

GOLDEN CITY LTD SPECIFIC PLAN

PUBLIC FACILITIES FINANCING PLAN

Prepared for:

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Golden City Ltd.

PFFP March 31, 1998

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I. EXECUTIVE SUMMARY

The PUBLIC FACILITIES FINANCING PLAN (PFFP) outlines the facilities required to mitigate the impacts of the approved GOLDEN CITY Specific Plan on the various infrastructure systems.

The DEVELOPER is defined as the entity which has obtained specific plan approval, and who may obtain approval and recordation of a financing parcel map, may obtain tentative parcel map approvals and may record the final maps for the commercial and industrial areas of the project, shall design or coordinate the design and construct or coordinate the construction of all required PFFP improvements including parks, trails and open space facilities, General Plan Circulation Element and Specific Plan roadways and traffic signals, trunk drainage structures and detention basins, fire protection facilities, trunk sewer and transmission water systems and backbone dry utility systems and pay any applicable fees for the same.

The DEVELOPER may at the direction of the City coordinate the formation of any proposed financing mechanisms such as a special Assessment District (AD), Community Facilities District (CFD) and/or Infrastructure Financing District (IFD). Additionally, the DEVELOPER shall agree to the formation of any proposed Road and Bridge District (RBD) or Transportation Uniform Mitigation Fee (TUMF) program.

The DEVELOPER may obtain approval of residential tentative tract maps but will not record any final residential tract maps or obtain any individual residential building permits.

The DEVELOPER may seek City approval of a financing parcel map. The purpose of a financing parcel map is to permit the DEVELOPER to create non-buildable parcels solely for financing/sales purposes. A financing parcel map shall not create any buildable parcels and no building permit shall be issued for any parcel created by a financing parcel map. The Community Development Director shall ensure that dedicated public access utilities and flood protection is provided to each parcel less than 40 acres.

The DEVELOPER shall obtain any required offsite dedications needed to construct the offsite PFFP circulation improvements and shall coordinate with all responsible utility agencies and companies to acquire the easements and fee dedications needed to construct any offsite PFFP utility improvements prior to the start of physical construction.

The DEVELOPER shall create and designate the public parcels for parks, trails, open spaces, and detention basin sites, specified in the PFFP, on the financing parcel map. The DEVELOPER shall dedicate these parcels on a phased basis acceptable to the Community Service District and Public Works Department.

The DEVELOPER shall designate and create a parcel for a school site on the financing parcel map for the purpose of a future sale to the school district for mitigation purposes.

The DEVELOPER shall grade the ultimate width PFFP roadway sections, along with all appropriate slopes. Grading of the ultimate roadway section provides for the construction of the "dry utilities" (electrical, telephone, natural gas and cable television) at the standard ultimate

location within the roadway section.

The DEVELOPER shall design and construct the park sites, trails and open space parcels defined in the PFFP to meet the conditions of approval of the GOLDEN CITY Specific Plan, Quimby Act standards and the City of Murrieta subdivision standards in effect at the time of approval on a phased basis acceptable to the Community Services District.

The DEVELOPER shall design and construct the onsite 2 lane roadway linkages (32 feet paved section with concrete curb and gutter) with traffic signalization and intersection enhancements for turn-movement capacity as defined in the PFFP on a phased basis as required by the traffic studies to maintain acceptable levels of service.

The DEVELOPER shall also design and construct the specific offsite ultimate width roadway linkages, intersection enhancements for turn movement capacity, traffic signalization and freeway interchange improvements defined in the PFFP on a phased basis as required by the traffic studies to maintain acceptable levels of service.

The DEVELOPER shall design and construct all PFFP drainage structures across the entire width of the ultimate right-of-way to the toe and top of slope. The drainage structures shall be designed and constructed to provide acceptable levels of service to all parcels created by the financing parcel map. The drainage structures shall be provided with interim inlet and outlet structures, where appropriate, to facilitate the future extension of these structures through the local roadways within the tracts.

