, which will eliminate the necessity for soil import or export.

The knoll is a significant natural topographic feature of the site and will be retained. Where development is to occur, the grading shall be done in a way that minimizes the disturbance of the natural topography, blends with the natural topography and produces an aesthetically pleasing development. All cut and fill slopes shall be undulated and rounded at the top and the bottom of the slopes to create a more natural appearance. No

razor sharp edges for the tops and bottoms of cut and fill slopes are permitted. Contour grading techniques will be employed around the knoll to create a natural appearance.

Special care will be taken in the preparation of grading plans for the knoll. Any structure for the top of the knoll shall be terrain fitted or an architectural solution rather than a grading solution. The grading solution is one in which the top of the knoll would be graded flat and a conventional structure would be built.

Generally, all grading that results in manufactured slopes will employ current, state of the art techniques to prevent erosion and sedimentation during and after grading. Manufactured slopes that exceed twenty feet (20') in height will be contoured graded to minimize a strictly man made appearance. All grading within the MHSP area will comply with these guidelines, the requirements in Chapter 1, Development Plans, of this document and the current version of the City of Murrieta's Grading Manual and ordinances.

C. ENTRIES AND KEY INTERSECTIONS

By their nature entry monuments are intended to set the character and tone for a project. As such, high quality design and craftsmanship are essential. The design must create a sense of entry and arrival, reflect the architecture of the individual development and coordinate with adjacent wall and fence design and slow traffic through the neighborhood.

Two forms of entry monumentation will be present in Murrieta Highlands. Primary monuments will establish formal entrances into the community. Individual neighborhoods within Murrieta Highlands will have smaller scale entries, which establish a sense of place for residents and visitors. 'See Figure III-E for typical primary entry monuments and Figure III-F for typical secondary entry monuments. Figure III-G illustrate locations of primary and secondary monumentation within the Murrieta Highlands community.

Entry monuments shall:

- Conforms to the City of Murrieta's District Regulations,
- In no way impair traffic sight distances,
- Be incorporated into the landscape elements and wall or fence design.

D. FENCES AND WALLS

Fences and walls shall provide definition for land uses within Murrieta Highlands. These fences and walls will be used for these main purposes:

- To establish the image of a planned community,
- To screen objectionable views from public view,
- To protect properties from the noise and traffic of adjacent streets; and,
- To provide security for individual properties.

The wall along Menifee Road and the portion of Keller Road east of Menifee Road will be six feet (6') high masonry stucco finish wall with battered pilasters fifty feet (50') on center. An acceptable alternative to stucco is stone. However, the same finish shall be used on all primary project walls. These primary project walls are located on the north and east side of Murrieta Highlands Parkway and both sides of Keller Road (east of the westerly major entry) and Menifee Road. Where the residential areas back up to Menifee Road and Murrieta Highlands Parkway, a primary wall is required. The wall shall be a minimum height of six feet (6'); wood fences within the residential developments will be a minimum of five feet (5') high and should be designed to match the architectural detailing of the homes (See Figure III-H). Wood fencing is allowed in interior side yards and rear yards that do not back up to public open space and streets. Wood fencing is not permitted along the rear property line that back onto the greenbelt and public streets. Six feet (6') high masonry stucco finish or wrought iron is permitted. Chain link fencing for front, side and rear yards is prohibited in residential areas. All wood fences shall have some type of cap or finished top rail. No wood fences can have plain board end tips such as unfinished eight-inch (8") wide dog-eared fence boards. In addition, fences or walls connecting two (2) separate residential units or buildings should be of the same color and material and be compatible with the color and material of the architecture.

Block end fences and walls on corner lots shall have different setback than the exterior building walls to minimize a monolithic appearance.

The commercial/industrial area walls shall be similar to adjacent residential walls in terms of design and materials. Fences within the commercial areas will be designed to match the architectural detailing of the buildings. Generally, stucco covered walls similar to the primary project wall depicted in Figure III-E are acceptable. Also, the use of stone or stone and wrought iron is acceptable. No wood or chain link fences will

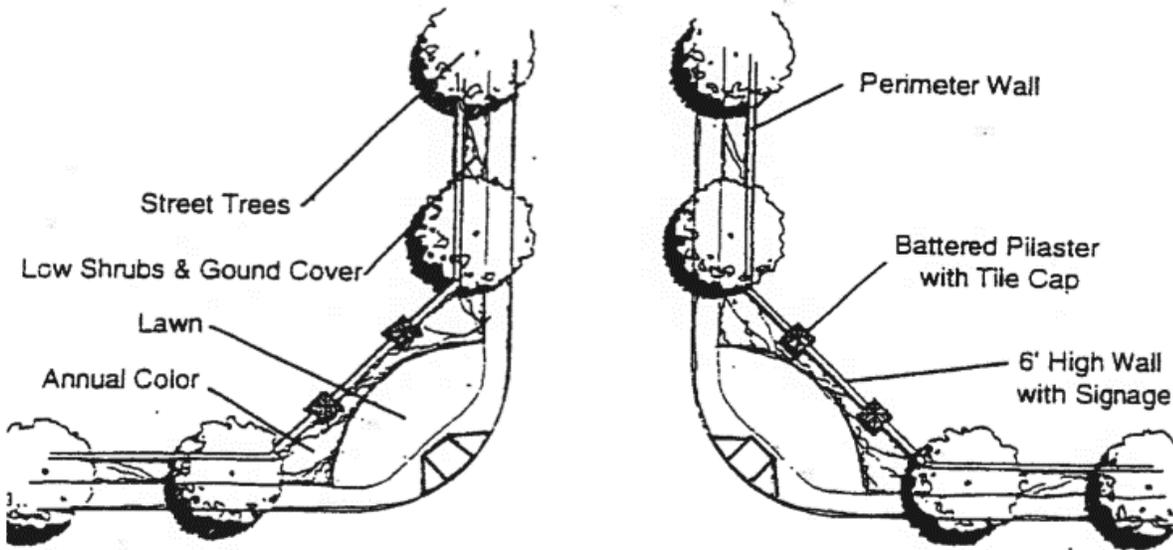
be used where they are visible to the public. Barbed wire or razor wire is strictly prohibited.

Primary Entry

Figure III-E

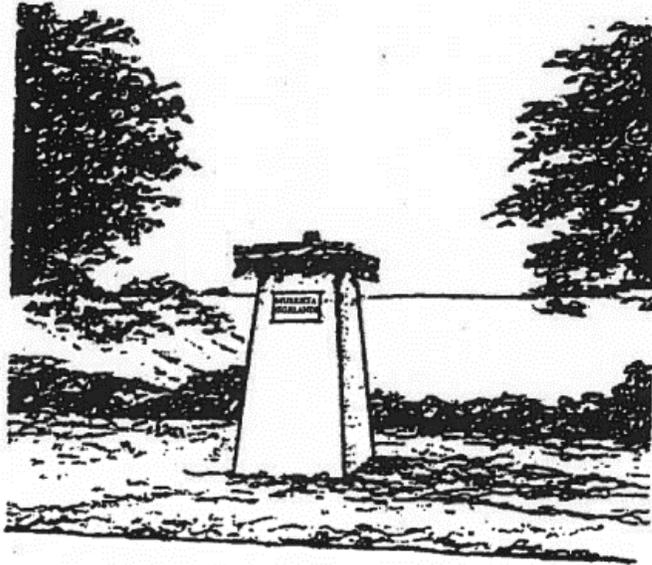


Typical Primary Monument Entry Treatment

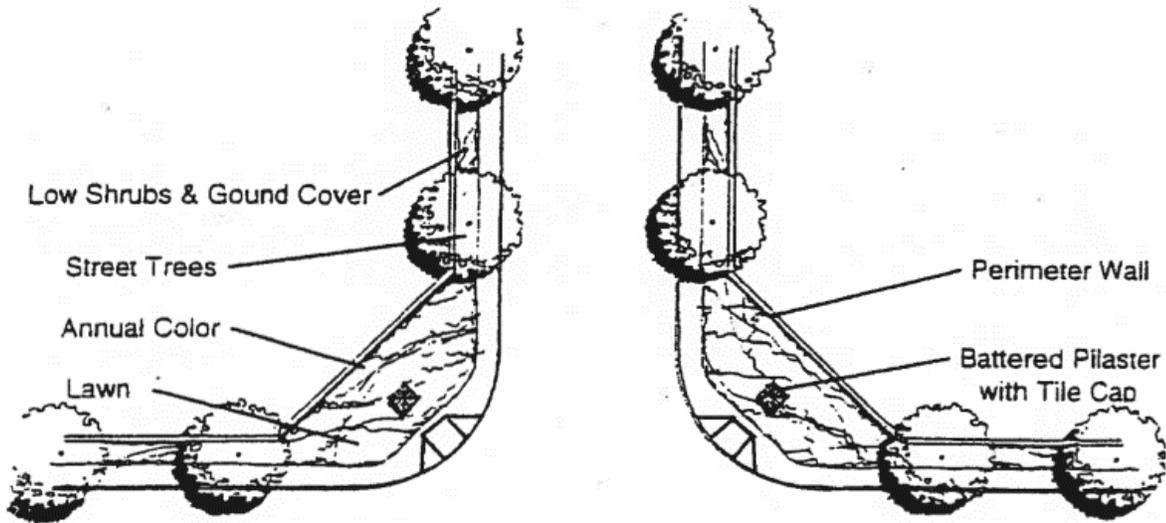


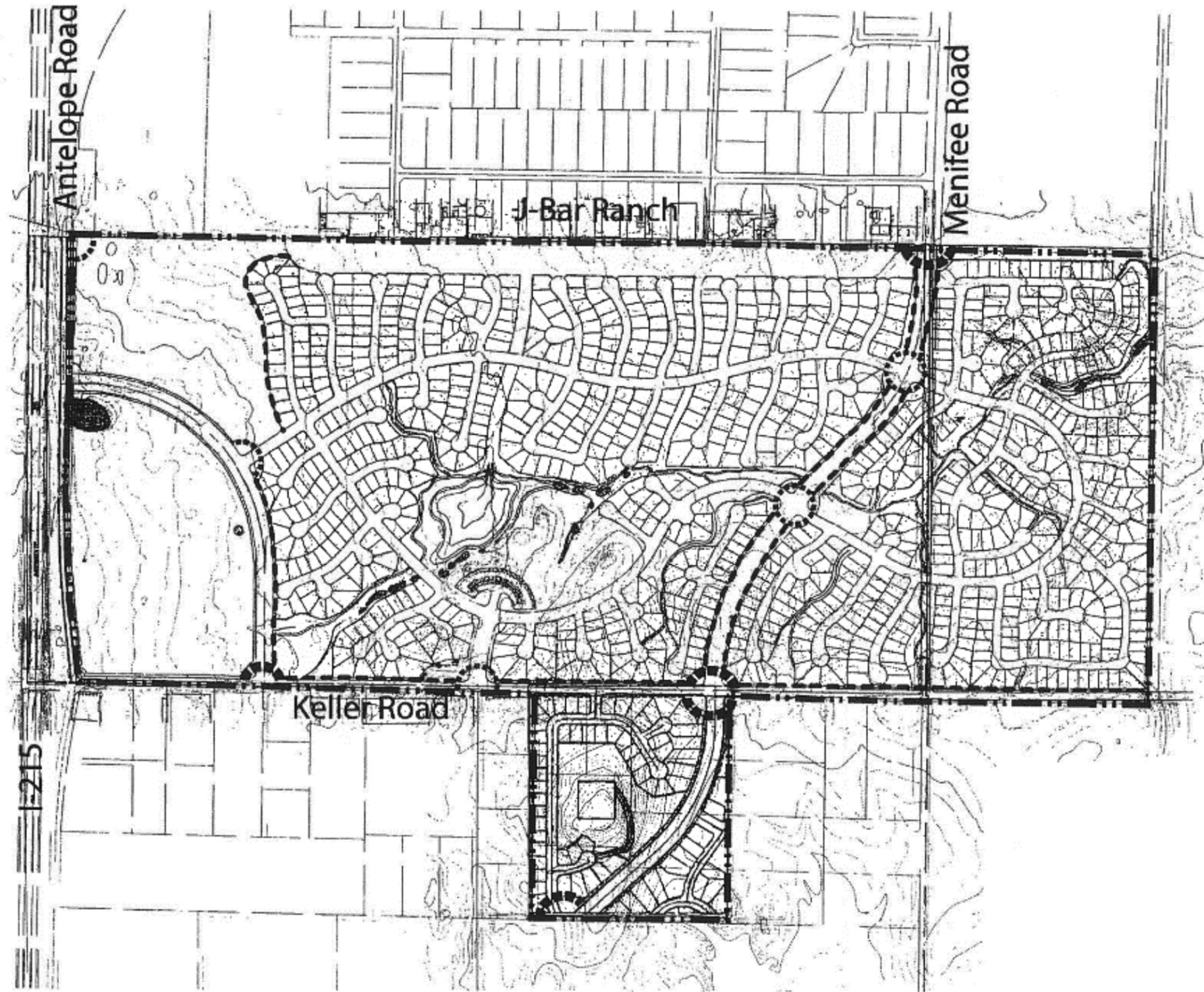
Secondary Entry

Figure III-F



Typical Secondary Entry Treatments



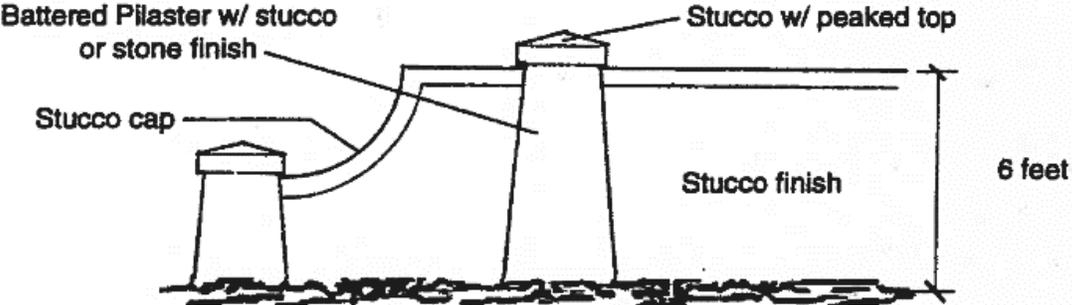


Conceptual
Entry Plan
Figure III-G

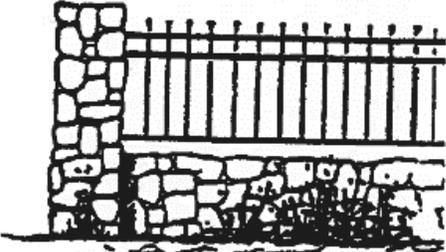
-  Primary Entry
-  Secondary Entry
-  Primary Project Walls

Walls & Fences

Figure III-H



Primary Project Wall
Masonry with Stucco Finish

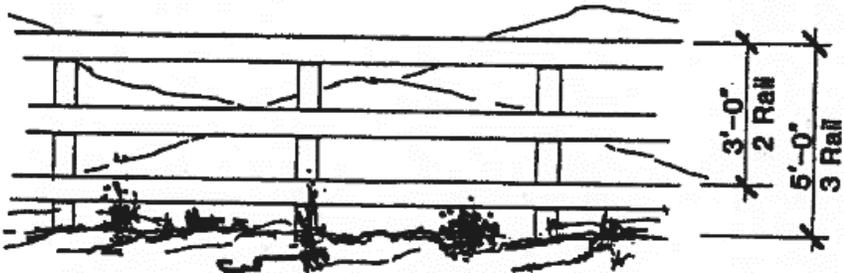


Stone and Wrought Iron Wall alternative



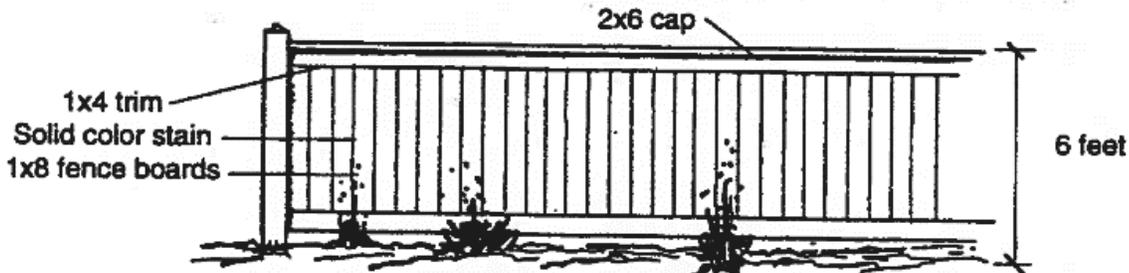
Low Stone Wall alternative

Battered Stone Pilaster preferred for both Stone Wall alternatives



Open Wood Fence

For use in Greenbelt areas only and along north and eastern project boundary



Solid Wood Fence
For Residential Areas Only

Walls and fencing along the MU-2 boundary with residential uses shall be similar to the residential walls.

The open wood fence shall be used within the greenbelt along the northern and eastern boundaries of the project. This type of fencing may also be used for safety along the trails, roads or public utilities. Barbed wire or razor wire is strictly prohibited within the greenbelt.

E. EDGES AND INTERFACES

Although the supporting non-residential land uses within Murrieta Highlands are generally compatible with residential uses, some level of conflict is unavoidable. Therefore, commercial and light industrial uses shall be buffered from residential areas. Combinations of landscape setbacks, street rights of way, walls, fences, berms, architectural orientation and architectural elevation changes can serve as appropriate buffers.

