

**GREER RANCH SPECIFIC PLAN**

June 23, 2000

ORDINANCE NO. 95-150

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, AMENDING THE OFFICIAL ZONING MAP OF SAID CITY IN CHANGE OF ZONE CASE NO. 92-155, GENERALLY LOCATED WEST OF I-215, NORTH OF CLINTON KEITH ROAD, CHANGING THE ZONE FROM THE RURAL RESIDENTIAL (RR), AND RESIDENTIAL AGRICULTURE-20 (R-A-20) ZONE TO THE SPECIFIC PLAN ZONE (SP) AS ILLUSTRATED ON THE ATTACHED CITY OF MURRIETA ZONE MAP PER THE GREER RANCH SPECIFIC PLAN SPM-2

The City Council of the City of Murrieta does ordain as follows:

**Section 1.:** Ordinance No. 348 of the County of Riverside, as incorporated and adopted by Ordinance of the City of Murrieta, and as amended thereafter from time to time by the City Council of the City of Murrieta, and the City of Murrieta Official Zoning, are further amended by placing in effect the zone or zones as shown on the attached map entitled Exhibit 1 (including herein by reference), Change of Official Zoning, City of Murrieta, referenced as Greer Ranch Specific Plan SPM-2, Zoning Case No. 92-155.

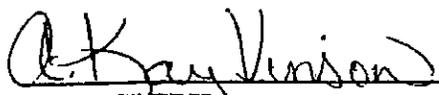
**Section 2.:** The zoning shall become SP (Specific Plan) which consists of zoning standards and criteria for land use development in the area described on Exhibit No. 1, as contained in the Greer Ranch Specific Plan, Chapter 2 District Regulations.

**Section 3.:** The City Clerk shall certify to the adoption of this ordinance and shall publish a summary of this ordinance and post a certified copy of the full ordinance in the office of the City Clerk at least five days prior to the adoption of the proposed ordinance; and within 15 days after adoption of the ordinance, the City Clerk shall publish a summary of the ordinance with the names of the council members voting for and against the ordinance. This ordinance shall take effect thirty days after the date of its adoption.

ADOPTED by the City Council and signed by the Mayor and attested by the City Clerk this 5th day of September, 1995.

  
MAYOR  
City of Murrieta

ATTEST:

  
CITY CLERK  
City of Murrieta

(See attached Map)

ORDINANCE NO. 228-00

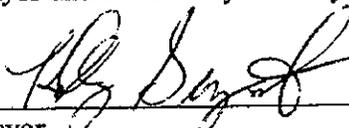
**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, ADOPTING DEVELOPMENT STANDARDS FOR VESTING TENTATIVE TRACT MAP 29641 FILED BY LENNAR/GREER RANCH VENTURES, INC.**

The City Council of the City of Murrieta does ordain as follows:

**SECTION 1.** The development standards for Vesting Tentative Tract Map 29641 shall be those contained within the Greer Ranch Specific Plan (SPM-2), Substantial Conformance No. 1.

**SECTION 2.** The City Clerk shall certify to the adoption of this Ordinance and within fifteen days following its adoption shall publish the Ordinance in its entirety with the names of the Council Members voting for and against the same. This Ordinance shall take effect thirty days after the date of its adoption.

**ADOPTED** by the City Council and signed by the Mayor and attested by the City Clerk this 5<sup>th</sup> day of December, 2000.

  
\_\_\_\_\_  
Mayor  
City of Murrieta

ATTEST:

  
\_\_\_\_\_  
City Clerk  
City of Murrieta

I, A. Kay Vinson, City Clerk of the City of Murrieta, California, hereby certify that the foregoing Ordinance was duly and regularly introduced at a meeting of the City Council on 21<sup>st</sup> day of November, 2000 and that thereafter the said Ordinance was duly and regularly adopted at a meeting of the City Council on the 5<sup>th</sup> day of December, 2000, by the following vote, to wit:

AYES: Enochs, Ostling, van Haaster, Youens and Seyarto

NOES: None

ABSENT: None

**IN WITNESS WHEREOF**, I have hereunto set my hand and official seal of the City of Murrieta, California, this 5<sup>th</sup> day of December, 2000.

  
\_\_\_\_\_  
City Clerk, City of Murrieta

**CITY COUNCIL RESOLUTION NO. 00-802**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA APPROVING SUBSTANTIAL CONFORMANCE NO. 1 FOR THE GREER RANCH SPECIFIC PLAN, PUBLIC FACILITIES FINANCING PLAN AND FISCAL IMPACT ANALYSIS**

WHEREAS, the City Council of the City of Murrieta (the "City Council") has previously adopted the Greer Ranch Specific Plan (the "Specific Plan") pursuant to Resolution No. 95-383 on August 15, 1995;

WHEREAS, the City Council adopted amendments to the Land Use Element of the City of Murrieta General Plan (the "General Plan") on July 20, 1999 (GPA 98-156), pursuant to which the land use designation for Greer Ranch (SPM 2) was amended to modify the maximum number of residential units to 688 and modify the minimum lot size to 6,000 square feet;

WHEREAS, Lennar Greer Ranch Venture, LLC (the "Master Developer") has (i) submitted applications for Vesting Tentative Tract Nos. 29640 ("VTT 29640") and 29641 (collectively, the "Vesting Tentative Maps") in connection with the development of Greer Ranch and (ii) requested the substantial conformance of the Specific Plan to conform to GPA 98-156 and the Vesting Tentative Maps ("Substantial Conformance No. 1");

WHEREAS, Substantial Conformance No. 1 consists of a revised Specific Plan dated June 23, 2000 (the "Substantially Conformed Specific Plan");

WHEREAS, a Public Facilities Financing Plan (the "PFFP") has been prepared and submitted to the City pursuant to Resolution No. 95-383 and is attached as Appendix 1 to the Specific Plan;

WHEREAS, a Fiscal Impact Analysis (the "Fiscal Impact Analysis") for the Specific Plan dated June 28, 2000 has been submitted to the City pursuant to Resolution No. 95-383;

WHEREAS, a public hearing was conducted by the Planning Commission on August 9, 2000 to consider the testimony presented by the public, the Planning Division and other interested parties with respect to the proposed Vesting Tentative Maps and Substantial Conformance No. 1, and following such public hearing, the

Planning Commission approved the Vesting Tentative Maps and adopted Substantial Conformance No. 1 pursuant to Planning Commission Resolution No. 00-02;

WHEREAS, all but one of the mitigation measures set forth in Exhibit "2A" to Resolution No. 95-383 (collectively, the "Conditions of Approval") have been incorporated into the Substantially Conformed Specific Plan and/or the mitigation measure set forth in the Final Environmental Impact Report certified for the Specific Plan pursuant to Resolution No. 95-382 on August 15, 1995; and

WHEREAS, a public hearing was conducted by the City Council on November 7, 2000 and November 21, 2000 to consider the testimony presented by members of the public, the Planning Division and other interested parties with respect to the Substantial Conformance No. 1, the PFFP and the Fiscal Impact Analysis.

NOW, THEREFORE, THE CITY COUNCIL FOR THE CITY OF MURRIETA DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. Approval of Substantial Conformance No. 1, PFFP and Fiscal Impact Analysis. The City Council hereby approves Substantial Conformance No. 1, the PFFP and the Fiscal Impact Analysis, and directs the Development Services Director to issue a letter to the Master Developer confirming the approval of Substantial Conformance No. 1 and attaching a signed copy of this Resolution.

SECTION 2. Findings in Support of Substantial Conformance No. 1. The City Council hereby makes the following findings in support of its confirmation of the approval of Substantial Conformance No. 1:

- a. The project, as modified by Substantial Conformance No. 1, meets the intent and purpose of the original Specific Plan; and
- b. The project, as modified by Substantial Conformance No. 1, is consistent with the findings and conclusions contained in Resolution No. 95-383.

SECTION 3. Amendment of Specific Plan Conditions. The Conditions of Approval are hereby amended as follows:

- a. General Condition of Approval No. 1 is hereby amended in its entirety to read as follows:

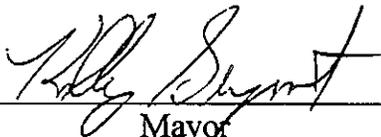
"1. The mitigation measures included in the Final EIR, as modified in accordance with the amended Mitigation

Monitoring Program adopted by the City Council on October 3, 2000, are hereby incorporated as conditions of approval of the Substantially Conformed Specific Plan."

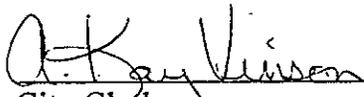
- b. The balance of the Conditions of Approval are hereby deleted in their entirety.

SECTION 4. Certification by City Clerk. The City Clerk shall certify the adoption of this Resolution.

PASSED, APPROVED AND EFFECTIVE this 21st day of November, 2000.

  
\_\_\_\_\_  
Mayor

Attest:

  
\_\_\_\_\_  
City Clerk

STATE OF CALIFORNIA:        )  
  )  
COUNTY OF RIVERSIDE:        )        SS

I, A. Kay Vinson, City Clerk of the City of Murrieta, California, DO HEREBY CERTIFY that the Resolution 00- 802 as duly and regularly adopted by the City Council of the City of Murrieta, California, at a meeting thereof held on the 21st day of November, 2000 by the following vote:

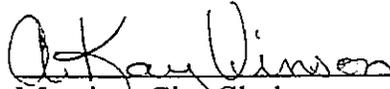
AYES:        Enochs, Ostling, van Haaster, Youens and Seyarto

NOES:        None

ABSENT:     None

ABSTAIN:    None

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Murrieta, California, this 21st day of November, 2000.

  
\_\_\_\_\_  
Murrieta City Clerk

# GREER RANCH SPECIFIC PLAN

## THE LENNAR GREER RANCH TEAM

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**CHAPTER ONE**

**DEVELOPMENT PLANS**

## **CHAPTER ONE: DEVELOPMENT PLANS**

### **I. SUMMARY**

#### **A. PURPOSES**

The purpose of this Greer Ranch Specific Plan (the "Specific Plan") is to provide a set of master plans, guidelines, regulations and implementation programs for guiding and ensuring the orderly development of Greer Ranch.

The Specific Plan describes a master planned community designed in response to market and development trends in and around the City of Murrieta (the "City"). Utilizing the Specific Plan approach, Greer Ranch will be developed in a comprehensive manner consistent with the natural characteristics of the Greer Ranch property (referred to herein as the "Site" or "Greer Ranch"), while providing an appropriate level of infrastructure and amenities. Furthermore, this Specific Plan is intended to be a dynamic, document allowing for modifications as circumstances may require.

#### **B. LOCATION AND SITE DESCRIPTION**

Greer Ranch consists of approximately 555 acres of land located along the northerly boundary of the City within the north-central section of the City (see Exhibits 1 and 2). At present, Greer Road provides access to the Site from Clinton Keith Road approximately three-quarters of a mile west of Interstate 215. Two major freeways serve the Site, Interstate 215 which connects the Corona-Riverside-San Bernardino area with San Diego and Interstate 15 which connects the area with Orange County via the Riverside Freeway (Route 91). This places Greer Ranch at a point of prime accessibility.

#### **C. PROJECT CHARACTERISTICS**

The Site is characterized by two valleys created by three northeast to southwest trending ridgelines. Elevations range from 1,560 to 2,160 feet above mean sea level. A highlands area is created by the hills in the northwestern portion of the Site. Development will be primarily restricted to areas of less than 25 percent slope.

#### **D. PROJECT OBJECTIVES**

The primary goal statement for the development of Greer Ranch can be summarized as follows:

Low to medium density residential land uses with a maximum of 688 dwelling units with provisions for open space and recreation uses.

The objectives for the development of Greer Ranch can be summarized as follows:

- Assure a high quality of development, consistent with City and community goals and objectives and those of the Master Developer.
- Create an economically viable plan that can be realistically implemented within current and projected economic conditions.
- Provide for orderly planning and long-range development of Greer Ranch to ensure community compatibility.
- Facilitate adequate provisions for community facilities, such as transportation, water, flood control, sewage disposal, and parks.
- Provide adequate assurance to the Master Developer that approved development will be allowed in a timely and economically viable manner.
- Preserve open space and natural amenities on the property where practicable.
- Establish a planning and development framework which will allow diverse land uses to exist in harmony within the community.

**E. LAND USE PLAN**

This Specific Plan has been designed to permit 688 residential dwelling units in 12 Planning Areas, ranging from gross densities of 0.5 DU/AC to 3.8 DU/AC. The primary use of the Site will be residential. The residential development area is approximately 333.1 acres (or 60 percent) of the Site. The average gross density of the residential development area will be approximately 2.1 DU/AC, while the average gross density of the 555-acre Site will be 1.2 DU/AC.

Approximately 196.8 acres (or 35.5 percent) of the Site will be maintained as open space, predominantly comprised of natural areas. The natural open space is characterized primarily by areas with slopes of 25 percent or greater. Approximately 17.9 acres (or 3.2 percent) of the Site will be developed for recreational use, including a 4.3-acre private Community Center for the residents of Greer Ranch and a 13.6-acre public Neighborhood Park. Finally, the circulation system for Greer Ranch covers

approximately 7.2 acres (or 1.3 percent) of the Site. The following table summarizes the land uses:

**TABLE I-1  
Land Use Summary**

<b>Use</b>	<b>Approximate Gross Acreage</b>	<b>% of Site</b>
Open Space	196.8	35.5
Recreation	17.9	3.2
Residential	333.1	60.0
Circulation	7.2	1.3
<b>Total</b>	<b>555.0</b>	<b>100%</b>

**F. PROJECT PHASING**

The phasing program for Greer Ranch is designed to provide flexibility to effectively deal with the dynamics of market trends and conditions. The Master Phasing Plan (see Exhibit 17 and Table III-2) identifies 12 individual Planning Areas. Each Planning Area will include adequate infrastructure, and can be developed on a stand-alone basis.

The identification of the Planning Areas is not to be taken as a compulsory development sequence. The development of the Planning Areas can occur in any sequence and/or may be developed on a concurrent basis, subject to the completion of adequate infrastructure for the applicable Planning Area or subarea. The phasing of infrastructure construction will influence the relative timing and direction of development within and among the Planning Areas.

**G. DEFINITIONS**

As used in this Specific Plan, the following capitalized terms shall have the meanings set forth below. Capitalized terms used in this Specific Plan and not defined below shall have the meanings set forth for them in the Development Code.

"CC&Rs" means covenants, conditions and restrictions affecting all or a portion of the Site that will be recorded in the Official Records of Riverside County, California.

"City" means the City of Murrieta.

"Community Center" means the private community center that will be developed in Planning Area 8 in accordance with this Specific Plan for the use and enjoyment of Greer Ranch residents, as described in Chapter One, Section III.D.11.

"Community Design Manual" means the Community Design Manual set forth in Chapter Three of this Specific Plan.

"Community Development Director" means the City's Community Development Director (sometimes referred to in the Development Code as the "Community Development Services Director").

"Comprehensive Sign Regulations" means the sign regulations governing Greer Ranch set forth in Section 4.0 of the District Regulations.

"Development Code" means Title 16 of the Municipal Code adopted pursuant to Ordinance 182-97 and effective December 18, 1997.

"District Map" means the District Map for Greer Ranch as shown on Exhibit 27 to this Specific Plan.

"District Regulations" means the District Regulations set forth in Chapter Two of this Specific Plan.

"DU/AC" means dwelling units per acre. For purposes of this Specific Plan, the DU/AC for any Planning Area shall be calculated based on gross acreage (i.e., including all internal roads, open space, slope areas, etc.).

"Estate Residential District" and "ER-1" mean the Residential District established for Planning Areas 6 and 7, as further described in Section 2.0 of the District Regulations.

"Flag Lot" means a legal lot having access from the building site on that legal lot to a street by means of a private driveway or right-of-way strip that is part of that legal lot.

"General Plan" means the City of Murrieta General Plan adopted in June, 1994, as most recently amended in July, 1999 (GPA 98-156).

"Greer Ranch" means the parcel of land described in Chapter One, Section II.B.2, and shall include the improvements to be constructed thereon in accordance with this Specific Plan as and when the context so requires.

"Greer Ranch EIR" means, collectively, the Draft Environmental Impact Report dated October, 1994 and the Final Environmental Impact Report dated March, 1995 prepared with respect to this Specific Plan.

"Land Use Element" means the Land Use Element of the General Plan.

"Land Use Plan" means the Land Use Plan for Greer Ranch, as shown on Exhibit 6 to this Specific Plan.

"Master Developer" means Lennar Greer Ranch Venture, LLC or any other person or entity that subsequently acquires fee title to the entire Site or is otherwise designated by Lennar Greer Ranch Venture, LLC as the "Master Developer" of Greer Ranch.

"Master Homeowners Association" means the homeowners association that may be established by the Master Developer prior to or concurrently with the recordation of the first final map relating to Greer Ranch.

"Mountain Local Road" means the private local-serving road that will provide primary access to Planning Areas 6 and 7, as shown on Exhibits 8 and 9.

"Municipal Code" means the City of Murrieta Municipal Code.

"Neighborhood Park" means the public neighborhood park that will be developed in Planning Area 9 in accordance with this Specific Plan, as described in Chapter One, Section III.D.12.

"Open Space-Active Recreation District" or "OS-AR" means one of the Special Purpose Districts established for open space areas in Greer Ranch, as further described in Section 3.0 of the District Regulations.

"Open Space-Natural Resource District" or "OS-NR" means one of the Special Purpose Districts established for open space areas in Greer Ranch, as further described in Section 3.0 of the District Regulations.

"Planning Areas" means the 12 Planning Areas designated for Greer Ranch, as shown on the Land Use Plan and as respectively described in Chapter One, Section III.D.

"Private Local Road" means the private local road improvements located within Greer Ranch, other than the Mountain Local Road.

"Property Development Standards" mean the property development standards set forth in Chapter Two, Section 2.3, below, that apply to the Residential Districts.

"Public Facilities Financing Plan" means the public facilities financing plan set forth in Appendix 1 to this Specific Plan.

"Residential Districts" means, collectively, the Single Family Residential District (SF1-6000) and the Estate Residential District (ER-1).

"Single Family Residential District" and "SF1-6000" mean the Residential District established for Planning Areas 1 through 5, as further described in Section 2.0 of the District Regulations.

"Site" means the parcel of land described in Chapter One, Section II.B.2.

"Special Purpose Districts" means, collectively, the Open Space-Active Recreation District (OS-AR) and the Open Space-Natural Resource District (OS-NR).

"Specific Plan" means this Greer Ranch Specific Plan.

"Specific Plan Districts" means, collectively, the Residential Districts and the Special Purpose Districts.

When not inconsistent with the context, words used in the present tense include the future; words in the singular number include the plural; and those in the plural number include the singular. The word "shall" is mandatory; the word "may" is permissive.

## II. INTRODUCTION

### A. SCOPE OF DEVELOPMENT ISSUES ADDRESSED

This Specific Plan addresses the scope of development for Greer Ranch, which is the area identified on the Land Use Plan (see Exhibit 6) and is more particularly described in Section B.2, below. This Specific Plan also addresses the "connections" between Greer Ranch and the surrounding community, including sewer, water, circulation and other infrastructure issues.

This Specific Plan provides guidance for review of subdivision maps, site plans, and other potentially required permits, such as grading and improvement plans, which must be in substantial compliance with this Specific Plan. This Specific Plan is the basic reference for determining permitted land uses, minimum lot sizes, total units and anticipated required public facilities.

This Specific Plan is not a guarantee that the development of Greer Ranch will include any particular number of residential units. The actual number of residential units that will be developed in Greer Ranch will be determined by the tract maps and other discretionary approvals for projects in Greer Ranch, and will be based on field conditions, environmental factors, and other factors that influence the design and density of individual Planning Areas and Greer Ranch as a whole. The procedures governing density transfers, tract map submittals, etc. are set forth elsewhere in this document.

Although this Specific Plan contains specific guidance for development, it is not intended to be an inflexible document. Rather, it is intended as a basic guide for determining the development intensity, design and uses for Greer Ranch.

### B. LOCATION

#### 1. Project Location

Greer Ranch is located in the north-central portion of the City, approximately 1,000 feet west of Interstate 215 and 3.5 miles east of Interstate 15 in southwestern Riverside County, California (see Regional Location Map, Exhibit 1). At present, Greer Road provides access to the Site from Clinton Keith Road. The City is bordered by the communities of Temecula to the south, Lake Elsinore to the north, and Menifee to the east (see Location Map, Exhibit 2).

## 2. Legal Description

The legal description for the Site is as follows (as prepared by Robert Bein and William Frost & Associates):

"Being a survey of Parcels 9 through 13, 15, 16, 17 and 19 through 27 of Parcel Map No. 17508 as per map recorded in Book 112, pages 87 through 92 of Parcel Maps, in the office of the County Recorder of said county;

Parcel 1 of Parcel Map No. 16669 as per map recorded in Book 105, page 66 of Parcel Maps, in the office of the County Recorder of said county (excepting therefrom that portion, if any, included within Section 27, Township 6 South, Range 3 West, San Bernardino meridian, according to the official plat thereof on file in the district land office.);

Parcels 1 through 9 of Parcel Map No. 19249 as per map recorded in Book 120, pages 87 through 90 of Parcel Maps, in the office of the County Recorder of said county (excepting therefrom that portion, if any, included within Section 27, Township 6 South, Range 3 West, San Bernardino meridian, according to the official plat thereof on file in the district land office.); and

The southwest quarter of the northwest quarter of the northwest quarter of Section 34, Township 6 South, Range 3 West, San Bernardino meridian, according to the official plat thereof on file in the district land office.

Lots A through Q of Parcel Map No. 19249 as per map recorded in Book 120, Pages 87 through 90 of Parcel Maps, in the office of the County Recorder of said county.

Those portions of Evandel Road, La Estrella Road, Pabesu Road and Bruric Road as dedicated on Parcel Map 17508, as per map recorded in Book 112, Pages 87 through 92 of Parcel Maps, in the County Recorder of said county."

### C. ACREAGE SCHEDULE OF SPECIFIC PLAN AREAS

This Specific Plan has been designed to provide for up to 688 residential dwelling units ranging from gross densities of 0.5 to 3.8 DU/AC. The primary use of the Site will be residential. The residential development area is approximately 333.1 acres (or 60 percent) of the Site. The average gross density of the residential development area will be approximately 2.1 DU/AC, while the average gross density of the 555-acre Site will be 1.2 DU/AC. Approximately 196.8 acres (or 35.5 percent) of the Site will be open space. This natural open space area is characterized primarily by slopes of 25 percent or greater.

Approximately 17.9 acres (or 3.2 percent) of the Site will be developed for a 4.3-acre Community Center for the residents of Greer Ranch and a 13.6-acre public Neighborhood Park. The primary circulation system makes up the balance of the Site. Table II-1 summarizes the land uses.

**TABLE II-1  
Summary of Land Uses**

Use	Approximate Gross Acreage	% of Acreage	Gross Density (DU/AC)	Estimated No. of Units	% of Units
<b>Residential</b>					
Single Family Residential (SF1-6000)	275.3	49.6	2.4	658	95.6
Estate Residential (ER-1)	57.8	10.4	0.5	30	4.4
Subtotal	333.1	60.0		688	100.0
<b>Open Space And Recreation</b>					
Open Space	196.8	35.5			
Neighborhood Park	13.6	2.5			
Community Center	4.3	0.7			
Subtotal	214.70	38.7			
<b>Circulation</b>	7.2	1.3			
<b>TOTALS</b>	555.0	100.0		688	100.0

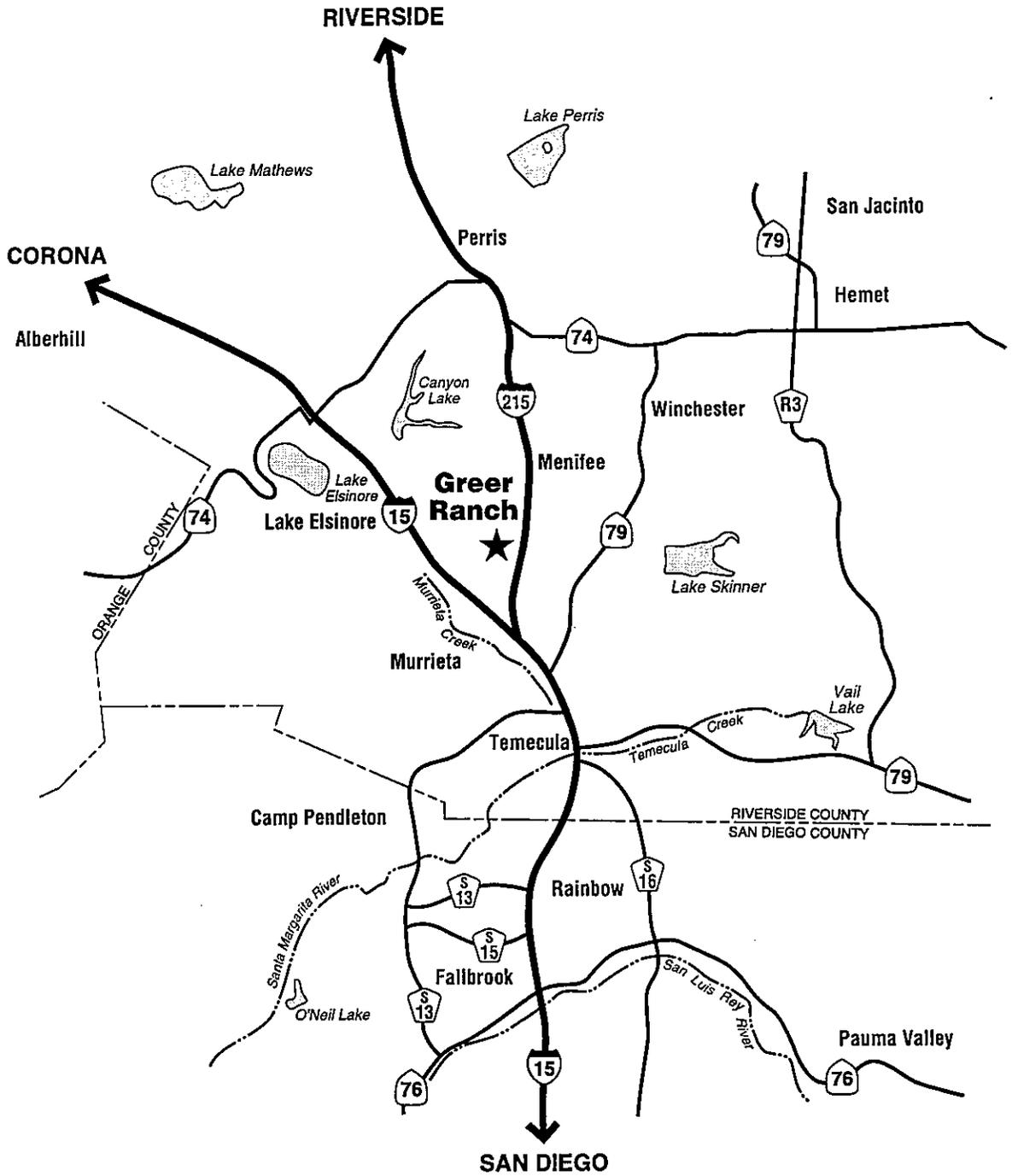
**D. STATEMENT OF SPECIFIC PLAN POLICY AND REGULATION**

This Specific Plan is a policy/regulatory document which will serve as a guide for the development of the Site and establishes development standards. This Specific Plan includes land use and zoning regulations, permitted land uses and property development standards, architectural design character and landscaping.

**E. STATEMENT OF CONSISTENCY WITH GENERAL PLAN**

This Specific Plan is consistent with and implements the Specific Plan designation (SPM2) assigned to the Site by the General Plan.





**EXHIBIT NO. 2**  
**LOCATION MAP**

FOR: **Lennar Greer Ranch Venture, LLC**

**GREER RANCH SPECIFIC PLAN**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
 ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

California Government Code Sections 65450-65456 permit the adoption and administration of specific plans as an implementation tool for the local government's general plan. Section 65451(b) of the Government Code provides that a specific plan must contain a statement of the relationship of a specific plan to the general plan. The General Plan was adopted in June, 1994 and the Land Use Element was comprehensively amended in 1999 (GPA 98-156). This 1999 amendment included specific policies for the intensity of single-family residential development on the Site.

General Plan Policies LU-1.1p and LU-1.1s specifically apply to Greer Ranch and state:

*LU-1.1p Residential unit limits shall apply to the following Specific Plans, except if the Specific Plan land uses are amended or the Specific Plan is repealed;*

- *SPM 1; Murrieta Highlands: 1,167 units*
- *SPM 2; Greer Ranch: 688 units*
- *SPM 5; Golden City: 692 units*
- *SPM 9; Copper Canyon: 898 units*
- *SPM 10; Murrieta Oaks: 600 units*
- *SP 215; The Vineyard: 1,121 units*

*LU-1.1s The area commonly referred to as Greer Ranch shall not utilize lot sizes less than 6,000 square feet as part of a Specific Plan.*

The maximum number of dwelling units (688) and the minimum lot size (6,000 square feet) permitted in this Specific Plan (see Exhibit 6) are consistent with and implement these policies in the General Plan (see Exhibit 6).

Other General Plan policies are applicable to development in Greer Ranch. This Specific Plan is consistent with and implements those applicable General Plan policies by, among other things:

- providing a balance of land uses, including single-family residential, open space, and recreational uses.
- providing a public Neighborhood Park.
- providing a range of housing compatible with the surrounding neighborhoods and the character of Murrieta.
- maintaining portions of the Site as open space, including drainage ways, areas of biological sensitivity, wildlife corridor areas and areas of steeper slopes.

- providing a roadway system with adequate capacity and design standards for access and circulation.
- providing private recreation facilities for the residents of Greer Ranch.

#### **F. RELATIONSHIP TO OTHER JURISDICTIONS**

This Specific Plan will be developed in conformance with City standards and requirements, unless otherwise specified in the District Regulations set forth in Chapter Two of this Specific Plan. Other applicable County, State and federal requirements will be adhered to in the final design and development of Greer Ranch.

#### **G. PROJECTS REQUIRED TO BE CONSISTENT WITH THIS SPECIFIC PLAN**

All land use and zoning approvals for, and development of the Site will be consistent with this Specific Plan, including all tentative tract maps, infrastructure improvements, etc.

The Site is primarily surrounded by undeveloped property. Immediately to the north of Greer Ranch is the Rose Hills property, and a Specific Plan for the development of that site is currently under review by the County of Riverside. As development plans for other adjacent properties within the City of Murrieta are submitted for processing, they will need to be coordinated with this Specific Plan.

#### **H. SEVERABILITY CLAUSE**

In the event that any regulation, condition, program, portion or policy of this Specific Plan or the application thereof to any person or circumstance is held to be invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining provisions of this Specific Plan or applications thereof which can be implemented without the invalid provision or application.

### III. SPECIFIC PLAN

#### A. INTRODUCTION

This section contains the principal elements of this Specific Plan. It is organized to provide both a project overview of the contemplated development of Greer Ranch and details on the Specific Plan components.

##### 1. Market Objectives

The overall market objective for Greer Ranch is to offer the public a wide range of residential choices within a gated, high-quality master planned community manifesting sensitivity to its natural setting.

The Murrieta area has experienced rapid growth in recent years. Regional forecasts estimate growth at seven percent annually over the next several years if present economic conditions continue. Shoppers currently active in the Murrieta marketplace come from a wide range of locations in Orange, Los Angeles, Riverside, and San Diego Counties. The Murrieta/Temecula market area has historically provided housing for first-time buyers as well as discretionary move-up consumers. There has also been some limited high-end production housing and custom home activity. The discretionary priced move-up housing market flourished from 1987 through 1989, then contracted sharply during the recession in the early 1990s, but recovered strongly in the late 1990s, mirroring the general economic improvement and the growing equities associated with renewed home price appreciation.

The majority of home buyers actively shopping the Murrieta market today are first-time buyers and first generation move-up buyers principally interested in housing priced below \$250,000. Rapid price escalations/appreciation in regions bordering the Inland Empire in general, and Murrieta specifically, will increase Murrieta's market draw for move-up home buyers. Forecasts are for an over 30 percent increase in new home sales in 2000. Home prices are expected to appreciate over 7 percent in the next few years.

In response to market studies this Specific Plan proposes a mix of residential lot sizes to capture a wide and diverse market share of first-time and move-up buyers. Lots will range from a minimum of 6000 square feet to over one acre. Many will be adjacent to open space and/or will have views of the surrounding hills and valleys. The appeal of Greer Ranch as a desirable residential "address" and a "community within a community" will be reinforced with a private Community Center and public Neighborhood Park. The Community Center will be available to all residents of Greer Ranch. Initially, the Community Center will function as the sales office for the project. As the Site is "turned-

over" to new home buyers, the Master Homeowners Association will assume responsibility for the Community Center's operation. A coordinated design package will express the characteristics of Greer Ranch, including architecture, landscaping, streetscapes walls and fences, circulation systems and signage.

The landforms within Greer Ranch dictate a limited area for residential development. For Greer Ranch to be both high quality and, economically viable, this Specific Plan focuses on the careful, efficient design of the developable areas while preserving those areas unsuited to development. By its nature, the Specific Plan process provides the context and the opportunity to plan and develop a variety of uses appropriate to the Greer Ranch environment and the market.

## **2. Plan Methodology**

The development of Greer Ranch has been planned with recognition and appreciation of the natural environment. The goal is to design a community in harmony with its natural environment.

Two sequestered valleys are surrounded by three northeast to southwest trending ridgelines. There is also a highlands area in the northwest portion of the Site. The elevations on the site range from 1,560 to 2,160 feet above mean sea level (see Exhibit 3). From the upper reaches of the hillsides there are dramatic distant views to the west, south and southeast. Internal views from the valleys in Greer Ranch convey a comfortable feeling of seclusion.

Because the natural values of Greer Ranch are a major asset for the contemplated residential community, the planning effort is based on working with, and taking advantage of, the Site's natural conditions.

The planning team for Greer Ranch has conducted a careful assessment of environmental factors, including ground slope, soils and geologic conditions, biological resources, hydrology, paleontological and archaeological resources. Based on the results of this assessment and projected market requirements for different types and numbers of dwellings, the planners have created a land use distribution which assigns various environmentally appropriate uses to different sectors of Greer Ranch. These uses include open space, public and private recreation, and residential development ranging from 6,000 square foot lots for single-family homes to custom home lots in excess of one acre.

A computer-generated slope analysis was performed early in the planning process to determine and establish feasible development areas. A little more than 55 percent of the site proved to be developable with slopes generally under 25 percent (see Exhibit 4).

Certain drainage features will be retained and incorporated as part of the open space. Where natural features are modified, care will be taken to integrate them with the natural environment. A desire to complement the natural environment will be extended to all man-made structures, architecture, landscaping, entry statements, streetscape, community walls and fences and other thematic elements, as well as infrastructure construction such as drainage structures, bridges and roads (see Exhibit 5).

The land uses for the Site have been carefully arranged to provide a sense of quality for the residents by preserving portions of the natural environment. The least dense areas are in the steeper areas of the Site and the most dense are in the flatter areas. For example, the minimum one-acre lots are proposed for areas identified with slopes that often exceed 25 percent. This low density use will result in the least disturbance to the steeper portions of the Site. The smaller lots have been clustered on the flatter portions of the Site in areas with primarily 0 to 15 percent slopes. The following sections describe the individual land use areas and neighborhoods within Greer Ranch.

**B. DEVELOPMENT PLANS**

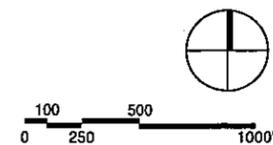
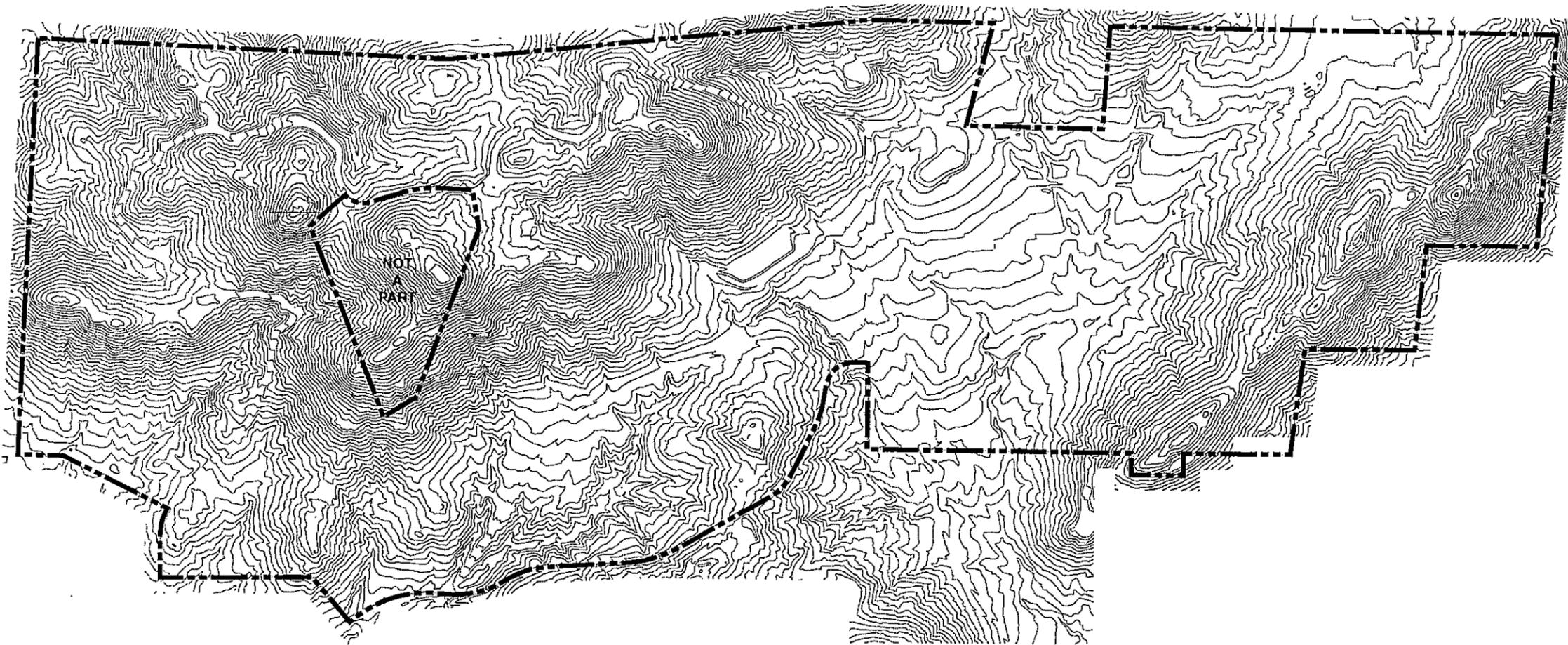
**1. Overview**

This Specific Plan describes a residential master planned community responsive to market and development trends in and around the City. The Land Use Plan (see Exhibit 6) and the following table summarize the land uses:

**Table III-1  
Land Use Summary**

<b>Use</b>	<b>Approximate Gross Acreage</b>	<b>% of Site</b>
Open Space	196.8	35.5
Public Neighborhood Park	13.6	2.5
Residential	333.1	60.0
Community Center	4.3	0.7
Circulation	7.2	1.3
<b>TOTAL</b>	<b>555.0</b>	<b>100%</b>

By utilizing the Specific Plan process, Greer Ranch will be developed with appropriate levels of infrastructure in a comprehensive manner consistent with the Site's natural values.



# ***GREER RANCH SPECIFIC PLAN***

## **EXHIBIT NO. 3 TOPOGRAPHIC MAP**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers



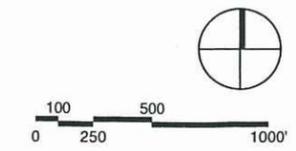
**LEGEND**

-  0% - 15% SLOPE
-  15% - 25% SLOPE
-  25% SLOPE
-  50% SLOPE

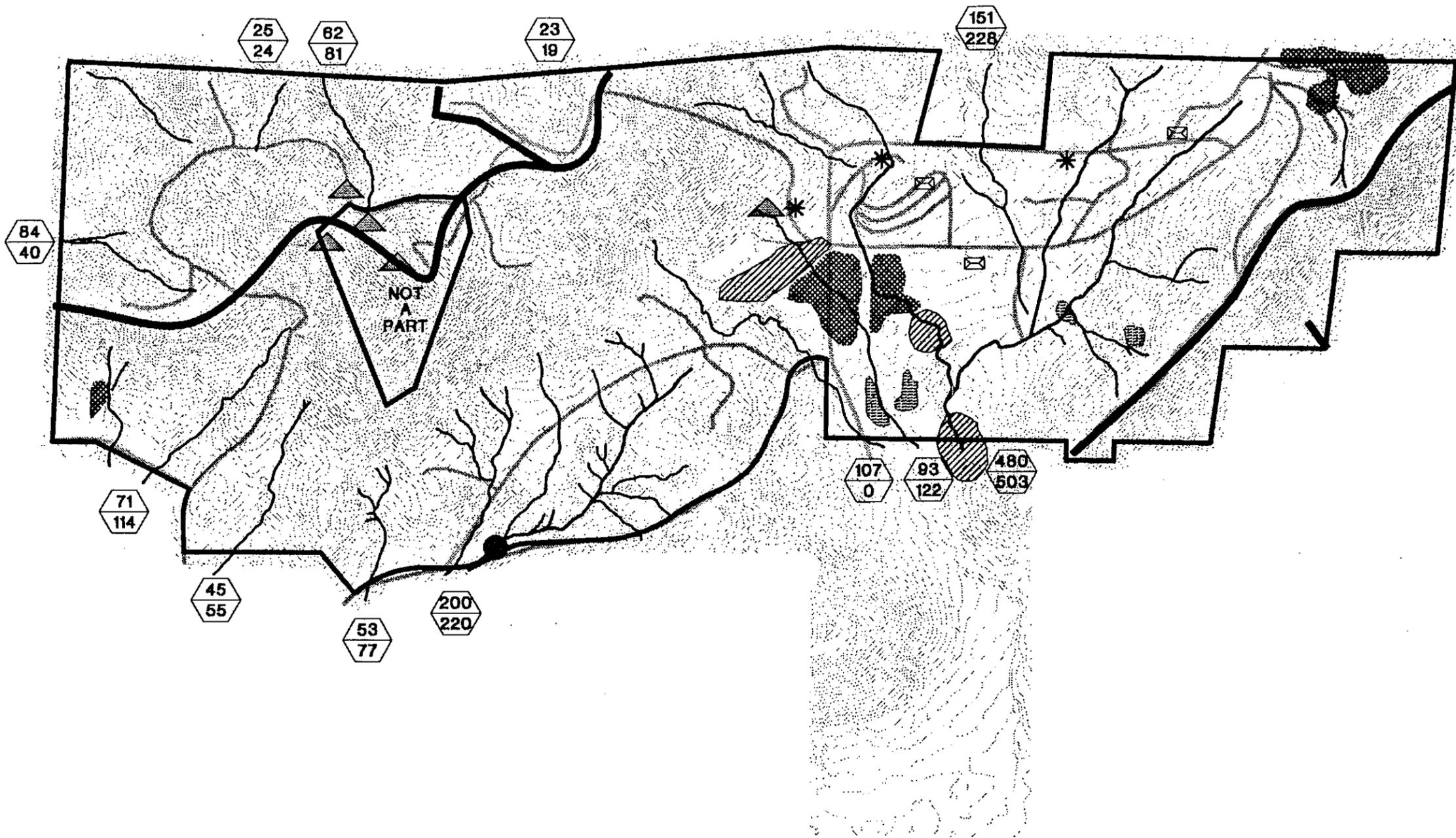
**EXHIBIT NO. 4  
SLOPE ANALYSIS**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers



**GREER RANCH SPECIFIC PLAN**



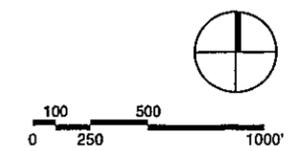
**LEGEND**

- MAIN DRAINAGE WAYS GREATER THAN 100CFS
- EXISTING STORM FLOWS IN CUBIC FEET PER SECOND
- DRAINAGE BOUNDARY
- TRIBUTARY DRAINAGE WAYS
- INTERMITTENT SPRINGS
- EXISTING ROADWAYS
- POTENTIAL S.K.R. HABITAT
- OAK TREES
- MULEFAT SCRUB HABITAT
- MINING PROSPECT
- EXISTING RESIDENCE
- POTENTIAL ARCHAEOLOGICAL SITE

**EXHIBIT NO. 5  
ENVIRONMENTAL  
RESOURCES MAP**

FOR: Lennar Greer Ranch Venture, LLC

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers



**GREER RANCH SPECIFIC PLAN**

Greer Ranch offers a diverse, high quality living environment. This Specific Plan provides and recognizes open space as an amenity, which helps preserve the special qualities of the hills and valleys.