The DEVELOPER shall design and construct the detention basin system defined in the PFFP to meet the conditions of approval of the GOLDEN CITY Specific Plan and City of Murrieta subdivision standards in effect at the time of approval on a phased basis acceptable to the Public Works Department.

The DEVELOPER shall design and construct the sewer and water backbone systems within the onsite and offsite roadways and easements including any reservoirs, lift stations and pump stations in coordination with Eastern Municipal Water District. These systems shall be designed and constructed to provide acceptable levels of service to all parcels created by the financing parcel map with all appropriate lateral connections to future local roadways within the tracts.

The DEVELOPER shall provide a 1 acre fire station site in the Golden City project and the DEVELOPER shall deed the site to the Fire District and construct, equip, and pay for the operation and maintenance of a fire station to the satisfaction of the Fire Chief. The fire station shall be acquired and conveyed to the Fire District prior to the issuance of the 400th building permit within the GOLDEN CITY Specific Plan and surrounding projects and the fire station shall be operational prior to the issuance of the 500th building permit to be served by the station to the satisfaction of the Fire Chief.

The DEVELOPER shall design and construct the "dry utility" backbone systems within the onsite and offsite roadways and easements with all appropriate lateral connections to the future local roadways. These systems shall be designed and constructed to provide acceptable levels of

service to all parcels created by the financing parcel map with all appropriate lateral connections to future local roadways within the tracts.

These capital improvements and operational expenses may be financed privately by the DEVELOPER or by means of one or more of the proposed public financing and reimbursement mechanisms as approved by the City Council of the City of Murrieta. Interim operational expense deficits may be financed through either a special rate area of the Community Service District or a CFD, solely dedicated to this project and other area projects as the impacts dictate, subject to the approval of the City Council. The property owner will need to propose a taxing mechanism that is permitted by Proposition 218 to pay for park and open space maintenance, fire protection facilities and operations, street lighting and median landscaping.

The DEVELOPER shall prepare a Mitigation Monitoring Plan evidencing compliance with all required Specific Plan level mitigation measures.

The DEVELOPER shall provide securities adequate to guarantee the design and installation of the PFFP street, sewer, water and drainage improvements for each parcel created by any financing/sales parcel map creating parcels of less than 40 acres. These securities may take any of the following forms or combination of forms; cash, improvement bonds, letters of credit, instruments of credit, the formation of a special assessment district or the formation of a community facilities district. This is to insure the City of Murrieta that there is public access, sewer, water, and flood protection to each parcel.

The BUILDER is defined as the entity which shall design and construct all required residential tract map improvements, obtain recordation of the final residential tract maps, obtain residential building permits, construct residential dwelling units and market these units to the public.

The BUILDERS shall dedicate the required local road rights-of-way and utility easements on the individual tract maps.

The BUILDERS shall construct the remainder of the PFFP roadway frontage improvements to the ultimate width.

The BUILDERS shall be required to prepare a traffic study for each tract map in order to assess the onsite and offsite circulation system levels of service and confirm compliance with General Plan Levels of Service at all significantly effected intersections and linkages. This study will assess the existing traffic conditions, as of that date and estimate the traffic impact of the subject tract map. The traffic study and other mitigation measures specified in the Environmental Impact Report will result in tract map conditions of approval which will specify all improvements needed to record the final map and obtain occupancy.

The BUILDERS shall prepare a Mitigation Monitoring Plan evidencing compliance with all required tract and parcel map level mitigation measures for individual tract maps, plot plans and conditional use/public use permits individually and consistent with the GOLDEN CITY Specific Plan Mitigation Monitoring Plan in total.

The City of Murrieta shall monitor compliance with all General Plan, Zoning and Ordinance requirements on an ongoing basis through the mandated Mitigation Monitoring Plan and the Congestion Management Plan at each step in the development process (i.e. final map recordation, grading permit, building permit and certificate of occupancy).

This mitigation monitoring methodology will provide the City of Murrieta with the assurance that all impacts will be mitigated upon the issuance of the certificate of occupancy for any residence or business. This approach provides the infrastructure improvements and facilities on a "just in time" basis. Furthermore, this minimizes any excess interim operational costs for under utilized infrastructure and facilities.