Murrieta Highlands has been designed with a greenbelt containing a tall tree hedgerow along the northern property boundary. This open space element provides a natural edge to the Murrieta Highlands community. The hedgerow also provides a buffer to existing and future residential areas to the north.

Murrieta Highlands Parkway west of Menifee Road is the community's main thoroughfare. Screen walls and landscape setbacks shall be required between residential and non-residential land uses in accordance with Chapter two District Regulations Requirements.

Most of the southern boundaries of the project area front on either Keller Road. This road will have landscaped setbacks to provide land use buffers. Keller Road will not have any direct access from SF-1 or SF-2 uses.

F. MODEL COMPLEXES

The model complexes of Murrieta Highlands shall be required to meet all City of Murrieta building, safety, Development plan review and occupancy for the underlying zone, and if applicable conditional use permit regulations, as well as the Uniform Building Code (UBC). Because model complexes are temporary uses, the conversion of home garages to temporary office space is permitted. Also unification design strategies such as pathways and capture fences between the homes and across property lines, fences in the public rights of way and varying door treatment for the converted garage space is permitted on a temporary basis. However, all temporary office improvements and temporary capture

fences for the model complex homes must be removed prior to the sale and/or occupancy of these residences. It is essential that these dwellings are similar in design, plotting and architectural features to the remainder of the community. Model homebuilders are required to meet temporary signage guidelines present in Section 4.0 of this chapter. Street parking for visitors is adequate. However, the builder may convert a residential lot to a temporary parking lot with Development plan approval.

IV. GENERAL DEVELOPMENT GUIDELINES

A. INTRODUCTION

The intent of these development guidelines is to create a livable neighborhood community. Murrieta Highlands will have comfortable, walkable tree-lined parkways for streets that are designated Collector and above. The sidewalks will be separated from the right-of-way by curb and/or a parkway. Shopping and working opportunities shall be within close proximity to residential areas. Two Neighborhood Parks and the Multi-purpose Greenbelt will provide outdoor recreational uses near residents as well as providing visual quality enhancement.

Community design is vital to the neighborhood character of Murrieta Highlands. These guidelines are not intended to limit creativity, but to inspire individuality within the proposed community design themes. Builders are encouraged to be creative within the context of these guidelines and to produce quality residential, commercial and industrial buildings.

Architectural standards will control the materials, massing and placement of private buildings. The requirement for certain architectural styles is intended to fulfill two specific goals:

- The creation of a distinctive sense of place and community within Murrieta Highlands
- The selection of architectural expressions, which are appropriate to the climate of Murrieta and southwest Riverside County.

All architectural designs for the Murrieta Highlands Specific Plan area will be designed in accordance with the Americans with Disabilities Act (ADA) and California Accessibility Statutes and Regulations.

The following sections address the some of the most visible elements of our built environment. These sections will address architecture, signing,

lighting and parking.

B. ARCHITECTURE

Variety in the architecture is important to the character of Murrieta Highlands and is strongly encourage. The use of the different "styles" and materials is intended to add variety to the buildings just as is most often found in towns and communities that have evolved over time. To balance this diversity, the public design features (i.e., street landscaping, visible fencing, arcades, entries, esplanades and public buildings) will be treated with an eye to unity and consistency. These architectural parameters shall apply to all lots, but are intended to control only those aspects that directly affect the public areas. Appropriate visual representations of various architectural styles and components have been assembled as examples for residential and commercial uses. These components illustrate the architectural theme of Murrieta Highlands. Builders are encouraged to work closely with their architects to select appropriate components, which will convey the design theme of Murrieta Highlands.

1. Residential (SF-1 and SF-2)

The preferred architectural theme for Murrieta Highlands is Craftsman "Arts and Crafts Tradition". In addition, the California Ranch/Farmhouse and Spanish Eclectic are acceptable architectural styles. These styles of architecture predominated in California during the early 20th century. The primary design components are the building massing, scale and rooflines. The secondary details comprise window, door, porch, balcony chimney and other similar architectural components. There are numerous secondary components necessary to convey the project's architectural themes. The illustrations in (Figures III-B - III-D) are not intended for identical replication but rather they are meant to represent their respective styles and individual architectural components.

These guidelines are primarily concerned with the physical appearance of the community environment as perceived by residents and visitors. Therefore, building massing, scale and roof forms, as the primary design components will require careful consideration. The primary concern is the front elevation of residential structures and those portions of the structures that are visible from the public right of way. The following guidelines illustrate articulated wall planes, projections and recesses to provide shadow and depth, simple forms and combinations of one and two story forms that convey a sense of human scale.

One of the goals of the MHSP is to control the garage placement to reduce the visual impact of the automobile and allow the human scale elements of the buildings to dominate the street. Typically, the front garage door is the most difficult wall mass to reduce or eliminate its dominance. Murrieta Highlands provides a variety of opportunities to minimize the garage. These opportunities include housing products that have detached garages side loaded garages and garages that are setback equally or behind the building front entry.

Conventional housing with two car garages can be designed to minimize the impact of the garage. This is accomplished through the use of setbacks that vary along the street. Also, through the use of roof forms, providing building projections beside (i.e. porches) or above the garage, a second story above the garage, or splitting of the two-car garage door into two single car garage doors the impact of the garage can be minimized. In addition, three car garages should have staggered setbacks (i.e., the garage doors should not be on the same wall plane). The District Regulations for Murrieta Highlands and these design guidelines will minimize a building from appearing too large for its lot. The District Regulations addresses the required setbacks while the guidelines address the requirements for building articulation; roof forms, building sitting and architectural features. The architectural graphics that are included in this document are conceptual and are meant to be used as guidelines. These graphics are not intended to be the definitive architectural products.

a) Building Massing and Scale

The following recommendations are encouraged when designing residential structures:

- Articulation of wall planes
- Projections and recesses to provide shadow and depth
- Simple and bold forms
- Combinations of one and two story forms

b) Rooflines and Materials

Simple pitched gable, hip and sometimes shed roof forms (for porches and arcades) with slopes form 4:12 to 7:12 shall

be the predominant rooflines. All pitched roof materials shall be clay, concrete tile or composition with a sculptured relief. Wood shake roofs are prohibited.

The following recommendations are considered appropriate design components.

- Simple pitched gable, hip or shed roof forms
- Front porches for the front entry
- Combination of one and two story elements
- Jogs in the ridgeline if it is overly long
- Varying plate heights and ridge heights

Small areas of flat roofs with parapet walls for Spanish Eclectic styles are permitted on a limited basis at the discretion of the Community Development Director

Gambrel and mansard roof forms are prohibited.

c) Materials and Colors

Color is intended as a primary element to reflect the nuances of the indigenous natural environment. The values should generally be light, with darker or lighter accents encouraged to highlight the character of the structure. Architects and builders should consider the optical effects of light to dark shades when selecting colors. Building exteriors shall be comprised of natural, compatible materials, which reflect the elements of the surrounding environment. This includes wood, rock masonry, concrete and plaster or stucco.

Color will play a predominate role in unifying the overall visual aspect of the community while accent materials and detailing will provide architectural uniqueness. The body of color used to unify the visual background will be stucco plaster or wood/Masonite siding. Accents of color are encouraged to offset the common denominator stucco or other siding, and will be used to impart individuality to the streetscape. Allowable and preferred residential stucco colors (standard Expo colors) are listed below. Siding material color selections are encouraged to be similar to the preferred stucco colors. Other colors may be permitted by

the City Manager or designee.

Preferred Stucco Colors (Expo):

- 460 Pebble
- 478 Whole Wheat
- 481 Heritage Beige
- 51 Panama Ivory
- 472 Salty White
- 468 Cream tone
- 469 Marblique
- 475 Desert Mauve
- 466 Sands
- 1 Crystal White
- 464 Alabaster
- 479 Birch tone
- 459 New acorn
- 463 Ivory Coast
- 52 Ivory
- 357 Almond Smoke
- 57 Eggshell
- 34 Hacienda
- 360 Sandstone
- 227 Navajo White

Architectural accents such as (but not limited to) wood trim, window/door frames, stonework, score lines, and glazed tiles shall be encouraged. Metal finishes will be limited to such items as hardware, flashing, vents, and doors. All enclosed metal, inclusive of roof-mounted equipment shall be painted to match the adjoining surface or match the accent colors where appropriate. All accents shall relate to the architectural form and character of the building.

Exposed wood should have a minimum two-inch (2") dimension and be protected from excessive moisture and sun exposure. Exposed wood sheathing shall be limited to the underside of roof or patio decks. Exterior plaster or stucco will have a smooth, sand, or other light finish texture.

d) Windows and Doors

Windows and doors are architectural components which, when carefully selected, have the ability to enhance a community.

The following recommendations are approved components:

- Divided window lights for all permitted architectural styles
- Multi-paned casement windows for Mission and Spanish Eclectic
- Ribbon (three or more contiguous) windows for Craftsman “Art and Crafts”
- Arched windows and doors for Spanish Eclectic
- Window planter boxes for Craftsman style
- Wrought iron window grilles for Spanish Eclectic

The following recommendations are discretionary:

- The limited use of canvas awnings
- Limited use of mill finish window or doorframes

The following components are prohibited:

- Gold window or doorframes
- Reflective glass
- Metal awnings

e) Architectural Forms and Details

(1) Entries

- a) Porches and balconies architectural forms are strongly encouraged to break up large wall masses. Porches are encouraged on all front elevations.

The purpose of providing a porch is to create a buffer and human scale layer between the sidewalk and the house. When a porch is used it is required to have a minimum of depth of five feet (5'-0") and a minimum of length of fifty

percent (50%) of the primary front building facade. The primary front building facade is defined as the length facing the street of non-garage facade.

The following recommendations are appropriate components:

- The Porch should provide space for the primary entrance to the house and be covered with a roof.
- Porches shall be integrated into the entry of the housing unit.
- The front door must be clearly visible from the street.
- Porches shall be large enough to accommodate two (2) average sized chairs.
- All porches shall have railings or a solid wall
- The Porch can be integrated with the second floor elements to provide balconies and decks.
- Porches must have simple, clean and bold projections from the residential unit.
- Balconies shall articulate wall surfaces
- Ceramic tile accent trim for Spanish Eclectic is appropriate.
- Various types of roof supports are encouraged and cantilevered roofs are not allowed.
- Wood or wrought iron balustrades are appropriate.

b). Entries without porches

In those models without porches a strongly articulated entry feature facing the street is required. This feature must clearly mark the entry and provide a minimum sheltered area at the front door. It must provide a covered area of no less than four feet (4'-0") deep and six feet (6'-0") wide with no more than two feet (2'-0") of that depth recessed. Its architectural elements must be proportioned and detailed to create a sense of permanence and strength. The front door must be clearly visible from the street.

(2) Exterior Stairs

Stairs shall complement the architectural massing and form of a building. Railings can be wrought iron or wood construction.

(3) Chimneys

As an architectural form, chimneys shall be simple in design, having the same material and texture as the building to ensure the consistency of character and style. Chimney caps, if used, should be consistent with the architectural style of the building

The following features are appropriate:

- Tile caps, brick or tile banding
- Elaborated chimney tops for Spanish Eclectic style
- Boldly projected from wall surfaces
- Design features adding articulation to walls
- Decorative metal caps that match trim colors

The following features are prohibited

- Exposed flues

- Extravagant metal fireplace caps

f). Building Details

(1). Mechanical Equipment

All air conditioning/heating equipment, soft water tanks, water meter, gas meters, and electric meters must be screened from public view. Sound attenuation is encouraged. Roof mounted cooling and heating units and related ductwork are unacceptable on pitched roofs. On flat roofs, HVAC equipment and ductwork is prohibited unless screened by parapet walls as high or higher than units and ductwork

(2). Antennas

All antennas are restricted to attic or interior of the residence. Satellite dishes are restricted to rear yard locations and must be ground mounted. No pole mounted satellite dishes are permitted to elevate the overall height of the dish above eight feet (8').

(3). Carport Structures

Carports shall be of wood or stucco, with finishes complying with the approved material and color palette. Carports integrated with patio walls and private fences are encouraged. Simple forms are encouraged

(4). Accessory Structures

Patio-trellises, pergolas and other exterior structures shall be constructed as permitted by governing City codes, finishes complying with the approved material and color palettes. The use of metal, corrugated or plastic covering is prohibited. Minor deviations as to height, location, and allowable building materials may be approved by the Community Development Director.

(5). Flashing, Sheet Metal and Vents

All exposed metals (flashing, sheet metal, vent stacks and pipes) shall be painted to match adjacent building

surface. Painted metals shall be properly prepared and primed to ensure a durable finish.

(6). Skylights

Skylights are to be designed as an integral part of the roof. Their form, location, and color should relate to the building. Skylight glazing should be clear or solar bronze. White glazing is discretionary.

(7) Solar Panels

Solar panels are to be integrated into the roof design, flush with the roof slope. Frames must be colored to complete the roof. Mill finish aluminum frames are prohibited. Support solar equipment shall be enclosed and screened from view.

g). Common Space Elements

(1). Trash and Recycling Enclosures

Trash bins shall be fully enclosed by a six feet (6') stucco or masonry wall. Doors shall be solid and adequately detailed and finished. Recommended locations include inside parking courts, at the end of parking bays, and preferably integrated into the end of a garage or carport. An overhead structure may be included to support vines. Vines attached to the sides and adjacent planting areas are encouraged to soften appearance.

(2) Mailboxes

Mailboxes in single-family neighborhoods should be placed in-groups no large than four (4), set into a stucco or masonry pilaster, and detailed to contribute to the overall community theme. Alternative mailbox designs will be considered by the City of Murrieta. Where a common mailbox location is provided in neighborhoods, it shall be located to relate to the project entry or recreational facilities. The mailboxes shall be housed in a structure similar in architectural style, character, form, material and colors as the surrounding buildings. In all cases, mailbox locations must be approved by the U.S. Postal Service.

(3) Support Facilities

Support facilities within residential areas such as recreational buildings, laundry facilities and sales/lease offices shall be consistent in architectural design and form as previously illustrated for the residents. Recreational areas are to be placed in highly visible locations such as project entries or adjacent to a model complex. A strong vertical design element incorporated into the recreation building is strongly encouraged.

2. Commercial (MU-2) Subarea 1- Commercial and Industrial Corridor

The preferred architectural theme for Murrieta Highlands is Craftsman "Arts and Crafts Tradition". In addition, the California Ranch/Farmhouse and Spanish Eclectic are acceptable architectural styles. The MU-2 – Subarea 1 Commercial and Industrial Corridor designates a freeway-serving retail commercial use. For the purposes of these guidelines, freeway-serving retail shall use the commercial guidelines from the preceding section. The following guidelines provide guidance and direction for commercial.

The following suggested components are appropriate:

(1). Walls

Wood smooth stucco, plaster, or masonry. Regular, even panels of smooth stone veneer of a light color. Pre-cast concrete panels are permitted, if scored to create a finer scale, with warm colored aggregate. Glass planes inset from the structural frame (glass curtain walls and flush glazing prohibited).

(2). Accents

Ceramic tile, terra cotta, stone, bronze, brass, copper, anodized aluminum and wrought iron.

(3). Windows

Recessed (punched) in wall. Glass plane inset from structural frames.

(4). Roofs

Flat, sloped or combinations of flat and sloped surfaces are appropriate. Visible roof materials may include but are not limited to: clay or concrete tile or painted metal.

(5). Color

Color used in office building design is intended to reflect the nuances of the indigenous natural environment. The hues should generally be light, with darker or lighter accents encouraged to highlight the character of the structure. Building exteriors shall be comprised of natural, compatible materials, which reflect the elements of the surrounding environment. This includes wood, rock masonry, concrete and plaster or stucco.

Color will play a predominate role in unifying the overall office uses in the community while accent materials and detailing will provide architectural uniqueness. The body of color used to unify the visual background will be stucco plaster or wood/Masonite siding. Accents of color are encouraged to offset the common denominator stucco or other siding, and will be used to impart individuality to the streetscape. Allowable and preferred commercial office (same as commercial colors) stucco colors (standard Expo colors) are dictated below. Siding material color selections are encouraged to be similar to the preferred stucco colors. Other colors may be permitted by the City Manager or designee.

Preferred Stucco Colors (Expo):

- 460 Pebble
- 478 Whole Wheat
- 481 Heritage Beige
- 51 Panama Ivory
- 472 Salty White
- 468 Cream tone
- 469 Marblique
- 475 Desert Mauve
- 466 Sands

- 1 Crystal White
- 464 Alabaster
- 479 Birch tone
- 459 New Acorn
- 463 Ivory Coast
- 52 Ivory
- 357 Almond Smoke
- 57 Eggshell
- 24 Hacienda
- 360 Sandstone
- 227 Navajo White

(6) Entries

By their nature entry monuments are intended to set the character and tone for a project. As such, high quality design and craftsmanship are essential. The design must create a sense of entry and arrival, reflect the architecture of the individual development and coordinate with adjacent wall and fence design and slow traffic through the project. The classical elements of Mission Style are suggested for entry treatment, as this is the primary commercial office design theme. Mission parapets, domes, arched forms, cupola design, towers, and use of textured facades and tiles are appropriate.

3. Commercial (MU-2) Subarea 2 Medical Center and Community Services

Since the MU-2 – Subarea 2 is the most visually prominent land use designation, particularly from the freeway and Keller Road; MHSP encourages buildings oriented towards these two major vehicular corridors. The architecture can vary from architectural styles referenced previously; however, may include contemporary Modern architecture.

The Commercial MU-2 Subarea 2 designates a community and regional healthcare use. For the purposes of these guidelines for Subarea 2 shall use the guidelines from the preceding sections when not specifically addressed in this section. Should this subarea not be developed with a community and/or regional healthcare facilities, the MU-2 Subarea 1 shall apply.