Major areas characterized by steeper slopes, 25 percent or greater, will be retained as open space. Development within or abutting more steeply sloped areas will have strict criteria in regards to grading transitions, landscaping transitions and other development standards. Portions of the Estate Residential District (Planning Areas 6 and 7) occur within areas characterized by steeper slopes. To minimize the impact on the natural topography, this Specific Plan establishes standards for the development of individual lots in these Planning Areas.

A cohesive integrated project identity will be created through architecture, color and materials, landscaping, signage, entry features and community walls and fences.

## **2. Residential Land Use Plan**

The residential land uses within Greer Ranch will provide a variety of housing opportunities. The residential component reflects a mix of single-family residential and estate residential uses. Overall there will be 688 residential units with an average density of 1.2 DU/AC. Since the natural setting is an important amenity in Greer Ranch, a large portion of the lots are proposed to be view lots with internal views of Greer Ranch and/or views of the surrounding valleys and mountains.

Important to the success of any community are gathering spots. A private Community Center for the residents will be located in the approximate geographical center of the Site (Planning Area 8). The Community Center may include tennis courts, a swimming pool, meeting rooms and other accommodations appealing to the common interests of the community. A public Neighborhood Park will be developed in Planning Area 9 and may include ballfields, soccer fields and other active and passive recreational facilities.

### **a. General Residential Characteristics Summary**

- Greer Ranch will be developed with a maximum of 688 units and a minimum lot size of 6,000 square feet.
- Final development densities in each Planning Area will be determined through the tentative tract map process.
- Single-family subdivisions will be marketed to merchant builders and custom home builders subject to the design review provisions of this Specific Plan (see Chapter

One, Section IV, Implementation and Chapter Three, Section II, Design Review Process).

**b. Estate Residential (ER-1) Plan and Design Criteria**

**Residential Plan**

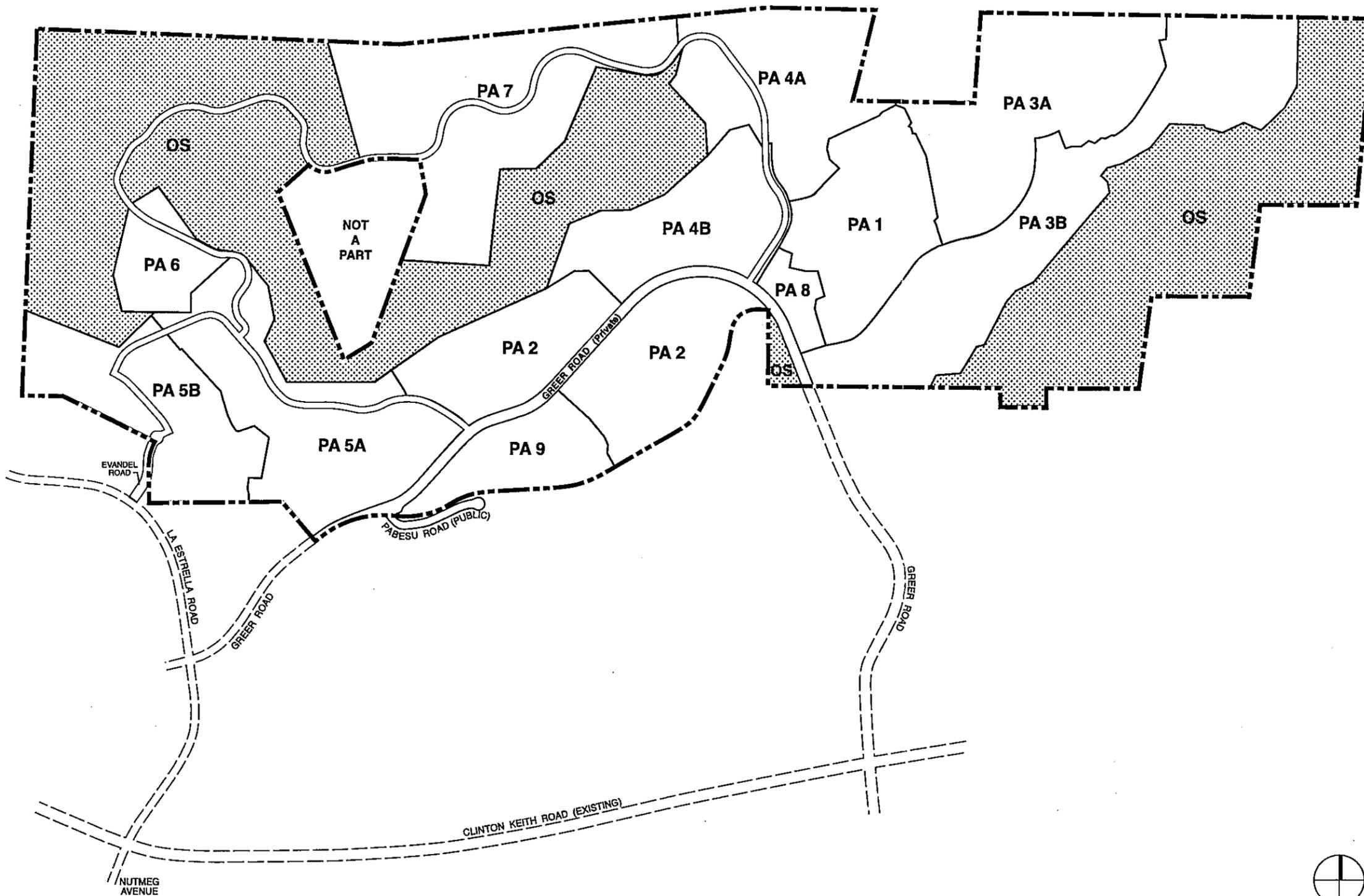
Estate Residential uses will be located in Planning Areas 6 and 7 in the northwest portion of the Site (see Exhibit 6). These Planning Areas will include approximately 30 dwelling units on 57.8 acres with a gross density of 0.5 DU/AC. The Estate Residential land use category represents 4.4 percent of the total dwelling units, and 10.4 percent of the total Site. The minimum lot size will be one acre. It is anticipated that this area will be marketed for custom residence construction.

In Planning Areas 6 and 7, emphasis will be on development which is designed to harmonize and blend with the environment. Major drainages will be left largely natural and unimpeded. Landscaping will be integrated with the natural area through the use of indigenous and carefully selected non-indigenous plants. Where pads are constructed, site grading beyond the building pad will be contoured to natural appearing landforms and re-vegetated. Finally, the goal for the residential architecture will be to harmonize with and complement the natural setting rather than contrast sharply with it.

Access to this area will be by a Mountain Local Road (see Exhibit 6 and 8), which will replace and improve the existing dirt road. Trails may meander through portions of this area and tie into the existing local and regional trail system.

**Residential Design Criteria:**

- The Estate Residential uses will be developed as depicted in Exhibits 23 and 24.
- The uses will consist of larger (one-acre minimum) lots with increased setbacks, limited grading, and other hillside development design criteria as outlined in Chapter Two, District Regulations, Chapter Three, Community Design Manual and the Conceptual Grading Plan(see Exhibit 11) and design criteria.
- The Master Developer may establish a Master Developer controlled Design Review Committee to oversee development of the Estate Residential use areas.



# GREER RANCH SPECIFIC PLAN



NOTE: THIS DRAWING IS CONCEPTUAL ONLY AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

## LEGEND

SPECIFIC PLAN DISTRICT	PLANNING AREA NO.	MINIMUM PERMITTED LOT SIZE	TOTAL NO. OF PLANNING AREA ACRES*	PLANNING AREA OPEN SPACE ACRES*	DEVELOPED ACRES*	% OF SITE ACREAGE	GROSS DWELLING UNITS PER ACRE	ESTIMATED NO. OF UNITS	% OF TOTAL UNITS
<b>RESIDENTIAL</b>									
SINGLE FAMILY RESIDENTIAL (SF1 - 6000)	1	6000 sf	25.5	0.5	25.0	4.5	3.8	97	13.8
	2	6000 sf	42.2	6.2	36.0	7.6	2.6	111	16.1
	3A	6000 sf	38.0	7.5	30.5	6.9	2.3	86	12.5
	3B	6000 sf	49.7	8.0	41.7	9.0	2.8	139	20.2
	4A	6000 sf	30.1	13.6	16.5	5.4	1.3	40	5.8
	4B	6000 sf	24.3	4.0	20.3	4.4	1.7	42	6.1
	5A	6000 sf	38.1	9.0	29.1	6.9	1.9	72	10.4
	5B	6000 sf	27.4	7.5	19.9	4.9	2.6	71	10.3
ESTATE RESIDENTIAL (ER-1)	6	1 acre	10.0	0	10.0	1.8	0.6	6	0.9
	7	1 acre	47.8	0	47.8	8.6	0.5	24	4.0
<b>SUBTOTAL</b>			333.1	56.3	276.8	60.0		688	100.0
<b>OPEN SPACE</b>									
COMMUNITY CENTER (OS-AR)	8	-	4.3	1.0		0.7			
NEIGHBORHOOD PARK (OS-AR)	9	-	13.6	3.5		2.5			
OPEN SPACE (OS-NR)			196.8			35.5			
CIRCULATION			7.2			1.3			
<b>TOTALS</b>			555.0	60.8	276.8	100.0		688	100.0

\* ACREAGES ARE APPROXIMATE

## EXHIBIT NO. 6 LAND USE PLAN

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

### **c. Single-Family Residential (SF1-6000) Plan and Design Criteria**

#### **Residential Plan**

The Single-Family Residential uses will be located in Planning Areas 1 - 5. A total of approximately 658 units will be provided on 275.3 acres, with a gross density of 2.4 DU/AC and a minimum lot size of 6,000 square feet. The Single-Family Residential land use category represents 95.6 percent of the Specific Plan total unit count and 49.6 percent of the Site.

The Single-Family Residential use in Planning Areas 1 - 5 represents the primary residential use component of this Specific Plan. These Planning Areas are anticipated to be developed as conventional single-family detached residences with a minimum lot size of 6,000 square feet. Distributed through these Planning Areas are corridors and pockets of open space. It is anticipated that residences within these Planning Areas will appeal to both the "first-time" and the "move-up" housing markets.

Approximately 13.6 acres located along Pabesu Road in the southwesterly portion of the Site will be developed as a public Neighborhood Park. This park may include active play areas and passive areas.

Drainage courses north and northeast of Greer Road have been retained as open space and accommodate a trail alignment. A large number of lots are adjacent to open space areas or will be "view lots" with internal views of Greer Ranch or of distant vistas.

#### **Residential Design Criteria:**

- The Single-Family Residential (SF1-6000) areas will be developed as depicted in Exhibits 18-22.
- The Single-Family Residential (SF1-6000) areas will consist of single-family residential homes on minimum 6,000 square foot lots. Development standards and design criteria are outlined in Chapter Two, District Regulations, and Chapter Three, Community Design Manual.

### **3. Open Space and Recreation Plan**

Three categories of open space and recreation area are proposed for Greer Ranch: "Open Space," "Neighborhood Park" and "Community Center." These three categories consist of 214.7 acres or approximately 38.7 percent of the total site (see Exhibit 7).

The intent is to set aside areas to preserve natural terrain or for recreational functions. Specifically, these areas are intended to:

- Preserve significant natural features and open spaces, such as major rock outcrops and boulder fields, major ridges and peaks, steeper hillsides, prime drainage habitats, wildlife corridors, and indigenous vegetation.
- Preserve the character of the natural environment and provide opportunities for hiking, bicycling and jogging.
- Develop areas for organized active and passive recreational activities for the benefit of Greer Ranch residents and the surrounding community.

#### **Open Space and Recreation Design Features**

##### **a. Open Space**

The "Open Space" component will consist of approximately 196.8 acres (or 35.5 percent) of the Site and is characterized primarily by land with slopes greater than 25 percent. A portion of the open space area may be used for fuel modification, fire safety and drainage detention basin purposes. While open space will remain generally undeveloped, portions of the open space may be improved with hiking trails for resident enjoyment of the vistas afforded from the peaks and slopes, and of the natural features of the Site.

##### **b. Public Neighborhood Park**

The public Neighborhood Park (Planning Area 9) consists of approximately 13.6 gross acres adjacent to Pabesu and Greer Roads and Planning Area 2. Public access will be provided via Pabesu Road, outside of the gated Greer Ranch community entry. The public Neighborhood Park will include approximately 6.0 net usable acres for recreational use. The full useable pad area can accommodate ball fields with soccer overlays, in addition to a possible tot lot, open play turf areas, and passive picnicking sites. The westerly portion of Planning Area 9 will be designed to provide runoff detention as necessary in response to significant storm events and downstream protection needs.

The remaining gross park acreage is comprised of the perimeter slopes required to create the site and provide grades and access compatible with the surrounding residential neighborhoods and street system. The open space system will connect with the Neighborhood Park and enhance the recreational setting and functions of this important community gathering spot.

The public Neighborhood Park will be improved by the developer and dedicated to the City in accordance with the requirements of the Murrieta Parks and Recreation Department and in lieu of an equivalent amount of park impact fees. The park will be designed and developed in accordance with the Parks and Recreation Department's standards. A concept plan for the park is depicted in Exhibit 26. Specific uses, facilities and design details will be developed with input from the Parks and Recreation Department at the subdivision mapping stage.

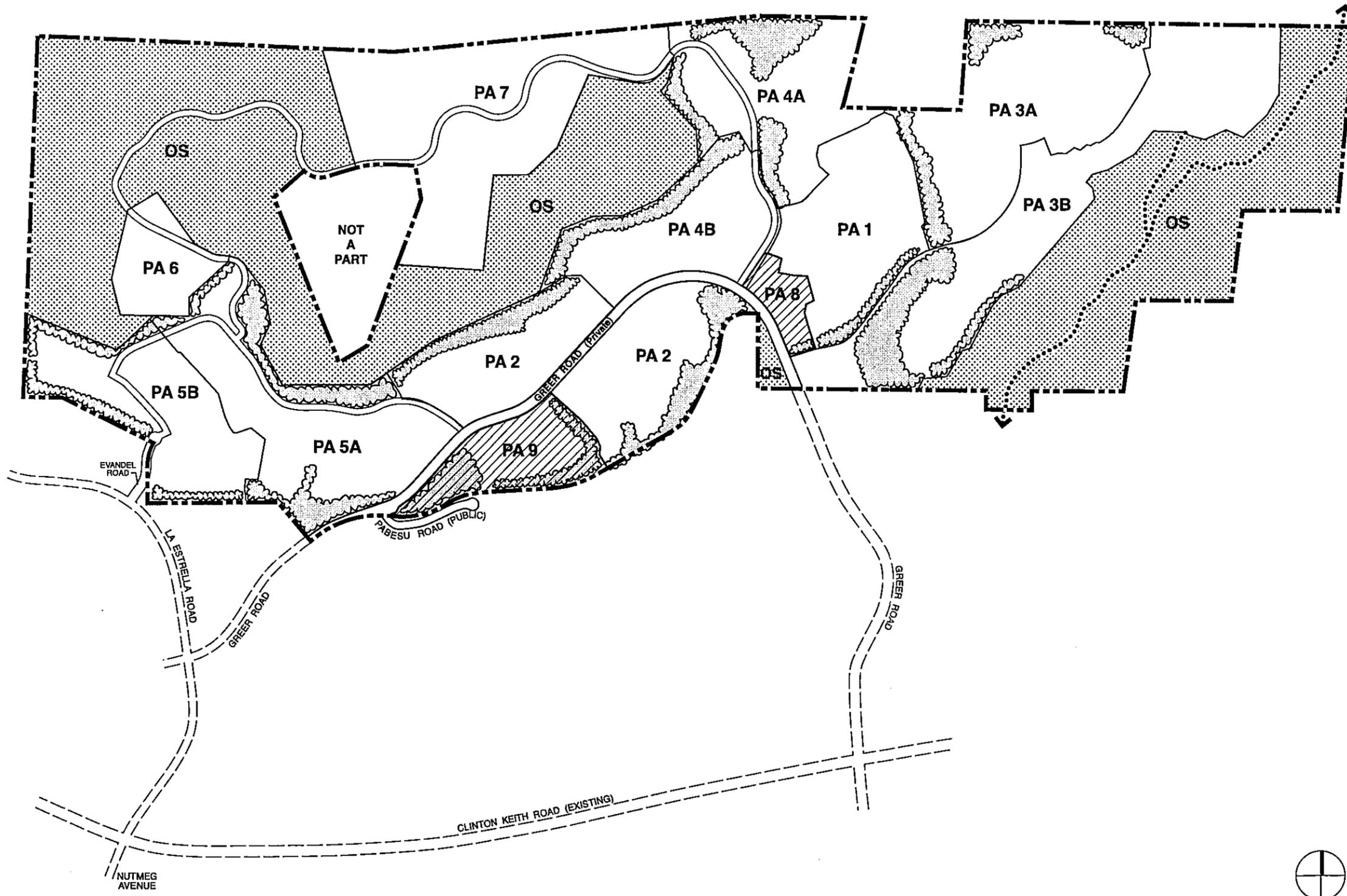
**c. Community Center**

The private Community Center (Planning Area 8) consists of 4.3 gross acres (see Exhibit 25). Situated near the center of Greer Ranch and close to the main entry, the Community Center is envisioned as a meeting and socializing spot for Greer Ranch residents and guests. Tennis courts, a swimming pool and other accommodations may be constructed for the use of Greer Ranch residents. The facility may initially be used as the sales center for the community and then turned over to the Master Homeowners Association for management of the facilities.

**d. Open Space Management and Maintenance Programs**

The managed open space and recreation areas, including the public Neighborhood Park, private Community Center, and development/open space interface, will receive appropriate levels of maintenance. These areas will be maintained by a professional landscape maintenance company hired either through the Master Homeowners Association, or by the Murrieta Parks and Recreation Department Community Services District. The public Neighborhood Park will be maintained by the City. The Community Center facilities will be maintained by the Master Homeowners Association. Other open space, both managed and natural, will be maintained either by the Master Homeowners Association or by the City through a zone of benefit/maintenance assessment program.

Expected to be owned and controlled by the Master Homeowners Association, the natural open space areas will be left undisturbed with minimal maintenance. Restrictions on the use of these areas, including preserved hillsides and drainageways, and measures to protect the natural values (e.g., against dumping, removal of vegetation, etc.) will be set forth in the CC&Rs. A homeowner education program involving signage, notifications, precautionary literature and other informative practices will also be provided to help ensure the protection of community open space and the long-term survival of biological habitats and other natural features.



**LEGEND**

-  OPEN SPACE (OS-NR DISTRICT)
-  RECREATION (OS-AR DISTRICT)
-  REGIONAL TRAILS
-  PRIMARY OPEN SPACE WITHIN DEVELOPMENT AREAS

**EXHIBIT NO. 7  
OPEN SPACE AND  
RECREATION PLAN**

FOR: **Lennar Greer Ranch Venture, LLC**

**BRYAN MENNE & ASSOCIATES** ■ Land Planning  
**ROBERT BEIN, WILLIAM FROST & ASSOCIATES** ■ Civil Engineers



NOTE: THIS DRAWING IS CONCEPTUAL ONLY, AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

**GREER RANCH SPECIFIC PLAN**

#### 4. Circulation Plan

In connection with the development of Greer Ranch, on-site and off-site roadway improvements will be required (see Exhibit 8). Off-site improvements required in connection with other residential projects in the area include the construction of Greer Road (West), La Estrella Road and Evandel Road (see Exhibit 8), which will be located southwest of the Site within approved Tentative Tract Map Nos. 24274 and 25273. La Estrella Road, Evandel Road and the off-site extension of Greer Road (southwesterly) may be constructed by the Master Developer, with appropriate reimbursement agreements, if access to Greer Ranch from this area is required prior to development of the adjoining tracts. A partial section of the southeasterly off-site extension of Greer Road to Clinton Keith Road (off-site) will be constructed by the Master Developer.

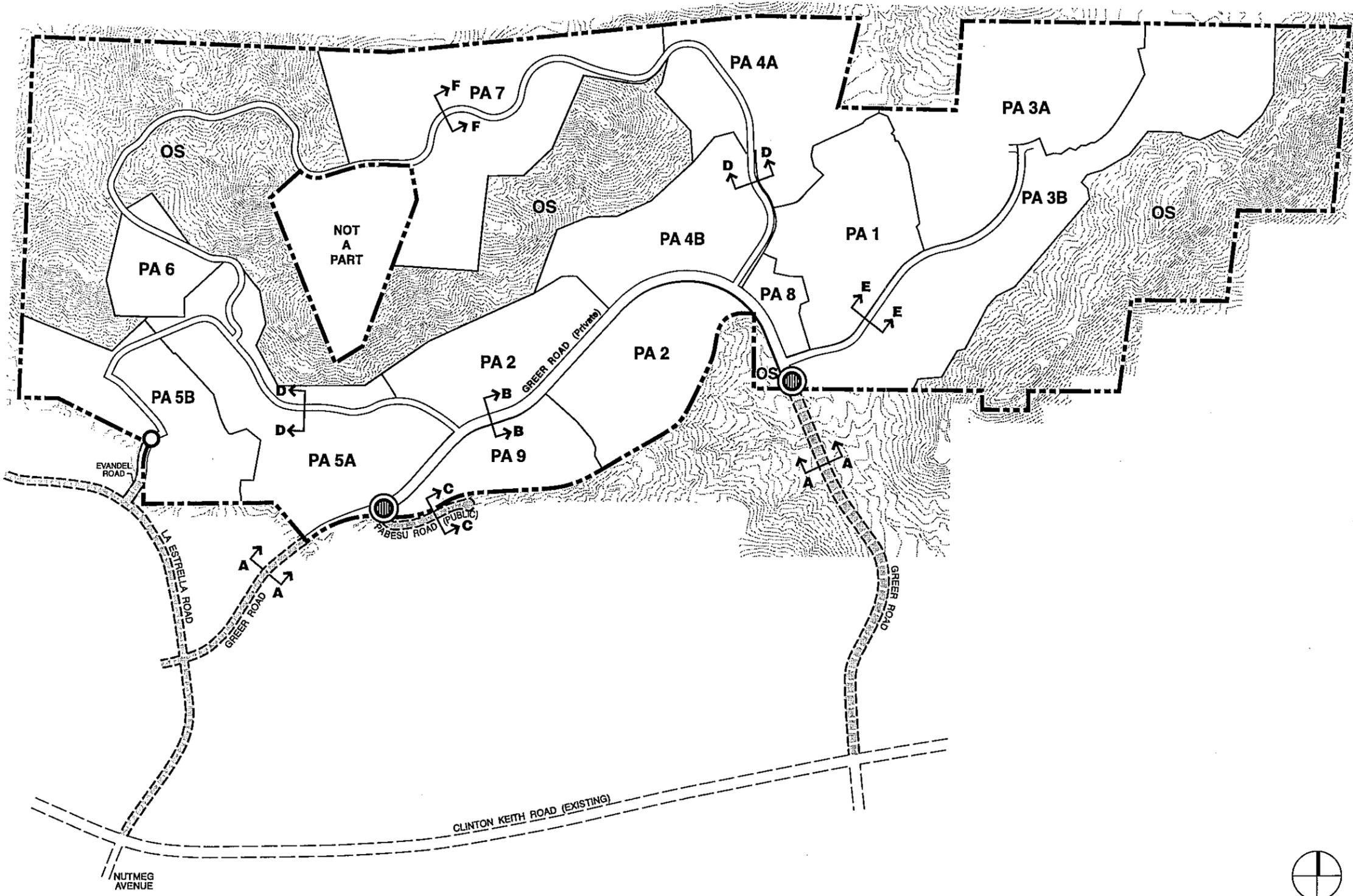
The developers of Greer Ranch are expected to participate on a fair-share basis in the cost of the improvement of off-site intersections needed to meet the General Plan level of service standards for future cumulative development. Participation in the cost of these improvements will occur through the payment of fair-share fees, reimbursement programs or other financing mechanisms as determined by the City.

##### Circulation Plan

Primary access to Greer Ranch will be through two gated entries on Greer Road. Secondary gated access will be provided off La Estrella Road via Evandel Road. The Greer Ranch circulation system will be developed as private streets.

##### Roadway Design Criteria:

- The street cross-sections for Greer Ranch are illustrated on Exhibit 9.
- The design criteria utilized for public improvements will be for a "mountainous" condition.
- The maximum gradients for Private Local Roads shall be 15 percent where required by topographic constraints. A minimum centerline radius of 150 feet shall be permitted where necessary due to topographic constraints. This is based upon the City "Standard No. 116 Mountainous Standard" (minimum radius 150 feet, design speed of 25 mph).



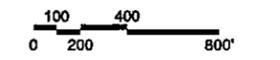
### LEGEND

- PA 2 PLANNING AREAS
-  SEE EXHIBIT NO. 9 FOR TYPICAL SECTIONS
-  OFFSITE ROADS
-  PRIVATE ROADS
-  PRIMARY GATED ENTRY
-  SECONDARY GATED COMMUNITY ENTRY

### EXHIBIT NO. 8 CIRCULATION PLAN

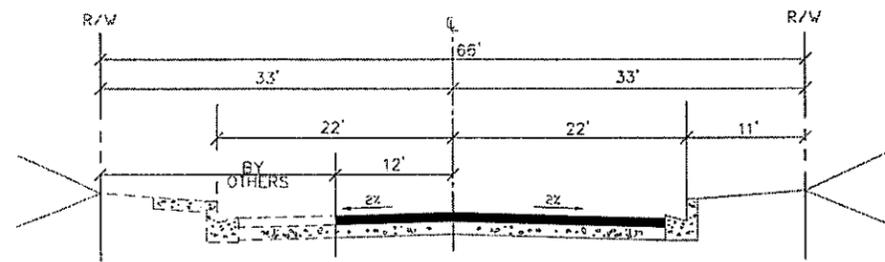
FOR: Lennar Greer Ranch Venture, LLC

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

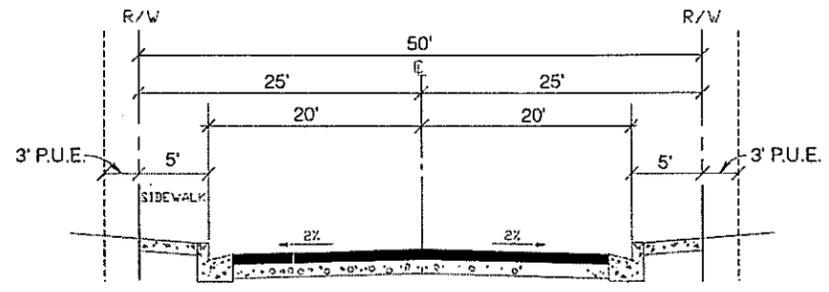


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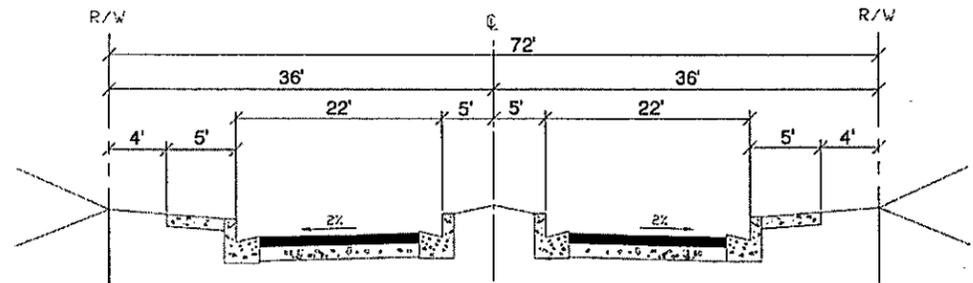
# GREER RANCH SPECIFIC PLAN



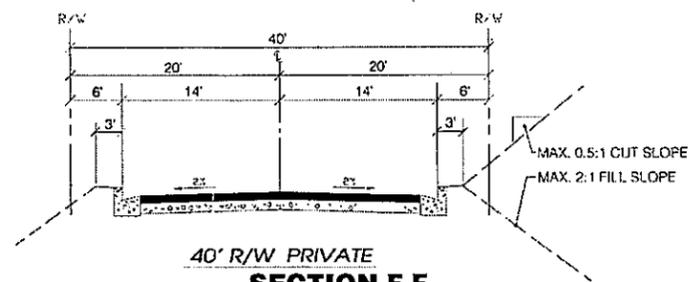
**SECTION A-A**  
66' R/W PUBLIC (Std. 105) • GREER ROAD (OFFSITE)  
N.T.S.



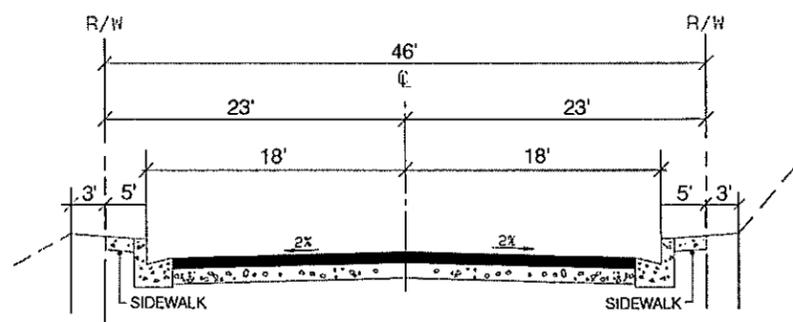
**SECTION E-E**  
50' R/W PRIVATE  
N.T.S.



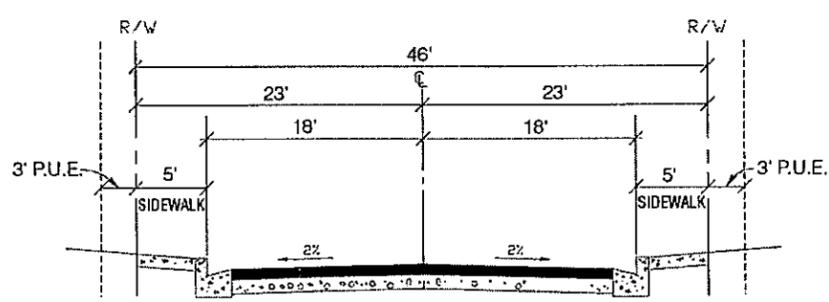
**SECTION B-B**  
72' R/W PRIVATE • GREER ROAD (ONSITE PRIVATE)  
N.T.S.



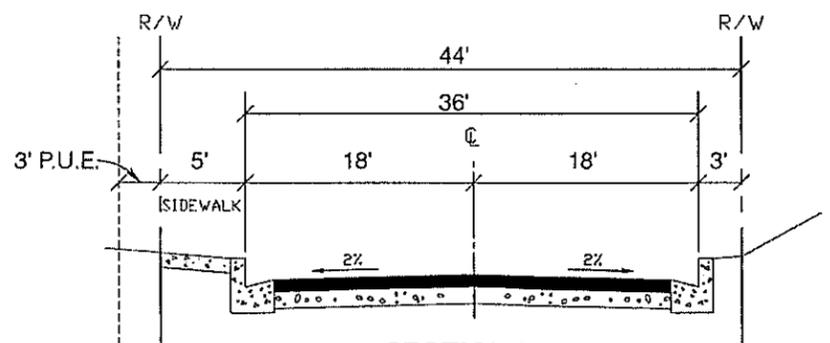
**SECTION F-F**  
40' R/W PRIVATE • MOUNTAIN LOCAL  
N.T.S.



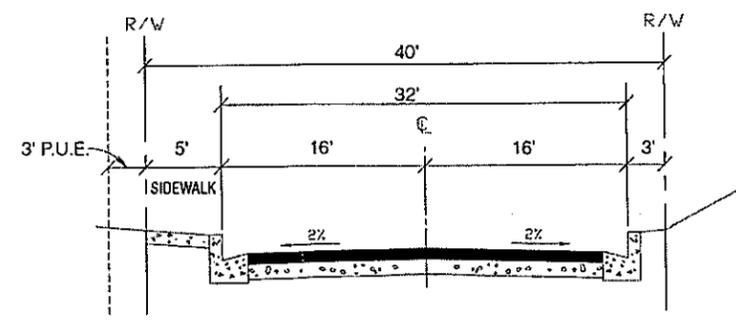
**SECTION C-C**  
46' R/W PUBLIC (STD. 107) • PABESU ROAD / PARK ACCESS  
N.T.S.



**SECTION G-G**  
46' R/W PRIVATE • TYPICAL DOUBLE-LOADED CUL-DE-SAC  
(INTERNAL ROAD - NOT SHOWN ON EXHIBIT 8)  
N.T.S.



**SECTION D-D**  
44' R/W PRIVATE  
N.T.S.



**SECTION H-H**  
40' R/W PRIVATE • TYPICAL SINGLE-LOADED CUL-DE-SAC  
(INTERNAL ROAD - NOT SHOWN ON EXHIBIT 8)  
N.T.S.

**EXHIBIT NO. 9  
STREET CROSS SECTIONS**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

Parking will be only allowed on one side of the Mountain Local Road. Appropriate safety measures will be implemented as needed.

- Future bus stop locations and turnouts may be provided outside of Greer Ranch by, and based on consultation with, the local public transit agency.
- Class III bike lanes will be provided in the right-of-way of Greer Road. These lanes will tie into the pedestrian and bike paths which will connect the various neighborhoods.
- Residential neighborhoods will be designed to minimize through traffic and bypass routes.

#### **5. Conceptual Storm Drain Plan**

Greer Ranch is located in the upper Murrieta Creek watershed. The majority of the site drains in a south-southwesterly direction to eventually reach master plan lines "D" and "F" below Interstate 15. Although flood control planning is currently underway, the lower portions of the watershed are generally lacking in improvements and localized flooding occurs in the vicinity of Murrieta Creek during heavy storms.

##### **Storm Drainage Plan**

Drainage sub-systems will be designed for each hydrologic subarea on the Site (see Exhibit 10). Each subsystem will discharge at its natural point of discharge from the Site. The sub-systems will collect runoff from streets, parking lots and other areas and transport it to discharge at the property line. Where downstream impacts need to be mitigated, detention facilities will be provided. The objectives of the Conceptual Storm Drain Plan are summarized as follows:

- Collect and control storm runoff so that residences are protected from flooding in accordance with Riverside County Flood Control District and City of Murrieta requirements.
- Mitigate peak flood runoff so that off-site post-development flow rates do not exceed off-site pre-development flow rates
- Mitigate runoff so that water quality is acceptable for discharge downstream.

**Storm Drainage Design Criteria:**

The Conceptual Storm Drain Plan is illustrated on Exhibit 10. The following storm water management systems will be utilized as Greer Ranch is developed:

- **Urban Street and Storm Drains**

These facilities will consist of catch basins and other drainage inlets from streets, parking lots and landscaped areas, underground storm drains, outlets, energy dissipaters, etc. These facilities will collect and transport runoff to a safe point of discharge.

- **Natural Watercourses**

Where velocities and flow rates are such that channel capacity is sufficient and resistance to erosion within acceptable limits, existing stream courses or washes may be utilized.

- **Grassy Swales and Rock-lined Channels**

In areas where a natural appearance is desired, grassy swales and rock-lined channels may be utilized. Grassy swales will be engineered to assure adequate capacity and velocity of flow without erosion. Rock-lined channels may be used where energy dissipation is needed or infiltration of water into the soil is desired.

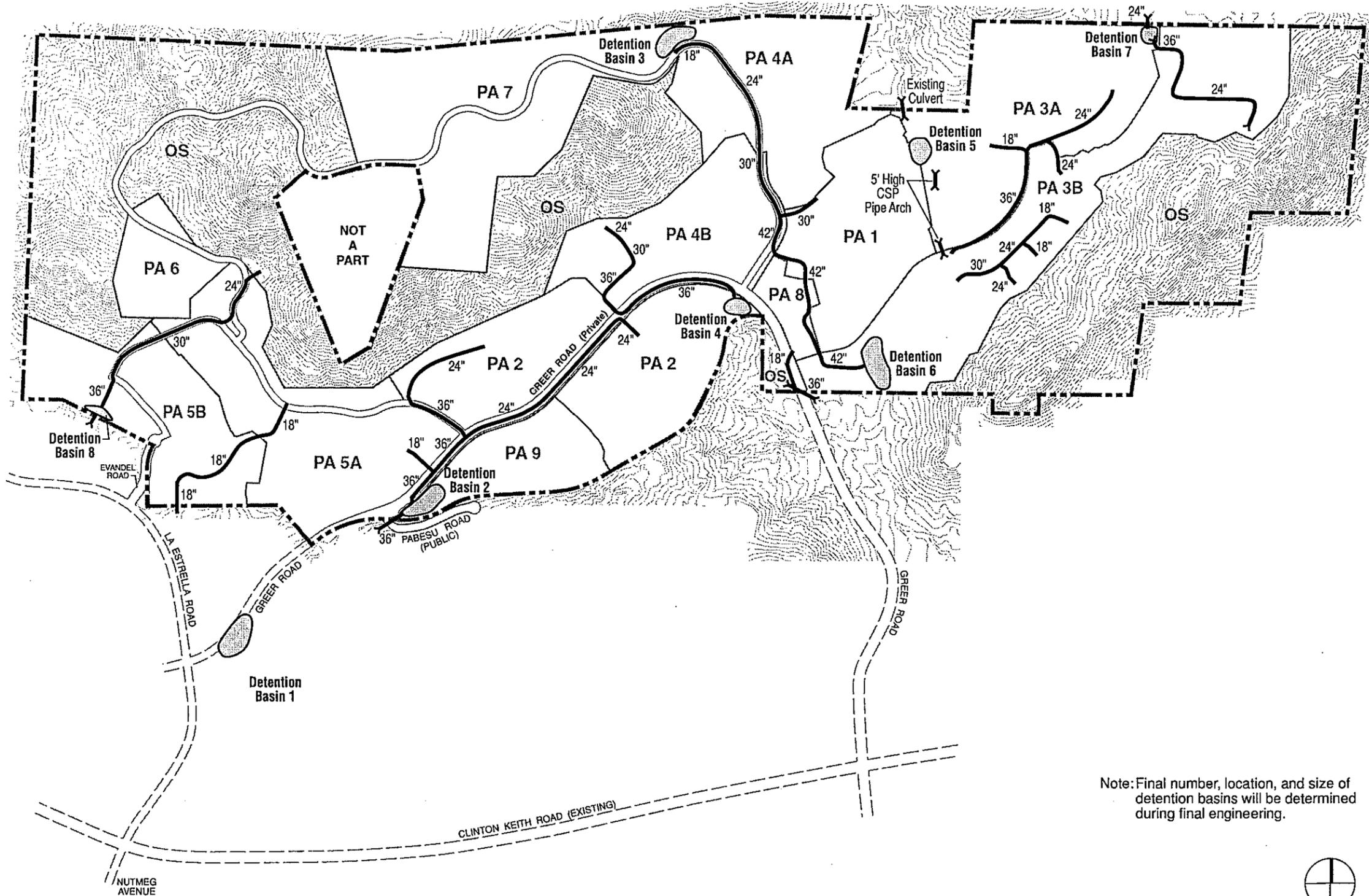
- **Detention Basins**

Detention basins will be used to maintain or reduce post-development storm flow rates from the Site to at or below current levels. The locations of these basins are shown on Exhibit 10. Collectively, the detention concepts included in the Greer Ranch storm drain system will reduce current downstream flows in a 100-year storm by as much as 15 percent.

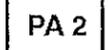
**Additional Design Criteria:**

The Greer Ranch drainage system will be designed in accordance with City and County flood control standards.

- Open space areas with natural drainage systems may be used for storm drainage. Special care will be taken to assure that the watercourse has the capacity for the design flow and that the watercourse will effectively resist erosion. Flow control measures such as energy dissipaters will be designed to appear as natural elements in the landscape.



**LEGEND**

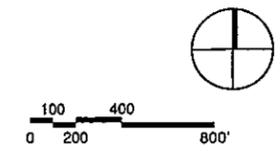
-  REINFORCED CONCRETE PIPE
-  DETENTION BASIN
-  PLANNING AREAS

Note: Final number, location, and size of detention basins will be determined during final engineering.

**EXHIBIT NO. 10  
CONCEPTUAL  
STORM DRAIN PLAN**

FOR: Lennar Greer Ranch Venture, LLC

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers



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**GREER RANCH SPECIFIC PLAN**

- Grassy swales and rock-lined channels may be used in open space areas where natural drainage courses need to be altered because of adjacent grading. Drainage channels will be designed to blend with the landscape.
- Storm drain outlets will be equipped with protection barriers to prevent entry children. Storm drain inlets will be designed to prevent trash from entering the drain.
- Drainage facilities on private property will be maintained by the Homeowners Association. Facilities in public rights-of-way will be maintained by the City.

## 6. Grading Concept Plan

### Grading Concept Plan

Greer Ranch will be developed utilizing mass grading techniques except in the Estate Residential areas. The goals of the Grading Concept Plan ( set forth in Exhibits 11 - 13) are (1) to respond sensitively to the Site's hillside setting and (2) to create a balanced grading plan resulting in no import or export of graded materials and minimal off-site impact. Grading will occur within the boundaries of the Site except for grading necessary to accommodate public facilities such as the Pabesu Road alignment along the southerly boundary of the Site and improvements to Greer Road. The Grading Concept Plan will result in the balanced movement of approximately 2.5 million cubic yards of dirt.