Any public bond financing program put in place for the DEVELOPER for PFFP improvements shall include a provision to permit the BUILDERS to pay off the bond indebtedness, upon sale to the ultimate resident or business, for each individual parcel or lot. This will allow the home buyer or business owner to compare the impact on the purchase price of the bond financing versus mortgage financing.

The DEVELOPER requests reimbursement for any and all onsite and offsite improvements that are in excess of the impact generated by the GOLDEN CITY Specific Plan on the infrastructure system. The Murrieta Fire District shall determine the final phased fire mitigation responsibilities and potential reimbursements. Eastern Municipal Water District shall determine reimbursement potential for the oversizing of any sewer and water facilities under separate private agreement. The PFFP improvement schedule shall strive to match the proposed mitigation measures to the impact generated by the GOLDEN CITY Specific Plan for each component of the ultimate infrastructure system.

The DEVELOPER shall pay for an annual report of the fiscal impact of the project beginning in the first year following the initial occupancy of dwelling units and/or business development. The report shall be prepared by a consultant selected by the City Manager. The report shall include the actual or estimated costs of services and revenues and any capital facility expenditures by the City to serve this project or the surrounding area. The City Manager will report the results of this assessment to the City Council on an annual basis (January 2) so that the actual, cumulative costs to the City for services and/or public facilities to serve this project are closely monitored for the first five years of project development.

If there is a sale of the property to individual BUILDERS, the DEVELOPER shall inform the City of Murrieta as to who will carry out the responsibilities of the DEVELOPER as set forth in the PFFP.

II. INTRODUCTION

This document constitutes the Public Facilities Financing Plan (PFFP) for the GOLDEN CITY planned traditional neighborhood community. The City of Murrieta's General Plan (Policy LU - 3.2 a-d) requires that there be adequate public facilities to serve all new development.

This plan is based upon the best available engineering data and is subject to change. In order to insure adequate facilities the City requires all Specific Plans be accompanied by a Public Facilities Financing Plan (PFFP).

The objective of the PFFP is to identify the community facility needs and all public facilities that are required to support the GOLDEN CITY Specific Plan. The Public Facilities Financing Plan (PFFP) for GOLDEN CITY identifies the community facility needs, along with the estimated costs and the phasing of these facilities. Some financing methods may need to be created or sponsored by the City of Murrieta. Public financing created or sponsored by the City of Murrieta may be proposed by the DEVELOPER, subject to approval by the City Council. The City of Murrieta will review any financing plans proposed and make a decision as to implementation at a future date. This plan only identifies potential financing methods for each facility. In some instances the facility is the sole responsibility of the BUILDERS such as the local streets, drainage, sewer, water and dry utilities within the tracts and along the PFFP roadway frontage, which are not subject to public financing.

The purpose of the PFFP is as follows:

- To provide for the coordinated and orderly development of the project.
- To disclose possible financing methods to be pursued for GOLDEN CITY public facilities.
- To assist in the preparation of conditions of approval as individual tentative tract, parcel maps, plot plans and conditional/ public use permits are processed.
- To assist the DEVELOPER and the City in the preparation of a Development Agreement.
- To identify adequate on-site and off-site facilities that will be needed to support the project.
- To provide data in determining the fiscal impacts of the projects.