The following guidelines provide additional guidance and direction for Subarea 2.

The following suggested components are appropriate:

(1). Walls

Masonry or tubular steel or aluminum. Regular, even panels of smooth stone veneer of a light color acceptable Pre-cast concrete panels are permitted, if scored to create a finer scale, with warm colored aggregate.

(2). Accents:

Ceramic tile, terra cotta, stone, bronze, brass, copper, anodized aluminum, and wrought iron. Accents not listed may be approved by the City Manager or his or her designee.

(3). Windows:

Recessed (punched) in wall. Glass plane inset from structural frames.

(4). Roofs

Flat surfaces are appropriate. Pitched roof planes may be approved by the City Manager or designee.

(5). Color

Color used in building design is intended to reflect the nuances of the indigenous natural environment. The hues should generally be light, with darker or lighter accents encouraged to highlight the character of the structure. Building exteriors shall be comprised of natural, compatible materials, which reflect the elements of the surrounding environment.

Color will play a predominate role in unifying the overall campus uses with the community while accent materials and detailing will provide architectural uniqueness. The body of color used to unify the visual background will be stucco plaster or wood/Masonite siding. Accents of color are encouraged to offset the common denominator stucco or other siding, and will be used to impart individuality to the streetscape.

Allowable and preferred commercial office (same as commercial colors) stucco colors (standard Expo colors). Other colors may be permitted by the City Manager or his or her designee.

(6) Solar

Solar panels may be integrated into the roof design on both buildings and parking structures and/or affixed to freestanding structures located in designated parking areas and hardscape. Support structures should be attractively designed and architectural compatible.

C. SIGNAGE

Murrieta Highlands Specific Plan recognizes the need for signs to provide directions and to identify events and businesses within the community. Signage is an important element of the physical environment. Provisions consistent with community character are necessary to ensure that the appropriate image is attained while serving the community's needs. Murrieta Highlands is striving to provide an economically stable and visually attractive community through high quality site planning, building design, landscaping and signage. As a planned architectural feature, a sign can be pleasing. It can harmonize with the physical character of its environment. Proper controls serve to achieve this goal and make the community a more attractive place to reside.

The Murrieta Highlands Specific Plan provides guidance for all signs within the project as presented in this document.

The objectives for sign regulations contained in this specific plan are to:

- Protect the general public health, safety and welfare of the community;
- Reduce possible traffic and safety hazards through good signage;
- Direct people to various locations and to provide for the maximum public convenience;
- Create signs which are well designed and pleasing in appearance and to provide incentive for variety and good design relationship;

- Create a desirable neighborhood community character;
- Enhance the economic value of the community;
- Create signs which are compatible with adjacent land uses; and,
- Provide a reasonable system of control for signs, to ensure the development of a high quality environment.

1. Standard Traffic Signage

All Standard Traffic Signage shall conform to the international sign system, the California Motor Vehicle Code and the Standards of the City of Murrieta.

2. Street Name Signs

All street name signs shall conform to the City of Murrieta standards.

3. Permanent Community Signs

All permanent community signs shall conform to the City of Murrieta sign standards. Permanent community signs include primary and secondary entry monument signs, public trails and community facilities identification signs such as parks, libraries, hospitals, schools, police and fire departments, commercial areas.

4. Temporary Signs

All temporary signs shall conform to the City of Murrieta sign standards. Temporary signs include neighborhood directional signs for sales purposes, product identification signs, and future facility signs.

5. Sign Approval Process.

A sign permit from the City of Murrieta shall be required prior to the placing, erecting, moving, or reconstructing of any sign, unless expressly exempted by these sign guidelines. Signs requiring a permit shall comply with the provisions of this Specific Plan and all other applicable laws and ordinances.

An application for a permit shall be made on forms as prescribed by

the city-planning department. Such an application shall be filed and accompanied by any fees or bonds as specified by city council resolution.

Applications for a variance from the terms of these guidelines shall be reviewed by the planning commission according to the variance procedures as set forth in the City's Zoning Ordinance.

D. OUTDOOR LIGHTING

Murrieta Highlands is located within the Mount Palomar Observatory Special Lighting Area. This area consists of land within a thirty-mile radius of the Mount Palomar Observatory. Outdoor lighting within this area, if left unchecked, will adversely affect the observatories operation with a condition known as "sky glow". The condition interferes with astronomical data collection due to the interference caused by broad-spectrum radiation emitted by lights of the high-pressure sodium and other varieties. Therefore Murrieta Highlands will be lighted with low-pressure sodium vapor lamps.

The observatory can effectively filter the light spectrum emitted by the low-pressure sodium vapor lamps.

All streets and MU-2 developments within the MHSP area shall have uniform and/or complementary lighting standards. These standards shall include but are not limited to style, materials and colors to present a consistent project design theme. Lighting fixtures will be integrated into the streetscape. All lighting fixtures shall comply with the following regulations and provisions:

1. All outdoor lighting shall be focused, directed, shielded, when practical, and arranged to minimize glare and spilling into the night sky and onto adjacent properties.
2. No freestanding lighting shall exceed twenty-five feet (25') in height.
3. All outdoor or exterior lighting shall address issues of safety and security
4. Lighting for MU-2 signs shall be illuminated from the interior of the sign.
5. Lighting for MU-2 service areas shall be contained within the service yard boundary and enclosure.
6. All primary project entries shall be gently illuminated.

7. All street light designs and outdoor safety lighting applications will conform to the City of Murrieta standards and other applicable regional health and safety standards.
8. Street light fixtures for the Murrieta Highlands community have been designed by VISCO (The Valley Iron and Steel Company). Model #VI-D- 1, 250 watt, high-pressure sodium lights are the light standards especially chosen for Murrieta Highlands. This fixture or similar style is appropriate for Murrieta Highlands.

E. PARKING REQUIREMENTS

1. Parking areas:

Within parking lots, no designated parking space will be more than thirty feet (30') from the trunk of a tree. Minimum tree size in or next to parking and drives shall be twenty-four inch (24") box. Tree planters will be curbed and have a minimum of twenty-five square feet (25 sf) of permeable surface area. Parking areas next to streets shall have a minimum five feet (5') wide planter between the parking and the right-of- way, and shall be planted with a solid hedge thirty inches (30") tall.

The parking lot entry driveways or throats should be designed carefully to permit stacking for exiting and entering cars that minimizes conflicts with cars entering and exiting parking spaces.

Curb cuts should be located to minimize conflicts with other properties driveways or curb cuts. Also, curb cuts should be located so as to not cause conflicts with through traffic on public streets.

Interconnected access between parking lots (i.e., lots on different properties) is strongly encouraged.

2. Parking Screening

The amount of parking required for each district is specified in the Murrieta Highlands District Regulations. Basic guidelines for the design of parking areas are provided in the aforementioned regulations. Additional district requirements for sizing and spacing are published in the City of Murrieta District Regulations.

Parking lots will be necessary for commercial, office and industrial uses. These parking lots shall be screened from view by adjacent streets and highways by landscaping and green screens, berms

and walls.

Generally speaking, the use of property line fencing for screening purposes is discouraged and will be approved by the City of Murrieta only in cases where requirements for complete premise security is demonstrated by the owner.

Whenever possible, screening shall be accomplished by contoured grading or landscape massing, or a combination of the two, and must follow the general design theme of Murrieta Highlands.

All loading or storage areas within the rear and side yards shall be continuously screened with walls, fences, landscaping, or a combination thereof. Shrub materials utilized exclusively for screening shall be minimum five gallons in size. Trees used for screening purposes shall be minimum fifteen gallons in size.

When plant materials, in conjunction with or in lieu of fencing, are used to satisfy screening requirements, the following criteria shall be satisfied:

- Plantings shall be evergreen and spaced to ensure one hundred percent (100%) screening within two (2) years of installation.
- Residential buffer plantings in commercial and industrial areas shall be spaced to ensure one hundred percent (100%) screening to a minimum height of twelve feet (12') within two (2) years of installation.

The design of common parking areas is an important element in site planning. Figure III-I is a series of illustrations to guide the design of these parking areas, with particular attention to open parking details.

V. LANDSCAPE DESIGN GUIDELINES

A. LANDSCAPE CONCEPT AND PALETTE

The purpose of this section is to provide a description of the development standards for the Landscape Concept Plan as shown in Figure III-J¹⁴. The concept is to use the landscape to identify the hierarchy of land uses and the transportation corridors from super arterial highways to interior residential streets, creating definite landscaped corridors planned for

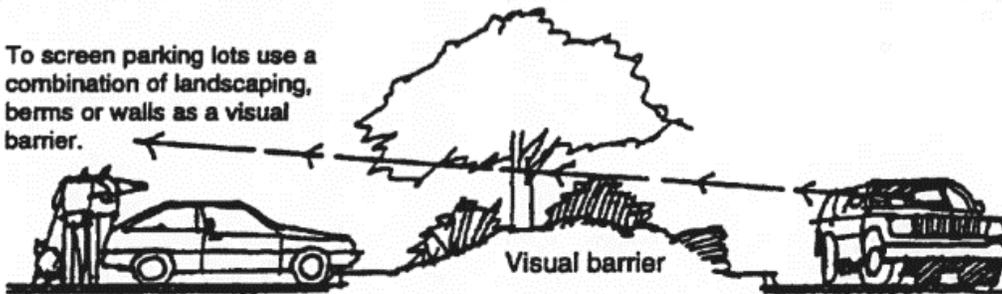
¹⁴ For MU-2 Subarea 2, please refer to Figure III-A (SPA) located in the Appendix.

Murrieta Highlands while ameliorating the high summer heat and dry winds. Large spreading Oak trees will dominate providing shade, while tall, fast growing Poplars planted as a hedge row will act as a wind break. Landscaping will also be the key element within the Greenbelt where the urban runoff and surface drainage will be focused and large groupings of tall, fast growing trees are planned to act as a visual buffer and open space amenity. Oak trees will line the major streets. Flowering and deciduous trees will line residential streets. The use of plant materials readily recognized and admired in older Southern California neighborhoods will create a relaxed and familiar sense of place.

Parking Figure III-1

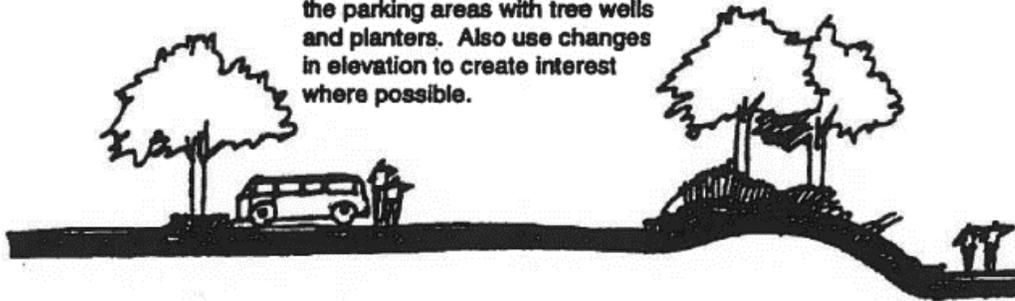
SCREENING WITH BARRIER

To screen parking lots use a combination of landscaping, berms or walls as a visual barrier.

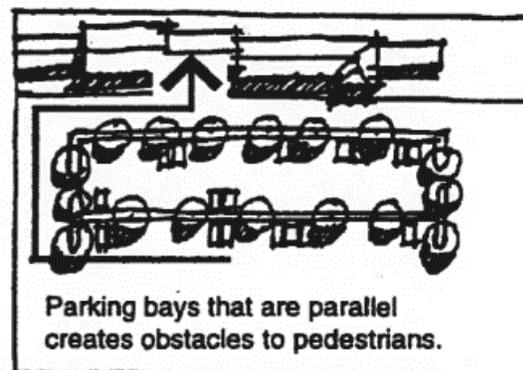
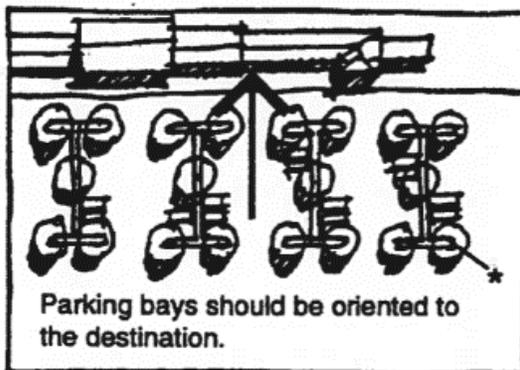


BREAK-UP OF INTERIOR PARKING LOTS

Use more smaller lots where possible. On larger lots break up the parking areas with tree wells and planters. Also use changes in elevation to create interest where possible.



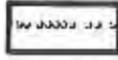
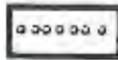
PARKING LOT DESIGN



* Provide substantial planters to the end of parking bays for screening and traffic control.



Landscape Plan
Figure III-J

-  Local Street Tree
-  Oak Street Tree
-  Greenbelts, Parks & Open Space
-  Open Space

1. Landscape Goals:

The Landscape goals of Murrieta Highlands are:

- To use plant materials that will visually identify neighborhoods and provide a visual and historical tie to the larger Murrieta community environment;
- To serve the users at the pedestrian scale, providing color, screening and microclimate control where necessary;
- To mitigate high summer heat and high winds;
- To strengthen the site's sense of boundary, particularly along I-215;
- To insure that landscaping considerations include conservation, low water consumption, and erosion control; and,
- To preserve existing landscape features such as rock outcroppings and mature trees.

2. Plant Material List

a) Street Trees

Street trees are the dominant landscape element that provides a unifying element to Murrieta Highlands. The limited selection of trees will provide a sense of continuity and order. The trees selected, once established, need little supplemental water and require little regular maintenance. The two (2) oaks selected, as the main theme trees on major streets are moderate to fast growing, evergreen, are little bothered by pests, are easily maintained, and were selected for their grandeur. Other trees may be used for local streets subject to the approval of the City of Murrieta Design Review.

(1) Keller Road

BOTANICAL NAME	COMMON NAME
Quercus virginiana 'Heritage'	Southern Live Oak

(2) Menifee Road and Antelope Road

<i>Quercus ilex</i>	Holly Oak
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(3) Local Streets

<i>Cinnamomum camphora</i>	Camphor Tree
<i>Geijera parvifolia</i>	Australian Willow
<i>Ginkgo biloba</i> 'Autumn Yellow'	Maiden Hair Tree
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Ligustrum lucidum</i>	Glossy Privet
<i>Liquidambar styraciflua</i> 'Palo Alto'	Sweet Gum
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Platanus acerifolia</i> 'Bloodgood'	London Plane Tree
<i>Prunus cerasifera</i>	Purple Leaf Plum
<i>Pyrus calleryana</i> 'Aristocrat'	Flowering Pear
<i>Quercus coccinea</i>	Scarlet Oak
<i>Rhus lancea</i>	African Sumac
<i>Zelkova serrata</i>	Sawleaf Zelkova

b) Parks and Open Space Trees

While most of the following trees need little regular maintenance once established, many have characteristics, such as size, form, or root growth, that limit their use to larger unrestricted spaces. The trees listed under Street Trees are also appropriate and useful in park settings. A combination of slower growing, but longer-lived, and faster growing short-lived trees should be planted.

<i>Alnus rhombifolia</i>	White Alder
<i>Cedrus deodara</i>	Deodar Cedar
<i>Cercis occidentalis</i>	Western Redbud
<i>Cupressus forbesii</i>	Tecate Cypress
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Nyssa sylvatica</i>	Tupelo/Sour Gum

BOTANICAL NAME	COMMON NAME
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<i>Pinus species</i>	Pines
<i>Platanus racemosa</i>	California Sycamore
<i>Populus fremontii</i>	Cottonwood (Male)
<i>Populus nigra</i> 'Italica'	Lombardy Poplar

Quercus species	Oaks
Schinus molle	California Pepper
Ulmus parviflora	Chinese Evergreen
Elm	
Zizyphus jujube	Chinese jujube

c) General Landscape Plant Materials

(1). Trees

Trees used in general development, i.e. street yard landscaping, parking lots, etc., should need little regular maintenance once established, have non-invasive root systems, and be relatively clean (little litter) and pest free. Many of the trees listed under Street Trees will also function well in the restricted spaces of general development. Other trees may be used subject to the approval of the City of Murrieta Design Review.

Fraxinus "Raywood"	Raywood Ash
Geijera parviflora	Australian Willow
Lagerstroemia indica	Grape Myrtle
Liquidambar straciflua 'Palo Alto'	Sweet Gum
Olea eurpaca 'Swan Hill'	Olive (no fruit or pollen)
Pinus species	Pines
Prupus cerasifera	Purple Leaf Plum
Rhus lancea	African Sumac

(2) Accent Trees

Accent trees are used as focal elements to bring landscape contrast and attention to specific areas or structures. Project entries, building entries, etc. are often highlighted with trees whose form, character, or color, contrast with the overall landscape. Accent trees shall make up no more than five percent (5%) of the total number of trees planted on a project. Other trees may be used subject to the approval of the City of Murrieta Design Review.