Mass grading will provide pads that are suitable for the construction of homes, recreation sites, roadways and other infrastructure systems. Wherever practicable, steeper slopes will remain ungraded, including the hillsides along the easterly boundary and across the northwest areas of the Site. Mass grading will involve conventional cut and fill techniques and the use of the following specialized treatments to transition to, and soften the effects on, the natural topography and to reduce visual impacts:

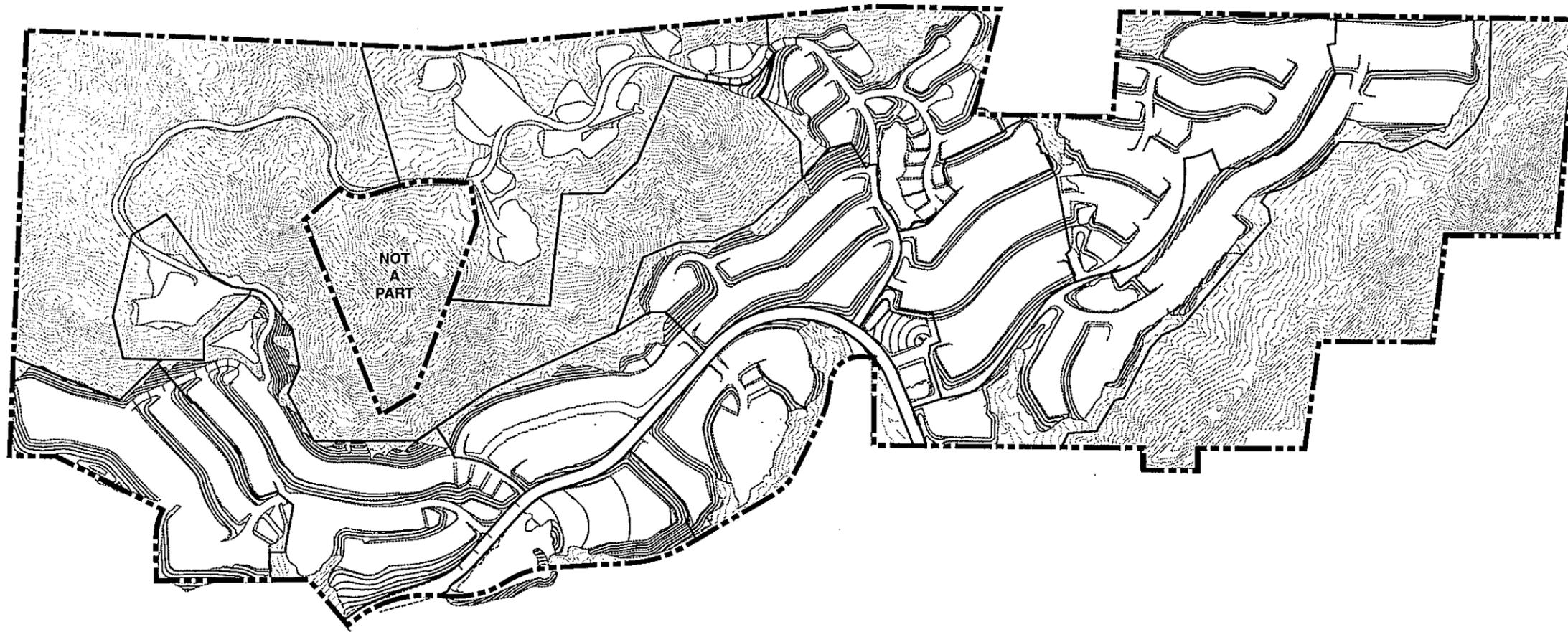
- Landform grading will be used where permitted by slope conditions at the visible transitional areas between development and open space (see examples in Exhibit 12). The intent is to vary the horizontal lengths and vertical heights of constructed slopes and to blend manufactured slopes into natural ungraded terrain to reduce visual impacts and produce a more natural appearance, as indicated by the examples shown on Exhibit 12. Appropriate plantings will restore the natural look of new slopes. Landform grading will not be used in areas where it would increase manufactured slope height.

- Innovative design and construction of residences where mass grading areas abut open space. Techniques which may be utilized include stepped pads, integration of retaining walls with the residences and similar measures.

The Estate Residential use areas (Planning Areas 6 and 7) are characterized by more steeply-sloped, visible hillsides, particularly in the northwest portions of the Site. Limited pad grading and other minimal grading techniques, in addition to landform grading, will be stressed in the design of development within these areas (see Exhibit 12). A key factor affecting the grading here is access, which is provided with a modified "Mountain Local" road designed to minimize grading and reduce landform impacts.

**Additional Grading Design Criteria:**

- Cut and fill graded areas shall be landscaped immediately following completion of construction.
- Lot grading will be kept to the minimum required for reasonable use of the Site consistent with this Specific Plan. No change in natural or existing drainage patterns will be made that adversely affect adjacent property owners.
- Any cut and/or fill slopes exceeding 10 feet in vertical height may be modified utilizing one or a combination of terracing, increased slope ratio, retaining walls and other landscape treatments.
- Where landform grading is utilized, the angle of a manufactured slope will be gradually adjusted to interface and transition naturally with ungraded terrain. Angular forms shall be kept to a minimum. The graded form should create the appearance of rounded natural terrain.
- Where slopes exceed 500 feet in horizontal length, the slope will be curved to give the appearance of rounded natural terrain.
- All grading shall be in accordance with the recommendations outlined in geotechnical reports and grading will conform to applicable City standards and ordinances, except that (1) Section 16.24.070F.4.b of the Development Code shall be modified for the development of Greer Ranch to allow segments of cut slopes to be designed with variable slope ratios less than 1.5:1, subject to confirmation in the applicable geotechnical report that cut slopes will meet standard stability requirements, and (2) Section 16.24.060G.3 of the Development Code shall not be applied to Planning Areas 6 and 7, subject to confirmation in a line of sight analysis that proposed residential structures in those Planning Areas will not significantly impair ridgeline silhouettes.



# GREER RANCH SPECIFIC PLAN



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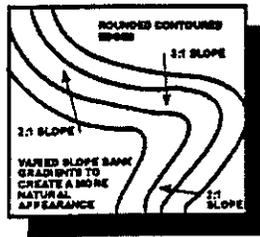
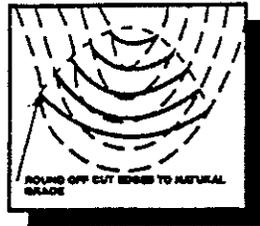
## EXHIBIT NO. 11 CONCEPTUAL GRADING PLAN

FOR: Lennar Greer Ranch Venture, LLC

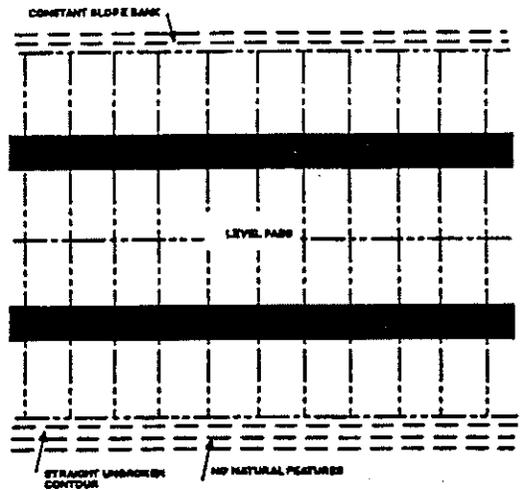
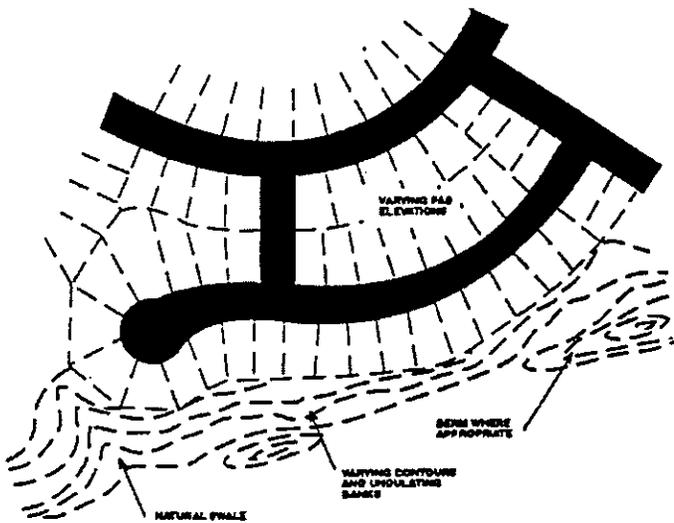
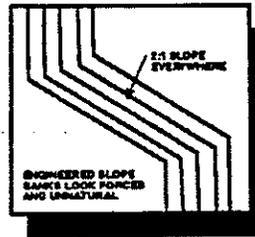
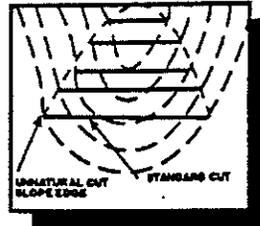
BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

# LANDFORM GRADING EXAMPLES

DO THIS

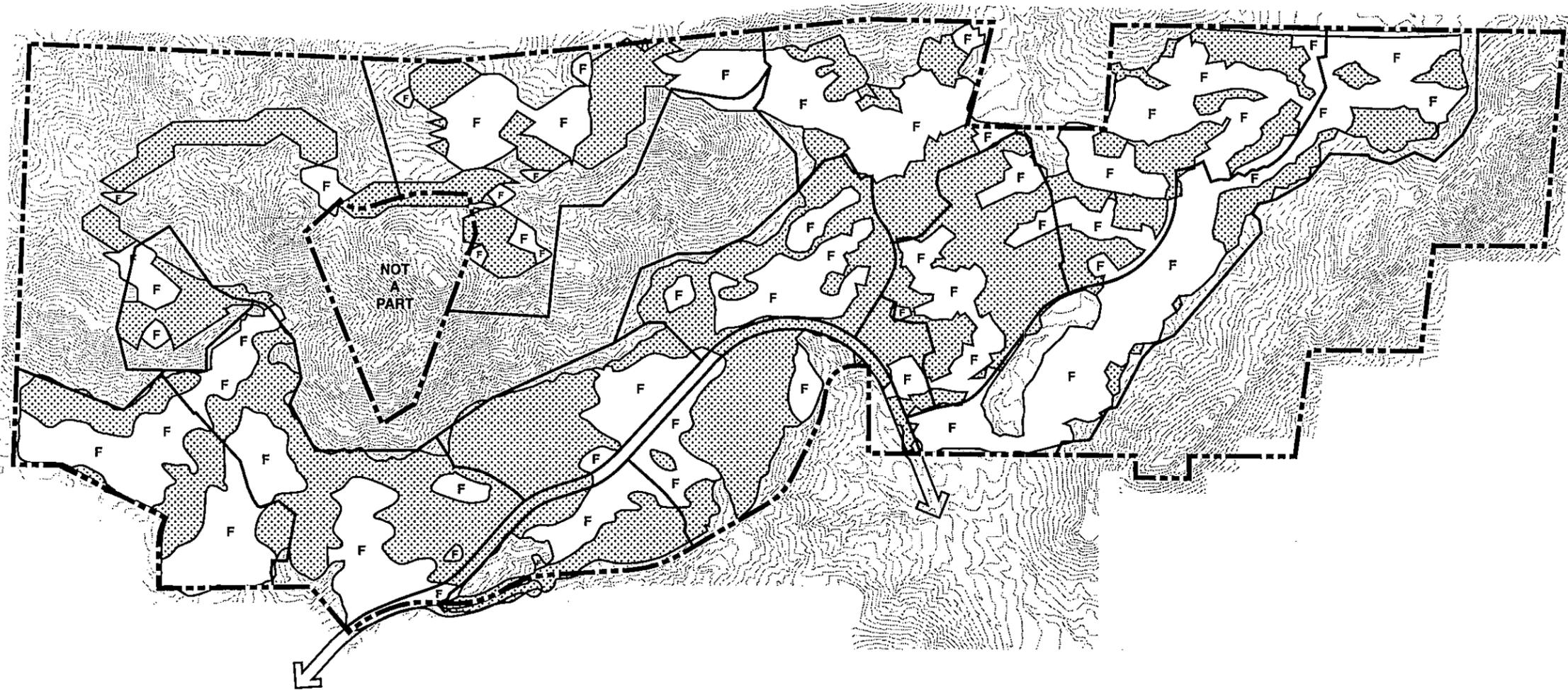


NOT THIS



## EXHIBIT NO. 12 LAND FORM GRADING EXAMPLES

FOR: Lennar Greer Ranch Venture, LLC



**LEGEND**

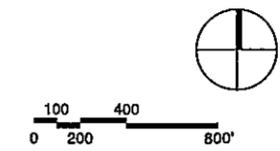
-  CUT
-  FILL

Note: Areas with topography indicate natural grade.

**EXHIBIT NO. 13  
CONCEPTUAL  
CUT AND FILL PLAN**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers



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**GREER RANCH SPECIFIC PLAN**

**Erosion Control Criteria:**

- Manufactured slopes shall be hydroseeded with native, drought tolerant plants and irrigated immediately following grading. Irrigation shall not be at a level or location harmful to existing oak trees.
- Grading operations occurring during rainy weather shall use approved erosion control measures including, but not limited to, sandbagging to stabilize slopes and construction of temporary desiltation basins to limit sediment deposition in drainage courses. Erosion control measures shall be in accordance with NPDES requirements, approved by the City Engineering Department and continually monitored throughout the rainy season.
- Retaining walls and other walls not supporting a building will not exceed 12 feet in height, provided that City may require visual buffering where appropriate and feasible for walls exceeding 8 feet in height. Retaining walls exceeding 6 feet in height will require engineering in accordance with City standards.

**7. Master Landscape Concept Plan**

**Master Landscape Plan**

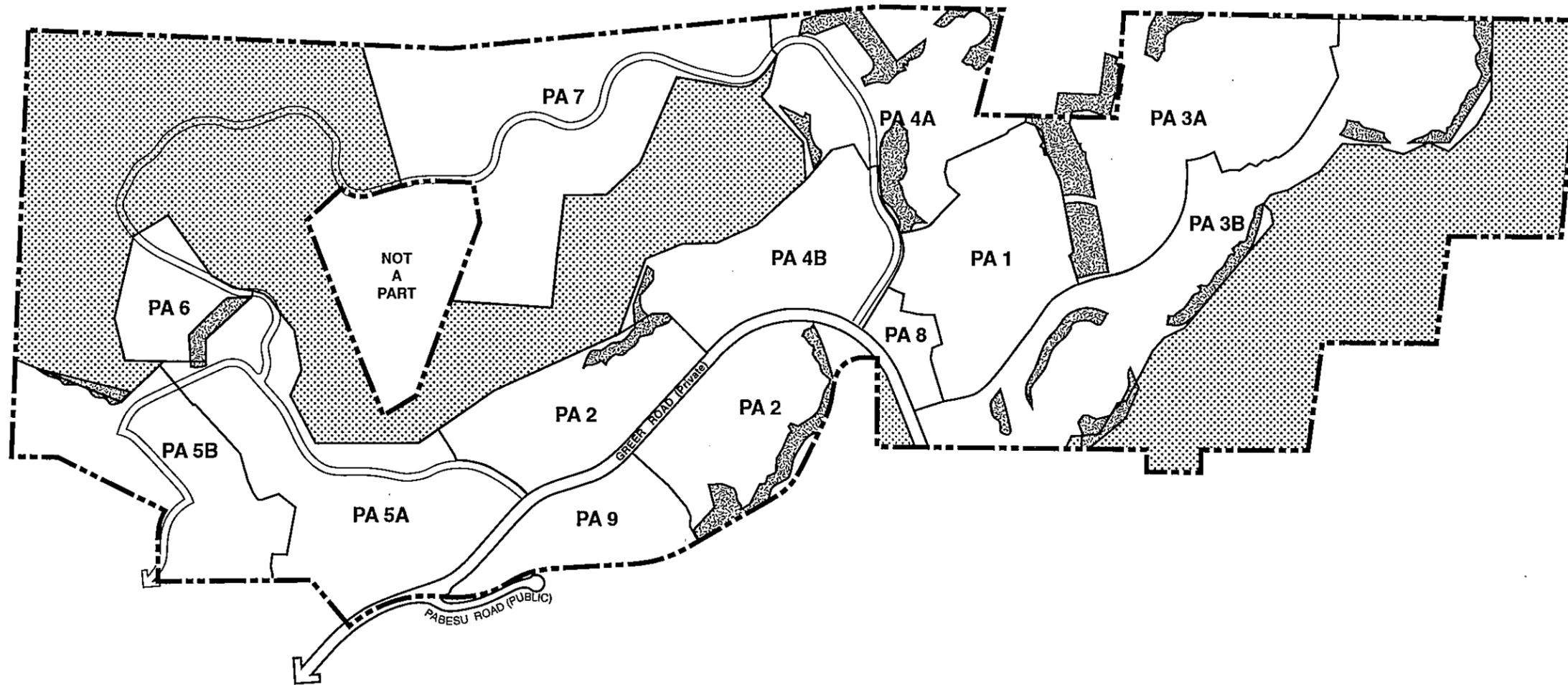
Landscaping within Greer Ranch is intended to impart a sense of place and unification by complementing the native plant communities with indigenous and selected non-indigenous plants (see Exhibit 30).

**Master Landscape Design Criteria:**

The landscape areas will be developed as follows (see also Chapter Three, Community Design Manual for more detail):

- Project entries will reflect themes outlined in the Greer Ranch marketing program according to the hierarchy of location and character. Entries will be designed to enhance manufactured and natural features with informal and formal plantings of trees and shrubs, special paving treatments, signage and monumentation to complete the "sense of arrival."
- Parkway and median landscaping will include plantings of various trees and shrubs to enhance the character of the community and provide visual interest. Specialized treatments to parkway edges, sidewalks, and other landscape elements may be provided to transition and buffer the various land uses. Median landscaping will adhere to applicable line of sight, visibility and other related traffic safety standards.

- Landscape buffers will be established at the transitions between development and open space with an appropriate blend of native and ornamental plantings designed to afford a "natural" appearance.
- Walls and fences may be developed with curvilinear or more conventional linear schemes with varied lines and offsets, compatible finish materials and earth-toned colors to promote a feeling of continuity within the community.
- Fuel modification zones and appropriate levels of pruning and replanting will be provided to promote fire safety in accordance with Murrieta Fire Department standards. Fuel modification zones for the contemplated development of Greer Ranch are identified on Exhibit 14. Further discussion is provided in the Community Design Manual.
- Landscaping of slopes resulting from the creation of building pads shall be properly and quickly planted with compatible trees, shrubs, and groundcovers to soften views and provide erosion control.
- Prior to approval of any building permit in any applicable project area, conceptual landscape plans for that area will be submitted to the City for approval.
- Landscaping in public rights-of-way will be maintained by the Murrieta Community Services District.
- Landscaping will be irrigated with an automatic irrigation system.
- Landscape plants will be indigenous and selected non-indigenous varieties. Drought tolerant plantings will be required for fuel modification zones.
- Landscaping and irrigation of the public Neighborhood Park will be in accordance with Murrieta Parks and Recreation Department standards based on the concepts set forth in the Community Design Manual.
- The developer will be responsible for maintenance and upkeep of all slopes, landscape areas and irrigation systems until areas and systems have been turned over to other parties, such as the Murrieta Community Services District, or the Master Homeowners Association.



**LEGEND**

 OPEN SPACE

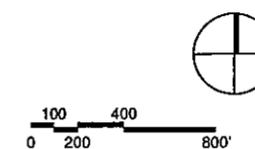
 FUEL MODIFICATION AREAS

Fuel modifications areas shown on this exhibit are conceptual. Development within each planning area shall meet applicable fire department regulations.

**EXHIBIT NO. 14  
FUEL MODIFICATION  
ZONES**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers



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**GREER RANCH SPECIFIC PLAN**

## 8. Water Plan

### Jurisdiction Description and Responsibilities

Imported water is provided by The Metropolitan Water District of Southern California (MWD) to its member agencies, including the Eastern Municipal Water District (EMWD) and the Western Municipal Water District (WMWD), which in turn supplies water to the Elsinore Valley Municipal Water District (EVMWD).

The westerly portion of the Site (approximately 335 acres) is located within WMWD's and EVMWD's spheres of influence and requires annexation to MWD. The easterly portion of the Site (approximately 215 acres) is located within EMWD's service boundary and has been annexed into MWD's service area. Both EMWD and EVMWD have indicated their ability and willingness to service Greer Ranch in accordance with the Conceptual Water Plan (see Exhibit 15). While the determination of the serving agency will be made during development processing, EVMWD service is assumed in the remainder of this Section.

EVMWD currently has two 3.5 million gallon tanks located southwest of Greer Ranch at pad elevation 1610 MSL and a hydraulic grade line of 1650 MSL. The tanks are referred to as the Cal Oaks Reservoirs, and their supply source is the Auld Valley Feeder Extension, which delivers imported water to EVMWD from the regional distribution system. Although these tanks do not presently service the Site, EVMWD has indicated that there is sufficient capacity in the reservoirs for the development of Greer Ranch. Prior to receiving EVMWD water service, the westerly portion of Greer Ranch would be annexed into MWD, EMWD and EVMWD.

The Site's domestic water system will be serviced by two water pressure zones. One zone serving Planning Areas 1 through 9 will be gravity fed from an approximately 1.2 million gallon on-site reservoir located in Planning Area 7 at elevation  $\pm$  2012 feet MSL, and supplied from the off-site Cal Oaks reservoirs via a pump station and 10-inch supply line. Elevations below 1790 feet MSL will require pressure reducing valves. The other zone will be a closed system serving a portion of the Estate Residential lots via a hydropneumatic pump station supplied from the on-site reservoir.

### Facility Diagrams and Design Criteria:

Annual average water usage for Greer Ranch (based on EVMWD's planning criteria) is estimated to be 0.31 million gallons per day (MGD), with a maximum daily demand of 0.72 MGD. The conceptual Water Plan is illustrated in Exhibit 15. Additional design criteria are as follows:

- Water distribution lines will be placed underground.
- Water distribution lines will be designed to applicable water district and municipal standards.
- Drought tolerant indigenous and selected non-indigenous plants will be used in all transitional areas (where open space abuts development) and in all landscaping within street rights-of-way.
- The use of drip irrigation will be encouraged in street rights-of-way, open space and recreation areas, and in the yards of the residences.
- Residences will be constructed in compliance with all local, State and federal laws, regulations and other requirements regarding water conservation
- At the present time, reclaimed water is not available in the area. However, all landscape irrigation systems should be designed, where feasible, for possible future connection if a source becomes reasonably available.

## **9. Sewer (Wastewater Collection System) Plan**

### **Jurisdiction Descriptions and Responsibilities**

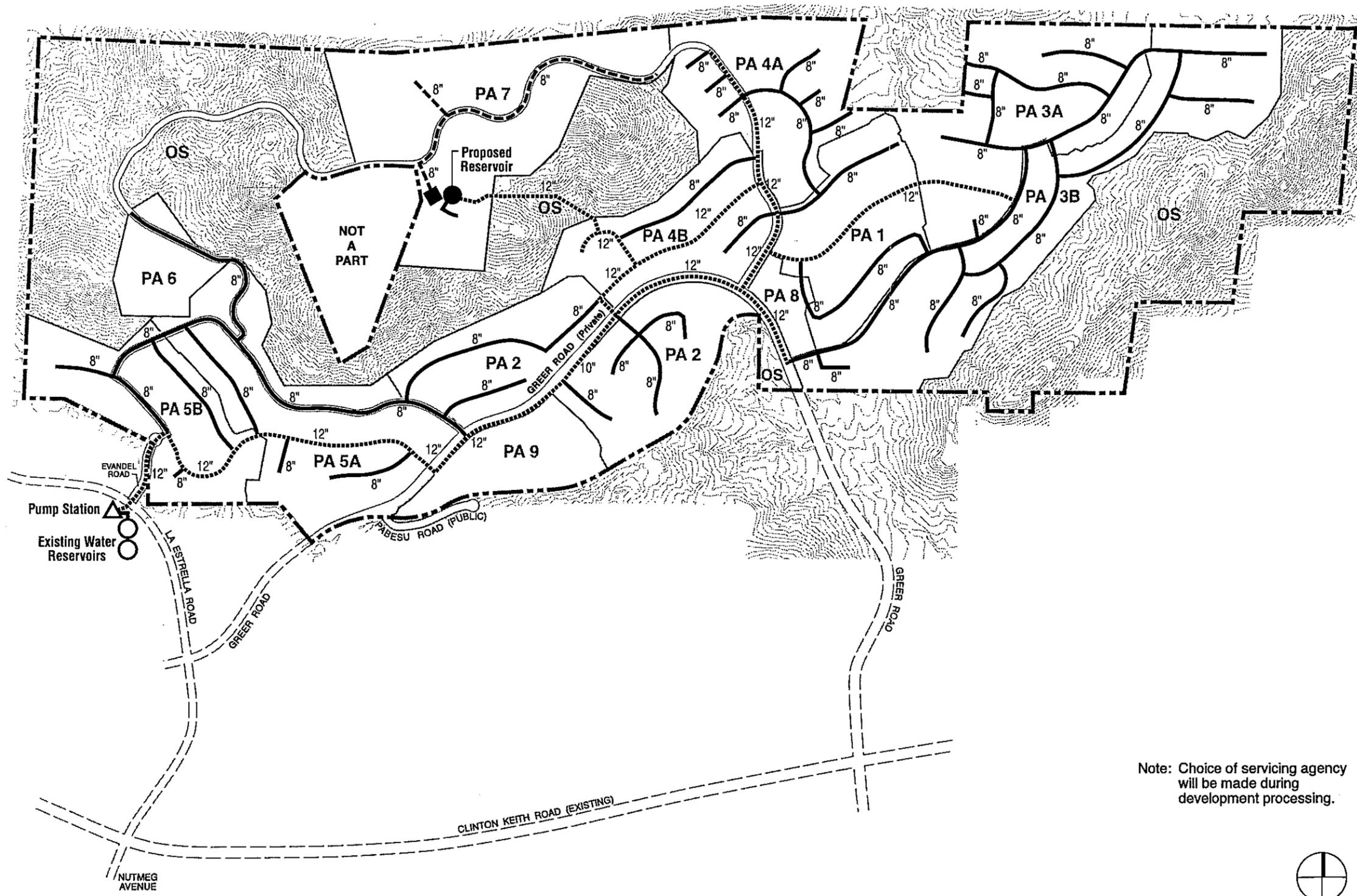
Greer Ranch is located within the boundaries or spheres of influence of two sewer districts, EMWD and EVMWD. Both have indicated their ability and willingness to service Greer Ranch in accordance with the Conceptual Sewer Plan (see Exhibit 16) the plans presented herein. While the determination of the servicing agency will be made during development processing, EVMWD service is assumed in the remainder of this Section.

Wastewater generated on-site will flow by gravity to a proposed liftstation at the intersection of Clinton Keith Road and La Estrella Road. From there it would be pumped to an existing gravity line approximately 1,500 feet east of Smith Ranch Road.

### **Facility Diagrams and Design Criteria**

The annual average wastewater flows for Greer Ranch are estimated to be 0.21 MGD or 0.32 cfs. The peak hourly flow is estimated at 0.73 MGD or 1.12 cfs.

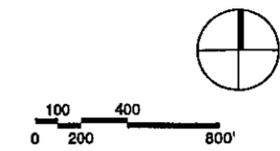
The wastewater collection system will consist of gravity sewers, and a lift station (see Exhibit 16). Wastewater generated on the easterly portion of the Site will flow by gravity to a low point near the southern end of Greer Road, then via a 12-inch line under Clinton



**LEGEND**

- HYDROPNEUMATIC PUMP STATION
- △ PUMP STATION
- 1.2 MG RESERVOIR 2012 ZONE
- EVMWD 1650 ZONE RESERVOIRS
- CLOSED SYSTEM
- GRAVITY SYSTEM (8")
- ⋯ GRAVITY SYSTEM (12")
- PA 2 PLANNING AREAS

Note: Choice of servicing agency will be made during development processing.



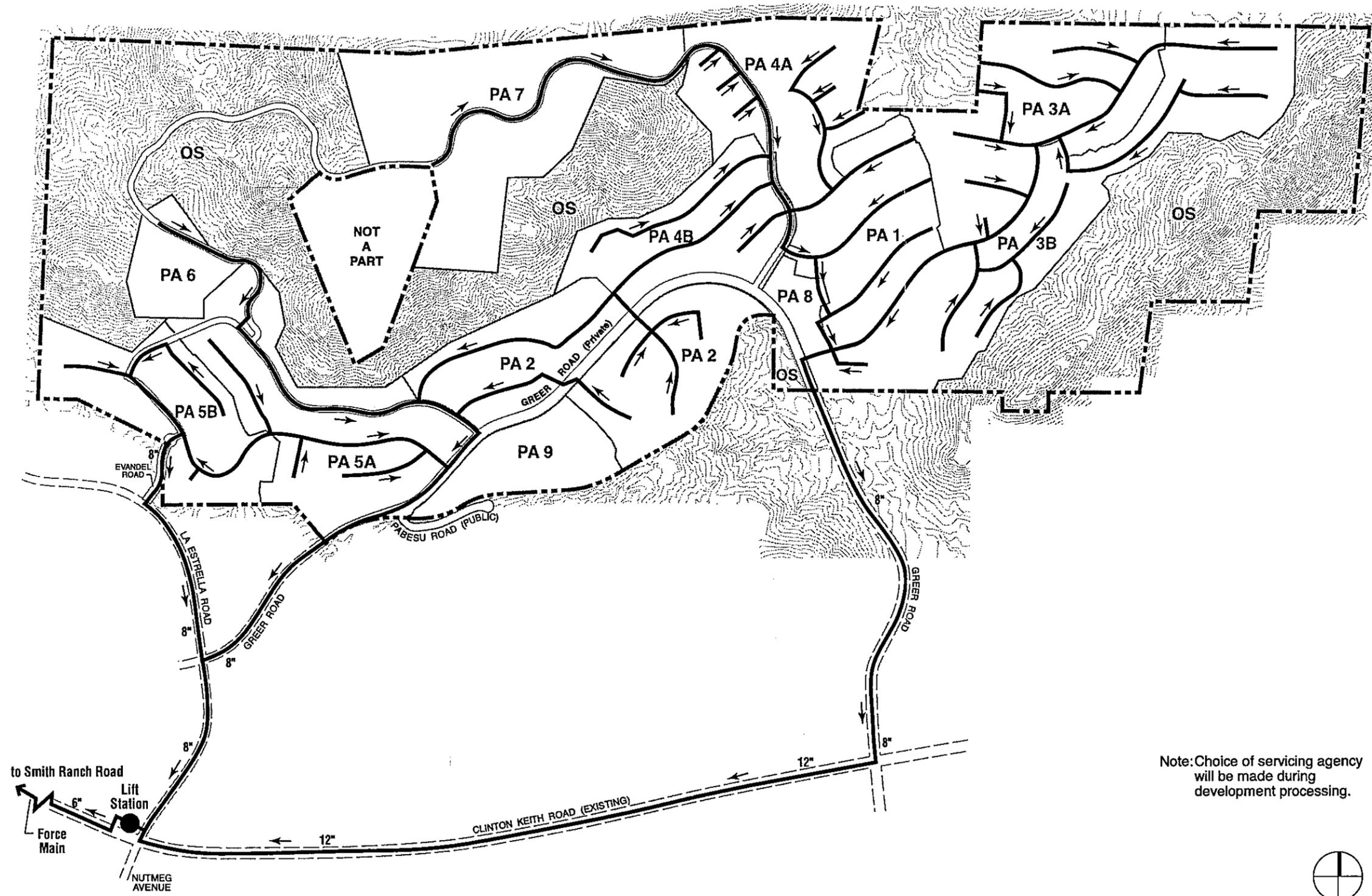
NOTE: THIS DRAWING IS CONCEPTUAL ONLY, AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

**GREER RANCH SPECIFIC PLAN**

**EXHIBIT NO. 15  
CONCEPTUAL WATER PLAN**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers



**LEGEND**

- GRAVITY SEWER
- SEWER LIFT STATION
- PA PLANNING AREA
- INDICATES FLOW DIRECTION

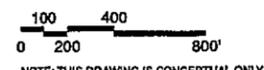
Note: All lines are 8 inch unless otherwise shown.

Note: Choice of servicing agency will be made during development processing.

**EXHIBIT NO. 16  
CONCEPTUAL  
SEWER PLAN**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers



NOTE: THIS DRAWING IS CONCEPTUAL ONLY, AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

**GREER RANCH SPECIFIC PLAN**

Keith Road to a lift station past La Estrella Road and from there 1,400 feet west to an existing EVMWD sewer line. The westerly portion of the Site will be served primarily by gravity lines flowing to Clinton Keith Road. Individual lift stations may be required for some Estate Residential lots (see Exhibit 16). Sewer lines will be designed to applicable water district and municipal standards.

## 10. Master Phasing Plan

### Master Phasing Plan

Greer Ranch will be developed in approximately four phases over an estimated 8-10 year period. The location of the anticipated phases is shown on the Master Phasing Plan (see Exhibit 17).

Phasing for the development of Greer Ranch has been designed to provide flexibility in dealing with the dynamic market trends and conditions of the region. Each phase may include one or more Planning Areas and will include adequate infrastructure.

The following table summarizes the anticipated number of residential units per phase:

**TABLE III-2**  
**Units Per Phase**

	Phase 1	Phase 2	Phase 3	Phase 4	Subtotal
Single-Family Residential	254	258	146	0	658
Estate Residential	0	0	0	30	30
<b>TOTALS</b>	<b>254</b>	<b>258</b>	<b>146</b>	<b>30</b>	<b>688</b>

### Master Phasing Design Criteria:

- Grading, drainage facilities, water and sewer facilities and roads will be provided at adequate levels to accommodate development in each phase according to City of Murrieta requirements as implemented through Tentative Tract Maps.
- Phases will be developed in accordance with market conditions and infrastructure timing.

- The Master Phasing Plan is a projection based on a judgment in the year 2000 of future planning and market factors over the next several years. The Master Phasing Plan is not a compulsory development sequence. The phasing of development, including the portion of the Site within each phase, may change as the result of future conditions which neither the City nor the Master Developer has knowledge of or can anticipate. Accordingly, phases may be developed concurrently and/or in any sequence, provided adequate infrastructure is available or is provided.

#### **11. Public Facilities Financing Plan**

The Public Facilities Financing Plan for the development of Greer Ranch is, or will be, set forth in Appendix 1 to this Specific Plan and is incorporated herein by this reference.

#### **12. Other Public Facilities and Services**

##### **a. Schools**

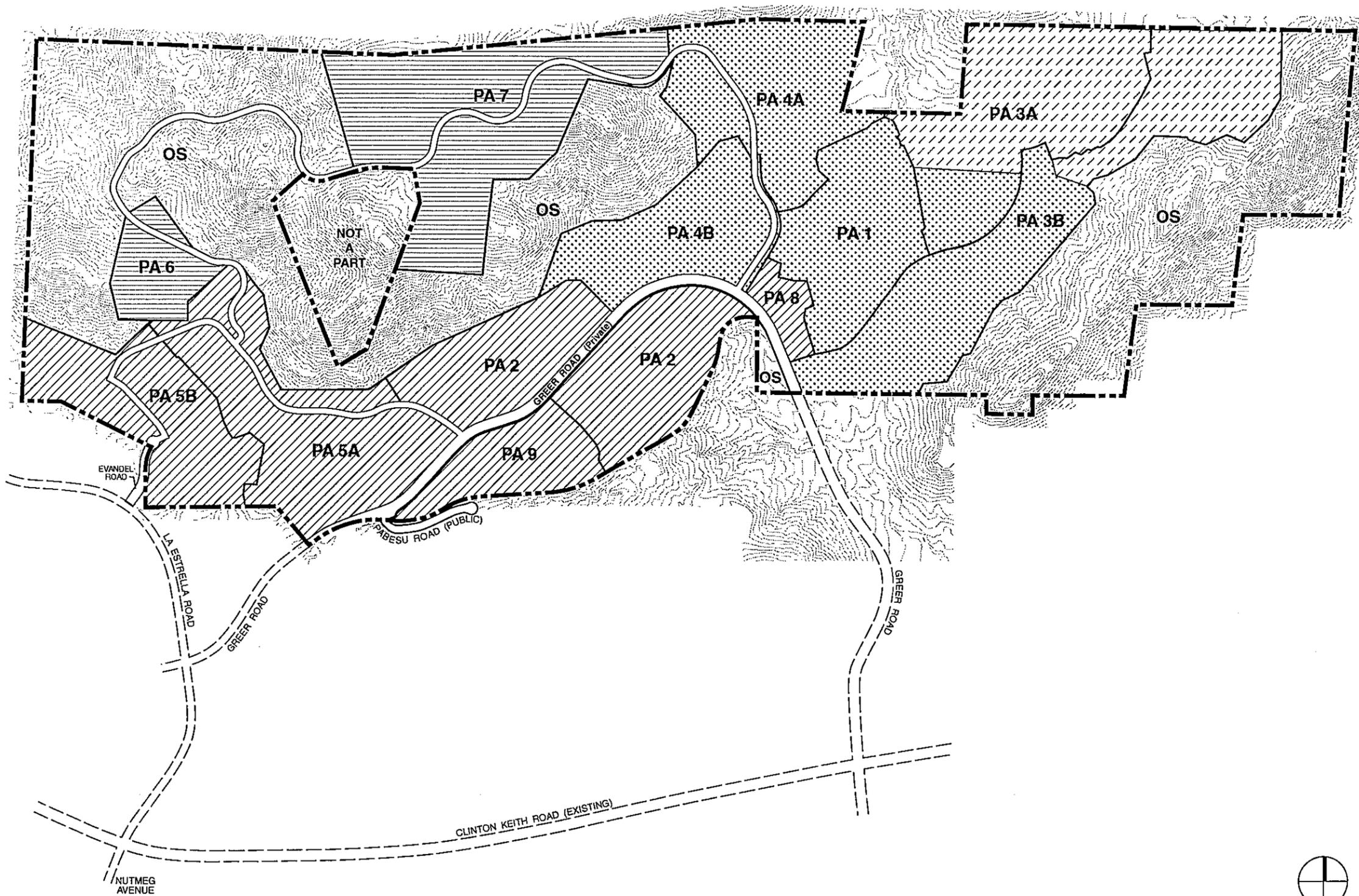
The Site is located within the Murrieta Valley Unified School District (MVUSD) for grades kindergarten through twelfth (K-12). Students in the area currently attend Murrieta Valley High School, Thompson Middle School and Tovashal Elementary School.

An estimated 277 students for grades K through fifth, 124 students for grades sixth through eighth and 138 students for grades ninth through twelfth (an estimated total of 539 students) will be added to MVUSD at buildout under this Specific Plan.

School impact fees will be paid for each residential unit in accordance with State law then in effect as a condition to the issuance of a building permit for such residential unit.

##### **b. Fire Stations**

Adequate fire protection for Greer Ranch exists and is provided by the Murrieta Fire Department, the County of Riverside Fire Department and the California Department of Forestry. The Murrieta Fire Department has primary responsibility for fire emergency responses, while the other two agencies provide backup pursuant to Automatic and Mutual Aid Agreements.



### LEGEND

-  PHASE 1
-  PHASE 2
-  PHASE 3
-  PHASE 4

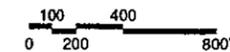
Note: Phasing subject to change.

### EXHIBIT NO. 17 MASTER PHASING PLAN

FOR: Lennar Greer Ranch Venture, LLC

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

# GREER RANCH SPECIFIC PLAN



NOTE: THIS DRAWING IS CONCEPTUAL ONLY, AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

The Murrieta Fire Department currently operates three stations. Stations No. 1, No. 2, and No. 3 at 41825 Juniper, 40060 California Oaks Road, and the corner of Whitewood and Murrieta Hot Springs Roads, respectively. Station No. 4 is currently in the planning stages and will be located near the intersection of Washington Avenue and Nutmeg Street. Response times meeting the Murrieta Fire Department Performance Standards of 7.5 minutes for medical emergencies and 8 minutes for residential structure fires is now, and will in the future, be available to Greer Ranch.

**c. Police**

Adequate law enforcement services for Greer Ranch will be provided by the Murrieta Police Department, which began protecting and serving the City on July 31, 1992. The present ratio of officers is 0.8 per thousand citizens. The Department's goal is to increase the ratio to 1.5 per thousand citizens.

Project development will require additional officers and demands for services which the City expects to meet through future resource augmentations. To help alleviate the increased need for police officers, several measures will be implemented, including neighborhood watch programs enacted through the Master Homeowners Association, the fencing of property, and appropriate night lighting to enhance security and reduce vandalism.

**d. Utilities**

**1) Electricity and Natural Gas**

Electrical and natural gas service to the area are provided by Southern California Edison (SCE) and the Southern California Gas Company. Existing local distribution systems will need to be augmented and extended to service Greer Ranch. Electric and gas lines within Greer Ranch will be underground.

**2) Telephone**

Currently, GTE provides service to Greer Ranch. Telephone lines would need to be extended to service the property. Telephone lines within the Site will be underground.

**3) CATV**

Currently there is no CATV service to Greer Ranch. All CATV lines will be placed underground by the local purveyor if and when service becomes available.

**e. Parks and Recreation**

The Murrieta Parks and Recreation Department is responsible for the development, operation and maintenance of public park facilities within the City. Park sites are acquired and improved through a combination of developer land dedications and in lieu park fees. This Specific Plan provides an approximately 6.0-acre (usable) public Neighborhood Park for the active and passive recreational enjoyment of Project residents and the surrounding community. In addition, a private Community Center will be provided in Planning Area 8.

**f. Solid Waste**

Riverside County Waste Management is responsible for the disposal of solid waste for the entire Murrieta area. Solid waste pick-up service for Greer Ranch would be provided by Waste Management of the Inland Empire. Residential solid waste would be deposited in either the El Sobrante or Badlands Landfill. In addition, curbside recycling would be available.

### C. LAND USE REGULATIONS

Land use regulations are established to protect the public health, safety and welfare, to safeguard and enhance the appearance and quality of development, and to provide the residents of Greer Ranch and the citizens of the City of Murrieta with the social, physical and economic advantages resulting from comprehensive and orderly planned use of land resources. The District Regulations provide the zoning for Greer Ranch.

### D. PLANNING AREAS

The following summarizes the site, land use and design characteristics of each of the Planning Areas comprising the Site.

#### 1. Planning Area 1

##### a. Description

Planning Area 1 is located in the east-central portion of Greer Ranch, northeast of Greer Road, bounded by Planning Areas 8 and 4B to the west, Planning Area 3A to the east, and Planning Area 3B to the south. Planning Area 1, depicted on Exhibit 18, is proposed for Single-Family Residential with a minimum lot size of 6,000 square feet. Planning Area 1 consists of approximately 25.5 acres, has a gross density of 3.8 DU/AC, and provides for the development of up to 97 dwelling units. This represents 14.1 percent of the total unit count.