A. STUDY AREA

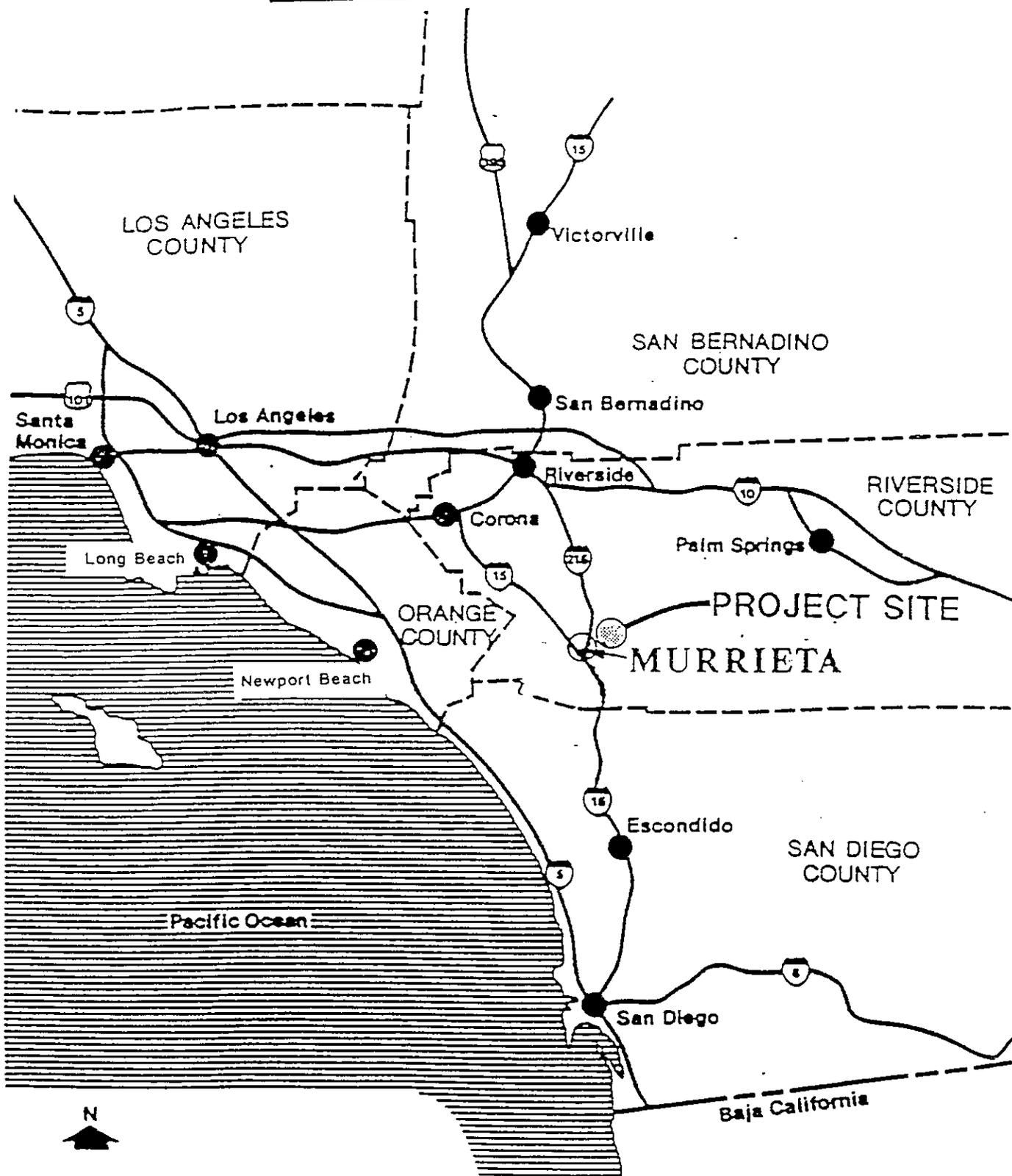
The GOLDEN CITY projects lies approximately 6 miles south of Sun City and 4 miles south of Menifee Village along the I-215 corridor contiguous to the existing City of Murrieta boundary to the south as depicted on Figure 1, Regional Location Map.

The study area is generally defined by Menifee Road on the east, the I-215 freeway on the west, Keller Road on the north and Golden City Dr. (Old Baxter) on the south as depicted on Figure 2, Vicinity Map. The study area includes approximately 640 acres, for most purposes, of which GOLDEN CITY totals only 248 acres. The study area for transportation purposes is far greater but the proposed offsite improvements are confined to the area described above. This will be discussed at length in the Circulation section. Similarly, the study/service areas for drainage, fire protection services and sewer and water are larger but improvements are confined primarily to the project proper.