Albizia julibrissin	Silk Tree
Cupressus sernpervirens	Italian Cypress
Juniperus chinensis Torulosa	Twisted Juniper
Prunus cerasifera	Purple Leaf Plum
Washington robusta	California Fan Palm and other Palms

(3) Large shrubs (10'-18' Tall)

BOTANICAL NAME	COMMON NAME
Acacia sp.	Acacia
Arbutus unedo	Strawbeny Tree
Callistemon sp.	Bottlebrush
Ceanothus sp.	Ceanothus
Cotoneaster sp.	Cotoneaster
Dodonaea viscosa	Hopseed bush
Heteromeles arbutifolia	Toyon
Photinia fraseri	Fraser Photinia
Prunus ilicifolia	Hollyleaf Cheny
Punica granatum	Pomegranate
Rhus ovata	Sugar Bush
Viburnum sp.	Viburnum

(4) Medium shrubs (5'-10' Tall)

pungens	Silverbeny
Grevillea sp.	Grevillea
Myrtus communis	'Compacta'Myrtle
Nandina domestica	Nandina
Osmanthus fragrans	Sweet Olive
Phormium tenax	New Zealand Flax
Pittosporum tobira	Tobira
Plumbago auriculata	Cape Plumbago
Rhapiolepis indica	Indian Hawthorn
Rosemarinus officinalis	Rosemary
Simmondsia chinensis	Jojoba
Tecomaria capensis	Cape Honeysuckle
Xylosma congestum	Shiny Xylosma

(5) Small shrubs (3'-5' Tall)

Aberlia grandiflora	'Edward Goucher'
	Abelia
Agapanthus	Lily-Of-The-Nile
Cistus sp.	Rockrose
Convolvulus maurianicus	Bush Morning Glory
Hemerocallis	Daylily
Jasminum mesnyi	Primrose
Juniperus sp.	Juniper
Pittosporum 'Wheeler Dwarf'	Dwarf Tobira
Rhapiolepis indica	India Hawthorn
Salvia sp.	Salvia

Yucca whipple Our Lord's Candle

(6) Ground covers

BOTANICAL NAME	COMMON NAME
Acacia redolens prostrate	Prostrate Acacia
Atriplex sp.	Saltbrush
Baccharis pilularis	Coyote Brush
Gazania sp.	Gazania
Hedera helix	English Ivy
Juniperus sp.	Juniper
Lotus scoparius	Deerweed
Lupinus sp.	Lupine
Myoporum parvifolium	Prostrate Rosemary
Stipa pulchra	Bunchgrass
Trachelospermum sp.	Asian Star Jasmine
Trifolium fragiferum O'Connor's	O'Connor's Legume
Vinca sp.	Periwinkle

(7) Vines

Distictus buccinatoria	Red Trumpet Vine
Ficus pumila	Creeping Fig
Gelsemium sempervirens	Carolina Jasmine
Lonicera japonica 'Halls'	Halls Honeysuckle
Macfadyena unguis-cati	Cat's Claw
Parthenocissus tricuspidata	Boston Ivy
Rosa banksiae	Lady Banks' Rose
Trachelospermum jasminoides	Star Jasmine

d) Invasive Plants

Invasive non-native plant species (i.e., those readily capable of reproducing and spreading into native, non-irrigated areas), including but not limited to the following, are prohibited in all areas.

Ailanthus altissima	Tree-of-Heaven
Arundo donax	Giant Reed
Broussonetia papyrifera	Paper Mulberry
Cortaderia selloana	Pampas Grass
Nicotiana glauca	Tree Tobacco
Pennisetum setaceum	Fountain Grass
Ricinus communis	Castor Bean
Spartium junceum	Spanish Broom

Tamarix spp.

Tamarisk

B. LANDSCAPE INTENSITY

Landscape areas that will be maintained by the Community Services District (CSD) have been classified based on their intensity of maintenance and water requirements. All areas will have permanent automatic irrigation systems installed. These classifications are generally described as follows:

1. Native Areas - These exist vegetated areas undisturbed by construction operations. Natural rainfall only is required for irrigation. Periodic clean up and removal of dead wood and non-native growth may be required.
2. Drought Tolerant Areas - These are areas designed and planted with low water use plants requiring little regular maintenance. The majority of the Greenbelt is drought tolerant.
3. Ornamental Areas - These area and corridors with a high degree of visual impact. Plant materials will require a moderate degree of regular maintenance and water. The parkways and medians are in this category.
4. Manicured Areas - These areas are highly visible and ornamental in character and will require regular maintenance and water. All lawn areas are considered a part of this classification. Entry monument development, as well as the turf areas of the Neighborhood Parks and a portion of the greenbelt will require a high degree of maintenance and water.

C. STREETSCAPE LANDSCAPING

The landscape concept for each street was influenced by the organizational function of each street. For example: the wider streets are major organizational elements and carry larger volumes of traffic, and therefore will require the use of larger landscape setbacks, screens and buffers of adjacent uses, medians, landscaped entries, planting of larger trees and a continuity of plant material theme.

1. General

a) Sidewalks

Sidewalks on the major streets will occur on two sides of the street only and will be separated from the travel lanes with a

planted parkway. All other sidewalks shall be contiguous or monolithic, that is a sidewalk that abuts the curb. This portion of the public right-of-way will follow the City of Murrieta Street Section standards. The resulting landscaped area between the sidewalk and the property line will be maintained by the City of Murrieta Community Services District (CSD).

b) Medians

Medians with a width of six feet (6') or greater shall be planted and irrigated. Median noses and medians at left turn pockets will be paved with decorative concrete. Asphalt will not be acceptable.

Planted areas shall have a minimum width of two feet (2').

To reduce maintenance and maintain visibility across the streets, shrubs and ground covers shall have a maximum natural mature height of thirty inches (30"). Turf shall not be planted in medians in order to keep maintenance and water use low.

A two feet (2') wide maintenance walk, inclusive of curbing, shall be provided around the perimeter of medians. The maintenance walk provides a safer place for maintenance workers to stand and work outside the traveled lanes. It also provides a buffer so plants are not growing into the travel lanes.

Medians with a width of twelve feet (12') or greater and planted areas of fifty feet (50') or greater in length will be planted with trees. Trees in medians shall be planted a minimum of four feet (4') from the face of curb. Planted areas greater than one hundred square feet (100 sf) in size shall be level or graded to drain to their centers. Runoff may be collected through a system of drain inlets and appropriately sized pipes to carry it to a storm drain system.

All irrigation in medians shall be with drip or bubbler systems, and shall use rigid PVC laterals installed below grade with schedule 80 risers and access caps or sleeves for servicing emitters. Emitters shall be self-flushing and pressure compensating.

Automatic irrigation controllers shall not be located in the

median but rather in the adjacent parkway.

c) Street Trees

Street trees shall be planted in parkways a minimum of seven feet (7') from the face of the curb along streets where there is no sidewalk, or where the sidewalk is contiguous to the curb. Where the sidewalk is not contiguous and a parkway exists between the curb and sidewalk, street trees will be planted in the resulting planting areas.

Trees shall be planted a minimum of twenty feet (20') from any traffic signal or stop sign and ten feet (10') from fire hydrants, light standards, and above ground utility structures such as transformer enclosures, and three feet (3') from water meters. Distances will be as measured in plan view.

All street trees will be planted with root control barriers acceptable to the CSD.

2. Keller Road

Keller Road is an east-west one hundred ten foot right-of-way (110 ROW) wide Arterial Road with a minimum ten foot (10') up to an eighteen-foot (18') wide landscaped median (Figure III-L) and Class II bike lane. A ten foot (10') wide, combined pedestrian and multi-use path is required on the north side of the street located within the 12-foot parkway and 15-foot required landscape area. The Class II bike lane will be located within the street and striped.

Keller Road east of Menifee Road is an eighty-eight foot right-of-way (88' ROW) wide. (Figure III-L) The curb- to-curb width is sixty-four feet (64'). A ten feet (10') wide, combined pedestrian and bicycle path, Class II bike lane is required on the north side of the street. This Class II bike lane will be located within the street and striped. A landscaped parkway is required between the sidewalk and the street curb. On street parking is not allowed.

The public right-of-way and medians will be planted with a combination of shrubs and ground cover whose ultimate height will not exceed thirty inches (30") in height. Turf planting will be minimized. To establish a strong visual identity, minimum twenty-four inch (24") box size Oaks will be planted in both the parkways and medians. In the parkway's, trees will be planted at the rate of one (1) tree for every fifty feet (50') of curb face. To allow for driveways, traffic signals, stop signs, fire hydrants, light standards, and above ground utility structures such as transformer

enclosures, trees shall be spaced no more than sixty feet (60') apart. In the medians, trees will be planted at the rate of one (1) tree for every fifty feet (50') of planted area as measured at the centerline.

The trees planted in the public right-of-way plus the trees planted in the landscape setbacks will provide an average tree spacing of twenty-five feet (25') in the overall parkway.

3. Menifee Road

Menifee Road is a north-south one hundred foot right-of-way (100' ROW) wide Major Road with a fourteen foot (14') wide landscaped median that divides the eastern portion of the project. (Figure III-K) The public right-of-way and medians will be planted with a combination of shrubs and ground cover whose ultimate height will not exceed thirty inches (30") in height. Turf planting will be minimized. To establish a strong visual identity, minimum twenty-four (24") inch box size Oaks will be planted in both the parkways and medians. In the parkways trees will be planted at the rate of one tree for every fifty feet (50') of curb face. To allow for driveways, traffic signals, stop signs, fire hydrants, light standards, and above ground utility structures such as transformer enclosures, trees shall be spaced no more than sixty feet (60') apart. In the medians, trees will be planted at the rate of one tree for every fifty feet (50') of planted area as measured at the centerline.

A fifteen-foot (15') wide landscape setback is required next to the public right-of-way. The setback area will be screened from parking, loading, and trash areas with buildings or a minimum forty-two inch (42") high fence, wall, or berm combined with landscaping. The setback area will be planted with a combination of shrubs and ground cover. The use of turf will be minimized to a maximum of ten percent (10%) of the landscape setback area. A minimum of one (1) tree for every seven hundred fifty square feet (750 sf) of landscaped setback area will be planted. At least fifty percent (50%) of the trees planted must be a minimum twenty-four inch (24") box size.

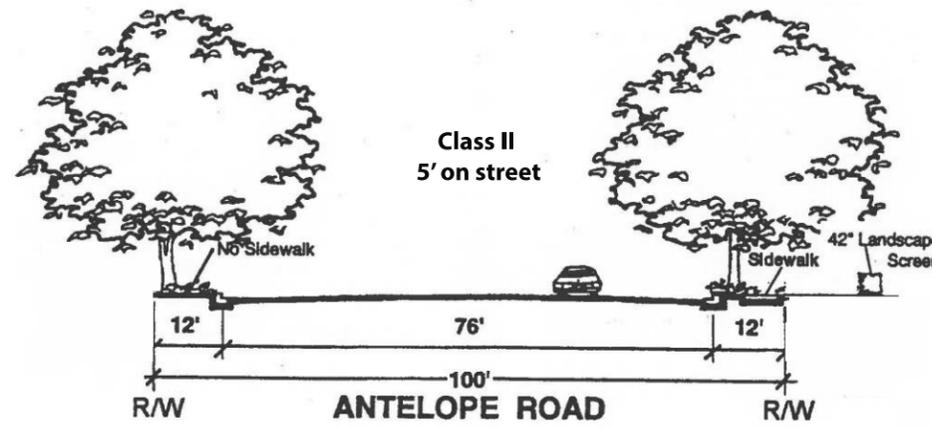
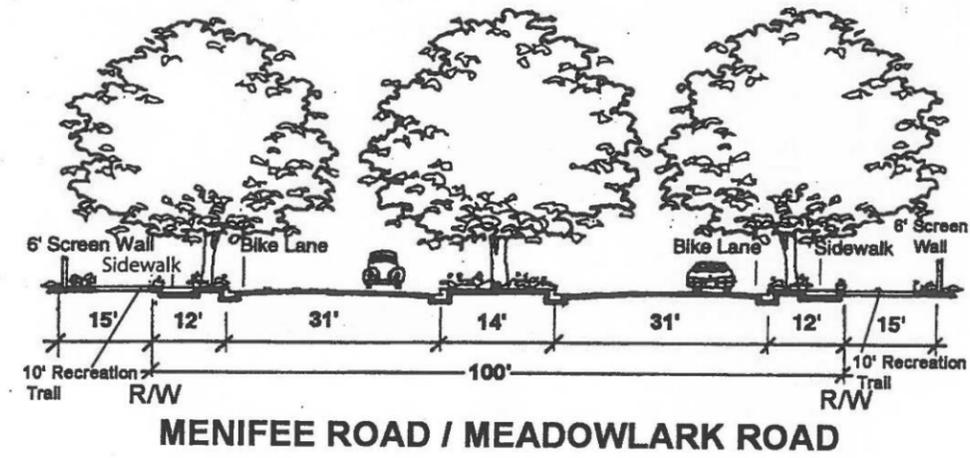
The trees planted in the public right-of-way plus the trees planted in the landscape setbacks will provide an average tree spacing of twenty-five feet (25') in the overall parkway.

4. Antelope Road

Antelope Road is a north-south one hundred foot right-of-way (100' ROW) wide major highway that parallels the freeway (Figure III-K). The curb-to-curb width is seventy-six feet (76'). A five-foot (5') pedestrian sidewalk is included within the combined twelve-foot (12') wide parkway.

The public right-of-way will be planted with a combination of shrubs and ground cover whose ultimate height will not exceed thirty inches (30") in height. Turf planting will be prohibited. Minimum twenty-four inch (24") box size Oaks will be planted in the parkways at the rate of one (1) tree for every fifty feet (50') of curb face. To allow for driveways, traffic signals, stop signs, fire hydrants, light standards, and above ground utility structures such as transformer enclosures, trees shall be spaced no more than sixty feet (60') apart.

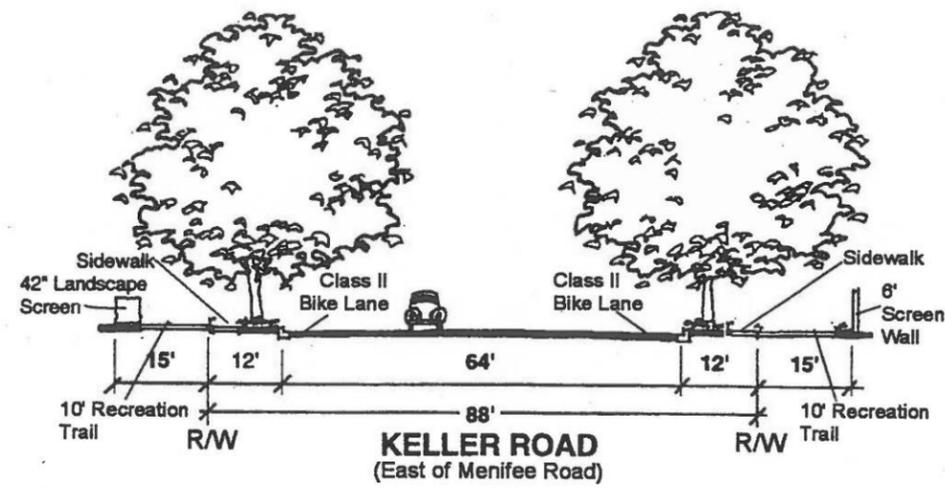
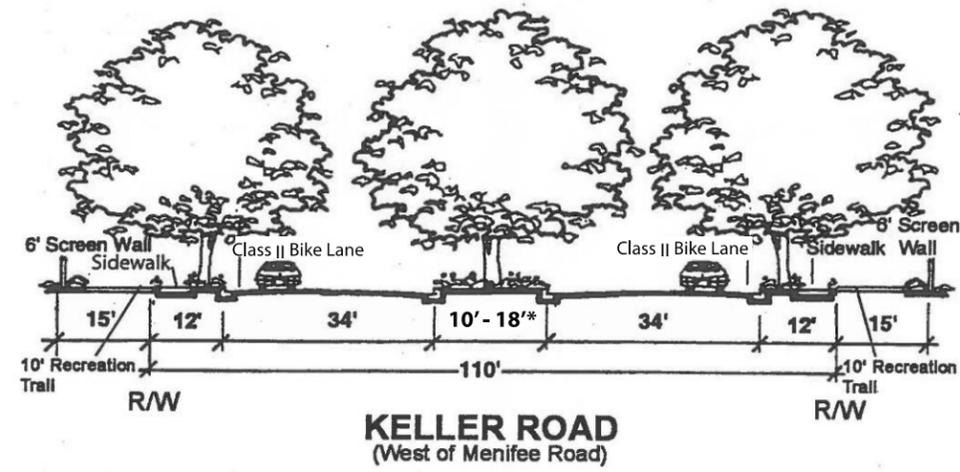
The setback area will be screened from parking areas with buildings or a minimum forty-two inch (42") high fence or wall combined with landscaping. Loading and trash areas will be screened with building walls or a minimum six feet (6') high wall or fence. The setback area will be planted with a combination of shrubs and ground cover. The use of turf will be limited to a maximum of ten percent (10%) of the landscape setback area. A minimum of one (1) tree for every seven hundred fifty square feet (750 sf) of landscaped setback area will be planted. At least fifty percent (50%) of the trees planted must be a minimum twenty-four inch (24") box size.



SOURCE: HGA, 06/22/2015.