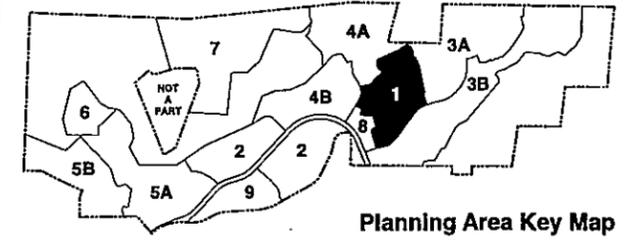
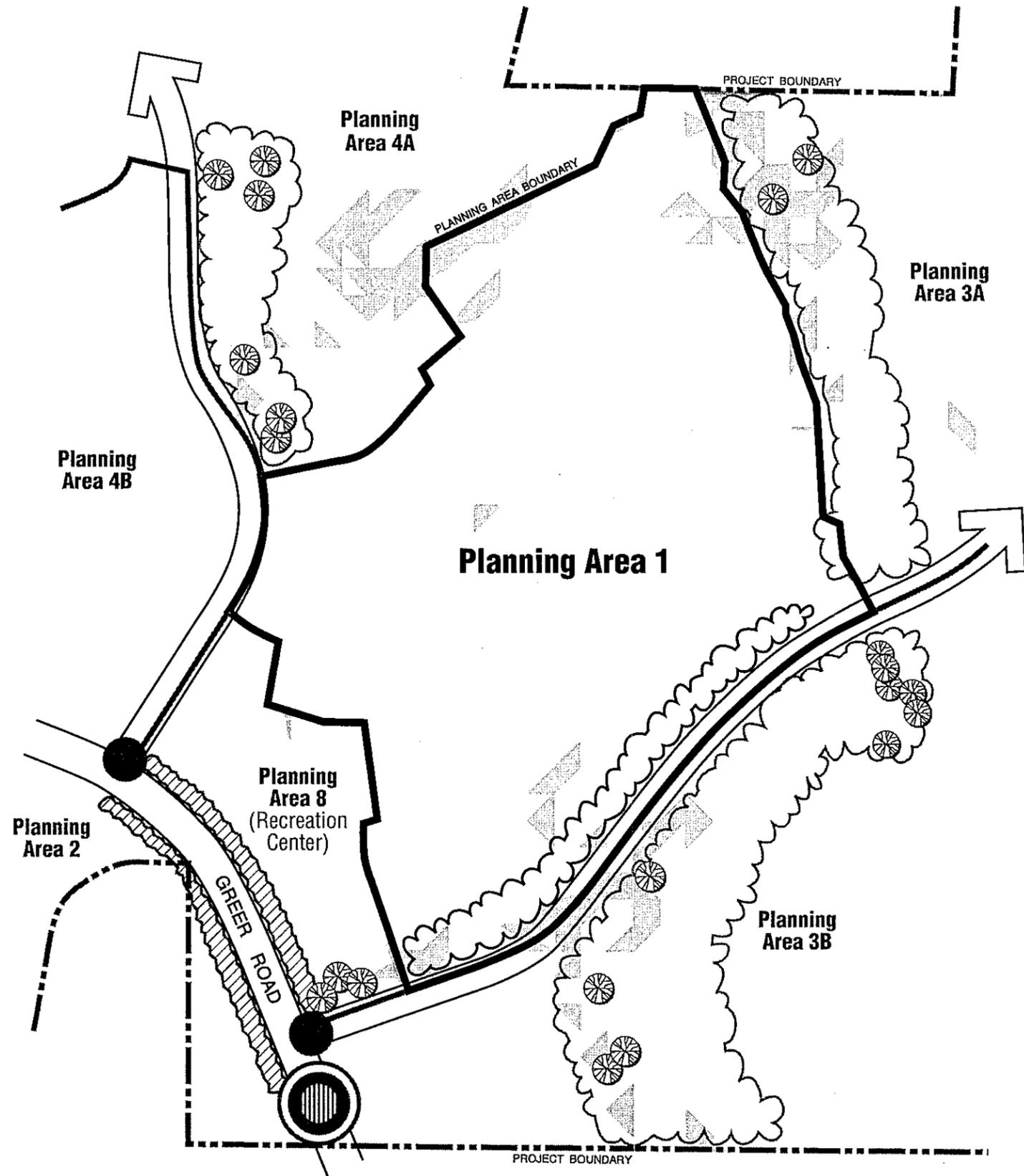
##### b. Land Use and Development Standards

See Chapter Two, District Regulations.

##### c. Site and Design Features

- 1) Access: Primary access is via Greer Road. The location and number of Planning Area access points shall be determined during the tentative map process and will be located and designed to provide adequate and safe traffic and emergency response access. See Chapter Three, Section IV-B1 for more detail on entries.
- 2) Slopes: Planning Area 1 is located in an area of generally low slopes, with a total of 0.94 acres (3.6 percent of the Planning Area) having slopes over 25 percent. These steeper slopes are located in the northeastern portion of Planning Area 1.
- 3) Open Space and Recreation: Planning Area 1 includes approximately 0.5 acres of open space. This open space is primarily natural with existing oak trees.

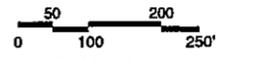
- 4) Fuel Modification: Due to the presence of natural open space on the Planning Area's northern boundary, fuel modification will be required along this interface.
- 5) Grading: Landform grading will be utilized adjacent to the open space along the southeast edge. See Chapter One, Section III.B.6 of this Specific Plan for grading design criteria.
- 6) Design Guidelines: Landscape design features include streetscape planting along Private Local Roads and entry treatments at the Planning Area entries.
- 7) Please refer to the following development plans and standards contained within Chapter One of this Specific Plan:
  - III.B.2 Residential Land Use Plan
  - III.B.3 Open Space and Recreation Plan
  - III.B.4 Circulation Plan
  - III.B.5 Conceptual Storm Drain Plan
  - III.B.6 Grading Concept Plan
  - III.B.7 Master Landscape Concept Plan
  - III.B.8-9 Water and Sewer Plans
  - III.B.10 Master Phasing Plan
  - III.B.11 Public Facilities Financing Plan
  - III.B.12 Other Public Facilities and Services
- 8) Please see Chapter Three, Community Design Manual, for other related design criteria.



**LEGEND**

AREA: ± 25.5 ACRES (TOTAL)  
 OPEN SPACE: ± 0.5 ACRES  
 DEVELOPED AREA: ± 25.0 ACRES  
 GROSS DENSITY: 3.8 DU/AC  
 ESTIMATED NO. OF UNITS: 97 UNITS  
 AREA OF 25%+ SLOPES: ± 0.94 ACRES

-  GATED COMMUNITY ENTRY
-  PLANNING AREA ENTRY
-  STREETScape
-  25% + SLOPES
-  OPEN SPACE



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**GREER RANCH SPECIFIC PLAN**

**EXHIBIT NO. 18  
 PLANNING AREA 1**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
 ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

## 2. Planning Area 2

### a. Description

Planning Area 2 is located in the southern portion of Greer Ranch adjacent to and straddling Greer Road. This Planning Area, depicted on Exhibit 19, is proposed for Single-Family Residential use with a minimum lot size of 6,000 square feet. Planning Area 2 consists of approximately 42.2 acres, has a gross density of 2.6 DU/AC, and provides for the development of up to 111 dwelling units. This represents 16.1 percent of the total unit count.

### b. Land Use and Development Standards

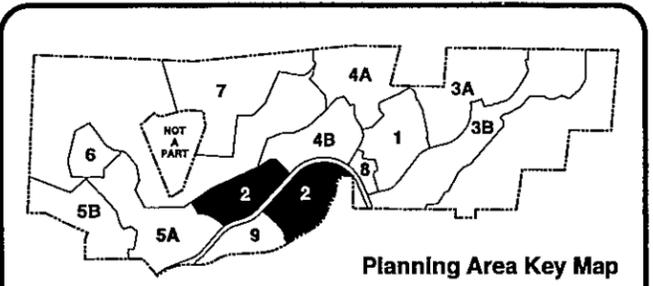
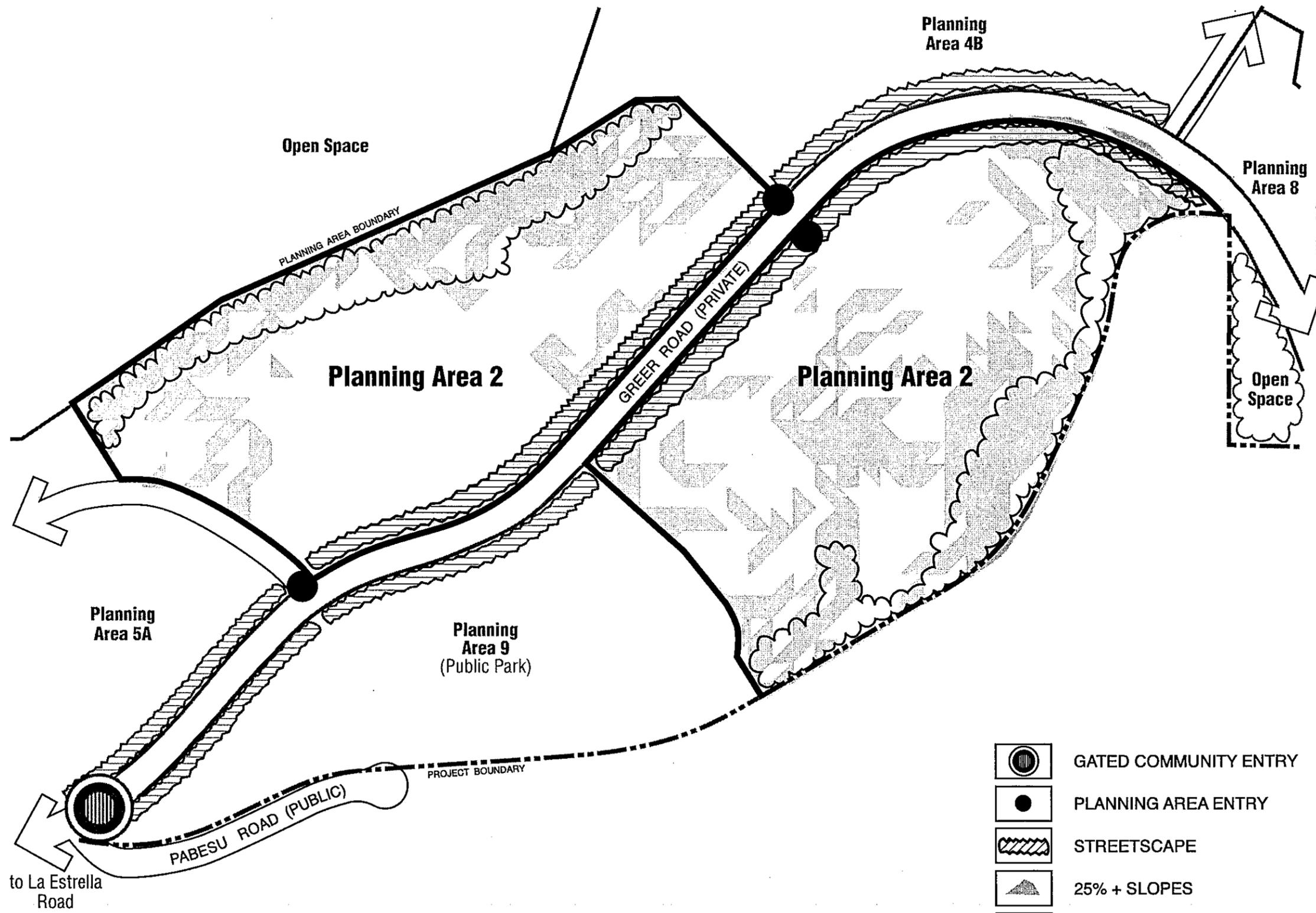
See Chapter Two, District Regulations.

### c. Site and Design Features

- 1) Access: Primary access is via Greer Road, The location and number of Planning Area access points shall be determined during the tentative map process and will be located and designed to provide adequate and safe traffic and emergency response access. See Chapter Three, Section IV-B1 for more detail on entries.
- 2) Slopes: Planning Area 2 is located in an area of moderate slopes, with a total of 11.4 acres (27 percent of the Planning Area) having slopes over 25 percent. These steeper slopes are located in the eastern portion of the Planning Area.
- 3) Open Space and Recreation: Planning Area 2 includes approximately 6.2 acres of open space, located on the northern and southern edges of the Planning Area. This open space is a natural area. The Planning Area is located adjacent to the public Neighborhood Park in Planning Area 9.
- 4) Fuel Modification: Due to the presence of natural open space on the southern and northern edges, fuel modification will be required along these interfaces.
- 5) Grading: Landform grading will be utilized adjacent to the natural open space areas. See Chapter One, Section III.B.6 of this Specific Plan for grading design criteria.
- 6) Design Guidelines: Landscape design features include the streetscape along Greer Road and entry treatments at the Planning Area entries.
- 7) Please refer to the following development plans and standards contained within Chapter One of this Specific Plan:
  - III.B.2 Residential Land Use Plan
  - III.B.3 Open Space and Recreation Plan
  - III.B.4 Circulation Plan

- III.B.5 Conceptual Storm Drain Plan
- III.B.6 Grading Concept Plan
- III.B.7 Master Landscape Concept Plan
- III.B.8-9 Water and Sewer Plans
- III.B.10 Master Phasing Plan
- III.B.11 Public Facilities Financing Plan
- III.B.12 Other Public Facilities and Services

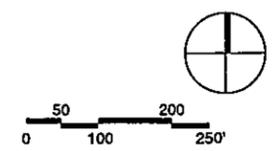
8) Please see Chapter Three, Community Design Manual, for other related design criteria.



**LEGEND**

AREA: ±42.2 ACRES (TOTAL)  
 OPEN SPACE: ±6.2 ACRES  
 DEVELOPED AREA: ±36.0 ACRES  
 GROSS DENSITY: 2.6 DU/AC  
 ESTIMATED NO. OF UNITS: 111 UNITS  
 AREA OF 25%+ SLOPES: ±11.4 ACRES

- GATED COMMUNITY ENTRY
- PLANNING AREA ENTRY
- STREETSCAPE
- 25% + SLOPES
- OPEN SPACE



NOTE: THIS DRAWING IS CONCEPTUAL ONLY, AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

# GREER RANCH SPECIFIC PLAN

## EXHIBIT NO. 19 PLANNING AREA 2

FOR: Lennar Greer Ranch Venture, LLC

BRYAN MENNE & ASSOCIATES ■ Land Planning  
 ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

### 3. Planning Area 3A

#### a. Description

Planning Area 3A is located in the northeastern portion of Greer Ranch, bounded by Planning Areas 1 to the west and Planning Area 3B to the east and south. Planning Area 3A, depicted in Exhibit 20, is proposed for Single-Family Residential with a minimum lot size of 6,000 square feet. Planning Area 3A consists of approximately 38 acres, has a gross density of 2.3 gross DU/AC and provides for the development of 86 dwelling units. This represents 12.5 percent of the total unit count.

#### b. Land Use and Development Standards

See Chapter Two, District Regulations.

#### c. Site and Design Features

- 1) Access: Primary access is via Greer Road. The location and number of Planning Area access points shall be determined during the tentative map process and will be located and designed to provide adequate and safe traffic and emergency response access. See Chapter Three, Section IV-B1 for more detail on entries.
- 2) Slopes: Planning Area 3A is located in an area of moderate slopes, with a total of 5.5 acres (15 percent of the Planning Area) with slopes over 25 percent. These steeper slopes are located primarily in the northern portion of the Planning Area.
- 3) Open Space and Recreation: Planning Area 3A includes approximately 7.5 acres of open space, located adjacent to the northern boundary of Greer Ranch in the steeper slope areas, and in a wildlife corridor and drainage corridor along the western edge. This open space is a passive natural area.
- 4) Fuel Modification: Due to the presence of natural open space on the northern edge of Planning Area 3A, fuel modification will be required along this interface.
- 5) Grading: Landform grading will be utilized adjacent to the natural open space areas. See Chapter One, Section III.B.6 of this Specific Plan for grading design criteria.
- 6) Design Guidelines: Landscape design features include the streetscape along Greer Road, and entry treatments at the Planning Area entries.

7) Please refer to the following development plans and standards contained within Chapter One of this Specific Plan:

- III.B.2 Residential Land Use Plan
- III.B.3 Open Space and Recreation Plan
- III.B.4 Circulation Plan
- III.B.5 Conceptual Storm Drain Plan
- III.B.6 Grading Concept Plan
- III.B.7 Master Landscape Concept Plan
- III.B.8-9 Water and Sewer Plans
- III.B.10 Master Phasing Plan
- III.B.11 Public Facilities Financing Plan
- III.B.12 Other Public Facilities and Services

8) Please see Chapter Three, Community Design Manual, for other related design criteria.

#### 4. Planning Area 3B

##### a. Description

Planning Area 3B is located in the eastern portion of Greer Ranch, bounded by Planning Area 3A to the west and Open Space to the east and south. This Planning Area, depicted in Exhibit 20, is proposed for Single-Family Residential uses with a minimum lot size of 6,000 square feet. Planning Area 3B consists of approximately 49.7 acres, has a gross density of 2.8 DU/AC and provides for the development of 139 dwelling units. This represents 20.2 percent of the total unit count.

##### b. Land Use and Development Standards

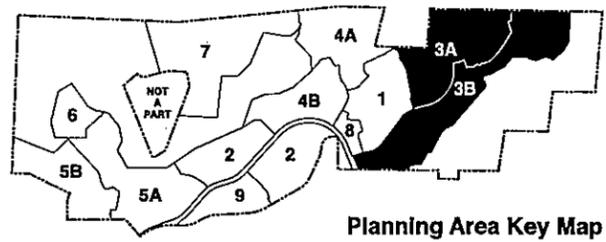
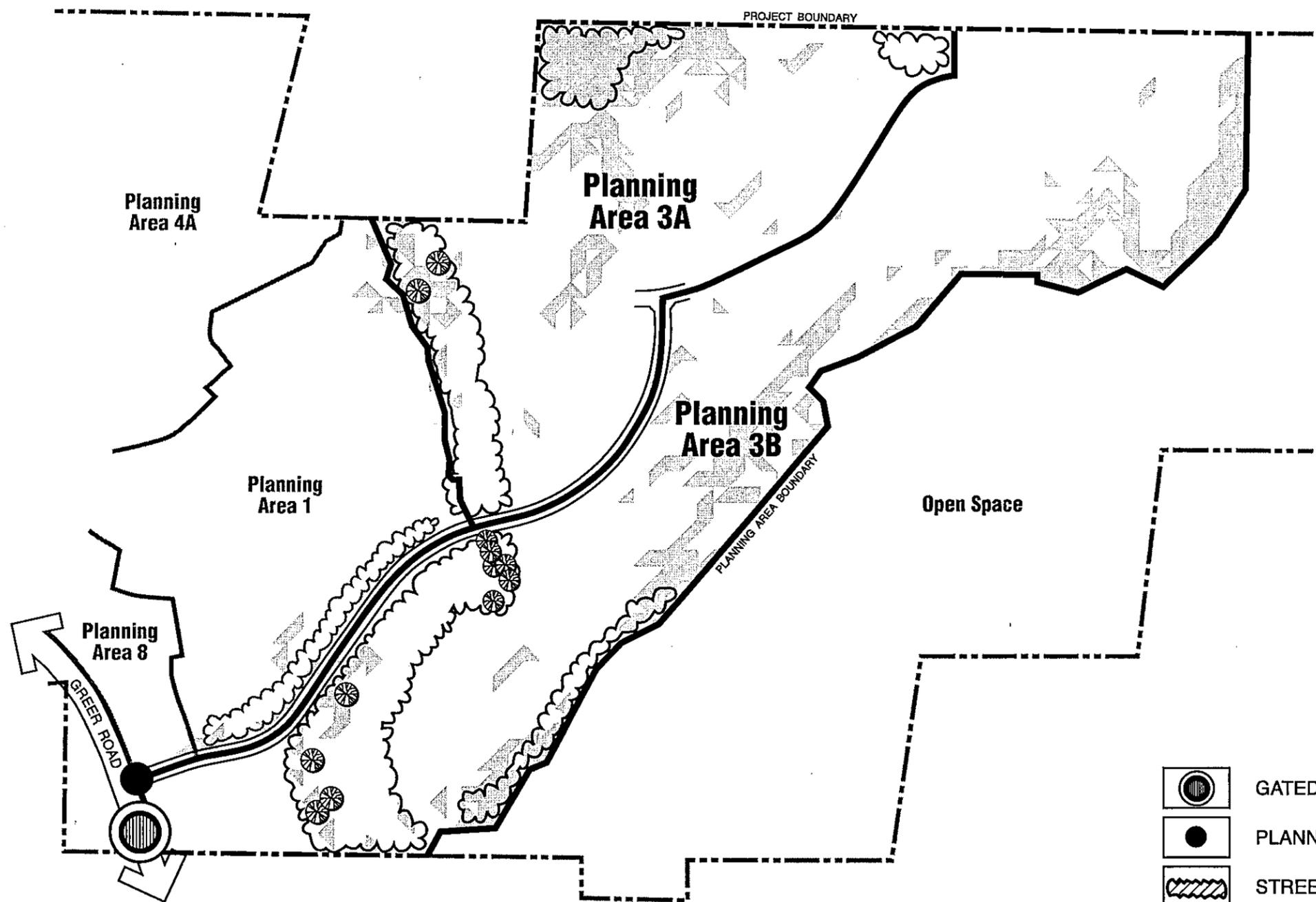
See Chapter Two, District Regulations.

##### c. Site and Design Features

- 1) Access: Primary access is via Greer Road. The location and number of Planning Area access points shall be determined during the tentative map process and will be located and designed to provide adequate and safe traffic and emergency response access. See Chapter Three, Section IV-B1 for more detail on entries.
- 2) Slopes: Planning Area 3B is located in an area of moderate slopes, with a total of 9.2 acres (19 percent of the Planning Area) with slopes over 25 percent. These steeper slopes are located primarily in the northern portion of the Planning Area.
- 3) Open Space and Recreation: Planning Area 3B includes approximately 8.0 acres of open space located adjacent to the northern boundary of Greer Ranch in the steeper slope areas and in a wildlife corridor and drainage corridor along the western edge areas. This open space is a passive natural area.
- 4) Fuel Modification: Due to the presence of natural open space on the northern edge of Planning Area 3B, fuel modification will be required along this interface.
- 5) Grading: Landform grading will be utilized adjacent to the natural open space areas. See Chapter One, Section III.B.6 of this Specific Plan for grading design criteria.
- 6) Design Guidelines: Landscape design features include the streetscape along Greer Road, and entry treatments at the Planning Area entries.
- 7) Please refer to the following development plans and standards contained within Chapter One of this Specific Plan:

- III.B.2 Residential Land Use Plan
- III.B.3 Open Space and Recreation Plan
- III.B.4 Circulation Plan

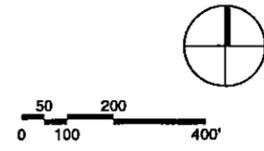
- III.B.5 Conceptual Storm Drain Plan
- III.B.6 Grading Concept Plan
- III.B.7 Master Landscape Concept Plan
- III.B.8-9 Water and Sewer Plans
- III.B.10 Master Phasing Plan
- III.B.11 Public Facilities Financing Plan
- III.B.12 Other Public Facilities and Services



**LEGEND**

- PLANNING AREA 3A**  
 AREA: ± 38 ACRES (TOTAL)  
 OPEN SPACE: ± 7.5 ACRES  
 DEVELOPED AREA: ± 30.5 ACRES  
 GROSS DENSITY: 2.3 DU/AC  
 ESTIMATED NO. OF UNITS: 86 UNITS  
 AREA OF 25%+ SLOPES: ± 5.5 ACRES
- PLANNING AREA 3B**  
 AREA: ± 49.7 ACRES (TOTAL)  
 OPEN SPACE: ± 8.0 ACRES  
 DEVELOPED AREA: ± 41.7 ACRES  
 GROSS DENSITY: 2.8 DU/AC  
 ESTIMATED NO. OF UNITS: 139 UNITS  
 AREA OF 25%+ SLOPES: ± 9.2 ACRES

-  GATED COMMUNITY ENTRY
-  PLANNING AREA ENTRY
-  STREETSCAPE
-  25% + SLOPES
-  OPEN SPACE



NOTE: THIS DRAWING IS CONCEPTUAL ONLY, AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

**GREER RANCH SPECIFIC PLAN**

**EXHIBIT NO. 20  
 PLANNING AREA 3A AND 3B**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
 ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

5. **Planning Area 4A**

a. **Description**

Planning Area 4A is located in the north-central portion of Greer Ranch. Planning Area 4A, depicted on Exhibit 21, is proposed for Single-Family Residential with a minimum lot size of 6,000 square feet. Planning Area 4A consists of approximately 30.1 acres, has a gross density of 1.3 DU/AC, and provides for 40 dwelling units. This represents 5.8 percent of the total unit count.

b. **Land Use and Development Standards**

See Chapter Two, District Regulations.

c. **Site and Design Features**

- 1) Access: Primary access is via Greer Road to the south. The location and number of Planning Area access points shall be determined during the tentative map process and will be located and designed to provide adequate and safe traffic and emergency response access. See Chapter Three, Section IV-B1 for more detail on entries.
- 2) Slopes: Planning Area 4A is located in an area of moderate slopes, with a total of 11 acres ( 36 percent of the Planning Area) comprised of slopes of over 25 percent. These steeper slope areas are located primarily in the northernmost portion of the Planning Area adjacent to Planning Area Seven and a large open space area.
- 3) Open Space and Recreation: Planning Area 4A includes approximately 13.6 acres of open space located in the northern and southern portions of the Planning Area.
- 4) Fuel Modification: Due to the presence of natural open space on the Planning Area's northern boundary, fuel modification will be required along this interface.
- 5) Grading: Landform grading will be utilized adjacent to natural open space areas. See Chapter One, Section III.B.6 of this Specific Plan for grading design criteria.
- 6) Design Guidelines: Landscape design features include entry treatments at the Planning Area entries.
- 7) Please refer to the following development plans and standards contained within Chapter One of this Specific Plan:

- III.B.2 Residential Land Use Plan
- III.B.3 Open Space and Recreation Plan
- III.B.4 Circulation Plan
- III.B.5 Conceptual Storm Drain Plan
- III.B.6 Grading Concept Plan

- III.B.7 Master Landscape Concept Plan
- III.B.8-9 Water and Sewer Plans
- III.B.10 Master Phasing Plan
- III.B.11 Public Facilities Financing Plan
- III.B.12 Other Public Facilities and Services

8) Please see Chapter Three, Community Design Manual, for other related design criteria.

## 6. Planning Area 4B

### a. Description

Planning Area 4B is located in the northern-central portion of Greer Ranch. Planning Area 4B, depicted on Exhibit 21, is proposed for Single-Family Residential with a minimum lot size of 6,000 square feet. Planning Area 4B consists of approximately 24.3 acres, has a gross density of 1.7 DU/AC, and provides for 42 dwelling units. This represents 6.1 percent of the total unit count.

### b. Land Use and Development Standards

See Chapter Two, District Regulations.

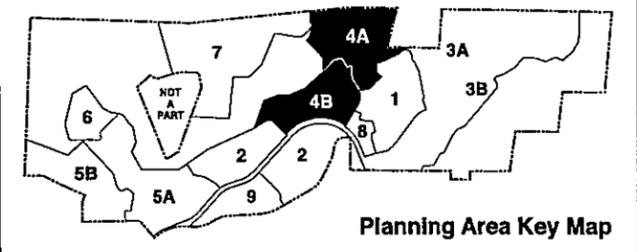
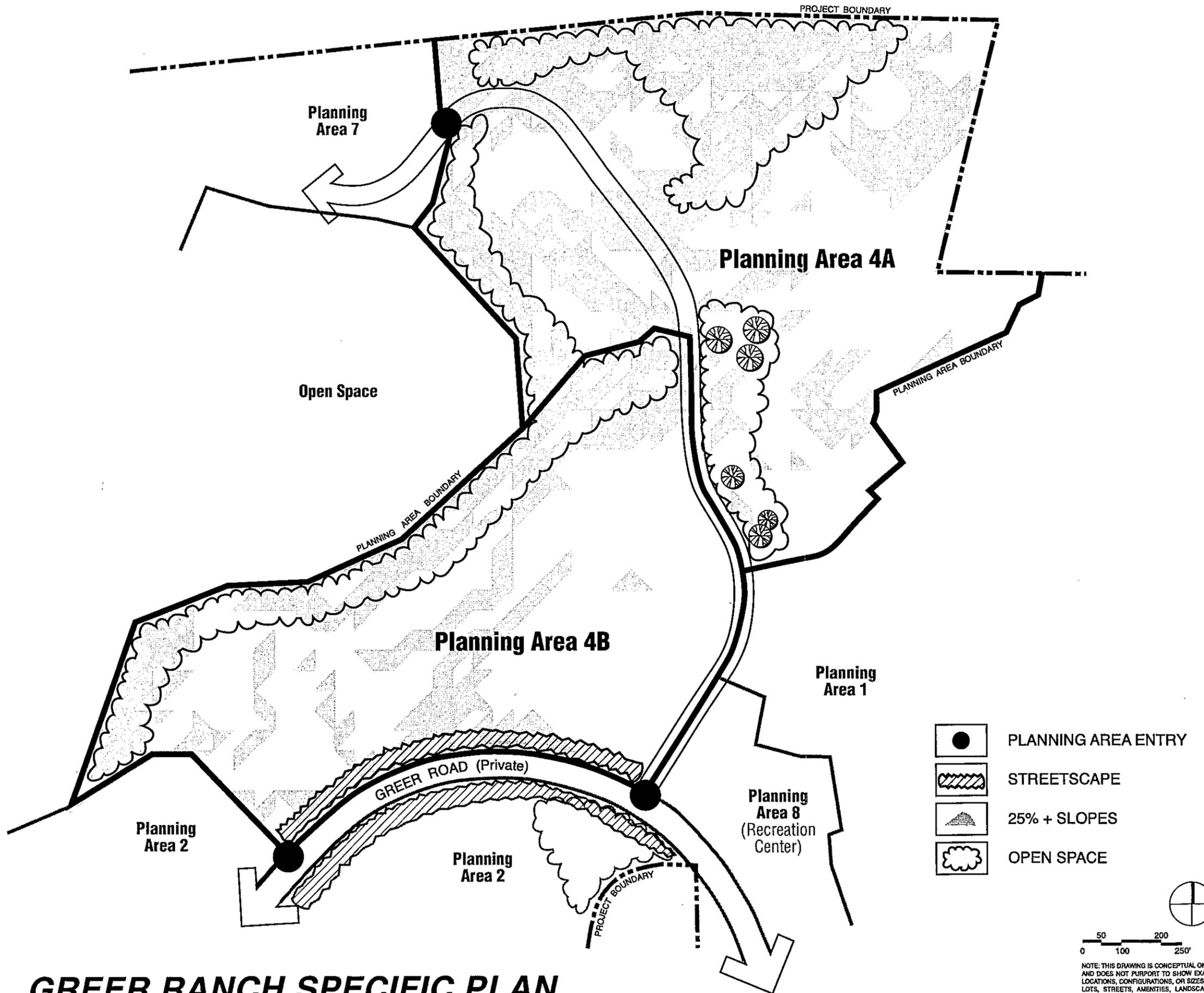
### c. Site and Design Features

- 1) Access: Primary access is via Greer Road to the south. The location and number of Planning Area access points shall be determined during the tentative map process and will be located and designed to provide adequate and safe traffic and emergency response access. See Chapter Three, Section IV-B1 for more detail on entries.
- 2) Slopes: Planning Area 4B is located in an area of moderate slopes, with a total of 6 acres (25 percent of the Planning Area) comprised of slopes of over 25 percent. These steeper slope areas are located primarily in the northernmost portion of the Planning Area adjacent to a large area of open space.
- 3) Open Space and Recreation: Planning Area 4B includes approximately 4.0 acres of open space, located in the western portion of the Planning Area.
- 4) Fuel Modification: Due to the presence of natural open space on the Planning Area's western boundary, fuel modification will be required along this interface.
- 5) Grading: Landform grading will be utilized adjacent to natural open space areas. See Chapter One, Section III.B.6 of this Specific Plan for grading design criteria.
- 6) Design Guidelines: Landscape design features include the streetscape along Greer Road, and entry treatments at the Planning Area entries.
- 7) Please refer to the following development plans and standards contained within Chapter One of this Specific Plan:

- III.B.2 Residential Land Use Plan
- III.B.3 Open Space and Recreation Plan
- III.B.4 Circulation Plan
- III.B.5 Conceptual Storm Drain Plan
- III.B.6 Grading Concept Plan

- III.B.7 Master Landscape Concept Plan
- III.B.8-9 Water and Sewer Plans
- III.B.10 Master Phasing Plan
- III.B.11 Public Facilities Financing Plan
- III.B.12 Other Public Facilities and Services

8) Please see Chapter Three, Community Design Manual, for other related design criteria.

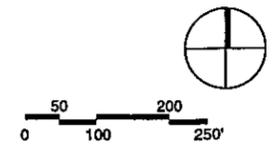


**LEGEND**

**PLANNING AREA 4A**  
 AREA: ± 30.1 ACRES (TOTAL)  
 OPEN SPACE: ± 13.6 ACRES  
 DEVELOPED AREA: ± 16.5 ACRES  
 GROSS DENSITY: 1.3 DU/AC  
 ESTIMATED NO. OF UNITS: 40 UNITS  
 AREA OF 25%+ SLOPES: ± 11 ACRES

**PLANNING AREA 4B**  
 AREA: ± 24.3 ACRES (TOTAL)  
 OPEN SPACE: ± 4.0 ACRES  
 DEVELOPED AREA: ± 20.3 ACRES  
 GROSS DENSITY: 1.7 DU/AC  
 ESTIMATED NO. OF UNITS: 42 UNITS  
 AREA OF 25%+ SLOPES: ± 6 ACRES

-  PLANNING AREA ENTRY
-  STREETSCAPE
-  25% + SLOPES
-  OPEN SPACE



NOTE: THIS DRAWING IS CONCEPTUAL ONLY, AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

**GREER RANCH SPECIFIC PLAN**

**EXHIBIT NO. 21  
 PLANNING AREA 4A AND 4B**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
 ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

## 7. Planning Area 5A

### a. Description

Planning Area 5A is located in the southwestern portion of Greer Ranch. Planning Area 5A, depicted on Exhibit 22, is proposed for Single-Family Residential with a minimum lot size of 6,000 square feet. Planning Area 5A consists of approximately 38.1 acres, has a gross density of 1.9 DU/AC and provides for 72 dwelling units. This represents 10.5 percent of the total unit count.

### b. Land Use and Development Standards

See Chapter Two, District Regulations.

### c. Site and Design Features

- 1) Access: Primary access is via Greer Road, The location and number of Planning Area access points shall be determined during the tentative map process and will be located and designed to provide adequate and safe traffic and emergency response access. See Chapter Three, Section IV-B1 for more detail on entries.
- 2) Slopes: Planning Area 5A is located in an area of moderate slopes, with a total of 17.5 acres ( 46 percent of the Planning Area) comprised of slopes of over 25 percent. The steeper slopes areas are located primarily in the northernmost portion of the Planning Area adjacent to a large area of natural open space.
- 3) Open Space and Recreation: Planning Area 5A contains 9.0 acres of open space, and provides access across Greer Road to Planning Area 9, the site of the public Neighborhood Park.
- 4) Fuel Modification: Due to the presence of natural open space on the Planning Area's northern boundary, fuel modification will be required along this interface.
- 5) Grading: Landform grading will be utilized adjacent to the open space areas. See Chapter One, Section III.B.6 of this Specific Plan for grading design criteria.
- 6) Design Guidelines: Landscape design features include the streetscape along Greer Road, and entry treatments at the Planning Area entries.
- 7) Please refer to the following development plans and standards contained within Chapter One of this Specific Plan:

III.B.2	Residential Land Use Plan
III.B.3	Open Space and Recreation Plan
III.B.4	Circulation Plan
III.B.5	Conceptual Storm Drain Plan

- III.B.6 Grading Concept Plan
- III.B.7 Master Landscape Concept Plan
- III.B.8-9 Water and Sewer Plans
- III.B.10 Master Phasing Plan
- III.B.11 Public Facilities Financing Plan
- III.B.12 Other Public Facilities and Services

8) Please see Chapter Three, Community Design Manual, for other related design criteria.

## 8. Planning Area 5B

### a. Description

Planning Area 5B is located at the extreme western boundary of Greer Ranch. The Planning Area, depicted on Exhibit 22, is proposed for Single-Family Residential with a minimum lot size of 6,000 square feet. Planning Area 5B consists of approximately 27.4 acres, has a gross density of 2.6 DU/AC, and provides for 71 dwelling units. This represents 10.3 percent of the total unit count.

### b. Land Use and Development Standards

See Chapter Two, District Regulations

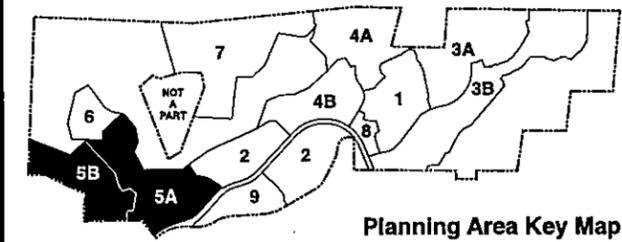
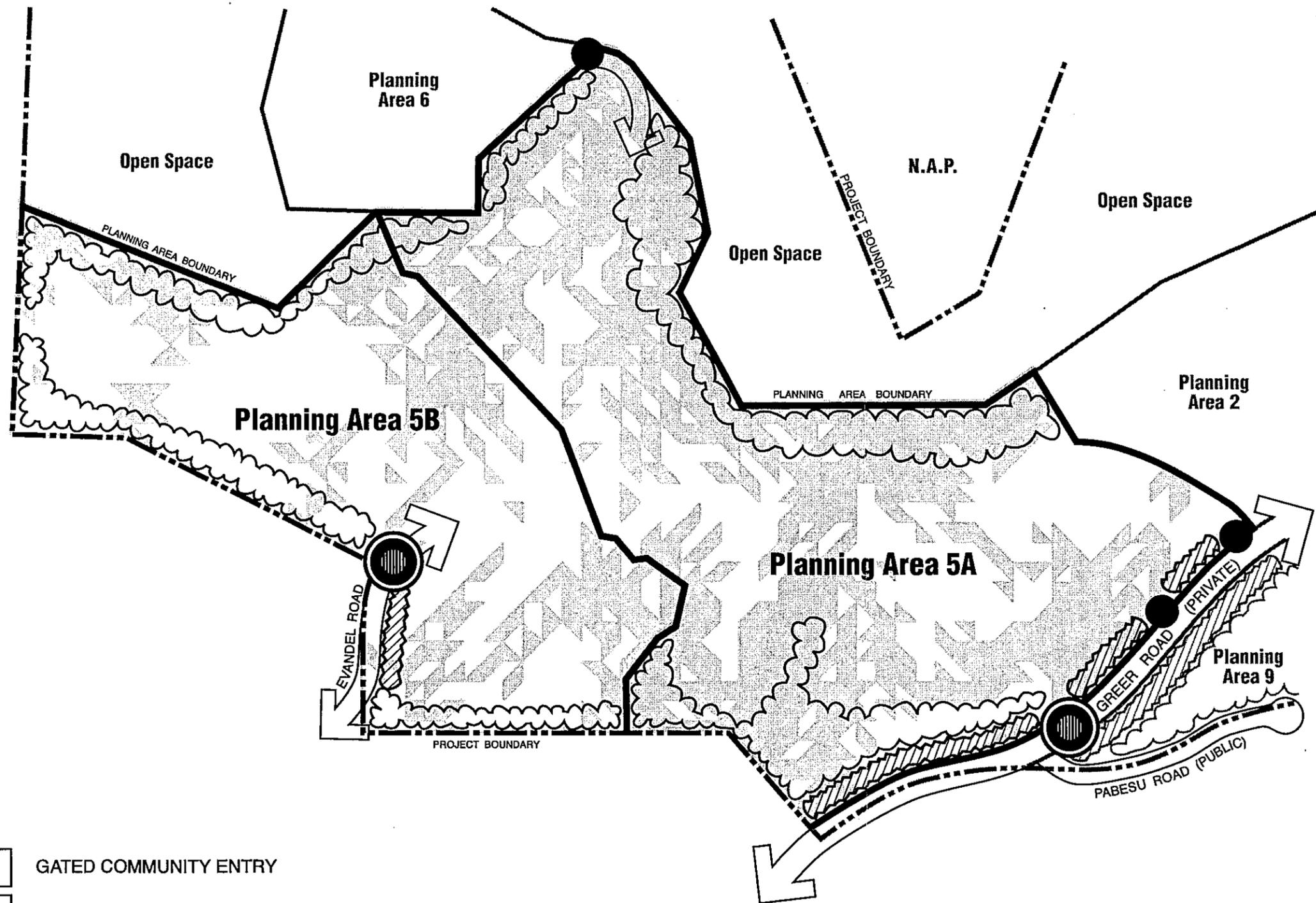
### c. Site and Design Features

- 1) Access: Primary access is via Evandel Road. Planning Area 5B includes one gated project entry. The location and number of Planning Area access points shall be determined during the tentative map process and will be located and designed to provide adequate and safe traffic and emergency response access. See Chapter Three, Section IV-B1 for more detail on entries.
- 2) Slopes: Planning Area 5 is located in an area of moderate slopes, with a total of 8.3 acres (30 percent of the Planning Area) comprised of slopes of over 25 percent. These steeper slope areas are located primarily in the northernmost portion of the Planning Area adjacent to the a large area of natural open space.
- 3) Open Space and Recreation: Planning Area 5B includes 7.5 acres of open space.
- 4) Fuel Modification: Due to the presence of natural open space on the Planning Area's northern and eastern boundary, fuel modification will be required along these interfaces.
- 5) Grading: Landform grading will be utilized adjacent to the open space areas. See Chapter One, Section III.B.6 of this Specific Plan for grading design criteria.
- 6) Design Guidelines: The Landscape design features include the streetscape along Greer Road and entry treatments at the gated project entry and Planning Area entries.
- 7) Please refer to the following development plans and standards contained within Chapter One of this Specific Plan:

- III.B.2 Residential Land Use Plan
- III.B.3 Open Space and Recreation Plan
- III.B.4 Circulation Plan

- III.B.5 Conceptual Storm Drain Plan
- III.B.6 Grading Concept Plan
- III.B.7 Master Landscape Concept Plan
- III.B.8-9 Water and Sewer Plans
- III.B.10 Master Phasing Plan
- III.B.11 Public Facilities Financing Plan
- III.B.12 Other Public Facilities and Services

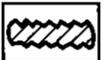
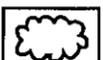
8) Please see Chapter Three, Community Design Manual, for other related design criteria.

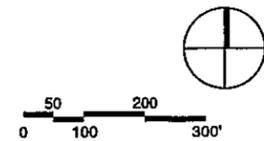


**LEGEND**

**PLANNING AREA 5A**  
 AREA: ±38.1 ACRES (TOTAL)  
 OPEN SPACE: ±9.0 ACRES  
 DEVELOPED AREA: ±29.1 ACRES  
 GROSS DENSITY: 1.9 DU/AC  
 ESTIMATED NO. OF UNITS: 72 UNITS  
 AREA OF 25%+ SLOPES: ± 17.5 ACRES

**PLANNING AREA 5B**  
 AREA: ±27.4 ACRES (TOTAL)  
 OPEN SPACE: ±7.5 ACRES  
 DEVELOPED AREA: ±19.9 ACRES  
 GROSS DENSITY: 2.6 DU/AC  
 ESTIMATED NO. OF UNITS: 71 UNITS  
 AREA OF 25%+ SLOPES: ± 8.3 ACRES

-  GATED COMMUNITY ENTRY
-  PLANNING AREA ENTRY
-  STREETSCAPE
-  25% + SLOPES
-  OPEN SPACE



NOTE: THIS DRAWING IS CONCEPTUAL ONLY, AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

**GREER RANCH SPECIFIC PLAN**

**EXHIBIT NO. 22  
 PLANNING AREA 5A AND 5B**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
 ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

## 9. Planning Area 6

### a. Description

Planning Area 6 is located in the northwest portion of Greer Ranch, bounded by Planning Area 5A to the south and open space to the north, east, and west. Planning Area 6, depicted on Exhibit 23, is proposed as Estate Residential uses with a minimum lot size of one acre. The Planning Area consists of 10 acres, has a maximum density of 0.6 DU/AC, and provides for the development of approximately 6 dwelling units. This represents 0.9 percent of the total unit count.

### b. Land Use and Development Standards

See Chapter Two, District Regulations.

### c. Site and Design Features

- 1) Access: Planning Area 6 is accessed via the Mountain Local road, which ultimately connects to Greer Road.