The project site is vacant dry farmed land (MURRIETA HIGHLANDS) on the north, and abuts primarily vacant land and scattered rural residences on the remaining three sides. The project site generally lies easterly of the approved Murrieta Hills project (SPM-4 and CUP 93-015) and northeasterly of the approved Greer Ranch (SPM-2) both of which are west of the I-215 freeway and contiguous to the approved MURRIETA HIGHLANDS (SPM-1) project to the north. Murrieta Hills has a memorial park component (CUP 93-015) which is contiguous to the freeway. These projects are depicted on Figure 3.

Several other specific plans are approved or being processed for approval with the County of Riverside along the I-215 and Newport Road corridors. These all lie outside the project study area proper.

REGIONAL LOCATION MAP



Golden City Site Vicinity Map

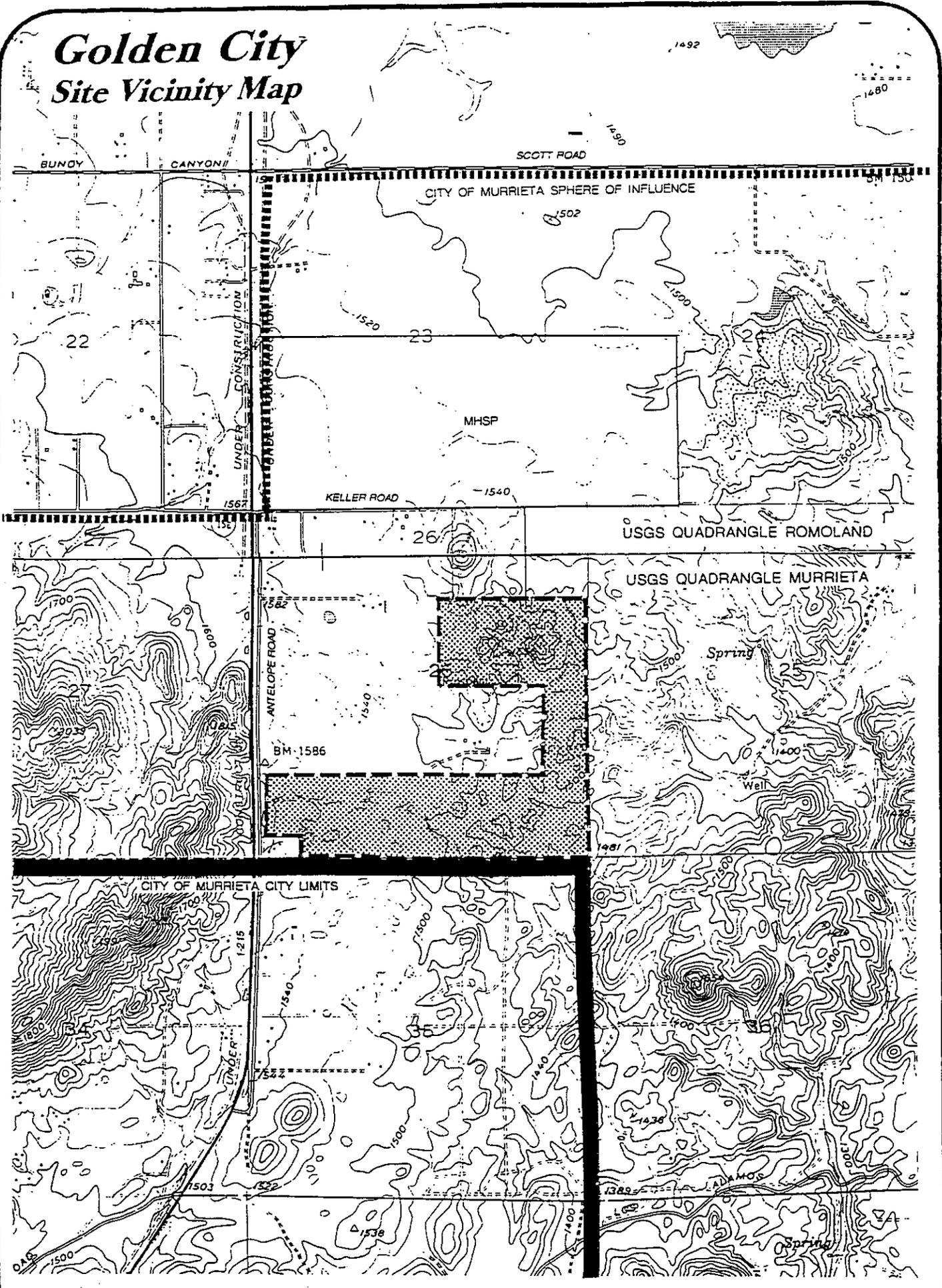
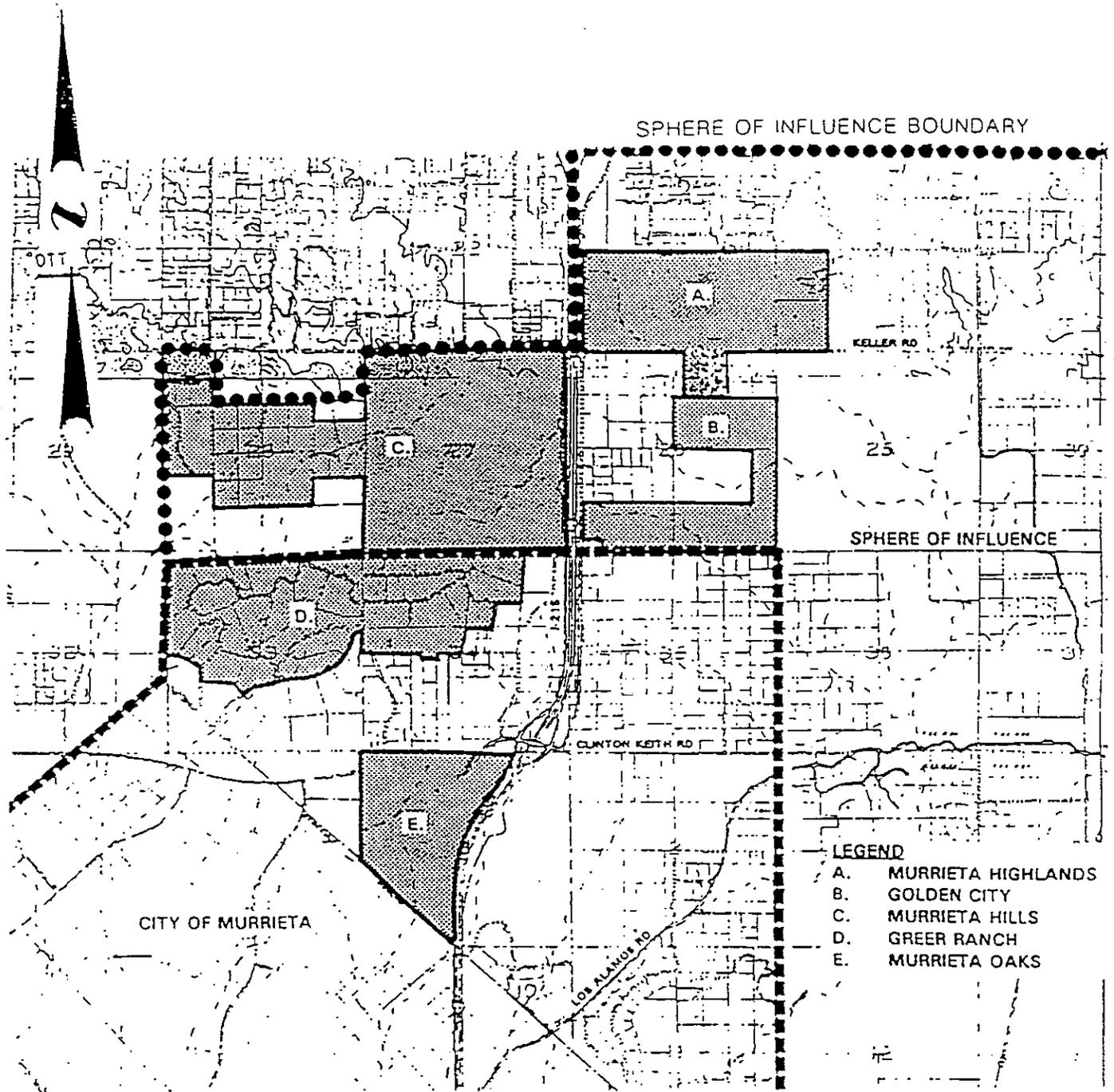