Murrieta Highlands Specific Plan Amendment

FIGURE III-K
Menifee Road and Antelope Road

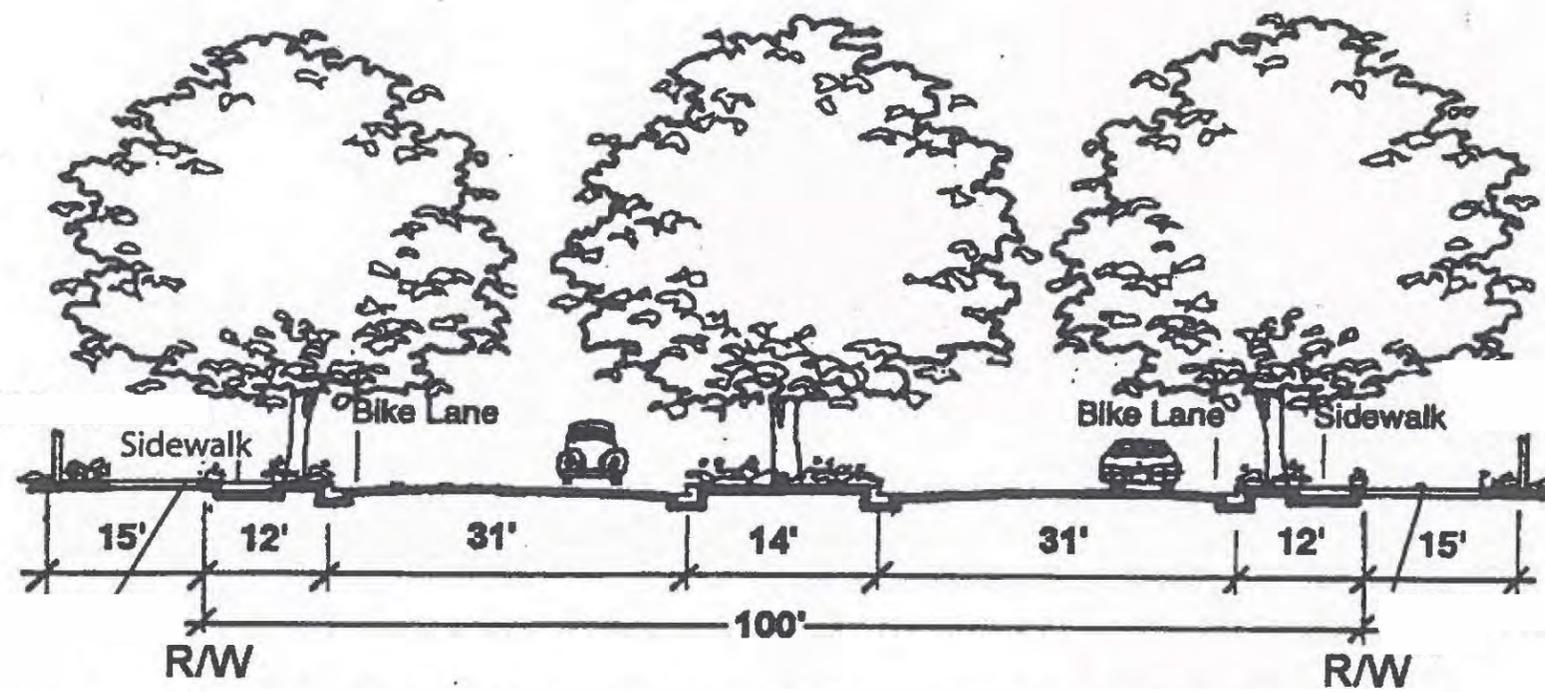


* Median meanders between 10'-18' between I-215 and Mapleton Avenue. 18' minimum east of Mapleton Avenue

SOURCE: HGA, 06/22/2015.

Murrieta Specific Plan Amendment

FIGURE III-L
Keller Road Cross Sections



Mapleton Avenue

SOURCE: HGA, 06/22/2015.

Murrieta Highlands Specific Plan Amendment

FIGURE III-M
Mapleton Avenue Cross Section

The trees planted in the public right-of-way plus the trees planted in the landscape setbacks will provide and average tree spacing of twenty-five feet (25') in the overall parkway.

5. Local Streets

The residential streets for Murrieta Highlands will be either a sixty or fifty feet right-of-way (60' or 50' ROW). (Figure III-M) sixty-foot right-of-way (60' ROW) streets will be used for through residential traffic. Individual residential lots are permitted to front on sixty-foot right-of-way (60' ROW) but should be minimized. Fifty-foot right-of-way (50' ROW) streets will be used for local residential streets including cul-de-sacs that do not carry through traffic.

The public right-of-way will be planted with a combination of shrubs, ground cover, and/or turf at the discretion of the adjacent property owner. In all parkways minimum twenty-four inch (24") box trees will be planted at the rate of one (1) tree for every lot or fifty feet (50') of curb face, which ever is greater. To allow for driveways, traffic signals, stop signs, fire hydrants, light standards, and above ground utility structures such as transformer enclosures, trees shall be spaced no more than sixty feet (60') apart. Trees selected for local streets are subject to the approval of the City of Murrieta Design Review.

D. PARKS AND OPEN SPACE

The purpose of the parks and open space system is to provide both active and passive recreation opportunities to the residents of Murrieta Highlands, and to create neighborhood definition by providing a landmark focus for each neighborhood. The character of the parks and open space should reflect the character of old Murrieta.

All parks will be dedicated to the City of Murrieta and maintained by the City of Murrieta CSD. The final park plans for each of the parks shall be submitted consistent with City of Murrieta park standards prior to recording of the first final map within each phase of development. The developer shall dedicate land and/or contribute fees to the City of Murrieta for park development.

1. The Neighborhood Parks

The two (2) Neighborhood Parks, approximately 22.5 gross acres, will be developed with facilities for active recreation such as football/soccer fields, softball/baseball fields, picnic areas, small children's play area, tennis/multi-use courts, and pedestrian walks. For water conservation purposes, those turf areas that are not used for active play areas will be

restricted to ten percent (10%) of gross site area and treated as large, contiguous areas. The balance of the planting area will be treated to reflect a casual, not manicured, character, and will be mulched or planted in low shrubs and ground covers (with a mature height of thirty inches (30") or less) to facilitate views through the parks. Trees should be massed along the streets and outside the turf areas wherever possible. A combination of fast growing tree species (Alders, Cottonwoods, or Sycamores) for quicker definition, and slower growing, longer-lived species (Oaks and Cedars) shall be used.

2. Multi-purpose Greenbelt/Paseo

The greenbelt/paseo borders the northern boundary of the project. Envisioned as an informal park, it will serve as a contrast to the more structured uses of the neighborhood parks. This open space area serves three main purposes:

- a) Focusing the surface drainage of the community through this park creates unique design opportunities, especially in a semi-arid climate. It is envisioned that the greenbelt/paseo park will be a functional recreational area also serving for major storm water detention. Where low velocities occur, a swale lined with unmowed native grasses and wild flowers may be used. Nuisance water and seasonal flow will be handled with the usual storm drainage systems. Where higher velocity scouring might occur at inlets and outlets, rocks and/or soil cement could be used for bank stabilization with the overall treatment having a "natural" look. A stabilized decomposed granite path will run the length of the park, and will be designed to work with the "natural dry creek" character of the detention basins. (See Chapter 1 of the Specific Plan). The path planned for the perimeter will be a minimum of nine feet (9') wide and a maximum of twelve feet (12') wide and be designed as multi-use pedestrian-bicycle trail and to accept maintenance and rescue vehicles.
- b) The north perimeter edge will be designed as a windbreak and a buffer between the existing and proposed residential neighborhoods. It will not be heavily landscaped, left primarily as natural open space, hydro-seeded with indigenous species as needed. It will also act as a visual screen buffering adjacent residences. Alternate native trees and shrub species should be considered for the narrower eastern perimeter edge.

- c) Portions of the Greenbelt/paseos may be planned with walkways, benches, a picnic shelter, and with turf for unstructured active uses. The adjacent elementary school should be planned to provide more structured play areas next to these facilities.

The landscape will be developed with a rustic character dominated by Poplars and other lowland trees such as Alders and Sycamores. These will be supplemented with longer-lived slower growing character trees such as Oaks and Cedars. Where active use is not planned, the ground plane will be planted with low shrubs, ground covers, wild flowers, and other low water use plant materials. Smaller flowering and other accent trees and shrubs will highlight entry points into the greenbelt/paseo. Within the greenbelt/paseo approximately one half will be available as an unstructured active recreation area. The other half will be part of the drainage system. The actual acres may vary depending upon final engineering design. For water conservation purposes, turf will be limited to the area designated for active use. The drainage system will be planted as sustainable open native grassland with plantings attractive to wildlife.

Where residential development backs up to the greenbelt/paseo, a fuel modification zone may be required by the Fire Department. In addition, a fuel modification zone may be required around the NC designation located on the prominent knoll. Fire Department regulations will supersede these regulations unless approved by the City Council.

E. OAK TREE PROTECTION

1. General Provisions

Oak trees are sensitive to changes in the environment which modify the amount of water, air, and nutrients the normally receive. Damage which frequently occurs during construction is root injury from soil cuts, fills, compaction, trenching, and wounding from excessive pruning and construction equipment. The purpose of these guidelines is to ensure that the site design and alterations do not adversely affect oak trees, which are intended to remain.

2. Site Plan Review

- a) A Certified Arborist shall assess the health of the

oak(s).

- b) A site plan shall be prepared, incorporating the information provided by the Arborist, which minimizes impacts to the oak(s).

3. Site Design

- a) No grading, structures, or placement of fill shall occur within the drip line or as recommended by a certified Arborist.
- b) No irrigation or plant materials requiring supplemental irrigation shall occur within the drip line. No overhead irrigation shall spray the tree trunk.
- c) No surfacing material shall be installed, porous or impervious, within the drip line. This area shall remain natural and dry at all times. No pedestrian or vehicular access shall be allowed.
- d) Organic or inorganic mulches only will be used within the drip line.
- e) Retaining walls shall be used only if necessary to maintain natural existing grades and drainage within the drip line.
- f) Drainage shall be directed away from trunks and drip line to ensure there is no standing water at the crown. Water shall not be allowed to pond or collect within the drip line.

4. Construction

- a) Oaks shall be protected at all times during construction with a temporary chain link fence a minimum of ten feet (10') outside the drip line to protect them from damage by heavy equipment.
- b) Equipment building materials, debris, or excess soil shall not be stored or disposed of within the drip line or ten feet (10') outside the drip line.
- c) All trenching shall be routed a minimum of ten feet (10') outside the Oak drip line or further if roots

greater than two inches (2") in diameter are encountered.

5. Maintenance

- a) Oak tree pruning shall be kept to a minimum except as necessary to relieve a potential fire or safety hazard. Oaks shall be maintained free of dead and diseased wood. Pruning shall be done only under the direction of a Certified Arborist.
- b) Insect and disease control and supplemental irrigation or fertilization shall be applied only under the direction of a Certified Arborist.

F. SLOPE REVEGETATION AND EROSION CONTROL

The objective of landscaping manufactured slope banks is to minimize soil erosion and to visually ameliorate the constructed character of the slopes.

1. General

- a) All slopes to be constructed at a gradient steeper than six horizontal to one vertical (6:1) and with a vertical height of three feet (3') or greater shall be revegetated.
- b) Consistent with reasonable physical stability, slope faces shall be left rough texture.
- c) All manufactured slopes steeper than 3: 1 shall be revegetated within 30 days of completion of grading or covered with straw mulch, jute netting, or other geotextile material capable of controlling erosion.
- d) Revegetation on all slopes shall include permanent automatic irrigation systems.
- e) Temporary revegetation without irrigation may be considered under all the following set of conditions:
 - Permanent revegetation plans must be approved prior to issuance of any subsequent building permits, and;
 - The slope is not contiguous to public streets,

parks, or the greenbelt park, and;

- The slope gradient is 3:1 or less and the slope height is ten Feet (10') or less.
- Seeded slopes shall be planted only from October 15th to December 31st. (Unless developer elects to supply temporary irrigation)

2. Planting

- a) All slopes shall be covered with herbaceous or prostrate shrubby ground covers planted from liners or one-gallon size (minimum) containers. Nurse crops, mulches, jute netting or any combination thereof shall also be applied.
- b) All plant materials shall be appropriate to the site conditions, water conserving and appropriately spaced to control soil erosion. Turf type grasses are not acceptable.
- c) All slopes steeper than 3:1 shall be planted with one-gallon size (minimum) deep-rooted trees and shrubs at the average rate of one per one hundred square feet (100 sf) of slope face area.
- d) Trees, shrubs, and ground covers shall be planted in undulating massings and groupings to reduce the constructed character of manufactured slopes.

3. Irrigation

- a) All irrigation systems shall be automatic.
- b) All piping shall be installed parallel to slope contours
- c) Depending on slope heights, separate circuits will be required for top, toe, and middle of the slopes.
- d) Anti-drain valves will be installed to prevent low head drainage

G. LANDSCAPING AND IRRIGATION STANDARDS

1. General

- a) Any areas that are to be planted shall also be irrigated with a permanent automatic underground irrigation system.
- b) All landscaped areas that are to be maintained by the City of Murrieta CSD shall have separate meters and services from areas that are privately maintained.
- c) All automatic controllers shall have automatic rain shutoff sensors.
- d) All irrigation systems shall be designed to adequately establish and maintain healthy plant material with adequate water.
- e) All irrigation systems shall be designed to avoid runoff, seepage, or over spray onto adjacent property, non-irrigated areas, walks, roadways, or structures.
- f) Design and installation of all irrigation systems must meet all local health and safety standards.

2. Spray Systems

- a) Spray heads shall have consistent operating characteristics on any single lateral line and have matched precipitation rates.
- b) Separate controls will be used to separate areas of differing exposure and/or differing water use plant materials.
- c) Anti-drain valves shall be integral or installed with all spray heads.

3. Drip Systems

- a) All components shall be of non-corrosive materials.
- b) Separate emitters shall be self-flushing, pressure compensating, and flow rates shall be appropriate for the soil and plant types. Systems shall be designed to

meet the needs of the mature size of the plant as well as its needs during establishment.

- c) All systems shall be adequately filtered and pressure regulated.

H. MAINTENANCE

The parks and open space system will be maintained by the City of Murrieta CSD with detention basins in the greenbelt being maintained by Flood Control. Detention basins may be maintained by the CSD if Flood Control does not assume responsibility.

I. LANDSCAPE DESIGN CHECKLIST

Each individual project must conform to the general design framework of the Murrieta Highlands Landscape Design guidelines. This checklist is provided for convenience and reference only and does not necessarily address all landscape requirements.

1. General Items

- a) Conform to the City of Murrieta landscape development standards and City of Murrieta Design Review Process.
- b) Conform to the Murrieta Highlands Community Design Guidelines, including Landscape Design guidelines and Landscape and Irrigation Standards requirements found elsewhere in this document.
- c) Conform to all other county and state governing codes and ordinances.

2. Landscape Design Components

- a) Street Trees
 - Use appropriate street trees. Include accent trees where appropriate subject to City of Murrieta Design Review Process.
- b) Entries
 - Use appropriate accent trees.

c) Signage

- Refer to the Signage section in General Development Guidelines. Project signage subject to City of Murrieta Design Review Process.

d) Landscape

- Flowering accent trees and permanent, easily maintained flowering shrubs and ground covers are encouraged subject to approval. Seasonal flower color and high maintenance plant materials are discouraged except at areas of high visual prominence.

e) Walls and Fences

- Refer to the Fencing section in Community Design Guidelines. Project walls and fences are subject to City of Murrieta Design Review Process.
- Interior fencing and walls shall be compatible with project architecture and located to provide free access to service meters. It should also screen any unattractive views, i.e., service yards and trash container storage areas.
- Fencing heights and types shall be coordinated to present a compatible appearance

f) Interior Landscape

There are two categories for landscapes in the interior of projects:

- Developer or CSD installed:

Subject to City of Murrieta Design Review Process.

Street trees shall be installed in the public right-of-way. Slope revegetation and erosion control shall be installed per guidelines.

Parks and Open Space shall be installed per guidelines.

All common areas shall be landscaped and irrigated with an automatic irrigation system.

- Single Family Home Owner installed:

Not subject to City of Murrieta Design Review Process.

VI. SITE PLANNING CRITERIA

A. PRODUCT DEVELOPMENT

The Specific Plan for the Murrieta Highlands community encourages a diversity of architectural styles. However, the architectural styles must be consistent with each other in terms of compatibility, style, materials and contemporary compatibility. In an effort to promote a richness of architectural character, three styles have been selected which reflect traditional and successful Southern California urban communities.

The siting of the various architectural products is as important as the architecture itself. The following section revisits the architectural styles, to place them in the proper siting context. The site design or the siting of architecture within Murrieta Highlands must adhere to the following:

1. General Guidelines

- Each tract or neighborhood shall possess one of the acceptable architectural styles. The style selected shall be consistent throughout the proposed tract. Although similar, the visual quality for each unit will be varied. This will be accomplished by varying the height, mass, and the siting of buildings.
- Variations of the site plan configuration will ensure that straight unbroken facades are avoided. Variety and interest shall be developed in plans by varying dimensions and siting. Additional variety shall be achieved through the introduction of a variety of compatible forms and textures, particularly in landscape elements.
- All building plans shall incorporate simple jogs, ensuring overly long roofs and long wall elevations are avoided. Rear or side elevations of houses visible from public streets shall

be varied to eliminate long slab walls.

- Avoid stereotype units that will produce monotonous elevations. Providing a variety of plans with differing setbacks fosters a variety of elevations.

In addition to visual aesthetics, an energy efficient architectural siting design is encouraged. These designs should include consideration of the direction of the prevailing wind and the summer and winter angles of the sun. In addition, the use of solar panels and their appropriate locations should be considered in the design of the home.