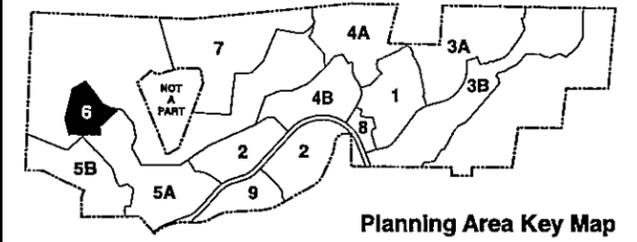
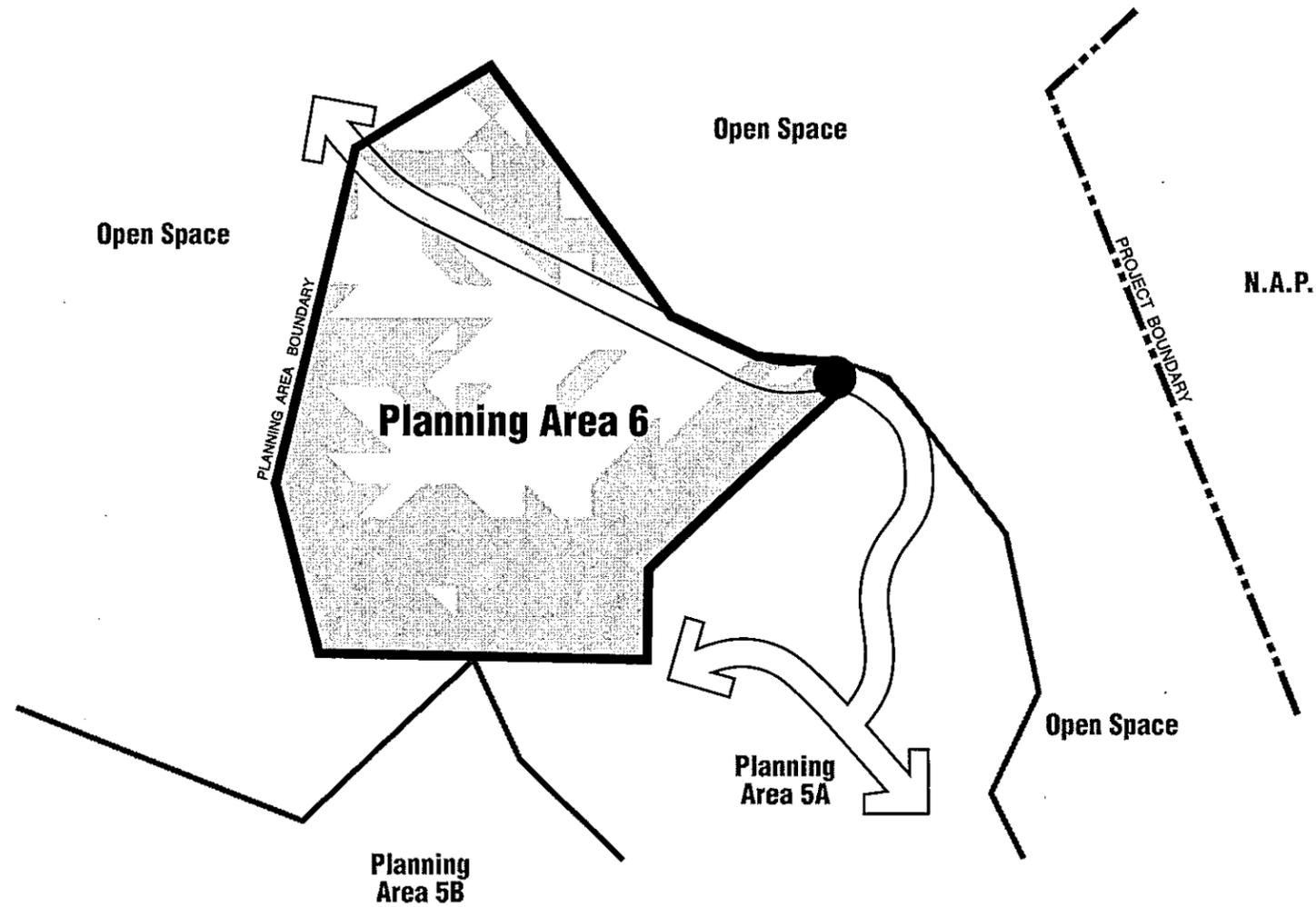
The location and number of Planning Area access points shall be determined during the tentative map process and will be located and designed to provide adequate and safe traffic and emergency response access. See Chapter Three, Section IV-B1 for more detail on entries.

- 2) Slopes: Planning Area 6 is located in a steeper slope area, with a total of 7.7 acres ( 77 percent of the Planning Area) of the area with slopes over 25 percent. These areas are primarily located in the northeastern portion of the Planning Area.
- 3) Open Space and Recreation: Planning Area 6 is made up of large lots which include slope areas as a transition to open space.
- 4) Fuel Modification: Due to the presence of natural open space, fuel modification will be required in connection with development of the lots in this Planning Area.
- 5) Grading: Landform grading will be stressed in this area with specific design criteria and guidelines provided. See Chapter One, Section III.B.6 of this Specific Plan for grading design criteria.
- 6) Design Guidelines: Design features include streetscapes along the Mountain Local road.
- 7) Please refer to the following Development Plans and Standards contained within Chapter One of this Specific Plan:

III.B.2 Residential Land Use Plan

- III.B.3 Open Space and Recreation Plan
- III.B.4 Circulation Plan
- III.B.5 Conceptual Storm Drain Plan
- III.B.6 Grading Concept Plan
- III.B.7 Master Landscape Concept Plan
- III.B.8-9 Water and Sewer Plans
- III.B.10 Master Phasing Plan
- III.B.11 Public Facilities Financing Plan
- III.B.12 Other Public Facilities and Services

8) Please see Chapter Three, Community Design Manual, for other related design criteria.

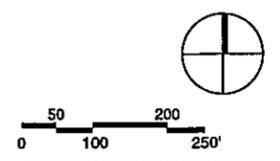


**LEGEND**

AREA: ± 10.0 ACRES (TOTAL)  
 OPEN SPACE: 0 ACRES \*  
 DEVELOPED AREA: ± 10.0 ACRES\*  
 GROSS DENSITY: 0.6 DU/AC  
 ESTIMATED NO. OF UNITS: 6 UNITS  
 MINIMUM LOT SIZE: 1 ACRE  
 AREA OF 25%+ SLOPES: ± 7.7 ACRES

\* Portions of Lots May Remain Natural

 PLANNING AREA ENTRY  
 25% + SLOPES



NOTE: THIS DRAWING IS CONCEPTUAL ONLY, AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

# GREER RANCH SPECIFIC PLAN

**EXHIBIT NO. 23**  
**PLANNING AREA 6**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
 ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

## 10. Planning Area 7

### a. Description

Planning Area 7 is located in the northern portion of Greer Ranch, bounded by Planning Area 4A to the east and open space to the south and west. Planning Area 7, depicted on Exhibit 24, is proposed for Estate Residential with a minimum lot size of one acre. Planning Area 7 consists of approximately 47.8 acres, has a gross density of 0.5 dwelling unit per acre, and provides for the development of approximately 24 custom lots. This represents 4 percent of the total unit count.

### b. Land Use and Development Standards

See Chapter Two, District Regulations.

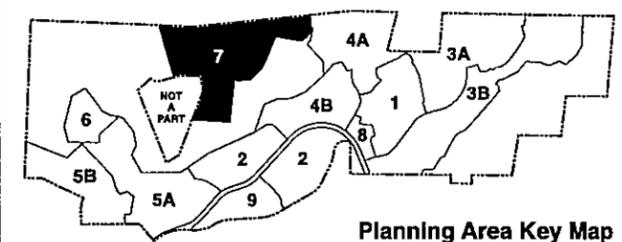
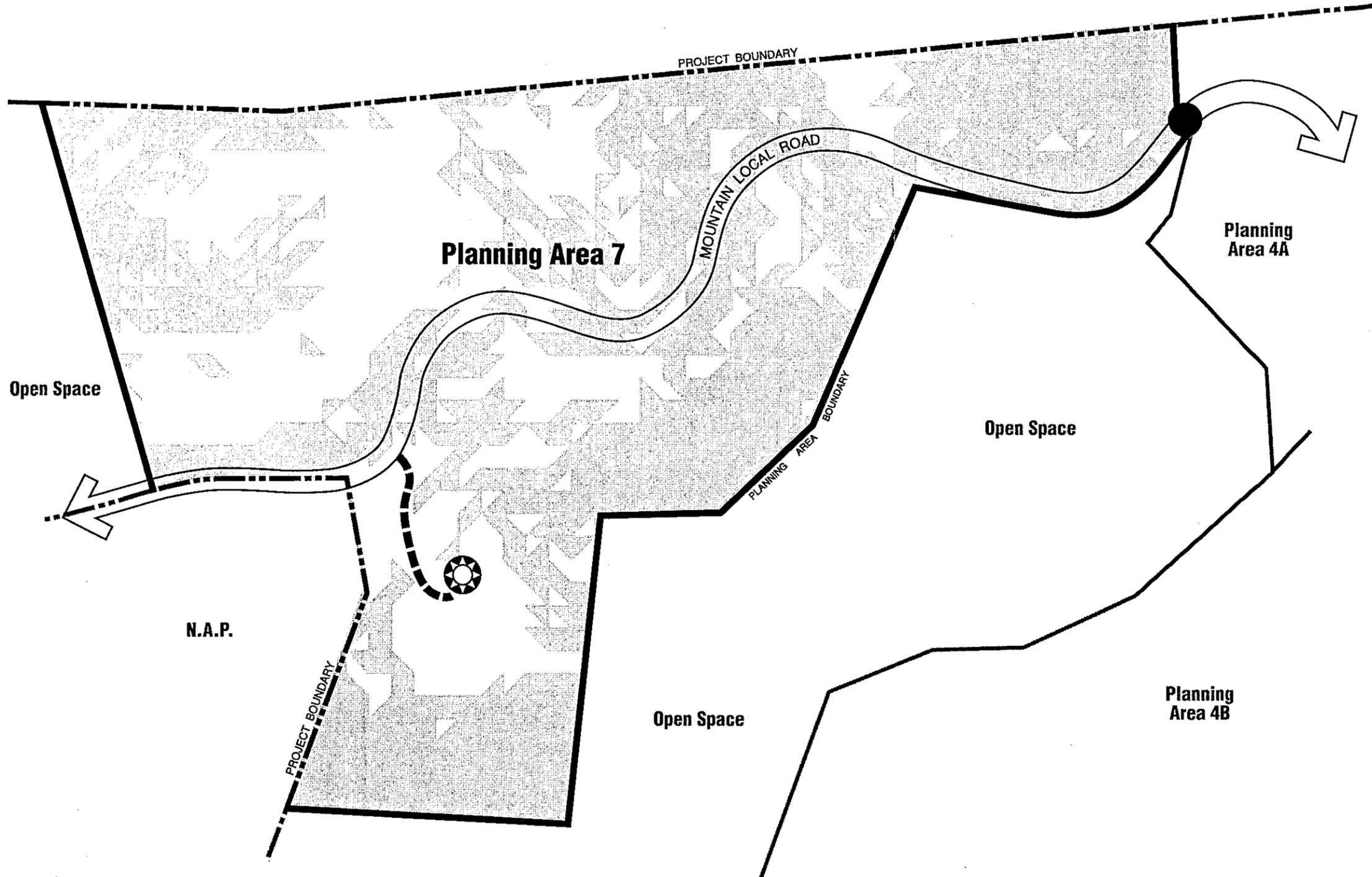
### c. Site and Design Features

- 1) Access: Access is via the "Mountain Local" Road, with one Planning Area entry. The location and number of Planning Area access points shall be determined during the tentative map process and will be located and designed to provide adequate and safe traffic and emergency response access. See Chapter Three, Section IV-B1 for more detail on entries.
- 2) Slopes: Planning Area 7 has a total of 24 acres (50 percent of the Planning Area) with slopes over 25 percent.
- 3) Open Space and Recreation: Planning area 7 is made up of large lots which include slope areas as a transition to open space areas.
- 4) Fuel Modification: Due to the presence of natural open space on the Planning Area's boundaries, fuel modification will be required for individual lots.
- 5) Grading: Landform grading will be stressed in this area with specific hillside design guidelines provided. See Chapter One, Section III.B.6 of this Specific Plan for grading design criteria.
- 6) Design Guidelines: Design features include streetscapes along the Mountain Local road.
- 7) Please refer to the following development plans and standards contained within Chapter One of this Specific Plan:

III.B.2	Residential Land Use Plan
III.B.3	Open Space and Recreation Plan
III.B.4	Circulation Plan
III.B.5	Conceptual Storm Drain Plan

- III.B.6 Grading Concept Plan
- III.B.7 Master Landscape Concept Plan
- III.B.8-9 Water and Sewer Plans
- III.B.10 Master Phasing Plan
- III.B.11 Public Facilities Financing Plan
- III.B.12 Other Public Facilities and Services

8) Please refer to Chapter Three, Community Design Manual, for other related design criteria.

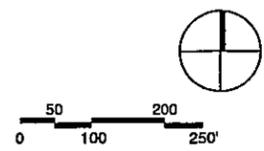


**LEGEND**

AREA: ± 47.8 ACRES (TOTAL)  
 OPEN SPACE: 0.0 ACRES \*  
 DEVELOPED AREA: ± 47.8 ACRES \*  
 GROSS DENSITY: 0.5 DU/AC  
 ESTIMATED NO. OF UNITS: 24 UNITS  
 MINIMUM LOT SIZE: 1 ACRE  
 AREA OF 25%+ SLOPES: ± 24 ACRES

\* Portions of Lots May Remain Natural

-  PLANNING AREA ENTRY
-  25% + SLOPES
-  WATER RESERVOIR
-  ACCESS EASEMENT (SHOWN SCHEMATICALLY)



NOTE: THIS DRAWING IS CONCEPTUAL ONLY AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

# GREER RANCH SPECIFIC PLAN

## EXHIBIT NO. 24 PLANNING AREA 7

FOR: Lennar Greer Ranch Venture, LLC

BRYAN MENNE & ASSOCIATES ■ Land Planning  
 ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

## 11. Planning Area 8

### a. Description

Planning Area 8 is located in the south-central portion of the Site near the main Gated Project entry on Greer Road. Planning Area 8, depicted on Exhibit 25, is proposed as a private Community Center consisting of approximately 4.3 gross acres.

### b. Land Use and Development Standards

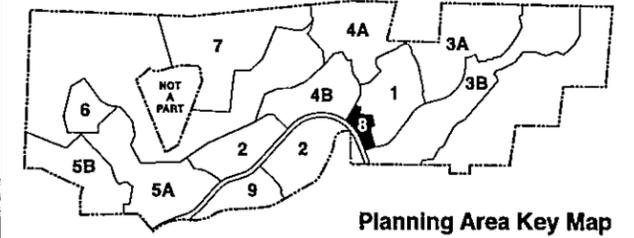
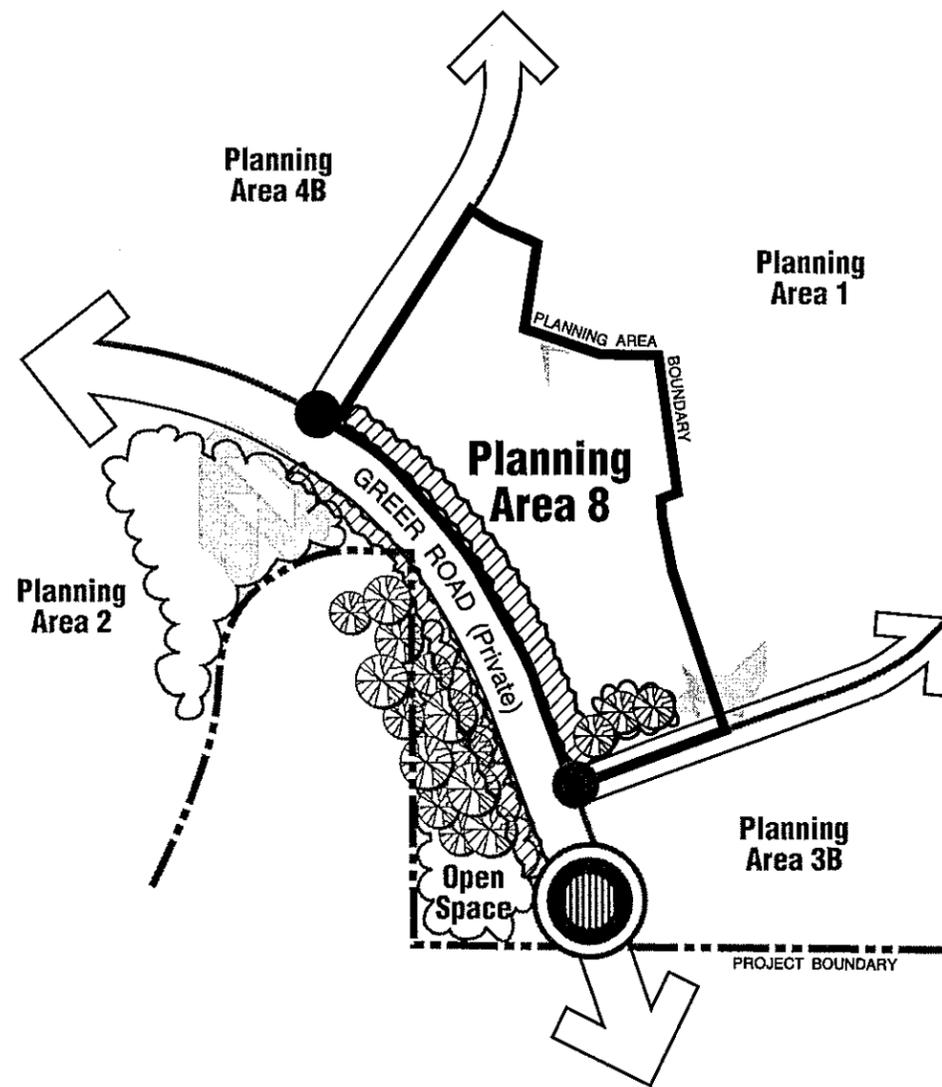
See Chapter Two, District Regulations.

### c. Site and Design Features

- 1) Access: Primary access is via Greer Road. The location and number of Planning Area access points shall be determined during the tentative map process and will be located and designed to provide adequate and safe traffic and emergency response access. See Chapter Three, Section IV-B1 for more detail on entries.
- 2) Slopes: Planning Area 8 is located in a gently sloped area, with a total of 0.03 acres (0.7 percent of the Planning Area) with slopes of over 25 percent. These areas are primarily in the southern portion of the Planning Area.
- 3) Open Space and Recreation: Planning Area 8 is proposed to be a private Community Center, providing tennis courts, a swimming pool and other accommodations for Greer Ranch residents. The facility may initially be used as the sales center for the sale of residential units in Greer Ranch. This Planning Area contains approximately 1.0 acre of open space.
- 4) Design Guidelines: Landscape design features include the streetscapes along Greer Road and the main entry area which complete the "sense of arrival."
- 5) Please refer to the following development plans and standards contained within Chapter One of this Specific Plan:
  - III.B.2 Residential Land Use Plan
  - III.B.3 Open Space and Recreation Plan
  - III.B.4 Circulation Plan
  - III.B.5 Conceptual Storm Drain Plan
  - III.B.6 Grading Concept Plan
  - III.B.7 Master Landscape Concept Plan

- III.B.8-9 Water and Sewer Plans
- III.B.10 Master Phasing Plan
- III.B.11 Public Facilities Financing Plan
- III.B.12 Other Public Facilities and Services

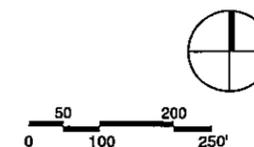
6) Please see Chapter Three, Community Design Manual, for other related design criteria.



**LEGEND**

AREA: ± 4.3 ACRES (GROSS)  
 OPEN SPACE: ± 1.0 ACRES  
 DEVELOPED AREA: ± 3.3 ACRES  
 LAND USE: RECREATION CENTER  
 AREA OF 25%+ SLOPES: ± 0.03 ACRES

-  GATED COMMUNITY ENTRY
-  PLANNING AREA ENTRY
-  STREETSCAPE
-  25% + SLOPES
-  OPEN SPACE



NOTE: THIS DRAWING IS CONCEPTUAL ONLY, AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

**GREER RANCH SPECIFIC PLAN**

**EXHIBIT NO. 25  
 PLANNING AREA 8**

FOR: Lennar Greer Ranch Venture, LLC

BRYAN MENNE & ASSOCIATES ■ Land Planning  
 ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

## 12. Planning Area 9

### a. Description

Planning Area 9 is located in the southern portion of the Site along Greer Road, and is bounded by Planning Area 2 to the east and north, and Planning Area 5A to the west. Planning Area 9, depicted on Exhibit 26, is proposed as a public Neighborhood Park and consists of approximately 13.6 gross acres.

### b. Land Use and Development Standards

See Chapter Two, District Regulations.

### c. Site and Design Features

- 1) Access: Greer Ranch private access is from Greer Road, while public access is from Pabesu Road southerly of the Site.

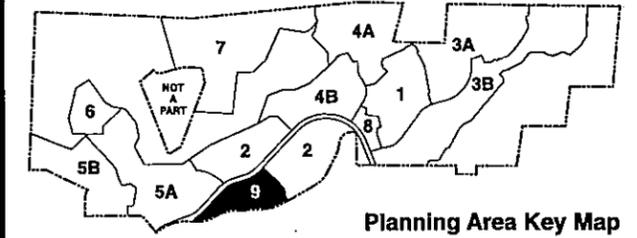
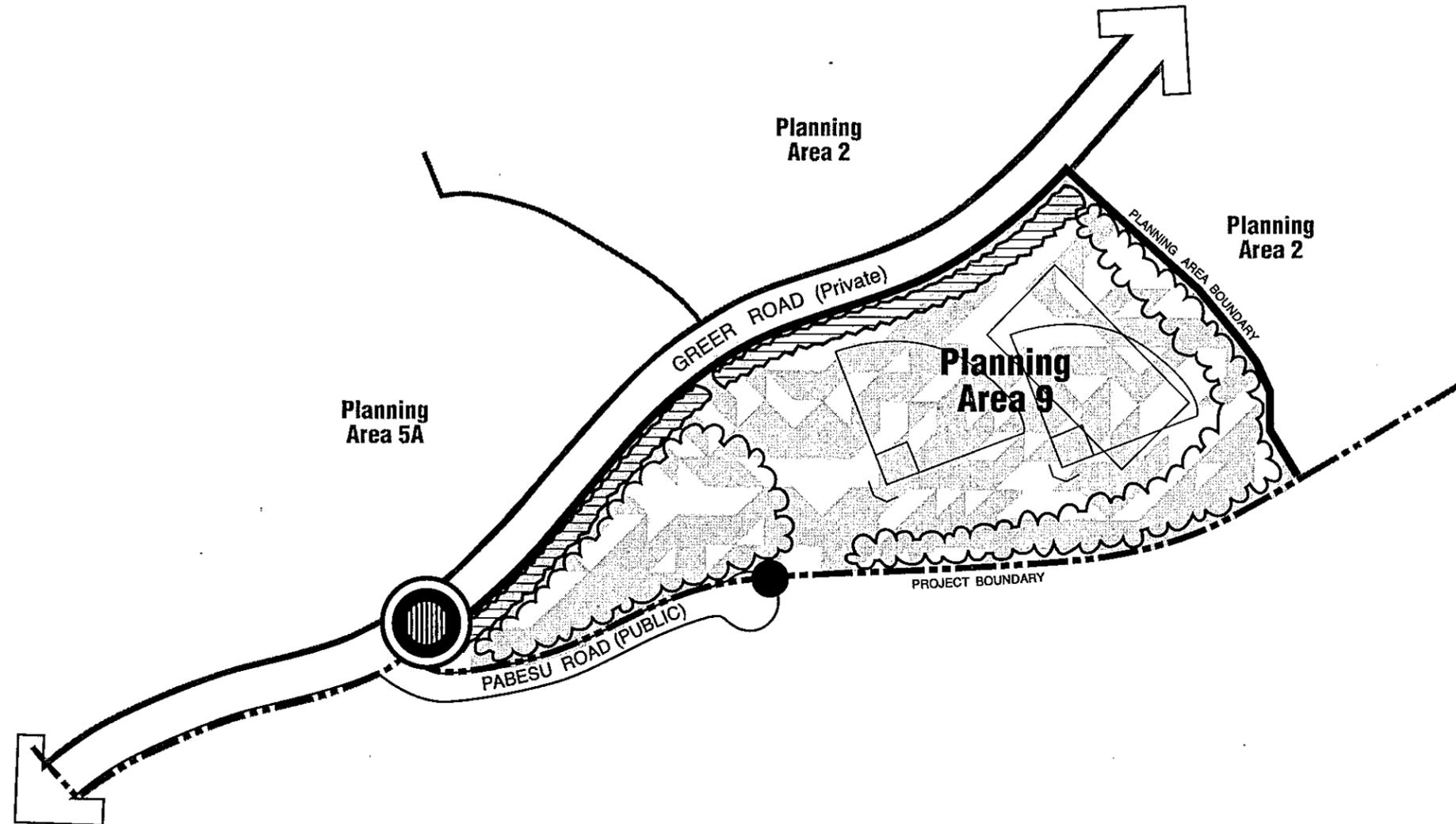
The location and number of Planning Area access points shall be determined during the tentative map process and will be located and designed to provide adequate and safe traffic and emergency response access. See Chapter Three, Section IV-B1 for more detail on entries.

- 2) Slopes: Planning Area 9 includes a total of 7.7 acres ( 57 percent of the Planning Area) with slopes over 25 percent.
- 3) Open Space and Recreation: Planning Area 9 is a public Neighborhood Park, which includes approximately 10.1 developed acres and approximately 6.0 net usable acres potentially accommodating several multi-purpose ball and soccer fields and active open play and passive picnicking areas. The balance of Planning Area 9, approximately 3.5 acres, will be natural open space.
- 4) Drainage: The open space area is proposed to serve as a detention basin during storms. This will help meet the Project's goal in post-development flow rates, and will facilitate groundwater recharge.
- 5) Design Guidelines: Landscape design features include the streetscape along Greer Road and Pabesu Road and plantings of appropriate turf, trees, shrubs, and groundcover within the park area.
- 6) Please refer to the following development plans and standards contained within Chapter One of this Specific Plan:

III.B.2	Residential Land Use Plan
III.B.3	Open Space and Recreation Plan
III.B.4	Circulation Plan

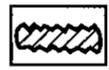
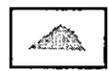
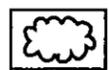
- III.B.5 Conceptual Storm Drain Plan
- III.B.6 Grading Concept Plan
- III.B.7 Master Landscape Concept Plan
- III.B.8-9 Water and Sewer Plans
- III.B.10 Master Phasing Plan
- III.B.11 Public Facilities Financing Plan
- III.B.12 Other Public Facilities and Services

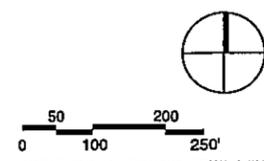
7) Please see Chapter Three, Community Design Manual, for other related design criteria.



**LEGEND**

AREA: ± 13.6 ACRES (TOTAL)  
 ± 10.1 ACRES PUBLIC NEIGHBORHOOD PARK (GROSS)  
 ± 3.5 OPEN SPACE  
 NET USABLE AREA: ± 6.0 ACRES  
 LAND USE: PUBLIC NEIGHBORHOOD PARK AND OPEN SPACE

-  GATED COMMUNITY ENTRY
-  PLANNING AREA ENTRY (PUBLIC)
-  STREETSCAPE
-  25% + SLOPES
-  OPEN SPACE



NOTE: THIS DRAWING IS CONCEPTUAL ONLY, AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

**GREER RANCH SPECIFIC PLAN**

**EXHIBIT NO. 26  
 PLANNING AREA 9**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
 ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

#### **IV. IMPLEMENTATION PROGRAM**

The implementation program consists of administrative entities which may be utilized to provide major infrastructure financing and project maintenance mechanisms. It also includes standards for determining administrative and discretionary procedures related to project entitlement or project administration.

##### **A. ADMINISTRATIVE ENTITIES**

###### **1. Homeowners Associations**

It is anticipated that a Master Homeowners Association will be established concurrently with the recordation of the first final tract map relating to Greer Ranch. The Master Homeowners Association may be dormant except for architectural and landscape design control functions (see Chapter Three, Community Design Manual, Design Review Process) or may be directly responsible for the administration and funding of parkway, median and open space areas maintenance, although these may in whole or part be the responsibility of the Murrieta Community Services District. The Master Homeowners Association may also coordinate and oversee the functions of the neighborhood associations, if any, which may be established within Greer Ranch.

###### **2. Covenants, Conditions and Restrictions**

CC&Rs will play a significant role in guiding implementation of architectural and landscaping control and the management and protection of open space and recreation areas in Greer Ranch. The first layer of CC&Rs affecting architectural control will be under the jurisdiction of, the Master Developer. Prior to construction of any residential tracts by merchant builders, The Master Developer may wish to exercise design review authority over the architecture, equipment and landscaping pursuant to the CC&Rs.

The Master Developer may establish a second layer of CC&Rs to provide the Master Homeowners Association with certain authority relating to architectural elements of Greer Ranch and the management and protection of the Community Center and open space features.

**B. DISCRETIONARY APPROVALS**

**1. Vesting Tentative Tract Map**

The requirements of Development Code Section 16.96.030.B.4 regarding VTMs are fully satisfied by this Specific Plan. The approval of a vesting tentative tract map confers a vested right to proceed with development in substantial compliance with the ordinances, policies and standards in effect at the time application for the vested map is deemed complete.

This Specific Plan is written based on current City standards, policies and ordinances. The City will review future subdivisions in accordance with the District Regulations and Community Design Guidelines set forth in the Specific Plan. Vesting tentative tract maps may be requested for all or portions of the Planning Areas.

**CHAPTER TWO**

**DISTRICT REGULATIONS**

## CHAPTER TWO, DISTRICT REGULATIONS

### INTRODUCTION

These District Regulations detail the development parameters for Greer Ranch, including the land use mix, design criteria, primary circulation pattern, open space and recreation concept, and infrastructure requirements. The character and form of Greer Ranch will be implemented through these District Regulations.

These District Regulations also serve as an important tool through which the City will review and evaluate schematic, preliminary and final drawings for each individual project to be built in Greer Ranch.

These district Regulations are adopted and conformed pursuant to Ordinance No. 348, Article II, General Plan and Specific Plans, and Article XVIIa, SP Zone (Specific Plan) of the municipal Code and are intended to implement the General Plan. These District Regulations set forth the development and use standards for the entire site by establishing:

- Permitted conditionally permitted and prohibited uses
- Minimum lot sizes
- Setbacks
- Height limitations
- Parking requirements
- Landscape requirements
- Use restrictions
- Density of development
- Lot size, width and depth
- Fencing requirements
- Signing regulations

These district Regulations establish two categories of Specific Plan Districts, which are described in Sections 2.0 and 3.0 of this Chapter Two:

- Residential (ER-1 and SF1-6000)
- Special Purpose (OS-AR and OS-NR)

Each of these Specific Plan Districts is further broken down into specific Planning Areas (see Chapter One and Exhibit 6).

## **1.0 GENERAL PROVISIONS**

### **1.1 PURPOSE AND INTENT**

These District Regulations are intended to:

- A. Provide for the orderly planning and long term development of Greer Ranch so that the entire community and subsequent extensions of Planning Areas, if any, will be of a stable and desirable character.
- B. Enable the City to adopt measures providing for the development of the surrounding area compatible with the development of Greer Ranch pursuant to this Specific Plan.
- C. Enhance and implement the General Plan.
- D. Secure for the citizens of the City the advantages resulting from an orderly planned use of urban resources.
- E. Establish conditions which will allow proposed land uses to exist in harmony within the community.
- F. Provide for community facilities, such as transportation, water, sewage, parks, schools and other public requirements.
- G. Provide flexibility in development standards and permit planned diversification in the location of land uses and structures.
- H. Recognize the inherent influence that economic conditions and consumer needs will have in the development of Greer Ranch.
- I. Allow a diversity of uses, site relationships, heights of buildings and open space in planned building groups, while insuring compliance with the spirit, intent, and provisions of the Municipal Code.

### **1.2 AUTHORITY AND SCOPE**

Cities are authorized by the California Government Code to adopt Specific Plans under Title 7, Division 1, Chapter 3, Article 8, Sections 65450 et seq. These District Regulations are applicable to the area covered by the District Map (see Exhibit 27) and previously defined as "Greer Ranch" and the "Site".

### 1.3 PLANNING AREAS

Greer Ranch has been divided into 12 Planning Areas, all of which are shown on the Land Use Plan (see Exhibit 6) and the District Map (see Exhibit 27), for the general purpose of segregating land uses, identifying potential phasing areas, allocating incremental costs and responding to significant physical separations. The Planning Areas may be used to describe any future phasing plans, precise plans, etc.

### 1.4 RESIDENTIAL DWELLING UNIT AND LOT SIZE SUMMARY

In accordance with Policy LU-1.1p of the Land Use Element, the maximum number of residential dwelling units permitted for Greer Ranch shall be **688** and the minimum lot size shall be 6,000 square feet. The proposed mixture of residential types is as follows:

Land Use Designation	Minimum Permitted lot Size	Estimated Units
Single-Family Residential (SF1-6000)	6,000 s.f.	658
Estate Residential (ER-1)	one acre	30
Total		688

### 1.5 DENSITY TRANSFER

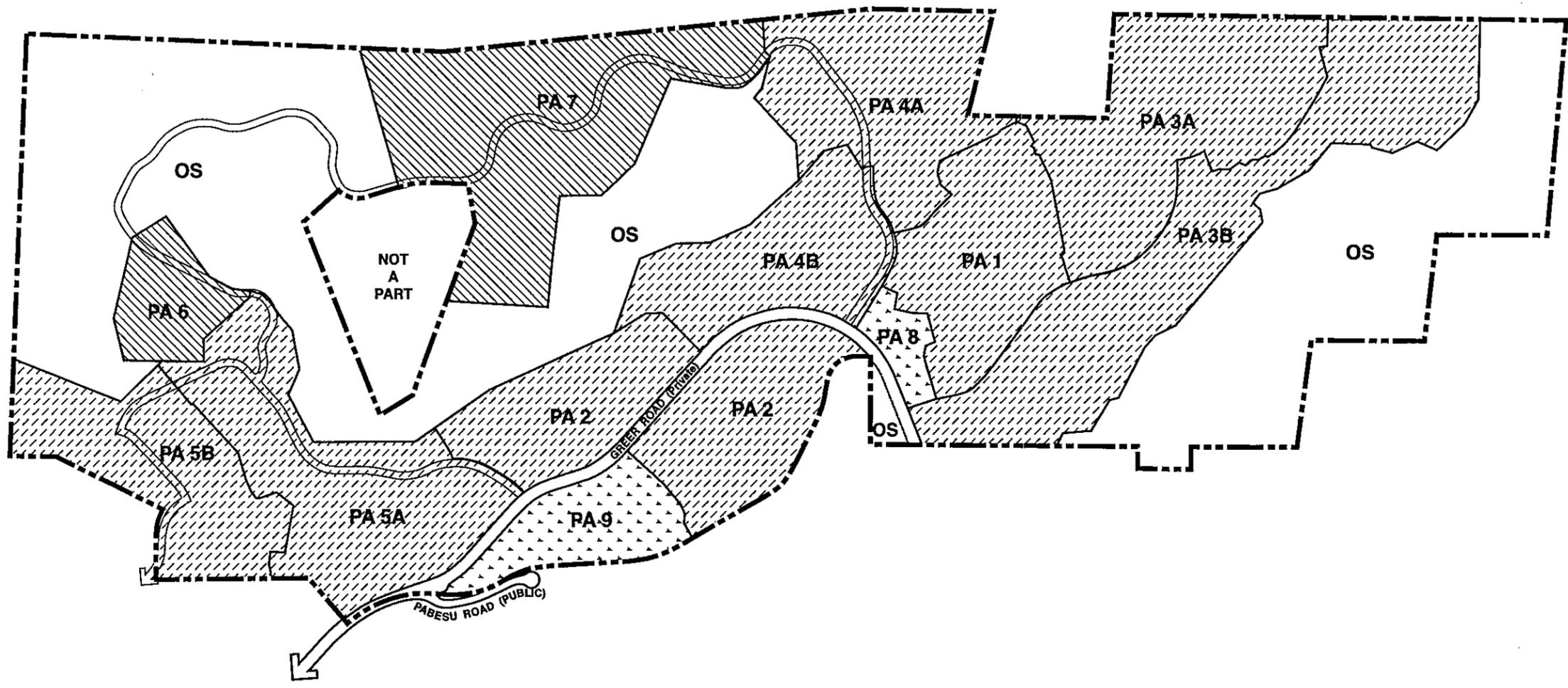
The transfer of residential dwelling units between Planning Areas within Greer Ranch is permitted so long as the total number of residential dwelling units does not exceed 688 and the lot size for each residential unit is not less than 6,000 square feet.

### 1.6 PRIVATE AGREEMENTS

These District Regulations are not intended to abrogate any easements, covenants, or other existing private agreements which are more restrictive than the provisions of these District Regulations.

### 1.7 RELATIONSHIP TO OTHER CITY ORDINANCES

- A. These District Regulations and the other provisions in this Specific Plan are in addition to those set forth in the Development Code and any other relevant local ordinances, and do not convey any rights not otherwise granted under the provisions and procedures contained in the Development Code, except as specifically provided for herein. These District Regulations comprise the zoning for Greer Ranch.



- ### LEGEND
-  ESTATE RESIDENTIAL DISTRICT (ER-1)
  -  SINGLE-FAMILY RESIDENTIAL DISTRICT (SF1-6000)
  -  OPEN SPACE - NATURAL RESOURCE DISTRICT (OS-NR)
  -  OPEN SPACE - ACTIVE RECREATION DISTRICT (OS-AR)

**EXHIBIT NO. 27**  
**DISTRICT MAP**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
 ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers



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# GREER RANCH SPECIFIC PLAN

- B. Whenever these District Regulations and other Chapters in this Specific Plan contain provisions which establish requirements (including, but not limited to, such standards as densities, heights, uses, parking requirements, sign requirements, landscaping and open space requirements) which are different from, more restrictive or more permissive than would otherwise be allowed pursuant to any provisions in the Development Code and other City ordinances and regulations, these District Regulations and the other provisions in the Specific Plan shall prevail over and supersede those applicable provisions in the Development Code or other relevant City ordinance or regulation. However, except as otherwise provided herein, where the Development Code or other City ordinance or regulation contains provisions which establish requirements that are not specifically covered by these District Regulations or other provisions in the Specific Plan, the applicable provisions in the Development Code or other City ordinance or regulation shall control.

## **1.8 GENERAL NOTES**

### **A. Purpose and Intent**

This section includes methods of statistical computation, provision for services, relationship of this Specific Plan to existing codes, ordinances and regulations and other miscellaneous notes required for clarification.

### **B. General Notes**

1. In the event that it is unclear whether a proposed land use is permitted in a Specific Plan District, the Community Development Director shall determine if the proposed land use is consistent with the purposes of the applicable Specific Plan District and is either a permitted use, a conditionally permitted use, a temporary use, or is not permitted.
2. The Districts for Greer Ranch are set forth in Sections 2.0 and 3.0 of this Chapter Two and the District Map (see Exhibit 27).
3. The original of the land Use Plan shall be kept on file with the City Clerk and shall constitute the original record. A copy of said map shall be also filed with the Planning Department.
4. Unless otherwise noted, references to section numbers and paragraphs are references to sections and paragraphs in this Specific Plan.
5. Circulation routes indicated on the Circulation Plan (see Exhibit 8) show the general location of anticipated collector streets. The addition, deletion, or other modification of circulation routes approved by the City Council as a result of an

amendment to the General Plan Circulation Element may occur without a revision to this Specific Plan. The total number of Greer Ranch dwelling units permitted (688) cannot be increased as a result of a General Plan circulation route change without this Specific Plan being amended.

6. Any references in this Specific Plan to a Section or Chapter of the Municipal Code shall be deemed a reference to that Section or Chapter, as the same may be amended, restated and/or renumbered from time to time, and no such amendment, restatement and/or renumbering shall require an amendment to this Specific Plan.
7. It is anticipated that public services and utilities will be provided by the following entities:
  - a. Water-Elsinore Valley Municipal Water District and/or Eastern Municipal Water District
  - b. Sewer-Elsinore Valley Municipal Water District and/or Eastern Municipal Water District
  - c. Flood Control-City of Murrieta and/or County of Riverside
  - d. Electrical-Southern California Edison
  - e. Natural Gas-Southern California Gas
  - f. School Facilities-Murrieta Valley Unified School District
  - g. Public Parks-City of Murrieta
  - h. Fire Protection-City of Murrieta Fire Department
  - i. Police Protection-City of Murrieta Police Department
  - j. Telephone Service-General Telephone

Specific agency responsibility for water and sewer service will be determined through the final map and improvement plan process.

8. Grading may be permitted within Greer Ranch upon preparation of a grading plan and the securing of a grading permit. Any off-site grading shall be subject to the same approval process.
9. The individual acreages indicated on the Land Use Plan (see Exhibit 6) are based on planimeter readings. Modifications that may result from technical refinements such as land surveys performed during any Development Plan Permit or subdivision process will not require an amendment to this Specific Plan, provided that the spirit and intent of this Specific Plan is maintained.

#### **1.9 ENFORCEMENT**

The provisions of this Specific Plan shall be enforced by the City in the same manner that the City enforces the provisions of the Development Code.

## **1.10 ESTABLISHMENT OF SPECIFIC PLAN DISTRICTS**

### **A. Division into Specific Plan Districts**

In order to classify, regulate, restrict and separate the use of land, buildings and structures, and to regulate and limit the type, height and bulk of buildings and structures in the various Districts, and to regulate the areas of yards and other open area abutting and between buildings and structures, and to regulate the density of population, Greer Ranch is hereby divided into the following Specific Plan Districts:

#### **Residential Districts**

ER-1 Estate Residential (one acre minimum lot size)  
SF1-6000 Single Family Residential (6,000 square foot minimum lot size)

#### **Special Purpose Districts**

OS-AR Open Space-Active Recreation District  
OS-NR Open Space-Natural Resource District

### **B. Changes to the Specific Plan District Map**

Changes to the District Map (see Exhibit 27) resulting from the more precise engineering of an approved final map may be made to the District Map as an administrative matter. Such revisions shall be documented in the same manner as a formal amendment, showing the date and action approving the revision. Changes to either the maximum number of allowed residential dwelling units (688) or the minimum permitted lot size (6,000 square feet) shall require Specific Plan and General Plan amendments.

## **2.0 RESIDENTIAL DISTRICTS**

### **2.1 PURPOSE**

In addition to the objectives outlined in Section 1.0, the establishment of the Residential Districts is intended to achieve the following purposes:

- A. To reserve appropriately located areas for residential living with a diversity of dwelling unit densities consistent with this Specific Plan and with standards of public health, safety and welfare.
- B. To ensure adequate light, air, privacy, and open space for each dwelling.
- C. To minimize traffic congestion and to avoid the overloading of public services and utilities by phasing the construction of buildings in relation to the available infrastructure.
- D. To facilitate the provision of utility services and other public facilities commensurate with anticipated population, dwelling unit densities, and service requirements.
- E. To protect residential properties from noise, illumination, unsightliness, odors, smoke and other objectionable influences.