FIGURE 2

PROPOSED SPECIFIC PLANS



B. STUDY AREA LAND USE DESIGNATIONS

The City of Murrieta's General Plan, adopted on 6/21/94, designates the subject project site as "Single Family 1 Residential (2.1-5 du/acre)" within a Master Plan Overlay area, (i.e. a Specific Plan is required for all projects greater than 200 acres), "Multiple Use 2" and "Business Park".

The GOLDEN CITY Specific Plan (SPM-5) approved on 11/12/96, by the City of Murrieta, enacts the General Plan with a residential component meeting the target density of 3.5 du/acre and a Multiple Use 2 and Business Park components. This specific plan will be implemented by means of a Specific Plan Zoning district. This specific plan and zoning ordinance are consistent with the General Plan and all appropriate goals and policies therein.

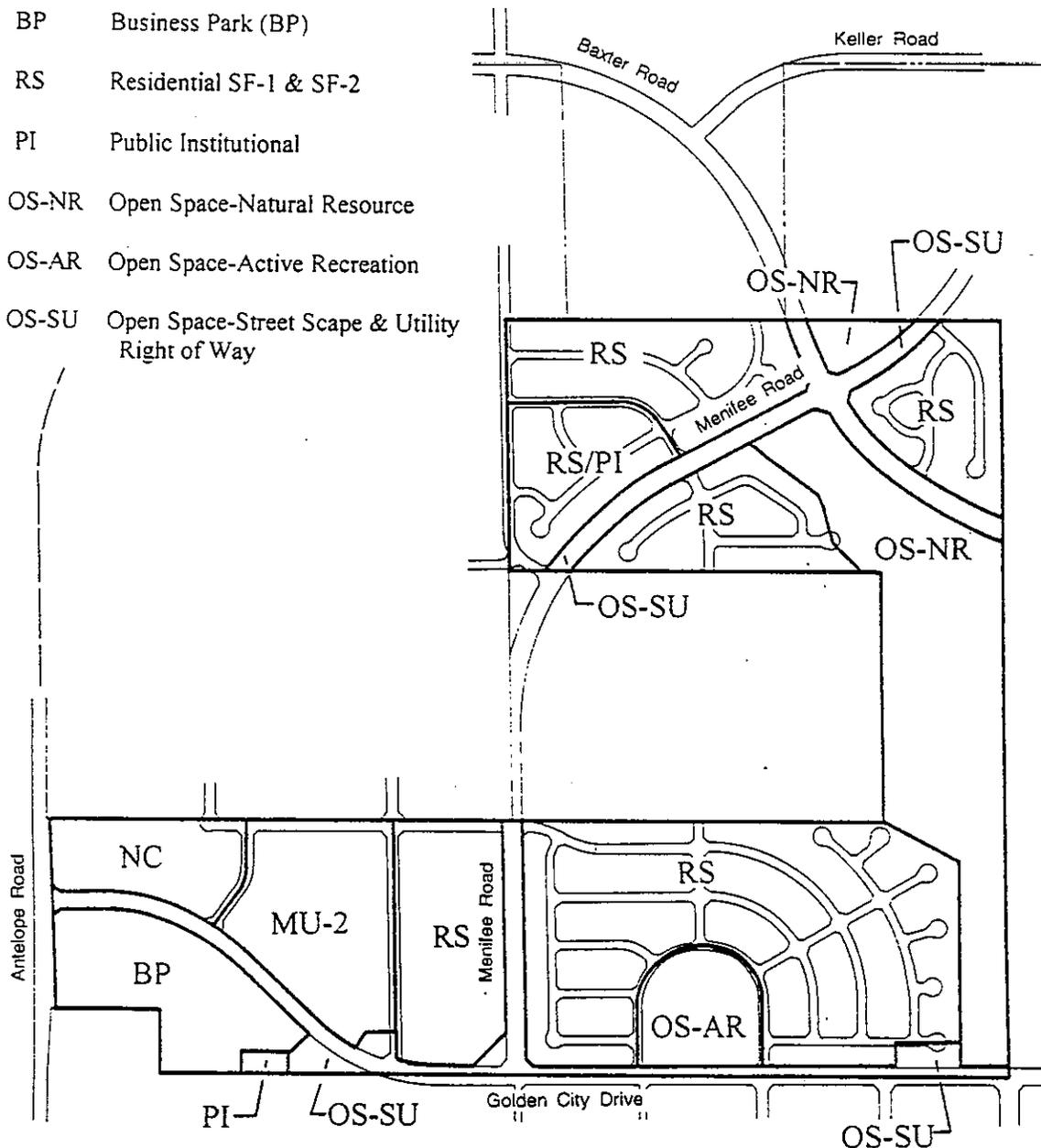
The projects will be summarized in Section II. BUILDOUT ASSUMPTIONS.