2. Street Layout for Single Family Detached

- Encourage the formation of grid street layouts
- Encourage the use of short straight line-of-sight cul-de-sacs to permit visibility from the cross street

3. Street Scene for Single Family Detached

- The front yard setbacks of both the garage and living space shall be varied to provide visual interest along the street scene.
- Buildings on corner lots shall not have the garage located adjacent to the side street unless the garage is detached.
- To provide interest along the street scene, side entry garages with varying setbacks should be utilized.
- If the mix of dwelling units allows, one story floor plans should be paired together on interior lot situations and located on corner lots to take advantage of their low mass effect. However, two story homes with detached garages are permitted on corner lots with two story homes immediately adjacent. Also, two story homes with the one story element fronting the street and or street side yard are permitted.

4. Non-Residential Street Scene

- Provide adequate separation between parking and buildings. This separation must allow comfortable pedestrian spaces or landscaping. For commercial and Industrial uses, a minimum

of fifteen feet (15') shall be provided.

- Loading zones shall be designed to avoid exposure to adjacent streets, highways and residential zones.
- Exterior storage areas and trash enclosures shall be planned in such a manner to minimize the exposure of such elements.
- Parking areas adjacent to public streets shall be planned in such a manner to allow for ten feet (10') of landscaping in front of a low, decorative wall. Walls may be deleted if landscaped berms are used.
- Avoid long, uninterrupted lengths of walls or fences by providing variations in the plan.

B. SITE DEVELOPMENT STANDARDS

1. Residential Siting Standards (SF-1 and SF-2)

The goal in regulating building setbacks is to create a comfortable street scene for pedestrians while de-emphasizing the automobile. Residential living space is to be "brought forward" thus allowing residents more neighborhood awareness. This design naturally recesses the garage and driveway parking areas. Such minor setback variation establishes a uniform street edge.

Single-family site planning should consider sun and wind orientation. Roofs with a southern orientation can take the greatest advantage of the angle of the sun. Streets with an east/west orientation can take advantage of the prevailing westerly breezes for summer cooling and air circulation.

The following Property Development Standards shall apply to all land and buildings, other than accessory buildings, permitted in their respective residential land use district. Dimensions and standards are minimums. Minor variations may be permitted subject to Development plan or tract map approval providing that the minimums specified herein are maintained as average minimums. Lot widths and depths are typical minimums but may vary slightly with irregular shaped lots and site-specific conditions. The parking standards for a planned Senior Citizen or "affordable" residential development may be reduced from those specified herein for the district in which it is located at the discretion of the City of Murrieta City Council through the C.U.P. procedure (See

Chapter 2 District Regulations). The Single-Family zones and standards are listed below:

- SF-1 Single Family Detached Residential (7,000 Square foot lots)
- SF-2 Single Family Detached Residential (6,000 Square foot lots)

Development Standards RS Zone	
Lot Area (in net S.F.) Minimum	5,000 square feet
Lot Area (in net 00's S.F.) Minimum Average	5,500 square feet
Lot Width Minimum	50 feet
Minimum Frontage 1,2	40 feet
Lot Depth Minimum	90 feet
Lot Coverage	50%
FAR	N/A
Front Yard Setback to direct entry garage 3	18 feet
Front Yard Setback to side entry garage 3	10 feet
Front Yard Setback to main residence 3	16 feet
Side Yard Setback to adjacent residential lot 4	10/5 feet
Side Yard Setback between detached units 4	10 feet
Side Yard Setback to adjacent street 4	10 feet
Side Yard Setback to direct garage entry 4	15 feet
Rear Yard Setback	20 feet
Building Height, Main Residence	35 feet
Building Height, Accessory Structures 5	25 feet

1 For RS zone, there shall be a maximum of four (4) lots fronting on the circular portion of a standard cul-de-sac; and a maximum of two (2) lots fronting on the circular portion of standard knuckles.

2 Minimum lot widths on cul-de-sac lots shall be thirty-five feet (35') at the front setback.

3 Minimum setbacks is measured from public street R.O.W. Garage setbacks may be reduced to five (5) feet, when fronting on private driveways and there is adequate off-street parking provided with the project. Front yard porches may encroach four (4) feet into the minimum sixteen (16) feet setback.

4 Side yard setbacks shall be a minimum of five (5) feet, but may be modified to zero on one side with Plot Plan approval. Distance between residential units shall be a minimum of ten (10) feet.

5 Fifteen (15) feet height for single story structures and twenty-five (25) feet for two-story structures.

2. Non Residential Siting Standards

a) Multiple Use Area (MU-2)

This district is intended to provide for areas of freeway servicing retail commercial, which meet high performance and development standards. Since this

land use comprises a large component of the Murrieta Highlands Specific Plan it must be well integrated and coordinated within the project. This land use is highly visible from I-215. Therefore the project's quality must be compatible with the balance of Murrieta Highlands.

This district provides for wide variety of business and job opportunities. Planned uses and activities are intended to be compatible and complementary to surrounding land uses and consistent with the objectives of the City of Murrieta General Plan.

The site planning of the MU-2 area must be complementary and considerate of adjacent existing and planned land uses. Pedestrian access is tantamount. Similarly, vehicular access is of primary importance, as is vehicular parking on site. A clear separation of loading and delivery areas from visitor parking are preferred.

Large loading areas shall be screened from view when located adjacent to Mapleton and Keller Road. Parking areas shall be well landscaped.

The objectives of this District are to provide for a quality-working environment and to achieve a harmonious mixture of uses, which might otherwise be considered incompatible when located in close proximity. Activities are intended to promote employment and retail trade.

All development proposals within the MU-2 designation are required to submit detailed site plans; elevations, sign packages, and any other identified program that the City requires in order to sufficiently review the merits of the proposal.

Development Standards MU-2 Subarea 1 Commercial and Industrial Corridor	
Lot area, net square feet*	10,000
Lot width	100 feet
Lot depth	100 feet
Front yard setback	25 feet**
Side yard setback each side	10 feet***
Public street setback	20 feet
Rear yard setback	10 feet
Building height, Maximum	45 feet or 3 stories, whichever is less
Lot coverage (percent, net, maximum): Business Park Use	50%
Lot coverage (percent, net, maximum): Commercial	25%
Floor Area Ratio (Maximum): Business Park Use	0.40:1
Floor Area Ratio (Maximum): Commercial	0.25:1

- * For condominium development minimum lot area may be reduced to less than ten-thousand (10,000) square feet for master planned building complexes subject to approval of a Plot Plan and/or air space-tract map, however, the total site shall be no less than sixty thousand (60,000) square feet.
- ** May be reduced to zero (0) with Plot Plan approval if a Neo-traditional or New Urbanism concept is used.
- *** May be reduced to zero (0) with Plot Plan approval

Development Standards MU-2 Subarea 2 Medical Center and Community Services	
Minimum lot area, net square feet	10,000
Minimum lot width	100 feet
Minimum lot depth	100 feet
Keller Road, minimum setback	50 feet
Mapleton Road, minimum setback	100 feet
Antelope Road/I-215, minimum setback	25 feet
Maximum Floor Area Ratio (FAR)*	.75
Building height** maximum	80 feet maximum when setback a minimum of 100 feet from any property line. 115 feet maximum when setback a minimum of 200 feet from property lines that front residential. Buildings with a minimum setback of 25 feet from Antelope Road/I-215 may have a maximum building height of 115 feet.
Building height: parking structures, maximum ***	80 feet maximum

* Parking structures exempt from FAR calculation

** Includes mechanical equipment and mechanical equipment screening

*** Photovoltaic may exceed the maximum height allowed by 10 feet.

b) Special Purpose District

These districts are intended for open space, landscaping, recreation, public and quasi-public uses. Only those additional uses, which are complementary to, and can exist in harmony with, open space, are permitted. There is no lot size limitation and it is intended that this district may be applied to a portion of a lot provided that the remainder of the lot meets the requirements for which it is zoned. Special Use

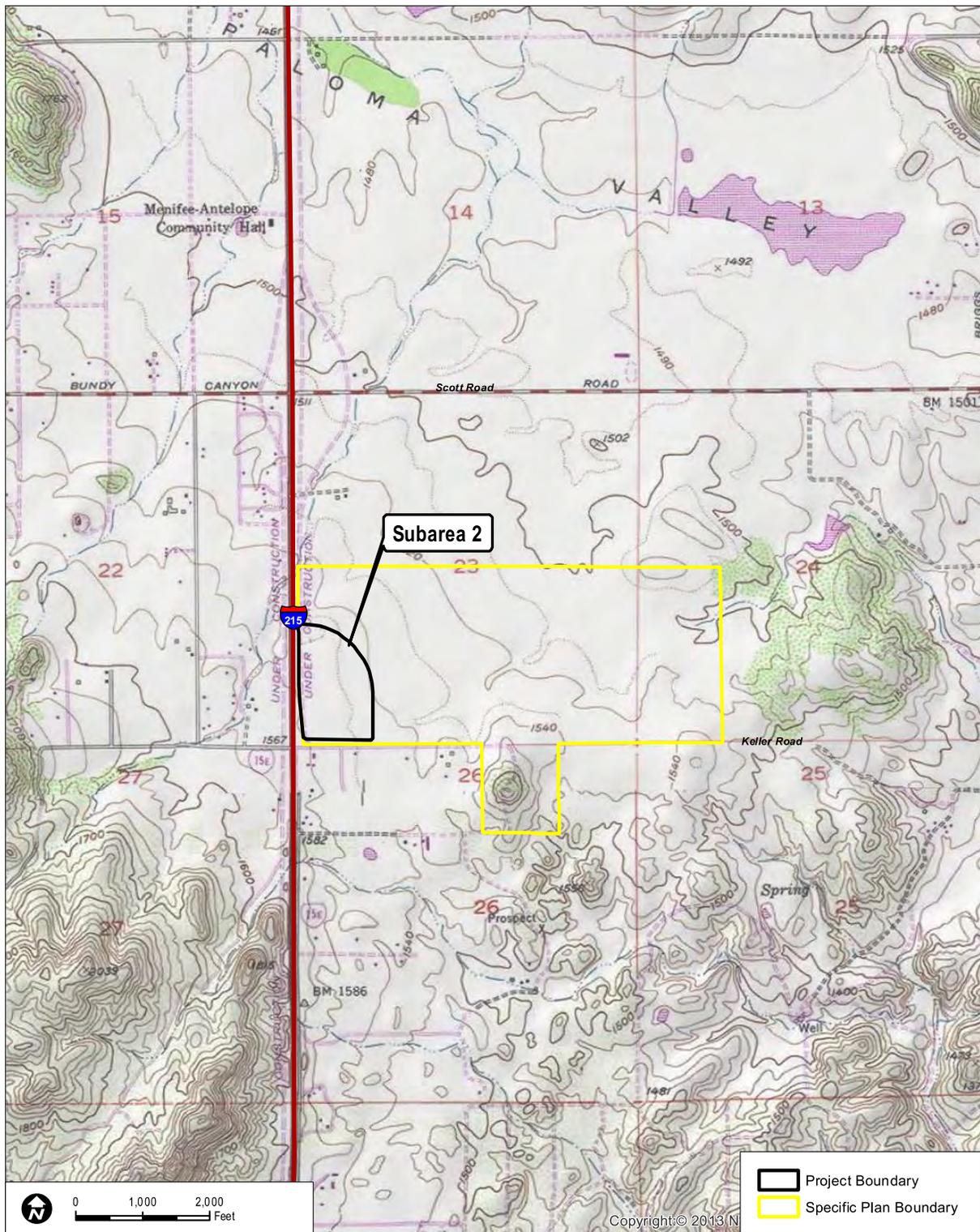
zones are listed below:

- C/Civic Institutional
- P&R Parks and Recreation
- OS Open Space Un-Disturbed

The goal in regulating the design of community public space is to further a sense of community. All public use buildings must follow the architectural standards of these guidelines. Public buildings contribute to neighborhood character. Quality and lasting architectural expression is essential for public use. The public use guidelines relate to all tracts or lots, which are owned and maintained by a public agency, special district, or private organization, which provides services that are used and enjoyed by the public.

Development Standards Special Use District	
Density-Maximum Dwelling unit per legal Districts	0
Lot width	0
Lot depth	0
Front yard setback	20 feet
Rear yard setback	20 feet
Side yard setback	20/10 feet
Building height	35 feet or two stories whichever is less
Height of poles, clock towers, or special features	Per Plot Plan Approval

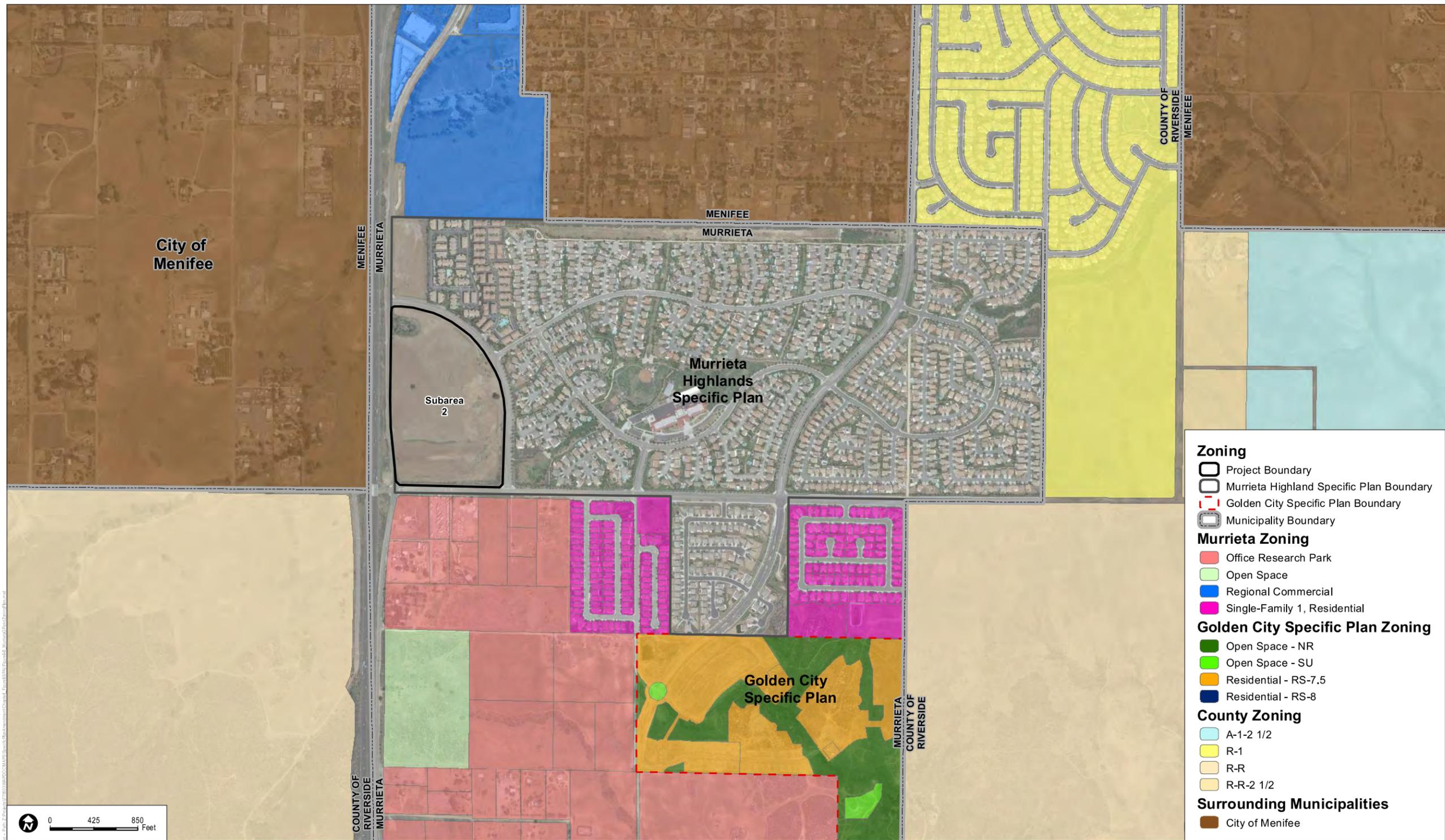
APPENDIX A



SOURCE: USGS 7.5-Minute Series - Romoland Quadrangle.