### **2.2 PERMITTED AND CONDITIONAL USES**

The following uses shall be permitted in a Residential District where the symbol "P" appears and shall be permitted subject to a Conditional Use Permit where the symbol "C" appears. Where the symbol "N" appears said use is not permitted. Some permitted uses may also require the approval of a Development Plan Permit in accordance with Chapter 16.56 of the Development Code.

**ALLOWABLE USES AND PERMIT REQUIREMENTS  
FOR RESIDENTIAL ZONING DISTRICTS**

LAND USE <sup>(1)</sup>	PERMIT REQUIREMENT BY DISTRICT	
	ER-1	SF1-6000
<b>Residential</b>		
Child Day Care - Up to 8 Children	P	P
Child Day Care - 9-14 Children <sup>(2)</sup>	C	C
Child Day Care - 15+ Children	N	N
Community Apartments and Condominiums	N	N
Home Occupations <sup>(3)</sup>	P	P
Mobile Home Parks	N	N
Multi-Family Housing	N	N
Residential Accessory Uses and Structures <sup>(4)</sup>	P	P
Residential Care Homes - Up to 6 Clients	P	P
Residential Care Homes - 7+ Clients	N	N
Rooming/Boarding Houses	N	N
Secondary Dwelling Units	C	C
Recreational Vehicle Storage Area <sup>(5)</sup>	C	C
Senior Citizen Congregate Care Homes	N	N
Single-Family Homes	P	P
<b>Agriculture, Open Space and Resources</b>		
Animal Keeping	N	N
Crop Production, Commercial	N	N
Equestrian Facilities, Commercial	N	N
Horticulture, Non-Commercial	P	P
Nature Preserves	P	P
Plant Nurseries, Commercial	N	N
Open Space	P	P
<b>Education, Public Assembly and Recreation</b>		
Churches/Places of Worship	C	C

LAND USE <sup>(1)</sup>	PERMIT REQUIREMENT BY DISTRICT	
	ER-1	SF1-6000
Cemeteries, Mortuaries, Crematoriums, Mausoleums	N	N
Golf Courses, Country Clubs	C	C
Residential Recreational Facilities, Private	P	P
Schools, Private	C	C
Schools, Specialized Education and Training	C	C
<b>Communications Facilities</b>		
Wireless Facilities	C	C
Satellite Dishes/Antennas - Under 18" in Diameter	P	P
Satellite Dishes/Antennas - Over 18" in Diameter	N	N
<b>Notes:</b> (1) These terms, to the extent defined in Section 16.110 of the Development Code, shall have the meanings set forth therein. (2) Subject to the provisions of Section 1597.46(a)(3) of the California Health and Safety Code, as the same may be amended from time to time. (3) Subject to the approval of a Home Occupation Permit in accordance with Chapter 16.60 of the Development Code. (4) Subject to compliance with the standards set forth in Section 16.44.150 of the Development Code, except as otherwise provided herein. (5) Subject to compliance with the standards, set forth in Section 2.3C of the District Regulations.		

**2.3 PROPERTY DEVELOPMENT STANDARDS**

**A. General Standards**

The following Property Development Standards shall apply to all land and buildings, other than accessory buildings, permitted in the respective Residential Districts. All Property Development Standards shall be considered minimum requirements, unless stated otherwise (e.g., height limits and site coverage requirements for structures are maximums, not minimums). Except for the minimum lot size of 6,000 square feet in the SF1-6000 Residential District, variations from the Property Development Standards may be permitted in accordance with the Development Code, except as otherwise provided herein.

## RESIDENTIAL PROPERTY DEVELOPMENT STANDARDS

DEVELOPMENT FEATURE	ER-1	SF1-6000
1. Minimum Lot Area (in net square feet)	43,560	6,000
2. Lot Width (in feet) <sup>(1)</sup>	80	50
(a) Minimum Street Frontage, Standard Lot	80	30
(b) Minimum Street Frontage, Flag Lot	20	20
3. Minimum Lot Depth (in feet)	200	70
4. Maximum Lot Coverage (percentage)	50	50
5. Minimum Front Yard Setback (from Public or Private Street R.O.W. in feet):		
(a) To Direct Entry Garage	20	18
(b) To Side Entry Garage	20	10
(c) To Main Residence	20	10
6. Minimum Side Yard Setback (in feet):		
(a) To Adjacent Residential Lot (minimum per side) <sup>(2)</sup>	20	5
(b) Distance Between Detached Units	20	10
(c) To Adjacent Street (corner lot)	20	10
7. Minimum Rear Yard Setback (in feet)	20	15 <sup>(3)</sup>
8. Maximum Building Height (in feet)		
(a) Main Structure	35	35
(b) Accessory Structures	15	15
<b>Notes:</b>		
(1) Measured at front yard setback line. In the Residential Districts, lot widths may be decreased or increased for a specific product type, subject to approval of a Development Plan Permit in accordance with Section 16.56 of the Development Code.		
(2) For all residential units in the SF1-6000 Residential District, side yards shall be a minimum of five (5) feet, but may be modified to zero (0) on one side, subject to approval of a Development Plan Permit in accordance with Chapter 16.56 of the Development Code. Distance between residential units shall be a minimum of ten (10) feet.		
(3) These requirements may be modified for any residential unit, subject to approval of a Development Plan Permit in accordance with Chapter 16.56 of the Development Code.		
General Note: All buildings will be set back from the tops and toes of slopes in accordance with City grading standards and construction codes.		

**B. Encroachments**

Porches, steps and architectural features, such as eaves, awnings, chimneys, balconies, stairways, wing walls or bay windows, may project not more than four (4) feet into any required front or rear yard area, and not into any required side yard more than one-half of said required side yard.

**C. Recreational Vehicle Parking and Storage**

Except as otherwise provided in this Section 2.3.C, the parking or storage of recreational vehicles on the street or on a residential lot in areas visible from the street for periods greater than 48 hours in all Residential Districts is prohibited.

A single parking or storage area for recreational vehicles, not to exceed one acre in size, may be designated within Greer Ranch for the use of Greer Ranch residents. Such use may only be proposed by the Master Developer or by the Master Homeowners Association, but only if and to the extent that such right has been assigned by the Master Developer to the Master Homeowners Association. Any such proposal shall be subject to the City's approval of a Conditional Use Permit and compliance with any other applicable standards in the Development Code. The Master Developer or Master Homeowners Association, as applicable, shall have the right to propose the relocation of any such storage area to another area or terminate or limit the parking or storage of recreational vehicles entirely at any time in its sole discretion.

**D. Schools**

1. The developers of Greer Ranch will mitigate the school facility impacts of the projects within Greer Ranch through payment of school fees pursuant to State law.

**2.4 PERFORMANCE STANDARDS**

In all Residential Districts, the following performance standards shall be met:

**A. Equipment**

Air conditioners, television antennas, ham radio antennas, solar panels, heating, cooling, ventilating equipment and all other mechanical, lighting, or electrical devices shall be so operated and located so that they do not disturb the peace, quiet and comfort of neighboring residents and shall be screened, shielded and/or sound buffered from surrounding properties and streets. All equipment shall be installed and operated in accordance with all applicable provisions in the Municipal Code. Heights of said equipment shall not exceed the maximum structure height of the Residential District in

which it is located. Satellite dishes/antennae mounted above the eave line of a structure are prohibited.

#### **B. Community Design Manual**

All development in the Residential Districts shall be subject to the provisions of the Community Design Manual set forth in Chapter Three of this Specific Plan.

#### **C. Utilities**

All utility connections shall be designed so as not to be exposed except where required by the utility provider. Pad-mounted transformers and/or meter box locations shall be included in any site plan with any appropriate screening treatment as approved by each utility.

#### **D. Interior Noise**

The maximum permissible dwelling unit interior noise level due to outside noise sources is 45 dBA at all times.

#### **E. Energy Conservation**

Buildings shall be located on a site to provide adjacent buildings adequate sunlight for solar access when practical. Buildings should be designed to minimize energy consumption including, but not necessarily limited to, the following conservation considerations:

- South facing windows
- Eave coverage for windows
- Double glazed windows
- Deciduous shade trees

### **2.5 RESIDENTIAL ACCESSORY USES AND STRUCTURES**

Residential accessory uses and structures shall be subject to the provisions of Section 16.44.150 of the Development Code, except as otherwise provided in these District Regulations.

### **2.6 FENCES, HEDGES, AND WALLS**

Fences, hedges, and walls within Greer Ranch shall be subject to the provisions of Chapter 16.22 of the Development Code, except that side yards for a corner lot may have a side wall of six (6) feet in height, provided that sight distance is not impeded.

**2.7 SIGNS**

No sign or outdoor advertising structure shall be permitted in any Residential District, except as otherwise provided in Section 4.0 of these District Regulations.

### 3.0 SPECIAL PURPOSE DISTRICTS

#### 3.1 PURPOSE

These Special Purpose Districts are intended for open space, landscaping, recreation, public and private uses. Only those additional uses which are complementary to, and can exist in harmony with, open space are permitted. There is no lot size limitation and it is intended that these Special Purpose Districts may be applied to a portion of a lot provided that the remainder of the lot meets the requirements for which it is zoned. The Special Purpose Districts are included in these District Regulations to achieve the following purposes:

- A. To preserve open space for the conservation of natural resources.
- B. Maintain the natural character of the land.
- C. Provide for public and private recreational uses.
- D. Conserve areas of historical and community significance for the enjoyment of future generations.
- E. Promote public health and safety.

#### 3.2 PERMITTED AND CONDITIONAL USES

The following uses shall be permitted uses where the symbol "P" appears and shall be permitted subject to a Conditional Use Permit where the symbol "C" appears. Where the symbol "N" appears said use is not permitted. Some permitted uses may require approval of a Development Plan Permit in accordance with Section 16.56 of the Development Code.

#### ALLOWABLE USES AND PERMIT REQUIREMENTS FOR SPECIAL PURPOSE ZONING DISTRICTS

LAND USE <sup>(1)</sup>	PERMIT REQUIREMENT BY DISTRICT	
	OS-AR	OS-NR
Education, Public Assembly and Recreation		
Campgrounds	N	N
Churches, Places of Worship	N	N
Community Centers and Pavilions	P	N

LAND USE <sup>(1)</sup>	PERMIT REQUIREMENT BY DISTRICT	
	OS-AR	OS-NR
Child Day Care Centers	N	N
Golf Courses, Private	C	N
Golf Courses, Public	N	N
Health and Fitness Centers	P	N
Interpretive Centers	P	P
Libraries and Museums	N	N
Parks, Active	P	N
Parks, Passive	P	P
Schools, Private	N	N
Sports Facilities and Outdoor Public Assembly	P	N
Theater - Live Entertainment	C	N
Trails - Multiple Use Corridors	P	P
<b>Open Space and Resource</b>		
Creek Corridors	P	P
Open Space, Private/Passive	P	P
Open Space, Public/Passive	P	P
Natural Reserves, Habitat	P	P
<b>Residential</b>		
Caretaker Housing	N	N
Emergency shelters	C	N
<b>Retail Trade</b>		
Accessory Retail Uses/Concessions	C	N
Restaurants	C	N
Restaurants with On-Site Consumption of Alcoholic Beverages	C	N
<b>Services</b>		
Cemeteries and Mausoleums	N	N
Medical Services - Extended Care	N	N
Medical Services - Hospitals	N	N
Offices, Public	C	N
Public Utilities and Safety Facilities	C	N

LAND USE <sup>(1)</sup>	PERMIT REQUIREMENT BY DISTRICT	
	OS-AR	OS-NR
<b>Transportation and Communications Facilities</b>		
Airport, General Aviation	N	N
Parking Facilities Ancillary to a Permitted Use	P	P
Parking Facilities not Ancillary to a Permitted Use	N	N
Pipelines and Utility Lines	P	P
Wireless Facilities <sup>(2)</sup>	N	C
<b>Notes:</b> (1) These terms, to the extent defined in Section 16.110 of the Development Code, shall have the meanings set forth therein. (2) No application for wireless facilities shall be submitted to the City without prior written approval of the Master Developer or the Master Homeowners Association, but only if and to the extent the Master Developer has assigned that right to the Master Homeowners Association. Section 16.44.170B of the Development Code shall apply to any proposed wireless facility uses.		

### 3.3 PROPERTY DEVELOPMENT STANDARDS

The following regulations shall apply to the site of a permitted or conditionally permitted use. The requirements are minimum unless otherwise stated.

DEVELOPMENT FEATURE	OS-AR and OS-NR
Maximum Dwelling Units (per legal lot)	None
Minimum Lot Width (in feet)	None
Minimum Lot Depth (in feet)	None
Minimum Front Yard Setback (in feet), measured from building face	20
Minimum Rear Yard Setback (in feet), measured from building face	20
Minimum Side Yard Setback (in feet), each side	20
Maximum Building Height (in feet)	35
Maximum height of poles, athletic field appurtenances, clock towers and special features	Subject to Development Plan Permit Approval

### **3.4 RECREATIONAL COURTS**

Construction of recreational courts, including necessary fencing and lighting, may be permitted, subject to the approval of a Development Plan Permit. Recreation courts shall meet the following minimum standards:

#### **A. Fences**

A maximum 20-foot high fence (measured from the finished grade of the court) shall be allowed. Fences may include a screening material which screens the court activity from outside view and which improves the appearance of the fence.

#### **B. Setbacks**

Minimum setbacks for the court shall be 10 feet from any property line.

#### **C. Lighting**

A grid analysis shall be conducted to establish the height, spacing and intensity of all light fixtures. All lights and light fixtures shall be certified by a qualified lighting engineer to:

1. Be designed, constructed, mounted, and maintained such that, the light source is cut off when viewed from any point five (5) feet above the ground measured at the lot line.
2. Be designed, constructed, mounted, and maintained such that the maximum illumination intensity measured at the wall of any residential building on abutting property shall not exceed ½ foot candle at ground level. Lighting shall be further limited to a 7:1 illuminance ratio.

#### **D. Glare**

The surface area of any recreational court shall be designed, painted, colored, and/or textured to reduce the reflection from any light incident thereon.

#### **E. Landscaping**

Landscaping shall be installed between any fence and an adjacent property line.

### **3.5 SIGNS**

Signs shall be permitted only as provided in Section 4.0 of these District Regulations.

## **4.0 COMPREHENSIVE SIGN REGULATIONS**

### **4.1 PURPOSE**

The provisions of this Section 4.0 shall be known as the Comprehensive Sign Regulations. It is the purpose of these provisions to regulate on-site and off-site signs.

The need for signs is recognized as a means of identifying uses within the community. However, it is also recognized that signing is an important design element of the physical environment. Sign regulations consistent with the goals and objectives of the community are necessary to ensure that the character and image the community is striving for can be attained.

It is the intent of this Section 4.0 to make Greer Ranch attractive to residents and visitors, while maintaining an appropriate signing program which will:

- A. Protect the general public health, safety and welfare of the community and reduce possible traffic and safety hazards;
- B. Direct persons to various locations, activities and uses, in order to provide for maximum public convenience;
- C. Provide a reasonable system of sign regulations, to ensure the development of a high-quality visual environment;
- D. Encourage signs which are well designed and pleasing in appearance while providing incentive and latitude for variety, good design relationship to these it identifies, and spacing between signs and buildings;
- E. Encourage a desirable community character which has a minimum of clutter;
- F. Enhance the economic value of the community and each area, and use thereof, through the regulation of such elements as size, number, location, design and illumination of signs; and
- G. Encourage signs which are well located, and take into account the usage of adjacent areas.

### **4.2 PERMIT REQUIREMENTS AND REVIEW PROCEDURES**

No person except a public officer, employee, or agent of a public agency in performance of a public duty shall post, paint, erect, place or otherwise fasten any sign, pennant or notice of any kind, visible from a public street except as provided herein. To ensure

compliance with this section, a sign permit shall be required for any sign, except as provided below.

**A. Sign Permit Exceptions**

The following signs shall be exempt from the Comprehensive Sign Regulations; provided, however, that an electrical and/or building permit may be required pursuant to the Municipal Code. Any signage in excess of the specific exemptions listed below are prohibited:

1. Real Estate Signs for Residential Sales: One (1) sign per street frontage not exceeding four (4) square feet in area and five (5) feet in height, provided it is unlit and is removed within fifteen (15) days after the close of escrow or the rental or lease has been accomplished. Signs placed on the rear street frontage are prohibited. Open House signs not exceeding four (4) square feet in area and five (5) feet in height are permitted for directing prospective buyers to property offered for sale.
  
2. Political signs: Political signs having to do with any issue, ballot measure, political statements and expressions, or candidate in any municipal, county, State or federal election shall be permitted, subject to the following provisions and any other applicable provisions in this Section 4.0:
  - a. Any person, party, or group posting signs within Greer Ranch shall abide by the provisions set forth in this Section 4.0.
  
  - b. All political signs shall be placed, erected, constructed, painted or assembled, no earlier than thirty (30) calendar days prior to the election and shall be removed no later than ten (10) calendar days following the date of the election.
  
  - c. A political sign shall not exceed five (5) square feet in total area for one side in a Residential District. Double-faced signs shall not exceed five (5) square feet per side in a Residential District. No signs shall be placed in a manner that would obstruct visibility of or impede pedestrian or vehicular traffic, or endanger the health, safety, or welfare of the community.
  
  - d. All political signs shall not exceed an overall height of six (6) feet from the finished grade immediately around the sign.
  
  - e. No political signs shall be lighted either directly or indirectly unless said sign is erected, painted, or constructed on an authorized structure already providing illumination.

shall be attached to the main building, shall be for pedestrian traffic, and shall not otherwise require a building permit.

7. Memorial tablets, plaques, or directional signs for community historical resources, installed by a City recognized Historical Society or civic organization.
8. Convenience signs and secondary directional signs not exceeding four (4) square feet in area.
9. Residential building identification signs used to identify individual residences and not exceeding four (4) square feet in area.
10. One name plate per parcel not exceeding four (4) square feet in area for single family residential uses.
11. Official and legal notices issued by any court, public body, person, or officer or in furtherance of any nonjudicial process approved by state or local law.
12. Signs providing direction, warning, or informational signs or structures required or authorized by law or by federal, State, County, or City authority.
13. A single official flag of the United States of America and/or two (2) flags of either the State of California, or other states of the United States, counties, municipalities or official flags for nations, and flags of internationally or nationally recognized organizations or a company flag. Flags shall be a maximum of five (5) feet by eight (8) feet unless otherwise specifically approved on a Site Plan.
14. Signs of public utility companies, indicating danger or which serve as an aid to public safety, or which show locations of underground facilities or public telephones.
15. Safety signs on construction sites.
16. "No Trespassing", "no parking," and similar warning signs not exceeding four (4) square feet.
17. Signs on public transportation vehicles regulated by a political subdivision, including but not limited to buses and taxicabs.
18. Signs on licensed commercial vehicles, provided such vehicles are not used or intended for use as portable signs or as may be prohibited in Section 4.2.B.
19. A change of copy conforming to an approved Comprehensive Sign Program. All other changes of copy shall comply with this Section 4.0.

20. Private street traffic and directional signage on and/or related to the private street system within Greer Ranch.

**B. Prohibited Signs and Lighting**

All signs and lighting not expressly permitted are prohibited within Greer Ranch, including but not limited to the following:

1. Roof signs.
2. Flashing lights or signs.
3. Animated signs or lights.
4. Revolving or rotating signs.
5. Vehicle signs (when parked or stored on property to identify a business or advertise a product).
6. Portable signs (except where permitted in this section).
7. Signs within the public right-of-way (except those required by a governmental agency). No sign shall be so placed, erected or constructed on a utility pole, traffic device, traffic sign, warning sign, or so as to impede access to any public improvement, or to obstruct the vision of any such signs except as may be permitted in Section 4.2.A.4, above.
8. Signs located on public property except as may be required by a governmental agency.
9. Signs within the public right-of-way prohibited by the Streets and Highways Code (Sec. 101 et. seq. and Sec. 1460 et. seq.), the Vehicle Code (Sec. 21400 et. seq.) and the Public Utilities Code (Sec. 7538 et. seq.).
10. Signs blocking doors or fire escapes.
11. Outside light bulb strings and exposed neon tubing outside of a building (except for temporary uses such as residential Christmas decorations,
12. Inflatable advertising devices of a temporary nature, including hot air balloons (except for special events as provided for in this Section 4.0).
13. Advertising structures (except as otherwise permitted in this Section 4.0).

14. The use of decals, stick-on or transfer letters, or tape on the walls or parapets of buildings, fences, walls or other structures.
15. Reader board/changeable copy signs, either electric or non-electric except as permitted in this Section 4.0.
16. Signs which purport to be or are an imitation of, or resemble official traffic warning devices or signs, that by color, location or lighting may confuse or disorient vehicular or pedestrian traffic. This does not include traffic or directional signs installed on private property to control on-site traffic.

**C. Signs Relating to Inoperative Activities**

Signs pertaining to activities, residential tract sales offices and/or facilities which are no longer in operation, except for temporary closures for repairs, alteration or similar situations, shall be removed from the premises or the sign copy shall be removed within thirty (30) days after the premises has been vacated. Any such sign not removed within the specified time shall constitute a nuisance and shall be subject to removal under the provisions of this Chapter and local ordinance.

**D. Enforcement, Legal Procedures, and Penalties**

Enforcement, legal procedures and penalties shall be in accordance with the enforcement procedures established by the Municipal Code.

**E. Construction and Maintenance**

1. Construction: Every sign and all its parts, portions, and materials shall be manufactured, assembled, and erected in compliance with all applicable State, federal, and City regulations and the Uniform Building Code.
2. Maintenance: Every sign and all its parts, portions, and materials shall be maintained and kept in proper repair. The display surface of all signs shall be kept clean, neatly painted and free from rust and corrosion. Any cracked, or broken surfaces, and malfunctioning or damaged portions of a sign shall be repaired or replaced within thirty (30) calendar days following notification by the City. Noncompliance with such a request will constitute a nuisance and will be abated. Any maintenance, except a change of copy, which does not involve structural changes is permitted.

**4.3 PERMITTED SIGN REGULATIONS**

Sign permits may be issued for signs not prohibited under Section 4.2.B, above, or exempt from permit requirements set forth in Section 4.2.A, above, provided the signs are in compliance with all other applicable laws and ordinances.

**A. Signs Permitted in Any Specific Plan District**

The following signs may be permitted in any Specific Plan District except as indicated. These signs are in addition to those signs expressly permitted in each Specific Plan District and are subject to the provisions listed:

1. Convenience Signs: On-site signs no greater than six (6) square feet necessary for public convenience or safety may be approved by the Community Development Director or his designee. Signs containing information such as "entrance," "exit," or directional arrows shall be designed to be viewed from on-site or from an area adjacent to the site by pedestrians or motorists. Signs that convey advertising or products shall not be considered a convenience sign.
2. Special Event Signs: Special event signs may be approved for a limited period of time as a means of publicizing special events such as parades, community activities, etc., that are to take place within Greer Ranch.
  - a. Community Special Events such as a community fair may be permitted the following signage:
    - (1) No more than four (4) off-site signs up to thirty-two (32) square feet and eight (8) feet in height to publicize the special event.
    - (2) Temporary advertising signing consistent with the requirements set forth in Section 4.2.A.2, above.
3. On-site Subdivision Signs:
  - a. One (1) temporary, on-site subdivision sign not to exceed 64 square feet total area for two (2) sides or 32 square feet for one (1) side and total overall height of twelve (12) feet may be permitted on each street frontage of the property being subdivided, not to exceed two (2) such signs for all phases of any subdivision; otherwise a maximum of one (1) sign is permitted. No such sign shall be permitted in the OS-NR District.
  - b. Such sign shall be for the identification of a subdivision, price information and the developers name, address, and telephone number.
  - c. Such sign shall be removed within ten (10) calendar days from the date of the close of the final sale of land and/or residences to which the sign relates or within twenty-four (24) months, whichever comes first. Extensions of twelve (12) months may be approved by the Community Development Director.
  - d. Signs shall be maintained in good repair at all times.

4. Offsite Subdivision Directional Sign:

- a. A maximum of four (4) signs may be used to lead customers to the site.
- b. Signs shall be made of panels which shall be no longer than seventy-two (72) inches by twelve (12) inches each and shall be grouped on a single, double or four-sided sign kiosk. Such structure shall contain no more than seven (7) panels per side nor exceed seven (7) feet in height.
- c. A sign kiosk may be located not less than three hundred (300) feet from an existing approved sign site. Further, each sign may only contain the name of the community, subdivision, developer or development logo and a directional arrow.
- d. The placement of each sign structure and its copy shall be reviewed and approved by the Community Development Director prior to installation.
- e. All kiosks that are to be placed on private property shall be with prior written consent of the property owner to allow the City, in the event of noncompliance, to enter said property and remove the sign. A copy of said consent shall be filed with the City prior to the acceptance of a sign permit application.
- f. A kiosks location plan shall be prepared showing the site of each kiosk and shall be submitted to and approved by the Community Development Director prior to the acceptance of a sign permit application.
- g. Any sign approved for a particular subdivision within Greer Ranch Specific Plan shall not be changed to another subdivision without prior approval of the Community Development Director.
- h. There shall be no addition, tag signs, streamers, devices, display boards, or appurtenances added to the sign as originally approved. Further, no other directional signing may be used such as posters, portable signs, vehicle signs, trailer signs or temporary subdivision (bootleg) signs.
- i. All off-site subdivision signs not conforming to this Specific Plan shall be deemed a public nuisance and removed.
- j. Any such sign shall be allowed until 10 days after the final sale of the units within the subdivision to which such sign relates has closed, or for a period of twenty-four (24) months, whichever occurs first. Extensions of up to twelve (12) months each may be approved by the Community Development Director.

#### **4.4 DESIGN STANDARDS**

Each sign shall be designed with the intent and purpose of complementing the architectural style of the main building or buildings.

##### **A. Relationship to Buildings**

The Community Development Director may condition approval of any sign to require visual elements to be incorporated into the design of the sign where such element(s) is necessary to achieve a significant visual relationship between the sign and building or buildings.

##### **B. Relationship to other Signs**

Where there is more than one (1) freestanding sign located upon a lot, all such signs shall have designs which are complementary to each other by either similar treatment or incorporation of one (1) or more of the following five (5) design elements:

1. Type of construction materials (such as cabinet, sign copy, supports);
2. Letter style of sign copy;
3. Type or method used for supports, uprights or structure on which sign is supported;
4. Sign cabinet or other configuration of sign area; or
5. Shape of entire sign and its several components.

##### **C. Landscaping**

Each permanent freestanding sign shall be located in a landscaped area which is of a shape, design and size (equal to at least the maximum allowable sign area) that will provide a compatible setting for the sign. The landscaped area shall be maintained in a neat, healthy, and thriving condition.

##### **D. Illumination and Motion**

Signs shall be stationary structures (in all components) and illumination, if any, shall be maintained by artificial light which is stationary and constant in intensity and color at all times (non-flashing).

**E. Sign Copy**

The name of the use, service and/or identifying logo shall be the dominant message on the sign. The inclusion of advertising information is prohibited.

**F. Relationship to Streets**

Signs shall be designed so as not to obstruct any pedestrian, bicyclist, or driver's view of the street right-of-way.

## 5.0 OFF-STREET PARKING

All off-street parking within Greer Ranch shall be subject to the provisions of Chapter 16.34 of the Development Code, except as provided below:

- A. All parking lot landscaped areas, if any, shall have one inside planting dimension of at least four (4) feet.
- B. No lighting shall be required for private parking facilities. Where provided, any lighting for private parking facilities shall comply with applicable requirements in Chapter 16.34 of the Development Code.
- C. In any Residential District, the parking of motorized and non-motorized vehicles shall be subject to the following requirements:
  1. No motorized or non-motorized vehicle shall be parked, stored or kept in the front yard except on the driveway.
  2. If motorized or non-motorized vehicles (not to include recreational vehicles) are to be parked, stored or kept on a lot, other than in the driveway, they must be screened from view and be for the personal use of the resident. Except as provided in Section 2.3.C of these District Regulations, no recreational vehicles shall be parked or stored on the Site.
- D. All required parking facilities shall be maintained in good operating condition for the duration of the use requiring such facilities. Parking facilities shall be used exclusively for the parking of vehicles. Parking facilities shall not be used for (i) the storage or repair of vehicles or equipment or (ii) the commercial sale of merchandise.

## **6.0 ADMINISTRATION**

### **6.1 PURPOSE**

The District Map (see Exhibit 27) and These District Regulations shall be administered as provided for herein and elsewhere in this Specific Plan.

### **6.2 DISCRETIONARY REVIEW**

The administrative procedures for Zoning Clearances, Conditional Use Permits, Development Plan Permits, Variances, Home Occupation Permits, and Temporary Use Permits set forth in the Development Code shall apply with respect to any such permits and approvals required pursuant to these District Regulations, except as otherwise provided in these District Regulations.

### **6.3 TEMPORARY USES**

#### **A. Purpose**

The temporary uses described in Section 6.3.B, below, shall be permitted on the Site, subject to the approval of a Temporary Use Permit in accordance with, and otherwise subject to the provisions of, Chapter 16.70 of the Development Code, except as otherwise provided below.

#### **B. Permitted Temporary Uses**

1. **Commercial coaches.** Commercial coaches (as defined by State law (Health and Safety Code Section 18001.8), or mobile homes on active construction sites, for use as a construction office, temporary living quarters for security personnel, or temporary residence of the subject property owner. The following restrictions shall apply:
  - a. The Community Development Director may approve a temporary trailer coach for the duration of the construction project or for a specified period, but in no event for more than 2 years. If exceptional circumstances exist, a one-year extension may be granted, in compliance with Section 16.80.060 of the Development Code (Time Extensions);
  - b. Installation of trailer coaches may occur only after a valid Building Permit has been issued by the Building Department.
  - c. Trailer coaches allowed in compliance with these District Regulations shall not exceed a maximum gross square footage of 650 square feet in size (tongue not included);

- d. The trailer coach shall have a valid California vehicle license and the applicant for the trailer coach shall provide evidence of State Division of Housing approval, in compliance with State law (Health and Safety Code);
  - e. The temporary trailer coach installation shall meet all requirements and regulations of the County Department of Environmental Health Services and the City's Building Department; and
  - f. A permit issued in compliance with Chapter 16.70 of the Development Code, in conjunction with a construction project, shall become invalid upon cancellation or Certificate of Occupancy for which this use has been approved, or the expiration of the time for which the approval has been granted.
  - g. This use is prohibited in the OS-NR District.
2. **Outdoor arts and crafts shows.** Outdoor arts and crafts shows and exhibits provided the uses are limited to 3 days of operation or exhibition in any 180-day period. This use is prohibited in the OS-NR District.
3. **Real estate office trailers.** Temporary real estate sales office trailers, to be used solely for the sales of new homes within the applicable development project within Greer Ranch, may be established within the areas of an approved tentative tract map or an approved Development Plan Permit, subject to the following:
- a. The approved land use permit shall include those conditions and requirements deemed necessary or advisable to protect the public safety and the general welfare and adequate guarantees that the structures and facilities will be removed or made consistent with applicable District Regulations within 90 days after the expiration of the permit. In addition to those findings required for the approval of the land use application, the Temporary Use Permit for a temporary real estate sales office trailer(s) shall also include the following findings:
    - (1) The access, parking, and circulation facilities would not result in excess traffic congestion or traffic safety hazards; and
    - (2) The operation of the real estate sales office trailer(s) and associated activities would not conflict with adjacent and nearby residential uses.

b. A Temporary Use Permit application for a temporary sales office trailer(s) may be approved for a maximum time period of 2 years from the dates of approval. At the end of the 2-year period, the use shall either be terminated or the applicant may file for an extension, in compliance with Section 16.80.060 of the Development Code (Time Extensions).

4. **Temporary Sales Office.** Model homes and their garages and private community recreation facilities may be used as offices for the sale of new homes within any recorded tract in Greer Ranch.
5. **Community Events.** Greer Ranch-serving community events such as non-commercial garage sales, block parties, food festivals or other similar uses.
6. **Other.** Other similar temporary uses which, in the discretion of the Community Development Director are compatible with the applicable Specific Plan District, surrounding land uses, and the provisions of this Specific Plan.

#### **C. Prohibited Temporary Uses**

The following uses shall be prohibited in Greer Ranch:

1. Commercial Parking Lot Sales
2. Sales of Agricultural Products
3. Seasonal Produce Sales
4. Special Outdoor Events such as rodeos and non-community or commercial fairs and parades.

#### **D. Condition of Site Following Temporary Usage**

Each site occupied by a temporary use shall be left free of debris, litter, or any other evidence of the temporary use upon completion or removal of the use, and shall thereafter be used only in accord with the provisions of these District Regulations.

### **6.4 CHANGES TO THE SPECIFIC PLAN**

#### **A. Amendment**

Any proposed amendment or modification to this Specific Plan that is not in "substantial conformance" (as defined below) with this Specific Plan shall be subject to the applicable provisions and requirements in Chapter 16.66 of the Development Code. Without limiting the generality of the foregoing, a proposed amendment to (1) increase the maximum number of dwelling units permitted on the Site above 688, (2) decrease the minimum lot size on the Site below 6,000 square feet or (3) increase the area of the

Site shall require compliance with the applicable provisions and requirements in Chapter 16.66 of the Development Code.

**B. Substantial Conformance**

Whenever a proposed modification to this Specific Plan, which modification may be included in an application for implementing a project within Greer Ranch, varies from, but is in substantial conformance with, this Specific Plan, a "Letter of Substantial Conformance" may be issued in accordance with this Section 6.4.B.

1. For purposes of this Section 6.4.B, the term "substantial conformance" shall mean the modification of a covenant, requirement, diagram or text in this Specific Plan that is consistent with the purposes and intent set forth in the Specific Plan text. Without limiting the generality of the foregoing, the following modifications may be approved pursuant to a Letter of Substantial Conformance:
  - a. Changes in the location of infrastructure and public facilities (such as roads, drainage facilities, etc.)
  - b. Changes in Neighborhood Park or Community Center amenities or locations, including without limitation the addition or deletion of playing fields and/or equipment, the addition of lighted fields, etc.
  - c. A reduction in the maximum number of units on the Site (688) or an increase in the minimum lot size on the Site (6,000 square feet).
  - d. Change of landscaping materials and/or locations.
  - e. Modification of any design element in this Specific Plan that improves circulation, protects topographic features, reduces grading, improves drainage or improves infrastructure.
  - f. The addition to, deletion from, or modification of text or graphics in this Specific Plan that otherwise does not require a formal amendment of this Specific plan pursuant to Section 6.4A, above.
2. A request for a Letter of Substantial Conformance shall be made on a form provided by the Community Development Director and shall include the following:
  - a. An accurate and complete description of the modification and how it affects this Specific Plan, together with any reasonably necessary exhibits or diagrams; and

- b. Any other information, exhibits or drawings the Planning Division may reasonably require.
3. Upon filing of a request for a Letter of Substantial Conformance, the Planning Division shall forward the proposal, along with its recommendation, to the Planning Commission. The decision of the Planning Commission shall be considered final unless appealed within 10 calendar days after the date of the Planning Commission decision. A copy of the notice of the decision shall be mailed to the applicant and to any person who has made a written request for a copy of the decision. The City Clerk shall place the notice of the decision on the next agenda of the City Council held five or more days after the City Clerk receives the notice from the Community Development Director. The decision of the Planning Commission shall be considered final unless the applicant or an interested party files an appeal with the City Clerk within seven days after the notice of decision appears on the City Council's agenda. If a timely appeal is filed, the City Clerk shall place the matter on the next available City Council agenda, and the City Council shall make a final determination as to whether the Letter of Substantial Conformance should issue.
4. A request for a Letter of Substantial Conformance may be approved only if the following findings are made:
  - a. That the project as modified meets the intent and purpose of this Specific Plan; and
  - b. That the project as modified is consistent with the findings and conclusions contained in the resolution adopting this Specific Plan.
5. A request for a Letter of Substantial Conformance shall not require a noticed public hearing and may be approved by the Planning Commission as a consent item, at the discretion of the Development Services director.

**C. Minor Adjustments**

Notwithstanding anything to the contrary in this Section 6.4, if the Development Services Director determines that any proposed addition to, deletion from, or modification of text and/or graphics in this Specific Plan is of an administrative or clarifying nature and will not have a material impact on surrounding properties, the Development Services Director may approve any such matter and the Development Services Director's determination shall be final, subject to appeal to the Planning Commission.

**CHAPTER THREE**

**COMMUNITY DESIGN MANUAL**

## **CHAPTER THREE: COMMUNITY DESIGN MANUAL**

### **I. INTRODUCTION**

This Chapter of the Specific Plan is a design guide for the building architecture, landscape architecture and other improvements in Greer Ranch. The goal of this Community Design Manual is to create a high-quality residential community which is sensitive to and respectful of its natural setting. Rather than imposing a rigid style on Greer Ranch, the intent is for architecture and landscaping that is appropriate to the Site's setting, with its oaks, chaparral and rock outcroppings (i.e., subdued earth-tones), as opposed to architecture which stands in stark contrast to the landscape, such as, white or brightly colored stucco and imposing building forms.

This Community Design Manual serves to:

- Provide a documented basis for evaluating proposed architectural designs which assures the City that Greer Ranch will develop with the proposed quality and character.
- Provide guidance for reviewing agencies, developers, architects, builders and homeowners as Greer Ranch is developed.
- Provide parameters for the formulation of CC&Rs governing the Site.

As each Planning Area is developed, it is intended that individual identities will emerge, yet blend into and harmonize with other Planning Areas and the community as a whole. This Community Design Manual will be used by the Master Developer, the Master Homeowners Association and the City to review each builder's and/or homeowner's proposals. The design and landscaping standards in the Development Code or other portions of the Municipal Code shall not apply with respect to the development of Greer Ranch.

## **II. DESIGN REVIEW PROCESS**

### **A. PROCESS SUMMARY**

Two design review processes may be required prior to development: review and approval by the Master Developer's Design Review Committee and review and approval by the City. Design review may be required for, building architecture, landscape architecture, walls and fences, street furniture, utility locations, signage and all other improvements.

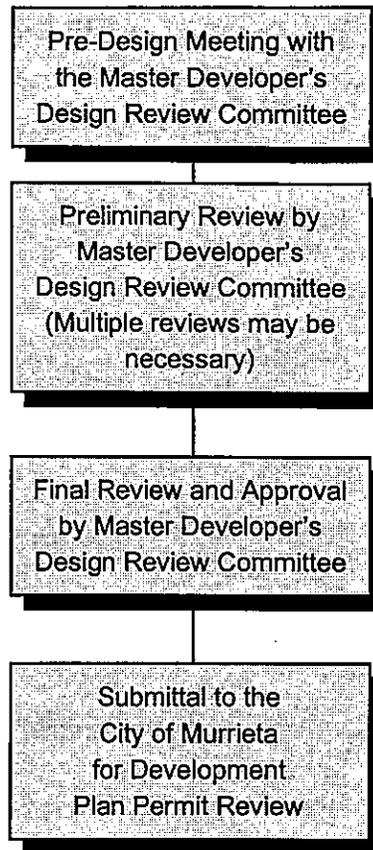
### **B. MASTER DEVELOPER REVIEW PROCESS**

A Master Developer's Design Review Committee (the "Design Review Committee"), all of whose members shall be appointed by and at the sole discretion of the Master Developer, may be established to oversee the overall development of Greer Ranch (see Chapter One, Section IV, Implementation). The Design Review Committee's purpose will be to ensure that Greer Ranch is developed in accordance with this Specific Plan. The following generally describes the proposed Master Developer review process.

Three design review stages will be included: a Pre-Design meeting, Preliminary Review and Final Review. The Pre-Design meeting will occur prior to the preparation of building or landscape plans for a proposed improvement. During this meeting, the applicant will be informed of the design issues which may affect his proposed improvements and will in turn inform the Design Review Committee regarding his design intentions.

Following the Design Review Committee's Preliminary and Final Reviews of the applicant's designs, a letter from the Design Review Committee will be prepared describing its actions to the City. The applicant will maintain contact with the Design Review Committee and inform it of the project's progress throughout any subsequent City review process. Copies of the final, City-approved plans will be provided to the Design Review Committee for its records. The following chart illustrates the design review process.

## THE DESIGN REVIEW PROCESS



### III. ARCHITECTURAL DESIGN CRITERIA

#### A. SUMMARY

The following is a list of criteria and standards which will be used in the evaluation of architectural designs. As previously discussed, the intent of the architectural design criteria is not to limit design possibilities or prescribe an architectural "style," but rather to encourage appropriate and creative designs.

This Section III contains illustrations showing the architectural design concepts envisioned for Greer Ranch (see Exhibits 28 and 29). These concepts are illustrative only and do not represent proposed building designs.

#### 1. Residential Guidelines

##### a. Color

The color of exterior surfaces should harmonize with and complement the natural landscape. A color palette will be selected that blends well with the natural colors of the hillsides. Accent colors will harmonize with and complement a building's primary color scheme.

##### b. Exterior Surfaces

Exterior surfaces will be of materials which blend and are compatible with the natural landscape. Stucco (cement plaster) will be the predominant surface. Exterior Insulation Systems (E.I.S.) are acceptable as allowed by the City Building Department. Painted or stained wood will be allowed. Stucco textures will be light to medium textures - i.e., light, medium and heavy dash, knockdown dash, Monterey, fine and medium sand float, scraped and California textures, as described by the "Lath, Plaster and Drywall Information Bureau." Integrally colored stuccoes are preferred. Paints will be two-coat, elastomeric coatings if used.

##### c. Roofs

Roof pitches of up to 6:12 will be permitted. Dominant colors, such as black, white, bright blue, and bright green will not be allowed. Reflective roof surfaces causing excessive glare will not be allowed. Wood shingles will not be allowed. Mansard roofs are prohibited. The integration of the roof with the structure's overall appearance will be an important consideration when reviewed by the Master Developer's Design Review Committee.

**d. Walls**

Walls of stucco, with stone or wood, may be used as an accent detail. Walls should appear as visual extensions of the architecture. Low planting walls and screen walls in the front yards of residences are encouraged (see "Massing" section below). The color of walls will conform with color standards of Section III.A.1.a.

**e. Foundations**

All exterior wall materials will extend to the finished grade.

**f. Reflective Surfaces**

No highly reflective materials or finishes (other than glass, which may not be mirrored, and hardware fixtures) will be permitted on exterior surfaces. Glass shall be shadowed by overhangs as much as practicable.

**g. Building Projections**

Roof overhangs are encouraged to emphasize a structure's horizontal line and to reduce reflections from glass. Roof overhangs will be constructed as required by the Fire Department.

**h. Height of Structures**

Single-story residences that do not exceed 20 feet to the roof ridge are encouraged. Chimneys for single-story residences should not exceed 24 feet. Two-story residences shall not exceed 35 feet.

**i. Massing**

Unrelieved two-story walls are discouraged on public frontages. Masses whose surfaces step back or are otherwise articulated, are encouraged. The intent of this requirement is to reduce monotonous streetscapes.

**j. Miscellaneous**

- Side and rear finishes, wall materials, trim detailing, color and general appearance shall be compatible with those on the front or streetside. Residences shall present an acceptable appearance on all sides.

- Roof mounted mechanical equipment is not permitted. Solar panels whose collecting surfaces are parallel with and lie on the underlying roof surface are allowed.
- Exterior lighting will be designed to reduce glare, and for appropriate directionality and safety (see Section V).
- The use of low planting walls, privacy walls and gates are encouraged to transition, the massing from the street to the residence.
- Garage doors will be painted to complement the colors of the residence.
- One-story residences are preferred on corner lots to transition building masses. Corner lot houses will be designed to allow adequate road intersection visibility.
- The architectural design of structures adjacent to fuel modification buffer areas shall be in accordance with Murrieta Fire Department standards. Design approvals from the Fire Department shall be obtained prior to the issuance of building permits.

**k. Custom/Estate Homes**

The following additional guidelines shall apply to the architectural design of custom residences within the Estate Residential District (Planning Areas 6 and 7).

- Where applicable and practicable, building masses will be proportioned to reduce ridgeline visual impacts.
- Colors will be chosen to harmonize with and compliment the natural vegetation and nearby terrain.



### ARCHITECTURAL DIVERSITY

Achieving variety and diversity in neighborhood architecture within a rural context is a key community objective.

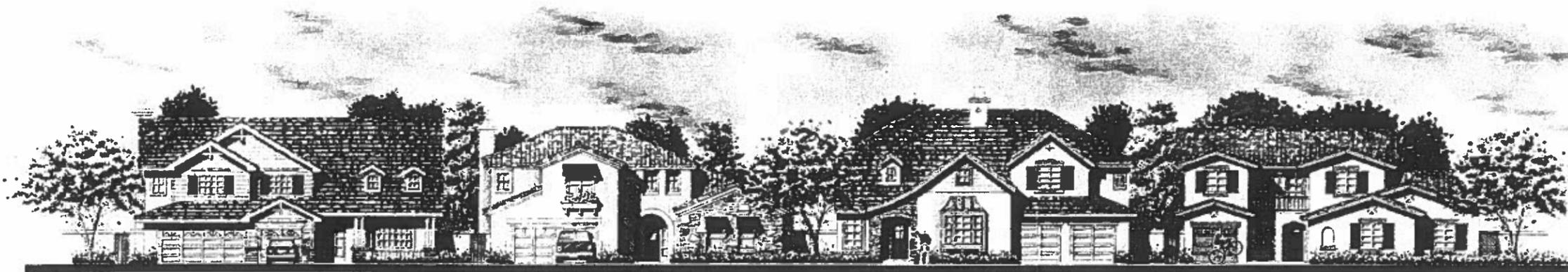
Each neighborhood shall utilize a minimum of three architectural styles chosen from the following palette:

- French Country
- Italian Mediterranean
- American Heritage
- Spanish Eclectic
- Craftsman

### EXHIBIT NO. 28 ILLUSTRATIVE RESIDENTIAL ELEVATIONS

FOR: Lennar Greer Ranch Venture, LLC

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers



## ***GREER RANCH SPECIFIC PLAN***

**EXHIBIT NO. 29**  
**ILLUSTRATIVE RESIDENTIAL**  
**ARCHITECTURE**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

## **IV. LANDSCAPE GUIDELINES**

### **A. SUMMARY**

The community design of Greer Ranch is intended to integrate the natural environs into the neighborhood theme, conserving, where appropriate, natural features including oaks, sycamores, rock outcrops, riparian drainage courses, and chapparal-covered ridges.

The natural character of the Site and its surroundings is an important asset to Greer Ranch. The community landscape design will reflect this asset. Developers of the various Planning Areas will be required to install landscaping consistent with the overall community landscape theme and adopted plant palette (see Section IV.E.). Development adjacent to open space will be buffered by transitional indigenous and select non-indigenous plantings which will blend into open space areas.

### **B. INTRODUCED LANDSCAPE ELEMENTS**

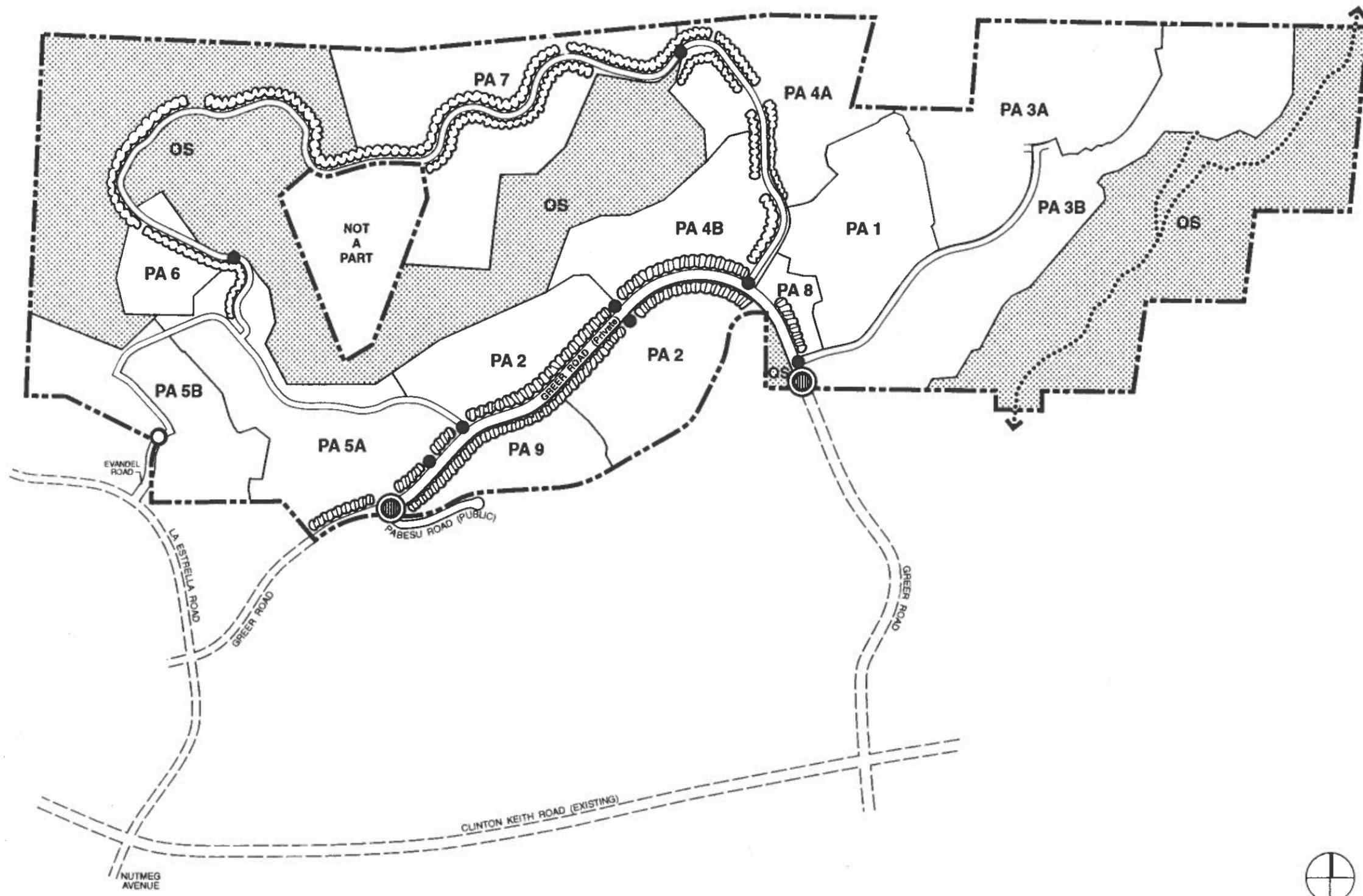
Introduced landscape elements reflecting the native environs will be used to establish a community image (see Master Landscape Plan in Exhibit 30). These features, which are discussed below, include Project Entries, Land Use Transitions, Buffers, Streetscapes, Walls and Fences and Fuel Modification methods. The plant palette for Greer Ranch (Section IV.E) lists appropriate trees, shrubs, groundcovers, and other design criteria for the Project's landscaped areas.

#### **1. Project Entries (see Exhibits 31-33)**

Greer Ranch will be a private community, with three gated entry points. The gated entries are composed of constructed facilities, landscape and signage.

##### **a. Gated Community Entries**

The two primary Gated Community Entries for residents and visitors are on Greer Road where it enters Greer Ranch in the eastern and western portions of the Site. A secondary gated entrance for resident convenience and emergency access is located where Evandel Road enters Planning Area 5B. Graded areas will be provided with plantings of indigenous and select non-indigenous trees and shrubs. Special paving and signage may be utilized to further identify the entry and community (see Exhibit 31).



**LEGEND**

- PRIMARY GATED ENTRY
- SECONDARY GATED COMMUNITY ENTRY
- PLANNING AREA ENTRY
- GREER ROAD STREETSCAPE
- MOUNTAIN LOCAL STREETSCAPE
- OPEN SPACE
- REGIONAL TRAIL SEGMENT

**EXHIBIT NO. 30  
MASTER  
LANDSCAPE PLAN**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

**GREER RANCH SPECIFIC PLAN**

NOTE: THIS DRAWING IS CONCEPTUAL ONLY, AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

**b. Planning Area Entries**

Planning Area entries will be located through the Site and may be enhanced with special paving, landscaped areas with informal plantings of indigenous and select non-indigenous plants, the community wall and may include signage. Entry design details will vary with entry location and size of the area being accessed. Illustrative Planning Area Entries are shown on Exhibits 32 and 33.

**2. Land Use Transitions and Buffers**

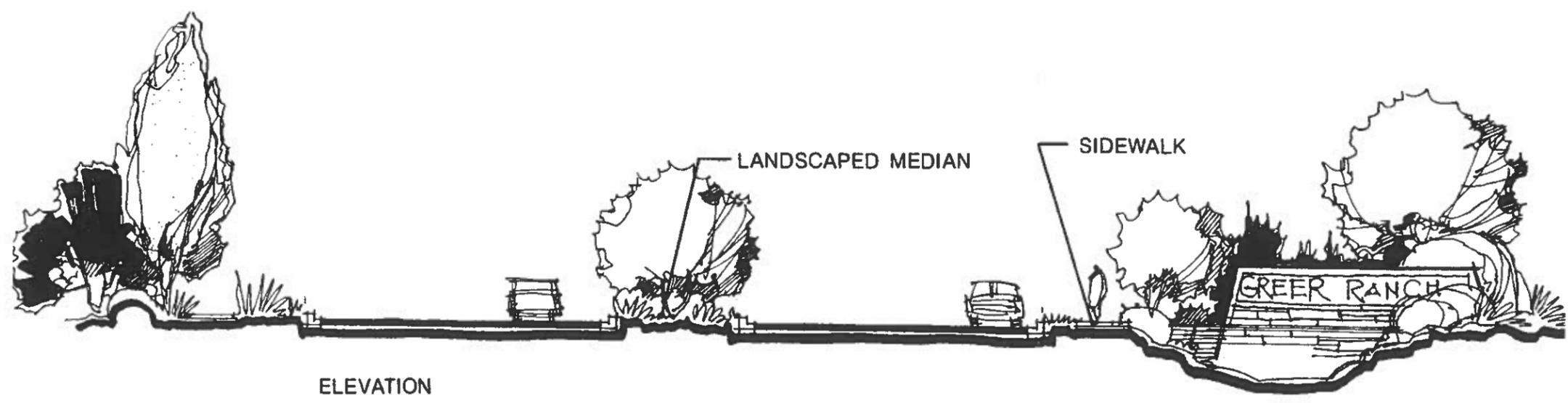
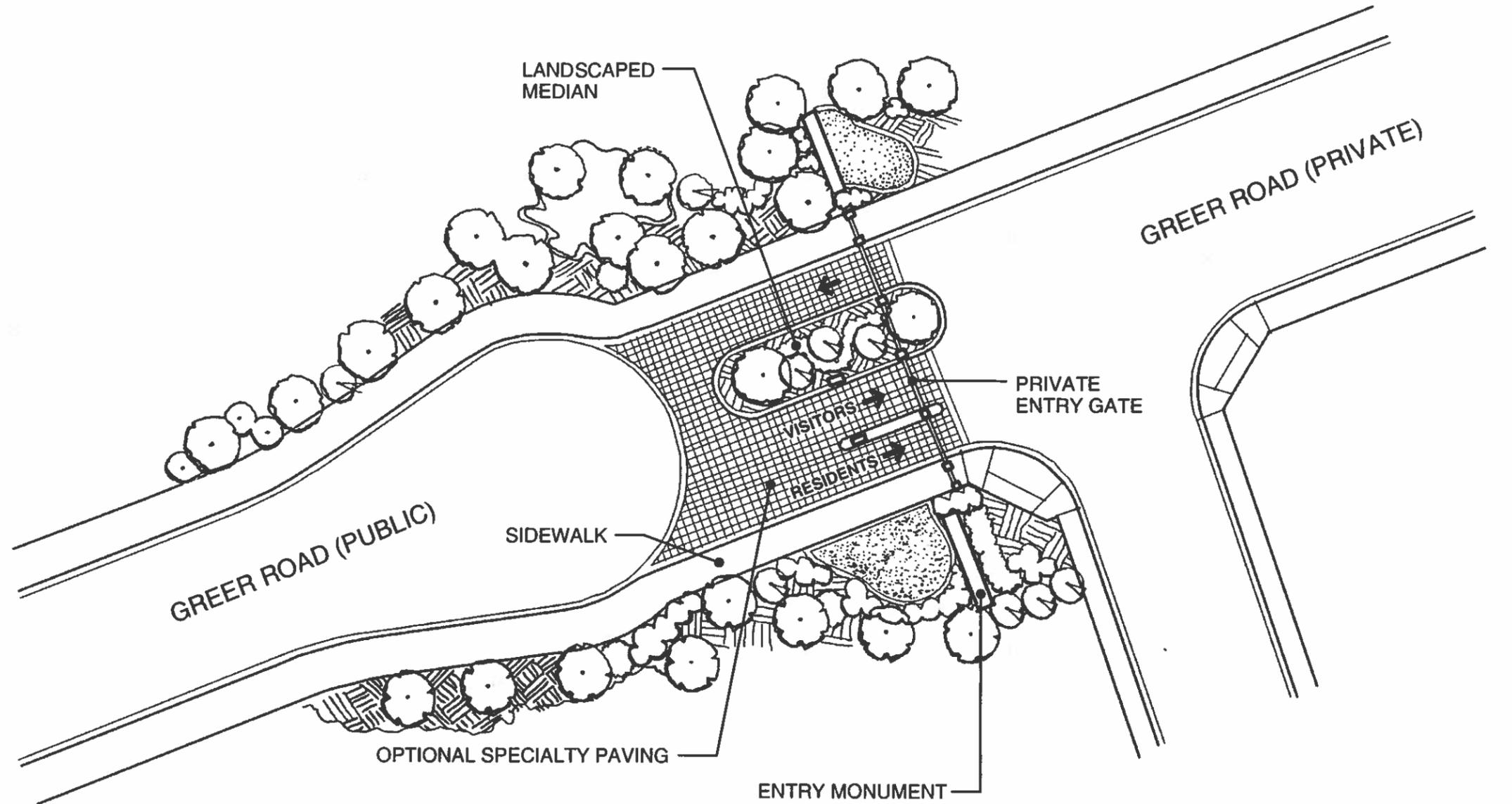
There will be several landscape treatments to enhance the transitions between different use areas within the community. These transitions or buffers will help integrate the community with the natural environment and separate land uses from potentially negative impacts (i.e. road noise). These transitions will be environmentally sensitive and aesthetically pleasing. Plantings will consist of informal groupings of trees, shrubs and groundcovers. Land use buffers will occur throughout Greer Ranch, typically at the interface between Planning Areas and major roadways (e.g., Greer Road). These buffers will include a community wall, adjacent slopes, and parkway/sidewalk area.

**3. Graded Areas**

Manufactured slopes resulting from the construction of building pads and roads will be landscaped to minimize their visual impact where appropriate. The manufactured slopes will be graded to effect a natural appearance, and landscaped with shrubs and groundcovers to blend with the natural environment and provide erosion control. Refer to Chapter One, Section III, Grading Concept Plan for further slope landscaping and erosion control standards.

**4. Streetscapes**

Several different roadway and street landscape treatments will enhance the drive through Greer Ranch (see Exhibits 34-36), help integrate the community with the natural environment, establish individual neighborhood identities, and separate residential land uses from potentially negative impacts such as road noise. These streetscapes will provide transitions which are environmentally sensitive and aesthetically pleasing.



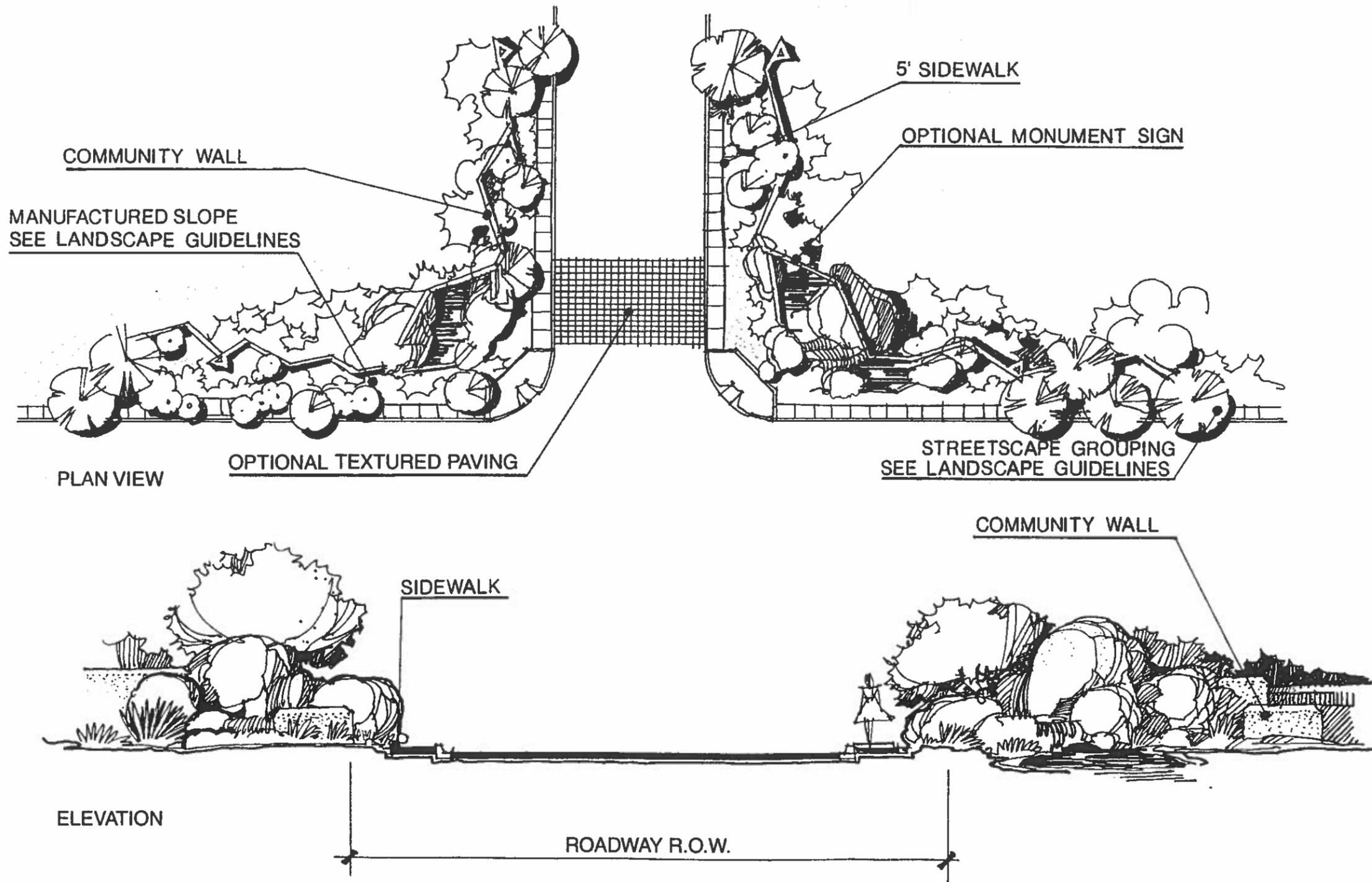
**GREER RANCH SPECIFIC PLAN**

NOTE: THIS DRAWING IS CONCEPTUAL ONLY, AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

**EXHIBIT NO. 31  
ILLUSTRATIVE GATED  
COMMUNITY ENTRY  
PLAN AND ELEVATION**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers



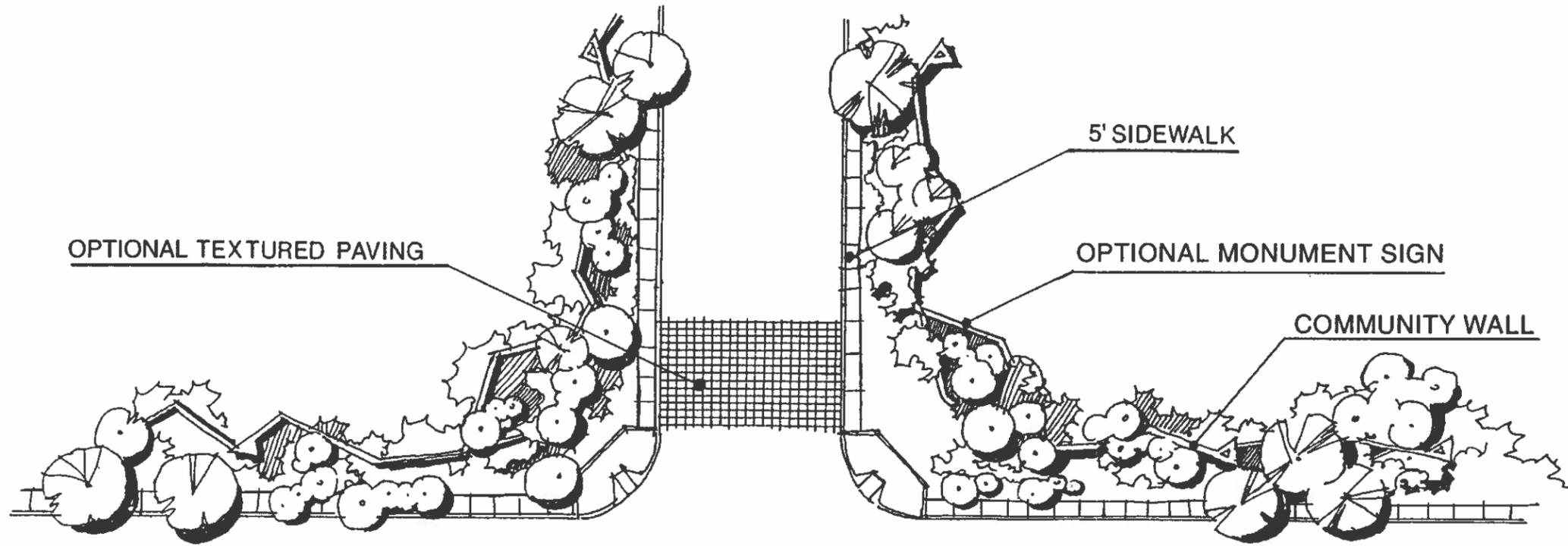
**GREER RANCH SPECIFIC PLAN**

NOTE: THIS DRAWING IS CONCEPTUAL ONLY, AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

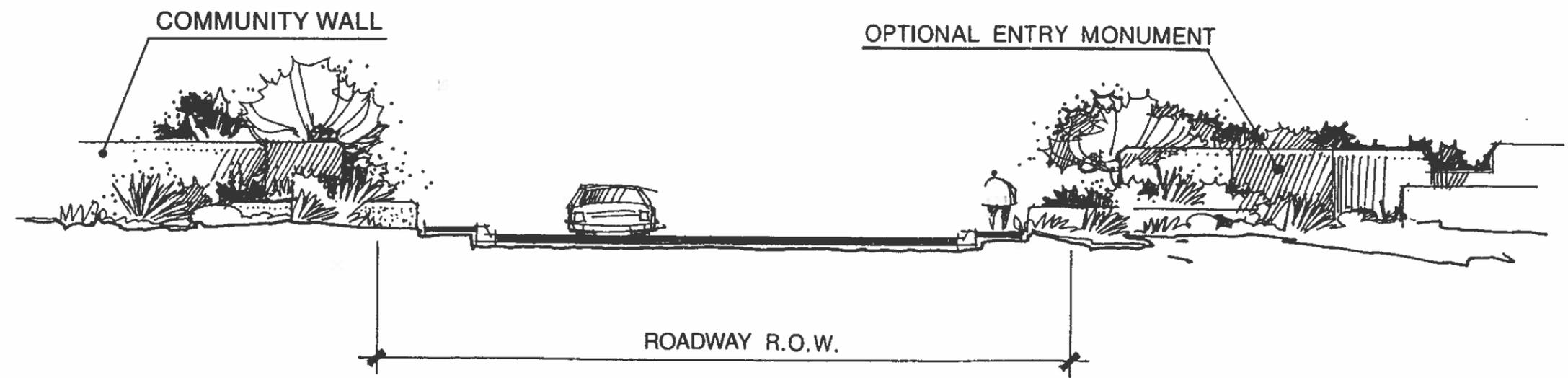
**EXHIBIT NO. 32  
ILLUSTRATIVE  
PLANNING AREA ENTRY**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers



PLAN VIEW



ELEVATION

**GREER RANCH SPECIFIC PLAN**

NOTE: THIS DRAWING IS CONCEPTUAL ONLY, AND DOES NOT PURPORT TO SHOW EXACT LOCATIONS, CONFIGURATIONS, OR SIZES OF LOTS, STREETS, AMENITIES, LANDSCAPE, OR OTHER DEVELOPMENT FEATURES.

**EXHIBIT NO. 33  
ILLUSTRATIVE  
PLANNING AREA ENTRY**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

**a. Greer Road Streetscape - On-site, Private**

Landscaping for on-site Greer Road will be located in the 10-foot medians and adjacent slopes and open space areas (see Exhibit 34). Where appropriate, a community wall will be used in association with informal groupings of indigenous and select non-indigenous plants and trees. A 5-foot sidewalk will be constructed on each side of the roadway, adjacent to the curb.

**b. Mountain Local Road Streetscape - On-site, Private**

The Mountain Local Road is a private street which meanders through the Estate Residential District. Cut and fill areas created by road construction will be revegetated. There are to be no property walls along the road. Landscaping will be indigenous and select non-indigenous plants and trees in natural groupings (see Exhibit No. 35).

**c. Greer Road and Pabesu Road Streetscape - Off-site, Public**

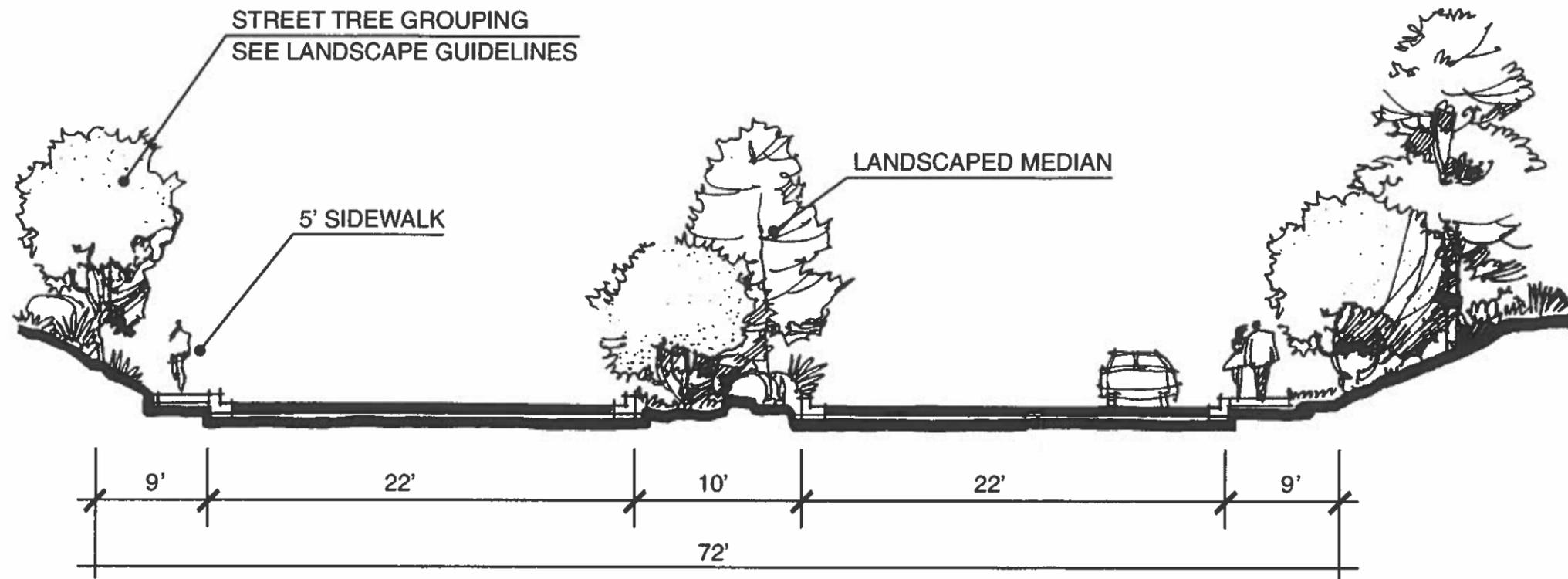
Landscaping for off-site Greer Road and Pabesu Road will be located in the parkway portion of the public right-of-way, and will consist of informal groupings of indigenous and select non-indigenous plants and trees.

Five-foot wide sidewalks will be constructed on both sides of Pabesu Road (see Exhibit 36).

**5. Walls and Fences**

Several illustrative wall concepts have been developed for Greer Ranch. The design goal is to provide a feeling of continuity within the community, while allowing for varied topographical conditions and individual Planning Area identities.

Illustrative wall concepts for Greer Ranch are shown in Exhibit 37. This Exhibit also illustrates variations which may be used to enhance the identity of Planning Areas and neighborhoods. The illustrative wall concepts are composed of masonry block with an earth-toned stucco finish. The community wall will be used in areas visible to the public ( e.g., along roadways, pad edges, etc.). "Fence Block" walls will not be permitted where they can be seen by the public. Property line fences will be constructed and finished with materials that are consistent with the architectural theme of the overall Planning Area or neighborhood.



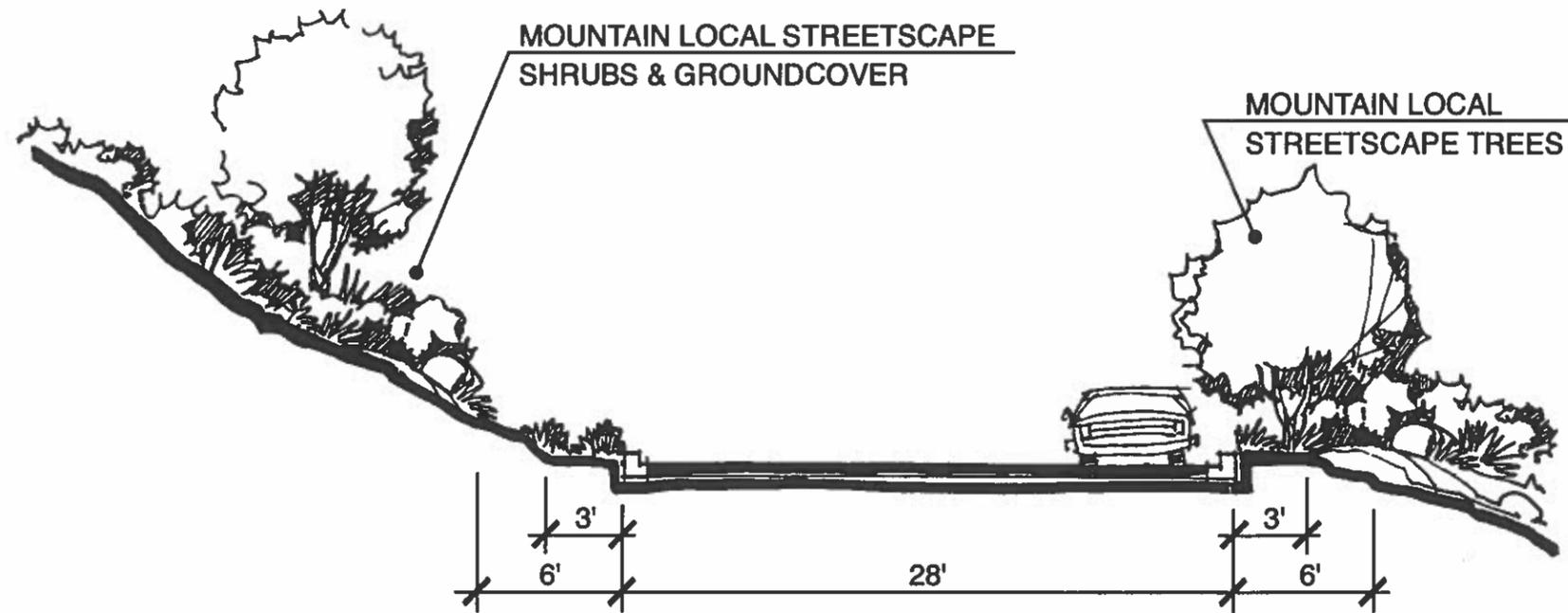
ELEVATION

**EXHIBIT NO. 34  
CONCEPTUAL STREETScape  
ONSITE GREER ROAD -  
PRIVATE**

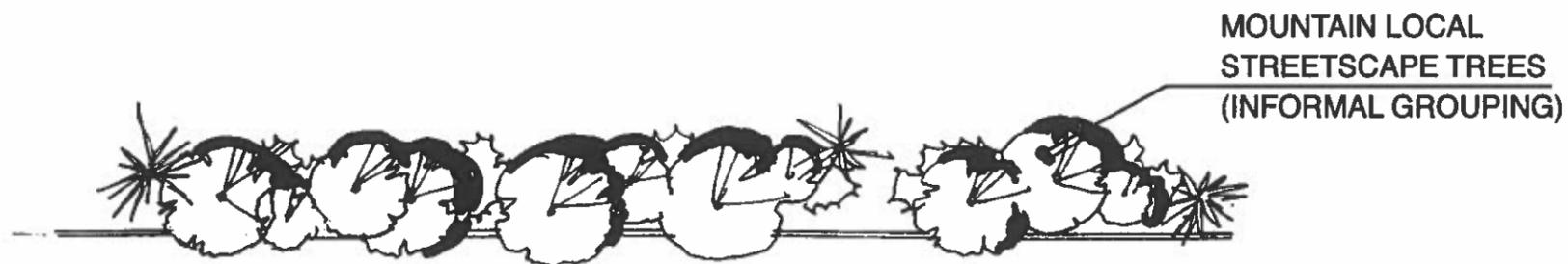
FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

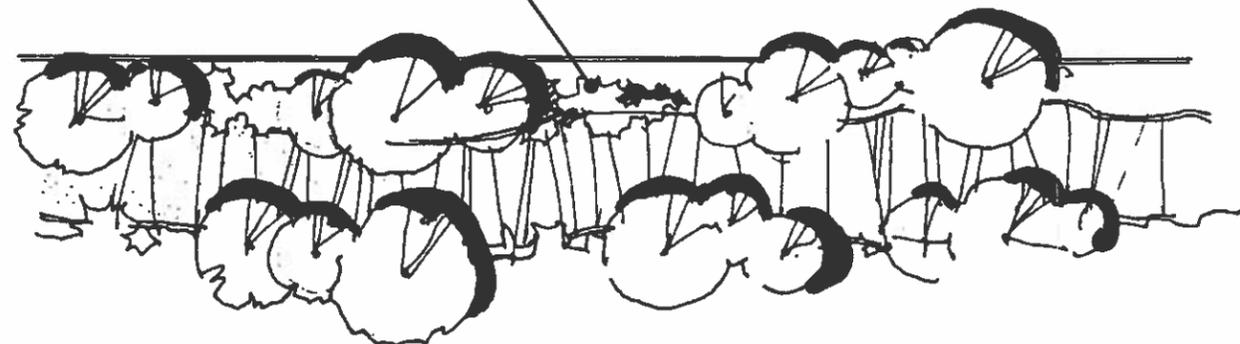
**GREER RANCH SPECIFIC PLAN**



ELEVATION



MOUNTAIN LOCAL STREETSCAPE SHRUBS & GROUNDCOVER



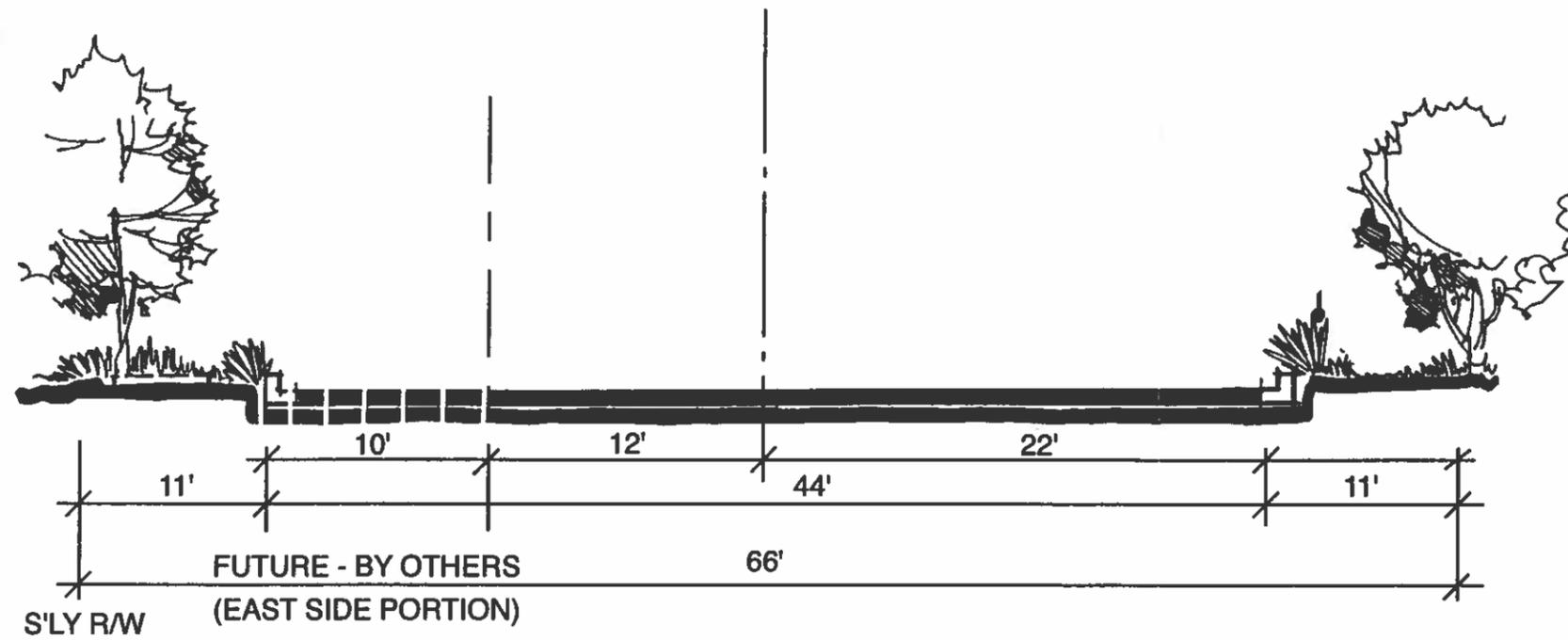
PLAN VIEW

**GREER RANCH SPECIFIC PLAN**

**EXHIBIT NO. 35  
CONCEPTUAL STREETSCAPE  
ON-SITE MOUNTAIN LOCAL RD.  
PRIVATE**

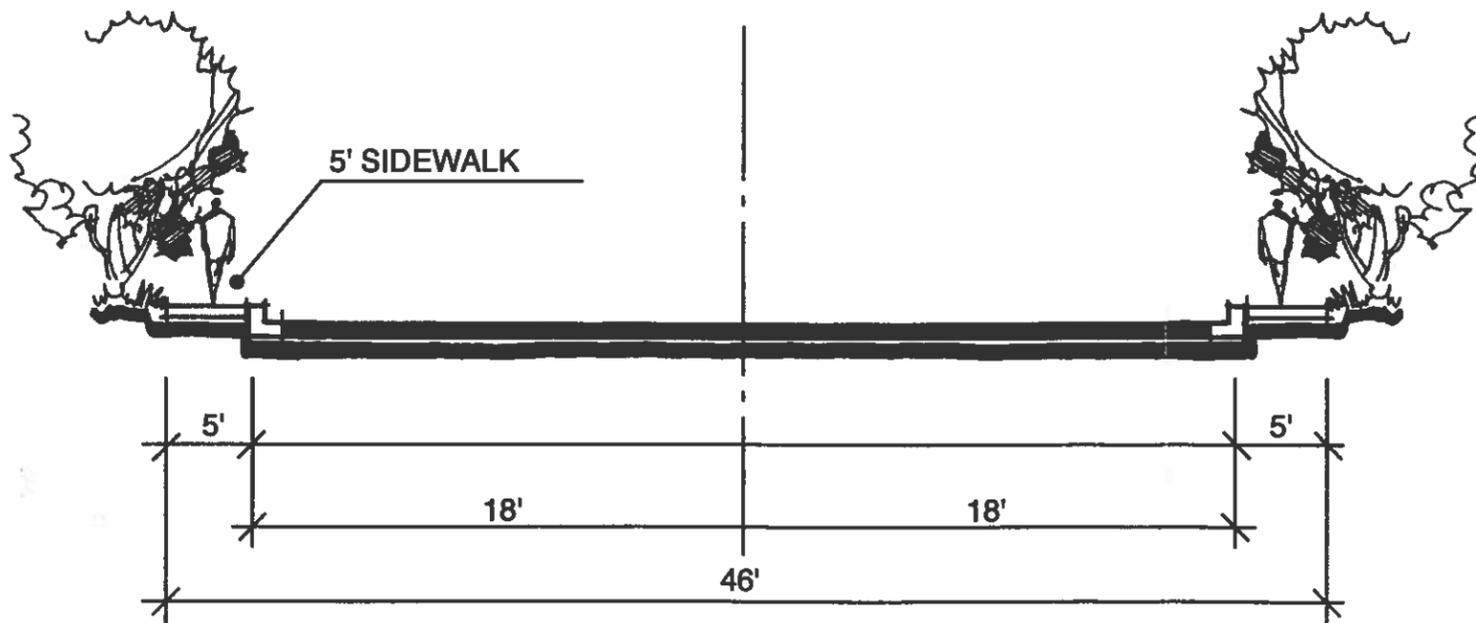
FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers



ELEVATION

GREER ROAD



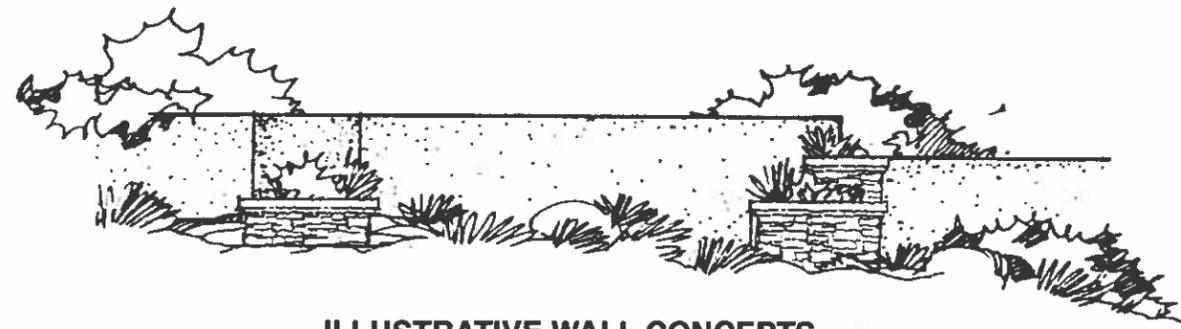
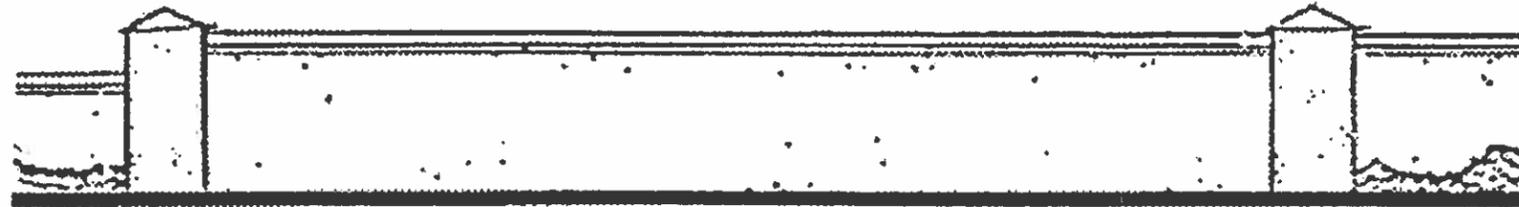
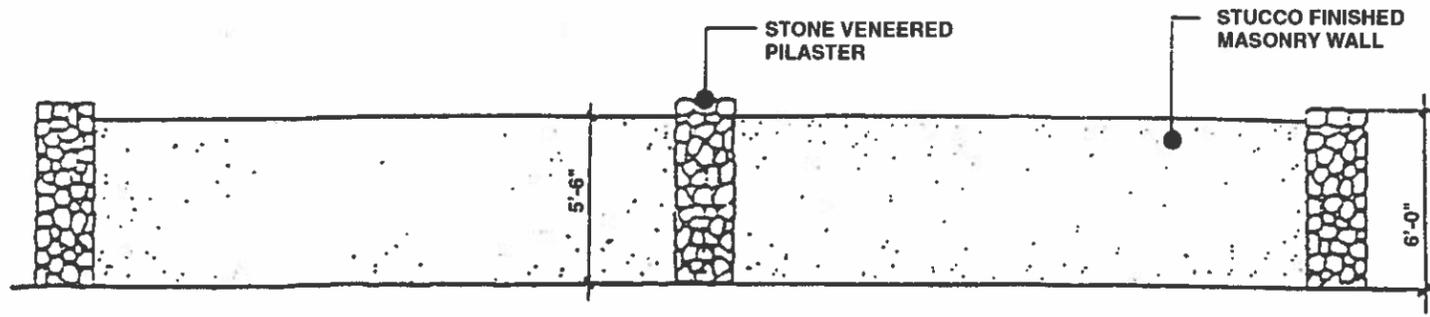
PABESU ROAD / PUBLIC PARK ACCESS

EXHIBIT NO. 36  
**CONCEPTUAL STREETScape  
 OFFSITE GREER AND  
 PABESU ROADS - PUBLIC**

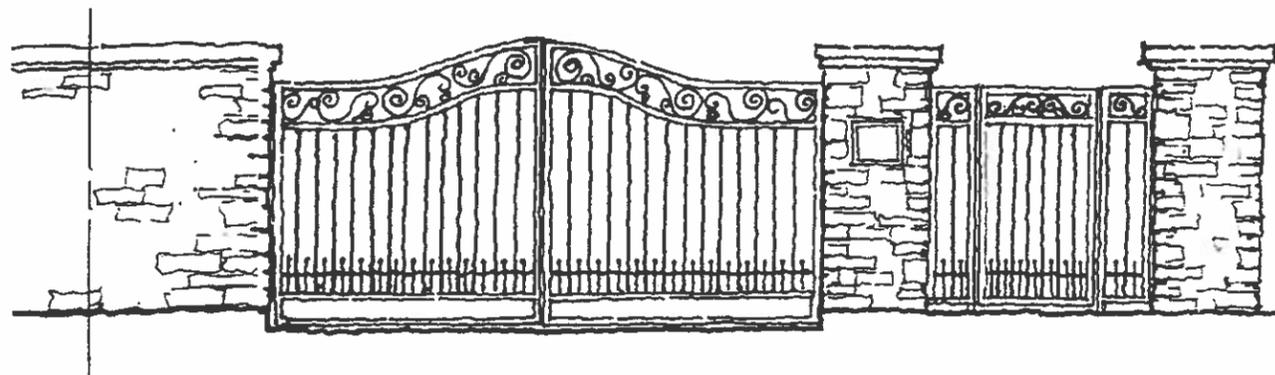
FOR: Lennar Greer Ranch Venture, LLC

BRYAN MENNE & ASSOCIATES ■ Land Planning  
 ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

**GREER RANCH SPECIFIC PLAN**



ILLUSTRATIVE WALL CONCEPTS



ILLUSTRATIVE GATED COMMUNITY ENTRY

**GREER RANCH SPECIFIC PLAN**

**EXHIBIT NO. 37  
ILLUSTRATIVE  
WALL CONCEPTS**

FOR: Lennar Greer Ranch Venture, LLC

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

Long linear lengths of walls will be relieved with landscaping, such as vines and massed shrubs. Walls may be offset where appropriate to avoid visual monotony. Tops of walls will be horizontal and stepped to follow contours.