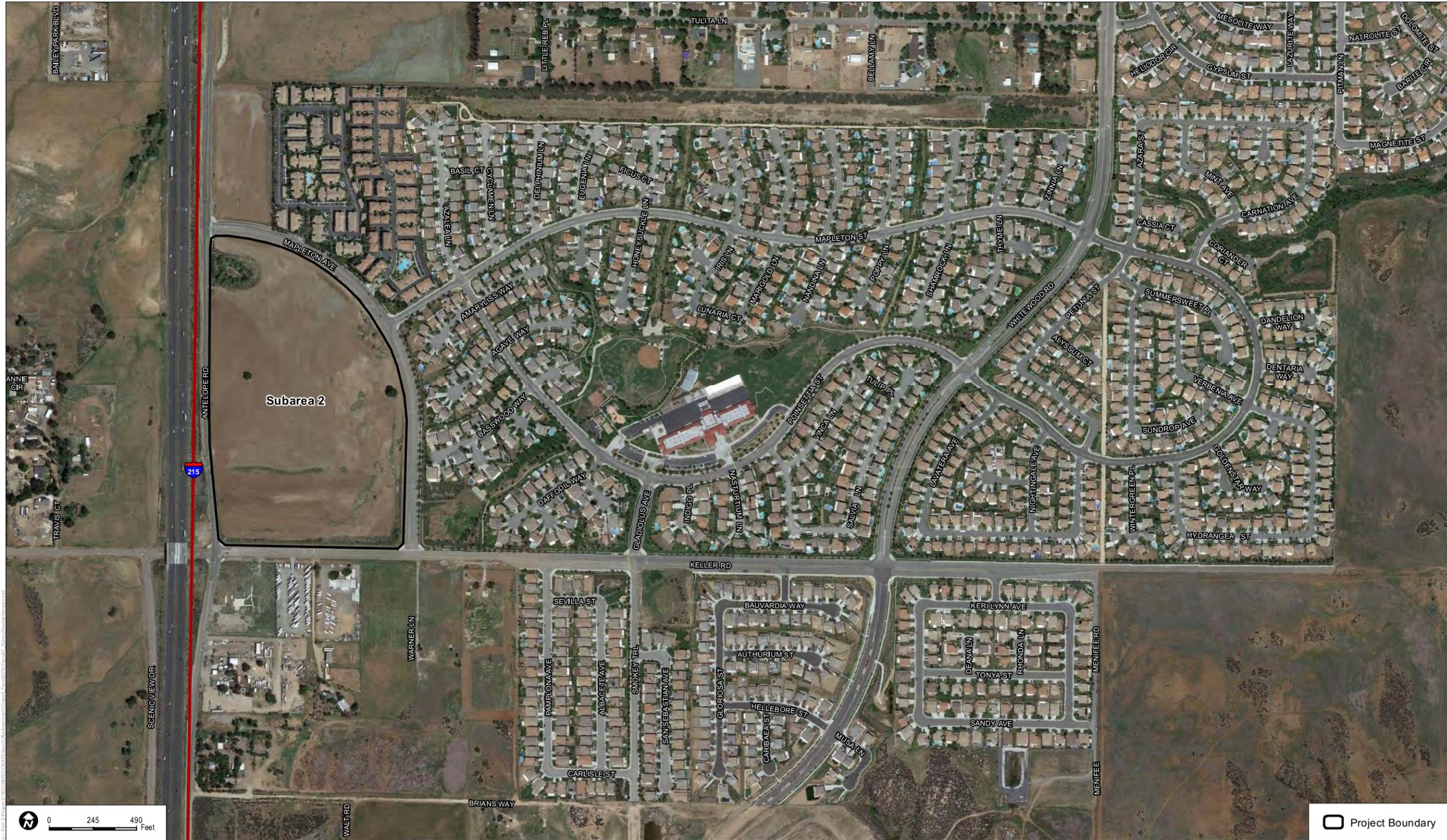
**FIGURE I-A (SPA)
USGS Vicinity Map**

Murrieta Highlands Specific Plan Amendment



SOURCE: Google Imagery, 2015; County of Riverside, 2015; City of Murrieta.

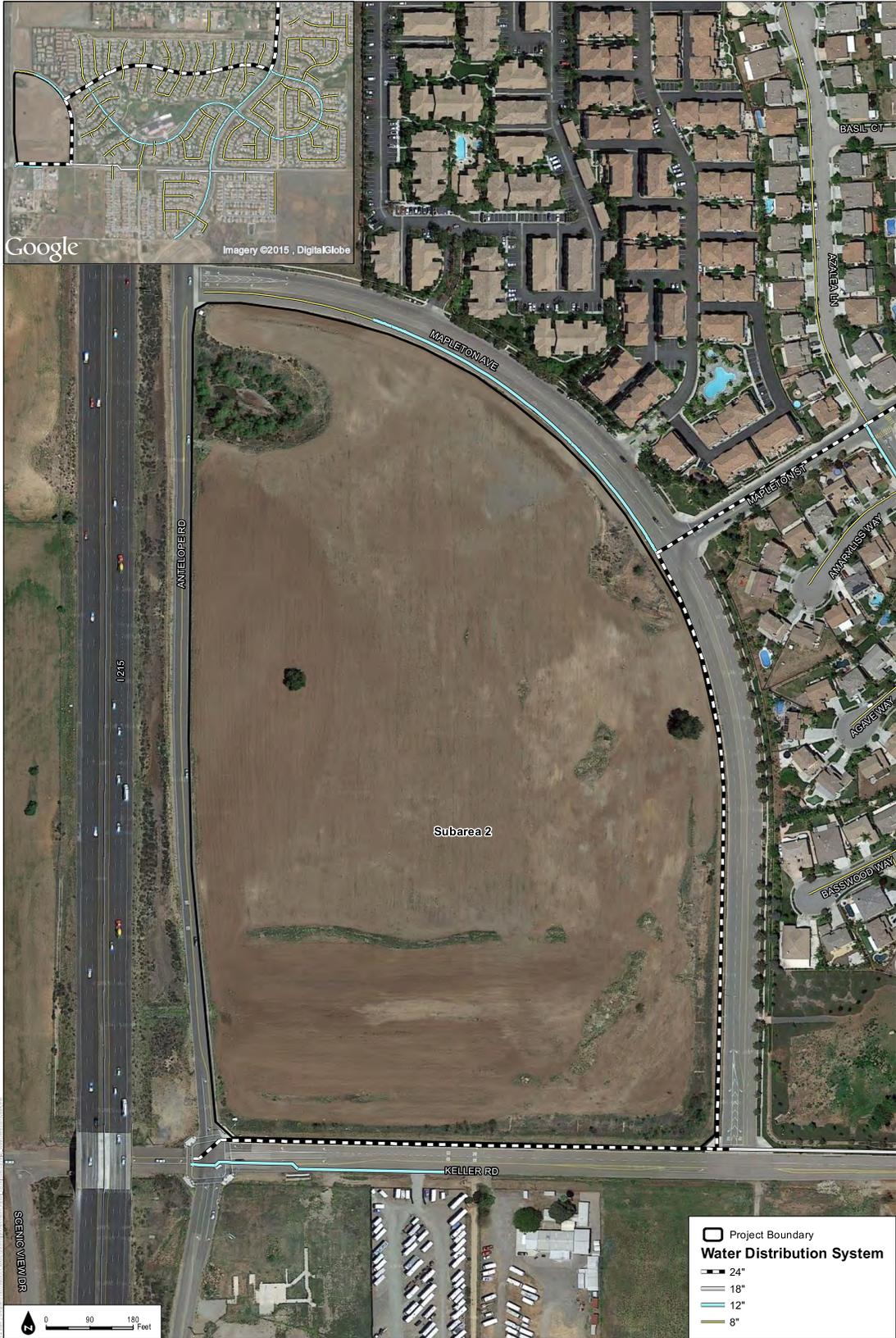
FIGURE I-B (SPA)
Murrieta General Plan & Zoning Map



SOURCE: Google Imagery, 2015; County of Riverside, 2015.

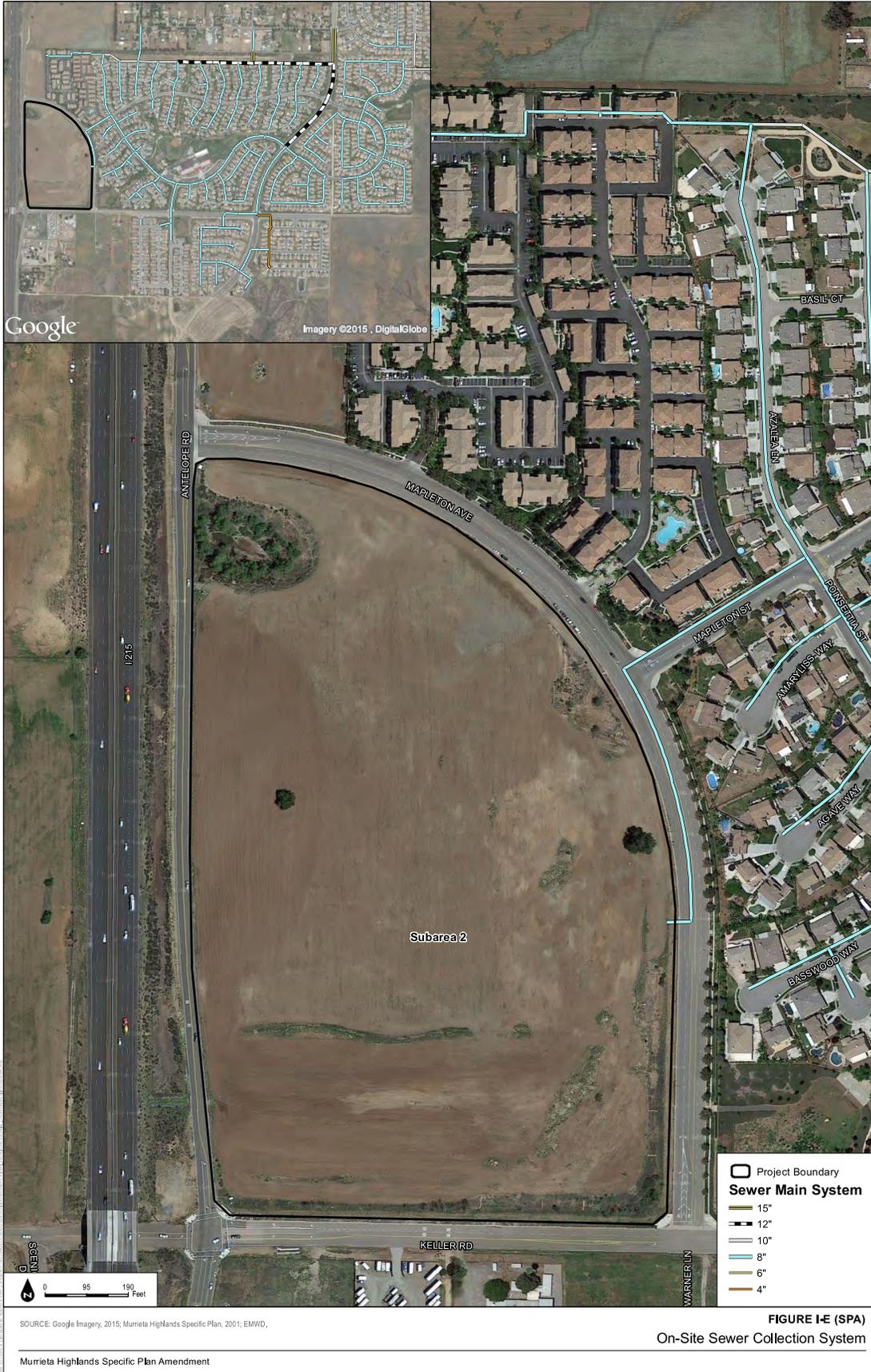
Project Boundary

FIGURE I-C (SPA)
Existing Streets & Highways



SOURCE: Google Imagery, 2015; Murrieta Highlands Specific Plan, 2001; EMWD.

FIGURE I-D (SPA)
Water Distribution System



Google

Imagery ©2015, DigitalGlobe

Subarea 2

- Project Boundary
- Sewer Main System**
- 15"
- 12"
- 10"
- 8"
- 6"
- 4"

SOURCE: Google Imagery, 2015; Murrieta Highlands Specific Plan, 2001; EMWD.

FIGURE I-E (SPA)
On-Site Sewer Collection System



SOURCE: Google Imagery, 2015; Murrieta Highlands Specific Plan, 2001; EMWD.

FIGURE I-F (SPA)
On-Site Storm Drain Facilities



SOURCE: Google Imagery, 2015; City of Murrieta.

Murrieta Highlands Specific Plan Amendment

FIGURE I-G (SPA)
Topography/Slope Analysis



SOURCE: Google Imagery, 2015; USDA Soils, 2015.

FIGURE I-H (SPA)
Soil Types



SOURCE: Google Imagery, 2015; California Native Plant Society, 2005.

Murrieta Highlands Specific Plan Amendment

- Project Boundary
- Vegetation
- DEV, Developed
- DH, Disturbed Habitat
- NNG, Non-native grassland
- OW, Open water
- SWS, Southern willow scrub

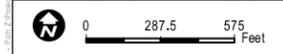
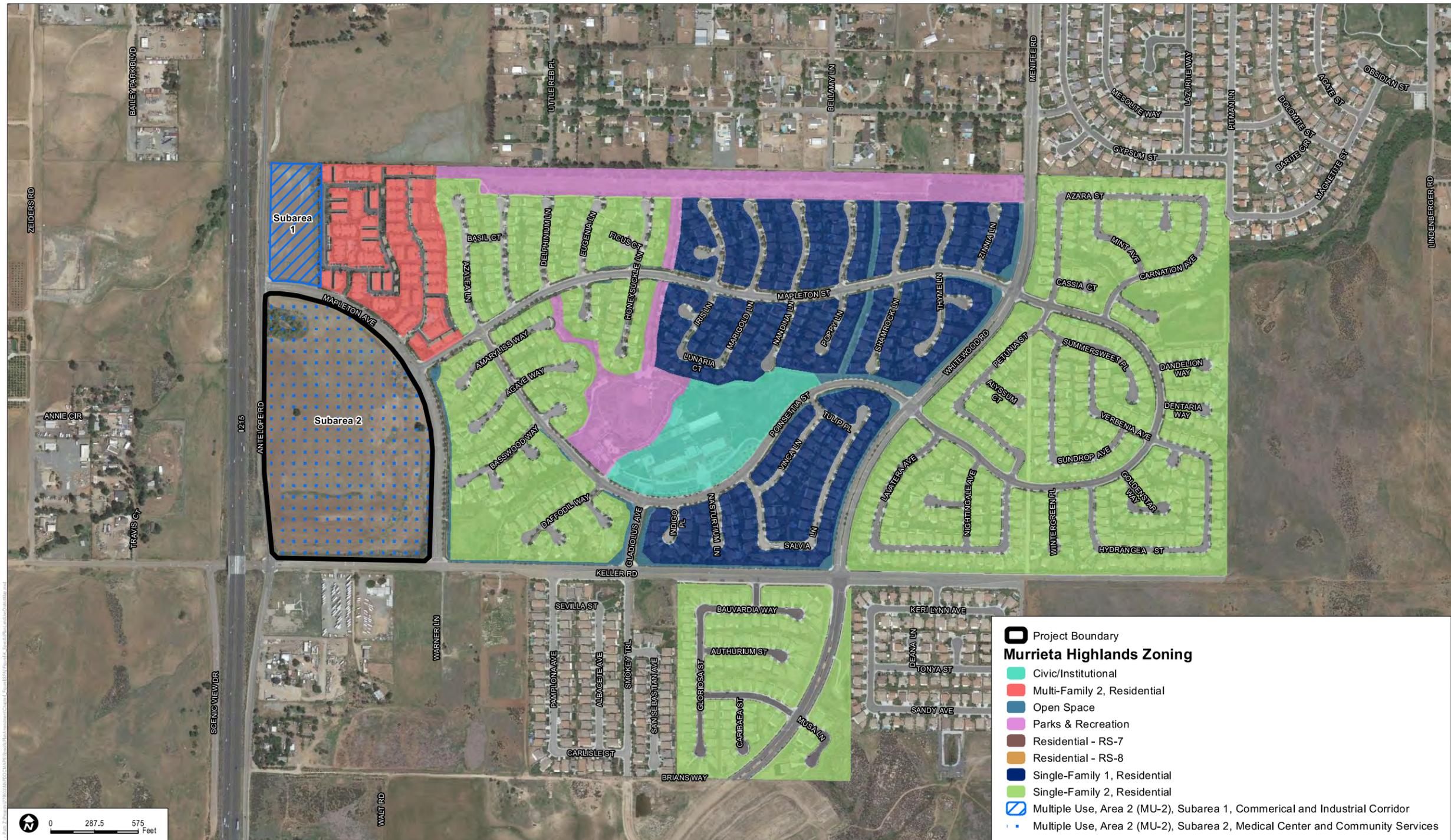
FIGURE I-1 (SPA)
Zoological Resources



SOURCE: Google Imagery, 2015; Murrieta Highlands Specific Plan, 2001.

Murrieta Highlands Specific Plan Amendment

FIGURE I-J (SPA)
Overall Community Plan



SOURCE: Google Imagery, 2015; Murrieta Specific Plan.