**6. Fuel Modification**

Fuel modification for the zones indicated on Exhibit 14 will be provided in accordance with Murrieta Fire Department Standards for Fuel Modification Zone III - Chaparral, or as approved by the Fire Department.

Open space/fuel modification easements will be provided as necessary. The maintenance of fuel modification areas will be by the Master Homeowners Association, the Murrieta Community Services District, or the individual homeowner.

**a. Methods for Fuel Modification**

The following is the recommended approach to creating fuel modification areas for the types of vegetation occurring within Greer Ranch. Of the vegetation communities present, chaparral predominates.

**1. All Zones:**

Remove non-native annual grasses and weedy broad leaf plants, such as:

<i>Avena fatua</i>	Wild Oats
<i>Brassica sp.</i>	Mustard
<i>Bromus hordeaceus</i>	Soft Chess
<i>Bromus rubens</i>	Foxtail Chess
<i>Centaurea melitensis</i>	Tocalote
<i>Lamarckia aurea</i>	Goldentop
<i>Lolium multiflorum</i>	Italian Rye grass
<i>Marrubium vulgare</i>	Horehound
<i>Salsola australis</i>	Russian Thistle

## 2. Chaparral:

Remove the following native plants:

<i>Calystegia macrostegia</i>	Western Bindweed
<i>Cuscutta californica</i>	California Dodder
<i>Gutierrezia californica</i>	California Matchweed
<i>Hazardia (Happlopappus)</i>	Saw-toothed Goldenbush <sup>1</sup> squarrosa
<i>Salvia apiana</i>	White Sage
<i>Salvia mellifera</i>	Black Sage (remove 50% leaving the remaining 50% to be pruned)

Reduce to 6-inch height, retain trunks and root system, remove 90% of the branches of the following:

<i>Adenostoma fasciculatum</i>	Chamise <sup>1</sup>
<i>Artemisia californica</i>	California Sagebrush <sup>2</sup>
<i>Eriogonum fasciculatum</i>	California Buckwheat <sup>2</sup>
<i>Salvia mellifera</i>	Black Sage <sup>2</sup> (prune remaining shrubs after 50% have been removed)

Prune moderately to reduce fuel and remove dead wood. Thin 50% and reduce in height to 3 feet. Perform selective removal as necessary to achieve a minimum clearance of 20 feet between these shrubs:

*Malosma laurina* Laurel Sumac

Remove dead wood, perform selective removal if necessary to achieve a minimum clearance of 20 feet between these large shrubs:

<i>Ceanothus crassifolius</i>	Hoary-leaved Ceanothus
<i>Malacothamnus densiflorus</i>	Many Flowered Mallow
<i>Sambucus Mexicana</i>	Elderberry

Retain and prune moderately to reduce fuel and remove dead wood/branches. Remove fuel by reducing in height (if necessary) to maximum of 18 inches, allowing the plant to cover the ground surface:

- 
- 1 Plant included on Fire Department's list of "High Fire Hazard Native and Introduced Species."
  - 2 Plant included on Fire Department's list of "High Fire Hazard Native and Introduced Species." Because of the high frequency of these plants and the high erosion potential, severe pruning of these plants is recommended to reduce the fuel load, which retaining the root system. This approach will require regular maintenance pruning of these shrubs to keep the fuel load minimal.

<i>Camissonia bistorta</i>	Southern Suncup
<i>Eraistrum sapphirinum</i>	Sapphire Eriastrum <sup>1</sup>
<i>Eriophyllum confertiflorum</i>	Golden Yarrow <sup>2</sup>
<i>Encelia californica</i>	Bush sunflower
<i>Helianthemum scoparium</i>	Common Rock Rose
<i>Mirabilis californica</i>	California Wish-bone Bush
<i>Salvia columbaria</i>	Chia <sup>2</sup>
<i>Solanum xantii</i>	Chaparral Nightshade

Preserve and protect from damage:

<i>Calochortus sp.</i>	Mariposa Lily
<i>Calochortus splendens</i>	Lilac Mariposa
<i>Chorizanthe fimbriata</i>	Fringed Spine-flower
<i>Diplacus (Mimulus)</i>	Orange Bush Monkey-flower <sup>2</sup>
<i>Keckiella antirrhinoides</i>	Chaparral Beard Tongue
<i>Lotus scoparius</i>	Deer Weed <sup>2</sup>
<i>Yucca whipplei</i>	Spanish Bayonet

### 3. Non-Native Grassland:

Remove the following native plants:

<i>Calystegia macrostegia</i>	Western Bindweed
<i>Heterotheca grandiflora</i>	Telegraph Weed

Remove dead wood, perform selective removal as necessary to achieve a minimum clearance of 20 feet between these large shrubs:

<i>Sambucus mexicana</i>	Elderberry
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Retain and prune moderately to reduce fuel and remove dead wood/branches. Remove fuel by reducing in height (if necessary) to a maximum of 18 inches, allowing the plant to cover the ground surface:

<i>Atriplex semibaccata</i>	Australian Saltbush
<i>Camissonia bistorta</i>	Southern Sun-cup
<i>Eriastrum sapphirinum</i>	Sapphire Eriastrum

1 Plant included on Fire Department's list of "High Fire Hazard Native and Introduced Species."

2 Plant included on Fire Department's list of "Low Growing Native Species, Moderate to High Fire Retardance."

Preserve and protect from damage:

<i>Eschscholzia californica</i>	California Poppy <sup>1</sup>
<i>Lotus scoparius</i>	Deer Weed <sup>1</sup>
<i>Orthocarpus purpurescens</i>	Owl's Clover

4. **Coast Live Oak Woodland:**

Remove the following native plants:

<i>Calstegia macrostegia</i>	Western Bindweed
<i>Cuscuta californica</i>	California Dodder
<i>Hazardia (Happlopappus)</i>	Saw-toothed Goldenbush <sup>2</sup> squarrosa
<i>Nicotiana bigelovii</i>	Wallace's Tobacco
<i>Salvia mellifera</i>	Black Sage <sup>3</sup>
<i>Toxicodendron diversilobum</i>	Poison Oak

Prune to remove dead wood and remove lower leafy branches to create a 6-foot clearance above the ground:

<i>Platanus racemosa</i>	California Sycamore
<i>Quercus agrifolia</i>	Coast Live Oak

Reduce to 6-inch height, retain trunks and root system, remove 90% of the branches of the following:

<i>Adenostoma fasciculatum</i>	Chamise <sup>3</sup>
<i>Eriogonum fasciculatum</i>	California Buckwheat <sup>3</sup>

Prune moderately to reduce fuel and remove dead wood. Thin 50% and reduce in height to 3 feet. Perform selective removal as necessary to achieve a minimum clearance of 20 feet between these shrubs:

<i>Malosma laurina</i>	Laurel Sumac
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Remove dead wood, perform selective removal if necessary to achieve a minimum clearance of 20 feet between these large shrubs:

<i>Ceanothus crassifolius</i>	Hoary-leaved Ceanothus
<i>Heteromeles arbutifolia</i>	Toyon
<i>Sambucus mexicana</i>	Elderberry

- 
- 1 Plant included on Fire Department's list of "Low Growing Native Species, Moderate to High Fire Retardance."
  - 2 Plant included on Fire Department's list of "High Fire Hazard Native and Introduced Species."
  - 3 Plant included on Fire Department's list of "High Fire Hazard Native and Introduced Species." Because of the high frequency of these plants and the high erosion potential, severe pruning of these plants is recommended to reduce the fuel load, which retaining the root system. This approach will require regular maintenance pruning of these shrubs to keep the fuel load minimal.

Retain and prune moderately to reduce and remove dead wood/branches. Remove fuel by reducing in height (if necessary) to maximum of 18 inches, allowing the plant to cover the ground surface:

<i>Eriastrum sapphirinum</i>	Sapphire Eriastrum
<i>Eriophyllum confertiflorum</i>	Golden Yarrow <sup>1</sup>
<i>Marah macrocarpus</i>	Wild Cucumber
<i>Rhus trilobata</i>	Squaw Bush
<i>Solanum xantii</i>	Chaparral Nightshade

Preserve and protect from damage:

<i>Calochorus sp.</i>	Mariposa Lily
<i>Calochortus splendens</i>	Lilac Mariposa
<i>Diplacus (Mimulus)</i>	Orange Bush Monkey-flower <sup>1</sup> aurantiacus
<i>Mimulus brevipes</i>	Wide throated Monkey-flower
<i>Lotus scoparius</i>	Deer Weed <sup>1</sup>

#### 5. Mulefat Scrub:

Remove the following native plants:

<i>Calystegia macrostegia</i>	Western Bindweed
<i>Cuscuta californica</i>	California Dodder
<i>Nicotiana bigelovii</i>	Wallace's Tobacco
<i>Nicotiana glauca</i>	Tree Tobacco
<i>Salvia mellifera</i>	Black Sage <sup>2</sup>
<i>Toxicodendron diversilobum</i>	Poison Oak

Prune to remove dead wood and remove lower leafy branches to create a 6-foot clearance above the ground:

<i>Populus fremontii</i>	Fremont's Cottonwood
<i>Salix goodingii</i>	Black Willow

Reduce to 6-inch height, retain trunks and root system, remove 90% of the branches of the following:

- 1 Plant included on Fire Department's list of "Low Growing Native Species, Moderate to High Fire Retardance."
- 2 Plant included on Fire Department's list of "High Fire Hazard Native and Introduced Species."

*Adenostoma fasciculatum* Chamise<sup>1</sup>  
*Eriogonum fasciculatum* California Buckwheat<sup>1</sup>

Prune moderately to reduce fuel and remove dead wood. Thin 50% and reduce in height to 3 feet. Perform selective removal if necessary to achieve a minimum clearance of 20 feet between these shrubs:

*Malosma laurina* Laurel Sumac

Remove dead wood, perform selective removal if necessary to achieve a minimum clearance of 20 feet between these large shrubs:

*Baccharis salicifolia* Mulefat  
*Ceanothus crassifolius* Hoary-leaved Ceanothus  
*Sambucus mexicana* Elderberry

Retain and prune moderately to reduce fuel and remove dead wood/branches. Remove fuel by reducing in height (if necessary) to a maximum of 18 inches, allowing the plant to cover the ground surface:

*Rhus trilobata* Squaw Bush  
*Solanum xanthii* Chaparral Nightshade

Preserve and protect from damage:

*Lotus scoparius* Deer Weed

**6. Disturbed/Ruderal:**

Remove the following native plants:

*Calystegia macrostegia* Western Bindweed  
*Heterotheca grandiflora* Telegraph Weed

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1 Plant included on Fire Department's list of "High Fire Hazard Native and Introduced Species." Because of the high frequency of these plants and the high erosion potential, severe pruning of these plants is recommended to reduce the fuel load, which retaining the root system. This approach will require regular maintenance pruning of these shrubs to keep the fuel load minimal.

Prune to remove dead wood and remove lower leafy branches to create a 6-foot clearance above the ground:

*Eucalyptus sp.* Gum Tree

Reduce to 6 inches in height, retain trunks and root system, remove 90% of the branches of the following:

*Eriogonum fasciculatum* California Buckwheat<sup>1</sup>

Retain and prune moderately to reduce fuel and remove dead wood/branches. Remove fuel by reducing in height (if necessary) to a maximum of 18 inches, allowing the plant to cover the ground surface:

*Atriplex semibaccata* Australian Saltbush

Preserve and protect from damage:

*Eschscholzia californica* California Poppy<sup>2</sup>

*Lotus scoparius* Deer Weed<sup>2</sup>

*Orthocarpus purpurescens* Owl's Clover

**b. Additional Guidelines for Fuel Modification Zones**

- Fuel modification will be graduated beginning with the maximum amount of removal indicated (Section IV.B.6.a.) in the first 30 feet of the applicable fuel modification zone (see Exhibit 14), transitioning to no removal at the outer boundary of the fuel modification zone.
- Fuel modification shall be supervised by a professional familiar with the site vegetation, who shall instruct the workers in detail and shall monitor the work to assure that the appropriate levels of removal and preservation are achieved.

---

1 Plant included on Fire Department's list of "High Fire Hazard Native and Introduced Species." Because of the high frequency of these plants and the high erosion potential, severe pruning of these plants is recommended to reduce the fuel load, which retaining the root system. This approach will require regular maintenance pruning of these shrubs to keep the fuel load minimal.

2 Plant included on Fire Department's list of "Low Growing Native Species, Moderate to High Fire Retardance."

- Workers shall have experience with careful pruning. Sample areas of fuel modification work shall be approved by the supervisor and the Murrieta Fire Department prior to continuing the work.
- A low precipitation irrigation system may be installed. Separate irrigation systems may be provided for newly planted areas and for the first 30 feet of the fuel modification zone.
- Where fuel modification work leaves open areas, re-seed/replant these areas with plants listed in the Greer Ranch Plant Palette (see Section IV.E.).
- All fuel modification plans and work shall be reviewed and approved by the Murrieta Fire Department for conformance with Department Standards. Information on the organization or parties designated as responsible for fuel modification area maintenance shall also be provided to the Murrieta Fire Department.
- Maintenance work to maintain a low fuel load within the fuel modification zone shall be done on an annual or bi-annual basis to the approval of the Murrieta Fire Department.

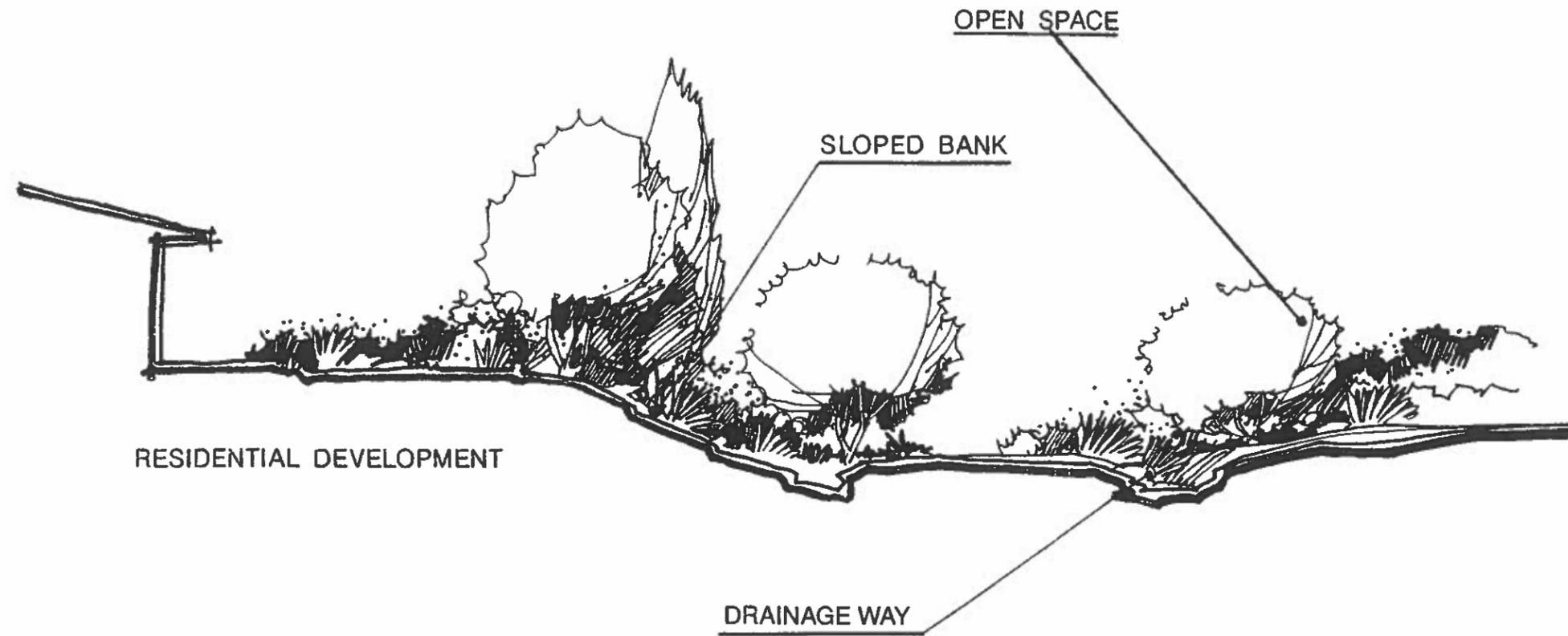
**c. Fire Department Access Requirements**

Wherever access onto private property or open space areas is controlled by gates, barriers, guard houses, etc., provisions will be made to allow access by emergency vehicles in a manner approved by the Murrieta Fire Department.

**C. OPEN SPACE ELEMENTS**

The preservation of open space is a major element in the development of Greer Ranch. There are three major areas of open space, which include (1) hills and ridges in the far eastern portion of the Site, (2) prominent hillsides through the central and western portions of the Site, and (3) a wildlife corridor in the eastern area of the Site. Smaller pockets of open space occur throughout the Site.

The open space areas within Greer Ranch will include drainage channels and development transitional areas, which will be modified by grading and fuel modification activities (see Exhibit 38). As appropriate, open space areas will be replanted with indigenous and select non-indigenous plants for aesthetic and fire safety purposes per the Greer Ranch Plant Palette and fuel modification program, as practicable (Sections IV.E. and IV.B.6.). The intent is that these open spaces appear as natural as practicable.

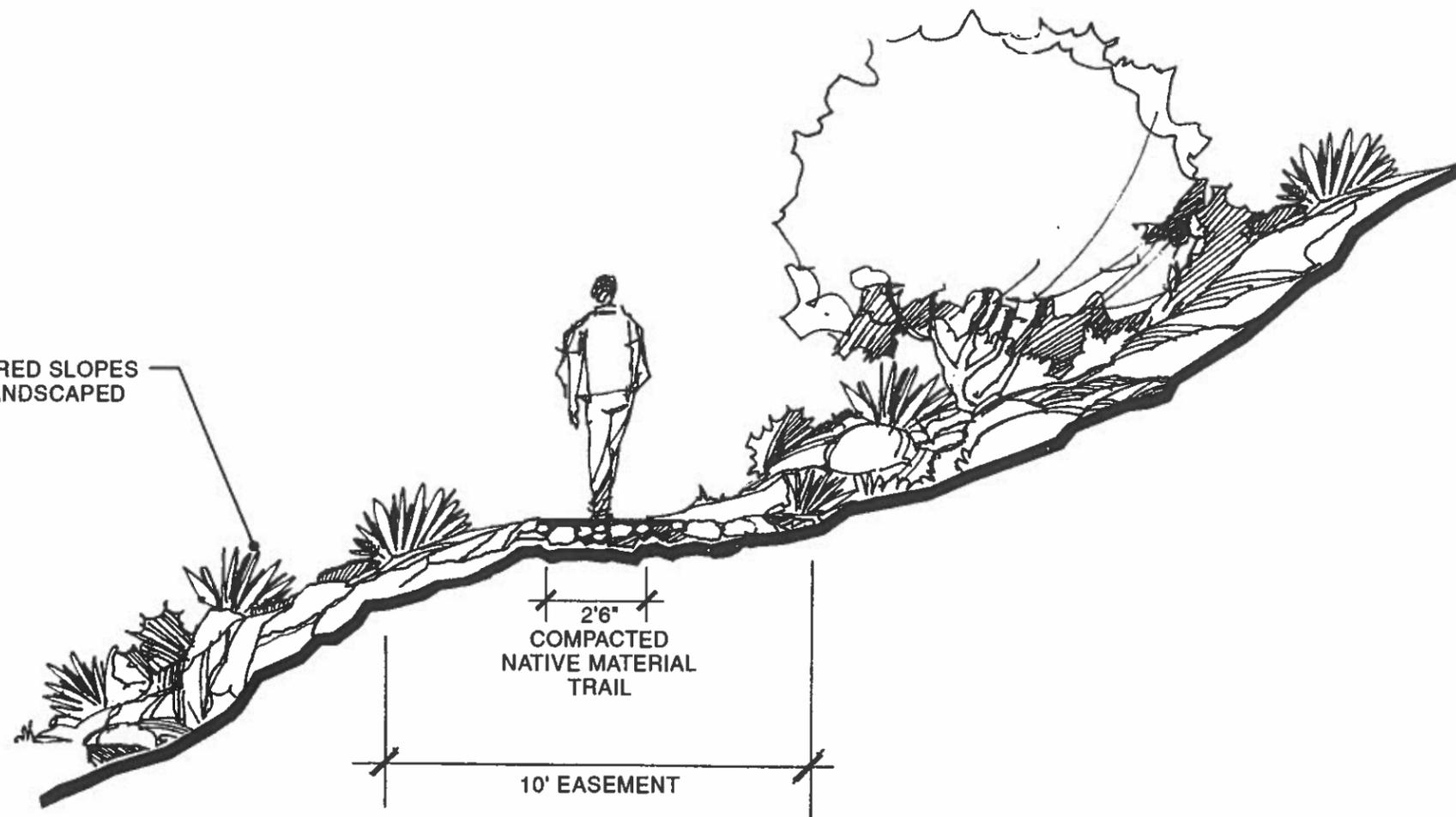


**EXHIBIT NO. 38**  
**ILLUSTRATIVE OPEN SPACE**  
**INTERFACE SECTION**

FOR: **Lennar Greer Ranch Venture, LLC**

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

MANUFACTURED SLOPES  
TO BE RELANDSCAPED



# GREER RANCH SPECIFIC PLAN

Note: Regional Trail Segment only, where provided

## EXHIBIT NO. 39 ILLUSTRATIVE REGIONAL TRAIL SECTION

FOR: Lennar Greer Ranch Venture, LLC

BRYAN MENNE & ASSOCIATES ■ Land Planning  
ROBERT BEIN, WILLIAM FROST & ASSOCIATES ■ Civil Engineers

Hiking trails, where provided, will be developed with native material (see Exhibit 39). These areas will be left natural, except in Planning Area 9 where landscaping will be provided to identify and accentuate the relationship of the trail and the public Neighborhood Park.

**D. OAK TREE PRESERVATION**

Within Greer Ranch are several small stands of Coast Live Oaks (*Quercus agrifolia*), which are recognized as an important amenity to the Site. These can serve as a community amenity and as many as practicable should be preserved.

Where existing oak or sycamore trees need to be removed, 24-inch box replacement trees will be provided at a ratio of 3:1. The new trees will be planted in clusters. The ground surface under existing and new oaks will be mulched to the drip line of the tree and no shrubs, groundcovers, or irrigation may be located in this area. This will avoid the detrimental addition of irrigation or increased surface runoff water to the root zone of existing oaks.

The oaks which remain on the Site shall be protected during construction. Native oaks are susceptible to damage from over watering, ground water fluctuations and soil compaction. The following are mitigation methods which will be utilized during construction:

- Where practicable, no grading will be done within 20 feet of a retained oak tree. In no case will there be grading within the tree's drip line, except as directed by a landscape architect or arborist.
- Trees will be protected by a fence during construction. This fence will be at or beyond the tree's drip line.
- Retaining walls constructed near an oak will have non-continuous footings.
- Additional oak tree protection measures may be identified in the tree reports required pursuant to Section 16.42.080 of the Development Code, prior to grading permits.

**E. PLANT PALETTE**

The following plant material lists have been selected for their appropriateness for the climate, soil conditions and maintenance concerns associated with Greer Ranch.

Plantings should be chosen by the landscape architect for the applicable project in Greer Ranch from the following lists. Plantings should complement adjacent common

landscaping, individual building architecture, and the Site setting. Planting should, wherever practicable, be of compatible characteristics. Irrigation programming will be designed to minimize water use, in accordance with the Municipal Code.

The following plant palette contains recommended plant material which may be used on the Project. The plant palette has been divided into different areas corresponding to fuel modification zones, manufactured slopes, open space areas, the public Neighborhood Park and community streetscapes.

**1. Fuel Modification Areas**

Replanting should occur within the first approximately 30 feet of the applicable fuel modification zone (e.g., areas where the greatest amount of removal has taken place, and where irrigation is provided). This replanting will include a hydroseed mix, ground covers from flats or liners, and shrubs from containers. The hydroseed mix will include predominantly native, low growing, non-invasive, moderately fire retardant plant material. Individually planted plants will be as follows:

**a. Ground Covers:**

<i>Arctostaphylos sp.</i>	Manzanita
<i>Baccharis sp.</i>	Coyote Bush
<i>Ceanothus sp.</i>	California Lilac
<i>Eriophyllum sp.</i>	Yarrow
<i>Eschscholzia californica</i>	California poppy
<i>Lonicera japonica 'halliana'</i>	Hall's honeysuckle
<i>Lotus sp.</i>	Deerweed
<i>Lupinus sp.</i>	Annual lupines

**b. Shrubs:**

<i>Heteromeles arbutifolia</i>	California Holly
<i>Isomeris arborea</i>	Bladder Pod
<i>Mahonia nevinii</i>	Nevin's Mahonia
<i>Mimulus sp.</i>	Monkey Flower
<i>Penstemon sp.</i>	Penstemon
<i>Rhus ovata</i>	Sugar Bush
<i>Salvia columbariae</i>	Chia
<i>Salvia sonomensis</i>	Creeping sage
<i>Trichostema lanatum</i>	Woolly blue curls
<i>Yucca whipplei</i>	Foothill Yucca
<i>Zauschneria sp.</i>	California fuchsia

**2. Slopes/Native Emphasis**

Areas which are non-native grassland, disturbed/ruderal, or have been disturbed during construction will be replanted with materials such as, but not limited to, the following:

**a. Ground Covers:**

<i>Arctostaphylos sp.</i>	Manzanita
<i>Baccharis sp.</i>	Coyote Bush
<i>Ceanothus sp.</i>	California Lilac

**b. Shrubs:**

<i>Dendromecon rigida</i>	Bush Poppy
<i>Encelia californica</i>	Coast Sunflower
<i>Fremontodendron californica</i>	Flannel Bush
<i>Heteromeles arbutifolia</i>	California Holly
<i>Isomeris arborea</i>	Bladder Pod
<i>Mahonia nevinii</i>	Nevin's Mahonia
<i>Mimulus sp.</i>	Monkey Flower
<i>Rhus ovata</i>	Sugar Bush
<i>Rosa californica</i>	Wild Rose
<i>Solanum xantii</i>	Chaparral Nightshade
<i>Yucca whipplei</i>	Foothill Yucca

**c. Trees:**

<i>Platanus racemosa</i>	California Sycamore
<i>Quercus agrifolia</i>	Coast Live Oak

**3. Manufactured Slopes**

Slope areas between residential sites will be planted using the above palette, with the following types of plants added for their ornamental characteristics and adaptability to irrigation.

**a. Ground Covers:**

<i>Acacia redolens</i>	Acacia
<i>Lantana sellowiana</i>	Lavender Lantana
<i>Myoporum sp.</i>	Myoporum
<i>Rosmarinus officinalis</i>	Rosemary
<i>Trachelosperum jasminoides</i>	Star Jasmine

**b. Shrubs:**

<i>Acacia sp.</i>	Acacia
<i>Cistus salvifolius</i>	Rock Rose
<i>Cotoneaster sp.</i>	Cotoneaster
<i>Jasminum mesnyi</i>	Primrose Jasmine
<i>Leptospermum scoparium</i>	New Zealand Tea Tree
<i>Prunus lyonni</i>	Catalina Cherry
<i>Melaleuca nesophila</i>	Pink Melaleuca
<i>Photinia fraseri</i>	Photinia
<i>Pittosporum tobira vars.</i>	Pittosporum
<i>Xylosma congestum</i>	Shiny Xylosma

**c. Trees:**

<i>Arbutus unedo</i>	Strawberry Tree
<i>Arecastrum romanzoffianum</i>	Queen Palm
<i>Brahea sp.</i>	Fan Palm
<i>Ceratonia siliqua</i>	Carob Tree
<i>Chamaerops humilis</i>	Mediterranean Fan Palm
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Fraxinus raywoodii</i>	Raywood Ash
<i>Lauris nobilis</i>	Sweet Bay
<i>Liquidamba var.</i>	Sweet Gum
<i>Olmediella betschlerana</i>	Guatemalan Holly
<i>Phoenix canariensis</i>	Canary Island Date Palm
<i>Pinus eldarica</i>	Mondel Pine
<i>Pyrus calleryana vars.</i>	Ornamental Pear
<i>Pyrus kawakamii</i>	Evergreen Pear
<i>Quercus ilex</i>	Holly Oak
<i>Quercus virginiana</i>	Southern Live Oak
<i>Schinus molle</i>	California Pepper
<i>Tipuana tipu</i>	Tipu
<i>Trachycarpus fortunei</i>	Windmill Palm
<i>Tristania conferta</i>	Brisbane Box
<i>Washingtonia robustum</i>	Mexican Fan Palm

**4. Open Space Areas/Lower Shady Areas/Stream Courses**

Feature areas in the southern portions of the Site, such as the entrance, community center, and open space drainage areas, will be planted with an enriched native plant palette using, but not limited to, native plant materials listed below, where appropriate, along with the non-native plant material as recommended for manufactured slopes:

**a. Ground Covers:**

<i>Arctostaphylos sp.</i>	Manzanita
<i>Baccharis sp.</i>	Coyote Bush
<i>Ceanothus sp.</i>	California Lilac
<i>Ribes viburnifolium</i>	Catalina Perfume
<i>Symphoricarpos mollis</i>	Creeping Snowberry

**b. Shrubs:**

<i>Cercis occidentalis</i>	Western Redbud
<i>Iris douglasiana</i>	Douglas Iris
<i>Keckiella antirrhinoides</i>	Chaparral Beard Tongue
<i>Penstemon sp.</i>	Scarlet Bugler
<i>Rhus trilobata</i>	Squaw Bush
<i>Vitis californica</i>	California Wild Grape
<i>Woodwardia</i>	Chain Fern

**c. Large Shrubs:**

<i>Heteromeles arbutifolia</i>	Toyon
<i>Sambucus mexicana</i>	Elderberry
<i>Salix goodingii</i>	Black Willow

**d. Trees:**

<i>Platanus racemosa</i>	California Sycamore
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Umbellularia californica</i>	California Bay Laurel

**5. Estate Residential Planning Areas (ER-1)**

Street frontage and transitional areas are intended to have a rustic, rural character and are to be planted with native and other drought tolerant plantings as suggested in the lists above. Private areas may have a more traditional garden character and may be planted with materials requiring more water and maintenance (such as lawn, annual flower gardens, etc.) These plantings should be selected and planted so as not to conflict with the rustic character of the plantings in the streetscape.

**a. Street Trees:**

*Quercus agrifolia*

Coast Live Oak

Planted along street frontage approximately 70 feet on center in informal groupings.

**6. Single-Family Residential Planning Areas (SF1-6000)**

The landscaping of these Planning Areas is intended to blend harmoniously with the adjoining open space areas, and yet accommodate the increased intensity of use surrounding each home. Streetscapes should be planted with the smaller scale native and other plantings suggested in the lists below. Lawn areas and garden areas should be in the front and rear yards of residential lots.

**a. Street Trees-upper areas: (40 feet on center)**

*Quercus agrifolia*

Coast Live Oak

**b. Street Trees-middle Areas: (40 feet on center)**

*Cinnamomum camphora*

Camphor Tree

*Cupaniopsis anacardioides*

Carrotwood

*Fraxinus raywoodii*

Raywood Ash

*Olmediella betschlerana*

Guatemala Holly

*Platanus acerifolia*

European Sycamore

*Podocarpus gracilior*

Fern Pine

*Tristania conferta*

Brisbane Box

**c. Street Trees-lower areas: (40 feet on center)**

*Koelreuteria bipinnata*

Chinese Flame Tree

*Lagerstroemia indica*

Crape Myrtle

*Liquidambar styraciflua*

Sweet Gum

*Platanus acerifolia*

European Sycamore

*Pyrus calleryana var.*

Ornamental Pear

*Rhus lancea*

African Sumac

**7. Public Neighborhood Park**

In addition to the adjacent slope landscaping, the plantings in the public Neighborhood Park will include, but are not limited to:

**a. Shrubs**

<i>Abelia grandiflora</i>	Glossy Abelia
<i>Acacia sp.</i>	Acacia
<i>Callistemon vars.</i>	Bottlebrush
<i>Ceanothus sp.</i>	California Lilac
<i>Mahonia aquifolia</i>	Oregon Grape
<i>Malacothamnus fasciculatus</i>	Mesa Bushmallow
<i>Nandina dom. vars.</i>	Heavenly Bamboo
<i>Photinia fraseri</i>	Photinia
<i>Pittosporum tobira vars.</i>	Pittosporum
<i>Prunus illicifolia</i>	Hollyleaf Cherry
<i>Rhus ovata</i>	Sugar Brush
<i>Xylosma congestum</i>	Shiney Xylosma

**b. Large Trees**

<i>Arecastrum romanzofiana</i>	Queen Palm
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Magnolia grandiflora</i>	Magnolia
<i>Pinus eldarica</i>	Mondel Pine
<i>Platanus acerifolia</i>	European Sycamore
<i>Platanus racemosa</i>	California Sycamore
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Washingtonia robusta</i>	Mexican Palm

**c. Medium Trees**

<i>Brachychiton populneus</i>	Bottle Tree
<i>Cercis occidentalis</i>	Western Redbud
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree
<i>Liquidambar styraciflua</i>	Sweet Gum
<i>Melaleuca leucadendron</i>	Melaleuca
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Pittosporum undulatum</i>	Victorian Box

**d. Small Trees**

<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Prunus blireiana</i>	Purple Leaf Plum
<i>Pyrus calleryana 'Bradford'</i>	Ornamental Pear
<i>Rhus lancea</i>	African Sumac

All landscaping and irrigation plans for the public Neighborhood Park shall be subject to approval by the Murrieta Parks and Recreation Department.

## 8. Greer Road and Planning Area Entries

In addition to the adjacent slope landscaping listed above, the plantings in the Greer Road right-of-way and Planning Area Entries will include, but are not limited to:

### a. Street Trees

<i>Platanus acerifolia</i>	European Sycamore
<i>Platanus racemosa</i>	California Sycamore
<i>Quercus agrifolia</i>	Coast Live Oak

### b. Accent Trees at Entries/Intersections

<i>Arbutus unedo</i>	Strawberry Tree
<i>Arecastrum romanzoffianum</i>	Queen Palm
<i>Brahea sp.</i>	Fan Palm
<i>Chamaerops humilis</i>	Mediterranean Fan Palm
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Jacaranda acutifolia</i>	Jacaranda
<i>Liquidambar var.</i>	Sweet Gum
<i>Phoenix canariensis</i>	Canary Island Date Palm
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Pyrus calleryana vars.</i>	Ornamental Pear
<i>Pyrus kawakamii</i>	Evergreen Pear
<i>Quercus ilex</i>	Holly Oak
<i>Schinus molle</i>	California Pepper
<i>Tipuana tipu</i>	Tipu
<i>Trachycarpus fortunei</i>	Windmill Palm
<i>Tristania conferta</i>	Brisbane Box

### c. Shrubs/Groundcover

<i>Acacia sp.</i>	Acacia
<i>Arbutus unedo</i>	Strawberry Tree
<i>Arctostaphylos sp.</i>	Manzanita
<i>Ceanothus sp.</i>	Ceanothus
<i>Elaeagnus pungens</i>	Silverberry
<i>Heteromeles arbutifolia</i>	Toyon
<i>Melaleuca nesophila</i>	Pink Melaleuca
<i>Myoporum parvifolium</i>	Prostrate Myoporum
<i>Pittosporum sp.</i>	Pittosporum

<i>Raphiolepis indica</i>	India Hawthorn
<i>Rhus sp.</i>	Sumac
<i>Ribes sp.</i>	Gooseberry, currant
<i>Rosemary officinalis</i>	Rosemary
<i>Trachelopermum jasminoides</i>	Star Jasmine
<i>Xylosma congestum</i>	Shiny Xylosma

**F. IRRIGATION**

All irrigated areas not part of residential yards will have automatic and, where practicable, underground systems unless otherwise noted below. Manual systems may be used in individual residential yards.

Streetscapes will be watered with an automatic, low precipitation irrigation system which provides deep watering to the planting areas.

Fuel modification zones will have an on-grade automatic irrigation system that provides for plant establishment and periodic supplemental water during the summer months (June through September). This system will be a combination of low precipitation spray heads and drip irrigation.

Irrigation systems will be designed to provide adequate water to all plant materials under various seasonal conditions while minimizing runoff and excessive discharge. Irrigation backflow prevention devices, pipes, and controllers will be located and/or screened with appropriate plant material to reduce visibility.

**G. LANDSCAPE MAINTENANCE**

Streetscapes and community facilities (including open spaces) will be maintained by 1) a professional landscape maintenance company employed by the Master Homeowners Association or 2) the Murrieta Community Services District through an established "Zone of Benefit" or other funding mechanism acceptable to the Community Services District. Automatic irrigation systems will be routinely inspected and maintained in operating condition at all times. Landscape maintenance specifications will address:

- Watering
- Fertilization
- Trimming, mowing, pruning
- Herbicide/pesticide programming
- Weeding/debris clean-up

Landscape management criteria, and minimum landscape maintenance standards will be established in the master CC&Rs for front yards and side yards adjacent to streets. Each homeowner will be responsible for maintaining his property in accordance with the CC&R standards.

## **V. COMMUNITY LIGHTING**

A unified lighting concept is important to the overall design consistency of the Greer Ranch community. The following standards shall apply to all outdoor lighting systems.

- Energy conservation, safety, security, and compatibility with surrounding uses shall be emphasized when designing any lighting system.
- Special lighting shall be considered at key entries to indicate points of access.
- The lighting of entry monumentation shall consider design concepts that illuminate the sign graphics and gently wash or accentuate the walls, landscaping and other monument features.
- Community Center parking lot lighting, if any, shall provide adequate illumination, while minimizing glare into neighboring residential areas. Fixtures should include a shield directing all illumination downward.
- Outdoor lights and fixtures shall be of a design that is vandal resistant with due consideration of overall aesthetics and safety. Electric meters, pedestals, and control equipment shall be located with minimal public visibility or screened with appropriate plant materials.
- Lighting for the public Neighborhood Park, if any, shall be in accordance with City standards. If appropriate, a disclosure statement addressing field lighting for nighttime use shall be provided for those residential properties adjacent to the public Neighborhood Park site.
- Lighting for private streets and recreation areas in Greer Ranch may be of a height and style which deviate from applicable City standards in the Municipal Code. Otherwise all lighting and light fixtures shall comply with any other applicable requirements and policies of the City and the Mount Palomar Observatory.