Murrieta Highlands Specific Plan Amendment

Murrieta Highlands Zoning

- Project Boundary
- Civic/Institutional
- Multi-Family 2, Residential
- Open Space
- Parks & Recreation
- Residential - RS-7
- Residential - RS-8
- Single-Family 1, Residential
- Single-Family 2, Residential
- Multiple Use, Area 2 (MU-2), Subarea 1, Commercial and Industrial Corridor
- Multiple Use, Area 2 (MU-2), Subarea 2, Medical Center and Community Services

FIGURE I-K (SPA)
Specific Plan Land Use District Map

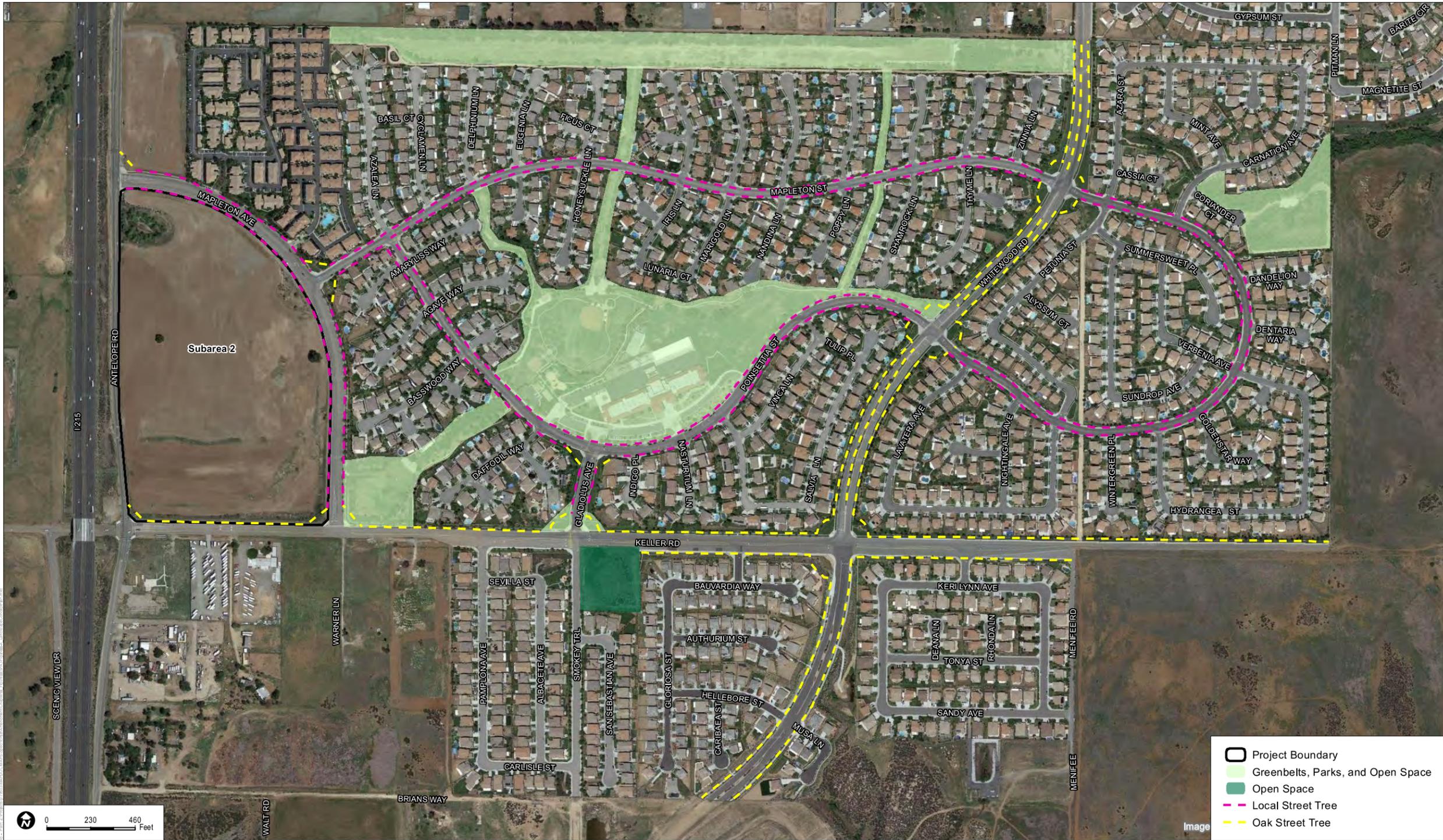


FIGURE III-A (SPA)
Landscape Concept Plan

APPENDIX B

ORDINANCE NO. 509 –16

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA
AMENDING (AMENDMENT NO. 2) MURRIETA HIGHLANDS SPECIFIC PLAN SUBSTANTIAL
CONFORMANCE NO. 1 (SPM-1) (PLANNING CASE NO. SPA-2014-346)

WHEREAS, the applicant, Kaiser Foundation Hospitals (“applicant”) (hereafter “Kaiser”) submitted an application to the City of Murrieta (the “City”) for approval of Specific Plan Amendment No. 2 to Murrieta Highlands Specific Plan (Planning Case No: SPA-2014-346), amending the allowed uses and development standards for the Multiple Use District (the “Project”); and

WHEREAS, the Project site is generally located on the northeast corner of Keller and Antelope Road, and bounded by Mapleton Avenue in the City of Murrieta, County of Riverside; and

WHEREAS, Murrieta Highlands Specific Plan (SPM-1) was originally adopted by the City of Murrieta on September 19, 1995 (Resolution No. 95-388) and adopted Resolution No. 95-387 certifying Final Environmental Impact Report (SCH No. 93032090) and adopting a statement of overriding considerations for land not within the City’s jurisdiction and later annexed into the City on February 16, 1999 and a Substantial Conformance No. 1 to the specific plan was approved on July 28, 1999 for a residential development including 1,167 residential units and 67.3 acres for commercial/industrial development, including uses such as offices, medical offices, retail, manufacturing, warehousing, and fabrication, and amended by City Council Ordinance 255-02; changing approximately 19 acres from Multiple Use 2 to Multi-Family 2 (MF-2); and

WHEREAS, pursuant to Section 16.66-“Specific Plans” of the Murrieta Development Code, this Project requires an Amendment to the Murrieta Highlands Specific Plan, which may be adopted by ordinance and include regulations and criteria for development of a site; and

WHEREAS, on January 13, 2016, the Planning Commission of the City of Murrieta held a duly-noticed public hearing, and after considering all written and oral reports of staff, public testimony on the matter, and written and oral testimony provided by the applicant, voted (4-0, Phillips Absent) to recommend approval of the Specific Plan Amendment to City Council; and

WHEREAS, a hearing on the matter was duly noticed as provided in Murrieta Development Code section 16.78.050 for the City Council meeting of February 2, 2016; and

WHEREAS, the City Council adopted Resolution No. 16-3505, certifying Final Program Environmental Impact Report (SCH No. 2014061032) and adopting Facts and Findings in support of a Statement of Overriding Considerations and a Mitigation Monitoring Reporting Program; and

WHEREAS, the City Council held a duly-noticed public hearing at which time, the City Council considered the Planning Commission recommendations, staff report and recommendations and public comments, both oral and written.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Murrieta, California as follows:

SECTION 1: Findings for Approval of Murrieta Highlands Specific Plan Amendment No. 2 (SPM-1).

1. The proposed specific plan amendment is consistent with the objectives, policies, general land uses, programs, and actions of all elements of the general plan;

FACTS: The Specific Plan Amendment modifies development standards for a limited area within the Multiple Use zone district. The Specific Plan is consistent with General Plan Goal LU-1 and associated Policies LU-1.4, LU-1.6, and LU-1.10 which relates to providing a balance of land uses throughout the community and achieving the community's vision by promoting future patterns of development and that reduces infrastructure construction costs and make better use of existing and planned public facilities, and designating land use boundaries along street lines. The amendment is consistent with Goal LU-14 which envisions the area (North Business Corridor Focus Area) to become an employment center for high quality medical, high technology and research jobs. The project implements policies LU-14.1 and LU-14.6 which call to establish the NMBC as a regional center for medical services, and to ensure the design of buildings help create a distractive and cohesive look to reinforce the Focus Area as a major gateway into the city.

General Plan Goal LU-6 calls for land use policy that encourages job retention and attraction of which policy LU- 6.1 encourages flexibility in land use regulation to respond to requirements of new and emerging business and industry types. The amendment is consistent with Policy LU-3.2 which aims to protect residential areas from the effects of potentially incompatible uses by creating large building setbacks from Mapleton Avenue and adjacent residential areas and providing standards for landscaped areas capable of providing trees, shrubs, and other screening along Mapleton Avenue.

2. The proposed specific plan amendment is necessary and desirable in order to implement the general plan;

FACTS: The amendment is necessary and desirable in order to implement the general plan as the amendment implements current City goals and policies with a focus of job and employment attraction for the City. The amendment is consistent with Goal LU-14 which envisions the area (North Business Corridor Focus Area ("NMBC")) to become an employment center for high quality medical, high technology and research jobs. The project implements policies LU-14.1 and LU-14.6 which call to establish the NMBC as a regional center for medical services, and to ensure the design of buildings help create a distractive and cohesive look to reinforce the Focus Area as a major gateway into the city. General Plan Goal LU-6 calls for land use policy that encourages job retention and attraction of which policy LU- 6.1 encourages flexibility in land use regulation to respond to requirements of new and emerging business and industry types.

3. The proposed specific plan amendment would not adversely affect the public convenience, health, safety, or general welfare, or result in an illogical land use pattern;

FACTS: The amendment would not adversely affect the public convenience, health, safety, or general welfare, or result in an illogical land use pattern as the project site

currently has a General Plan designation of Business Park (BP) which allows industrial uses to occur on the property. The Specific Plan has a zone district of Multiple Use which allows either industrial or commercial uses to occur on the site.

4. The development standards contained in the specific plan amendment would result in a superior development to that which would occur using standard zoning and development regulations;

FACTS: The development standards in the amendment results in an elevated development design to that which would occur using standard zoning and development regulations. The Plan accounts for greater landscape setbacks, pedestrian connectivity between Planning Areas, and increased building setbacks from the property line. In addition, any development of the project area would be completed in accordance with the provisions of the Specific Plan and would require a Development Plan application for City review and approval. Common project theme/elements would be prevalent in development throughout the center, including landscape palate, site lighting, paving features, signage, and other site amenities.

5. The proposed specific plan amendment would be in compliance with the provisions of the CEQA; and

FACTS: Pursuant to CEQA, Draft PEIR was prepared and circulated for a 45-day public review and comment period. Based on comments received the City determined to re-circulate the Draft PEIR. The City provided responses to all comments. Mitigation Measures were provided that address impacts that could be mitigated. The Planning Commission has reviewed the Draft PEIR and has used its independent judgment and considered all the reports, recommendations, and testimony related to the PEIR and recommends certifying the completion of a PEIR in accordance with CEQA, including adopting a Statement of Facts and Findings regarding environmental impacts of the project, a Statement of Overriding considerations and a Mitigation Monitoring and Reporting Program.

6. The proposed specific plan amendment would not create internal inconsistencies within the specific plan and is consistent with the purpose and intent of the specific plan it is amending.

FACTS: The Specific Plan Amendment would not create internal inconsistencies within the Plan and is consistent with the purpose and intent of the currently approved Specific Plan.

SECTION 2: Approval.

- A. Murrieta Highlands Specific Plan Amendment No. 2 (SPA-2014-346) attached as Attachment 11 to the Agenda Report is hereby adopted and incorporated herein by this reference, subject to the Conditions of Approval.
- B. The Conditions of Approval, referenced herein, will be incorporated into and made a part of Specific Plan. The Project will be subject to subsequent subdivision maps and discretionary approvals, whether legislative or administrative, in accordance with Chapter 16 of the Murrieta Development Code.

C. The Multiple Use District, subarea 1 of the Murrieta Highlands Specific Plan Amendment No. 2 is more specifically described as 37.6 acres currently comprised of two (2) parcels:

(1) 388-120-002

(2) 388-120-003

D. A location map of the Specific Plan area is shown on Figure I-K of Attachment 11.

SECTION 3: Notice of Adoption.

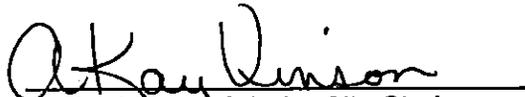
The City Clerk shall certify to the adoption of this Ordinance and shall publish a summary of this Ordinance and post a certified copy of the full Ordinance in the office of the City Clerk at least five (5) days prior to the adoption of the proposed Ordinance; and within fifteen (15) days after adoption of the Ordinance, the City Clerk shall publish a summary of the Ordinance with the names of the Council members voting for and against the Ordinance. This Ordinance shall take effect thirty (30) days after the date of its adoption.

ADOPTED BY the City Council, signed by the Mayor, and attested by the City Clerk of the City of Murrieta, on this 16th day of February, 2016.



Randon K. Lane, Mayor

ATTEST:



A. Kay Vinson, Interim City Clerk

APPROVED AS TO FORM:


for _____
Leslie E. Devaney, City Attorney

I, Kay Vinson, City Clerk of the City of Murrieta, California hereby certify under penalty of perjury that the foregoing Ordinance was duly and regularly introduced at a meeting of the City Council on the 2nd day of February, 2016, and that thereafter the said Ordinance was duly and regularly adopted at a regular meeting of the City Council on the 16th day of February, 2016, by the following vote, to-wit:

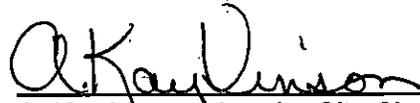
AYES: GIBBS, INGRAM, LONG, RAMOS, AND LANE

NOES: NONE

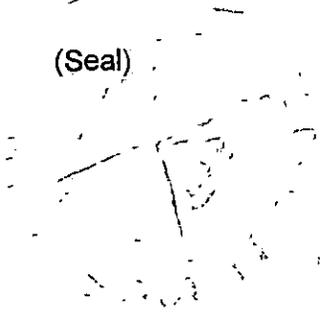
ABSENT: NONE

ABSTAIN: NONE

IN WITNESS WHEREOF, I have hereunto set my hand and official seal of the City of Murrieta, California, this 16th day of February, 2016.


A. Kay Vinson, Interim City Clerk

(Seal)



**CONDITIONS OF APPROVAL
SPECIFIC PLAN AMENDMENT 2014-346
MURRIETA HIGHLANDS SPECIFIC PLAN
(SPM 1-AMENDMENT NO. 2)
FEBRUARY 16, 2016**

All of the following conditions shall be subject to the approval of the City Council prior to the approval of permits implementing this project or in accordance with the mitigation measures contained in the environmental documentation for the project. These conditions are not intended to be all inclusive of the requirements that may be imposed on future discretionary permits required to construct this project. The City reserves the right to review future permit applications in accordance with City environmental review procedures. These conditions shall be attached to the resolution approving the Specific Plan document and placed on file with the City Clerk.

GENERAL CONDITIONS:

1. The applicant or any successor-in-interest shall defend (with attorneys approved by the City), indemnify and hold harmless the City of Murrieta, its agents, officers, and employees from any claims, damages, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul an approval of the City, its advisory agencies, appeal boards, or legislative body concerning this approval of Specific Plan Amendment 2014-346. The City will promptly notify the permittee of any such claim, action, or proceeding against the City and will cooperate fully in the defense.
2. Any fees due the City of Murrieta for processing this project shall be paid to the City within ninety (90) calendar days of final action by the approval authority. Failure to pay such outstanding fees within the time specified shall invalidate any approval or conditional approval granted. No permits, site work, or other actions authorized by this action shall be processed by the City, nor permitted, authorized or commenced until all outstanding fees are paid to the City.
3. The Specific Plan Amendment is subject to original conditions of approval, unless modified herein.
4. Specific Plan Amendment 2014-346 shall consist of the following:
 - a. Specific Plan Document, which must include, but not be limited to the following items:
 1. City Council Specific Plan Ordinance.
 2. Findings for Approval.
 3. Conditions of Approval (original and new)
 4. Land Use Plan in both 8 ½" x 11" black and white and 11' x 17" color formats.

5. Specific Plan Text and Exhibits
- b. Environmental Package, which must include, but not be limited to, the following items.
 1. Final Program Environmental Impact Report
 2. Mitigation Reporting & Monitoring Program. (MMRP)
 3. Agency Notice of Completion (NOC).
 4. Comments on the NOC.
 5. Technical Appendices.

Within 60 days of final adoption, "Eight (8) certified copies of the final SPECIFIC PLAN and environmental document (Final Program Environmental Impact Report) shall be submitted to the Planning Department for distribution. If any specific plan conditions of approval differ from the specific plan text or exhibits, the specific plan conditions of approval shall take precedence.

5. Pursuant to Section 711.4 of the State of California Fish and Game Code, the applicant is required to pay a \$50.00 handling fee and a certification fee (Year 2015 fee is \$3,069.75). Said fees shall be paid to the Clerk/Recorder of the County of Riverside at the time the Notice of Determination is filed pursuant to Section 21152 of the Public Resources Code. If this fee is not paid, the approval of this project shall not be operative, vested, or final. In order to comply with State mandated time lines for filing of a Notice of Determination, the above fee must be delivered to the Planning Department within **two (2)** working days after the date of final approval.
6. The applicant has ninety (90) days from the date of the approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations, and/or exactions imposed on this project as a result of the approval or conditional approval of this project.
7. The development of the property shall be in accordance with mandatory requirements of all City of Murrieta ordinances, federal and state laws, unless otherwise stated in the Specific Plan and shall conform substantially with the adopted SPECIFIC PLAN as filed in the office of the City of Murrieta Planning Department,
8. The permittee/developer or their successor-in-interest shall comply with the Final Program Environmental Impact Report (PEIR), Mitigation Monitoring and Reporting Program (MMRP) and are hereby incorporated herein as conditions of approval.
9. All planning areas and phasing shall be maintained throughout the life of the SPECIFIC PLAN in accordance with the Specific Plan requirements, unless substantially modified through the approval of a specific plan amendment.
10. Implementing development applications (e.g., Tract Maps, Development Plans, Conditional Use Permits, etc.) shall conform substantially with the adopted amended Specific Plan as filed in the City of Murrieta Planning Department. Approval of the Specific Plan does not constitute approval of the final lot configurations or street design

shown in the Specific Plan. Modifications may be made during the implementing phases of the project.

PRIOR TO ANY PROJECT APPROVAL

11. Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, development plan, etc.), the following condition shall be placed on the implementing project, with the blanks filled in at the implementing project:

This implementing project is within Planning Area(s) _____.

This implementing project consists of ____ acres.

This implementing project consists of:

_____ square feet of retail/service,

_____ square feet of office

_____ square feet of restaurant

_____ square feet of hospitality (# of rooms)

_____ square feet of hospital (# of beds)

_____ square feet of other

EASTERN MUNICIPAL WATER DISTRICT

12. The project applicant shall notify EMWD on the status of this project, and notify the City to request a review and update of the Water Supply Assessment (WSA) every three (3) years until the project starts construction. The WSA shall be subject to cancellation by a written Cancellation Notice to the lead agency if the project applicant fails to provide an update of this project every three years.

END OF CONDITIONS