C. EXISTING ZONING

The GOLDEN CITY Specific Plan includes site specific zoning designations as adopted by the GOLDEN CITY Specific Plan Zone Ordinance, as shown on Figure 4, Zoning Map. The remainder of the study area in both the County and The City of Murrieta carry primarily a R-R "Rural Residential" designation, with some scattered A-1 "Light Agricultural" zoning as defined in County of Riverside Ordinance 348, which is shared by the City of Murrieta. The City of Murrieta Adopted General Plan map for the existing city boundary and sphere of influence and the Zoning Map for the existing City boundary are shown on Figures 5 and 6 respectively. A recent annexation pre-zoning, by the City of Murrieta, zoned all parcels within the Study Area (except parcels that did not wish to pursue annexation) consistent with the City of Murrieta General Plan.

Golden City Zoning Map

- NC Neighborhood Commercial
- MU-2 Multiple Use 2
- BP Business Park (BP)
- RS Residential SF-1 & SF-2
- PI Public Institutional
- OS-NR Open Space-Natural Resource
- OS-AR Open Space-Active Recreation
- OS-SU Open Space-Street Scape & Utility Right of Way



Cross Reference Table 1 and Figure 7



FIGURE 4

III. BUILDOUT PROJECTIONS

A. ACREAGE PROJECTIONS

The GOLDEN CITY project comprises approximately 248 acres which includes 41.0 acres of a variety of constrained areas, some of which have multiple constraints including Sage being retained in a natural state and several other areas converted into a total of 58.0 acres of parks, open space and green belt areas. The remaining acreage is made up of 48.10 acres of Multiple Use and Neighborhood Commercial, 129.4 acres of a variety of Residential lot sizes and unit types and an 12.5 gross acre (10 net acre) elementary school site.

Figures 4, 7 and 8 provide the zoning maps and illustrative site plan and land use summary.

B. PROJECT BUILDOUT POPULATION PROJECTION

The GOLDEN CITY project consists of 692 residential units. Chapter I of the Specific Plan contains detailed discussions of the proposed project and associated land uses.

The GOLDEN CITY 692 dwelling units will generate a total buildout population of 1,880. These calculations are based 2.86 persons per dwelling unit and a 5 % vacancy factor, consistent with the City of Murrieta General Plan.

C. PHASING

The phasing of the GOLDEN CITY project is estimated to occur over a fifteen year time frame with development proceeding within each of the phases in subphases implemented through the tentative tract map, tentative parcel map, plot plan and conditional use/public use permit process.

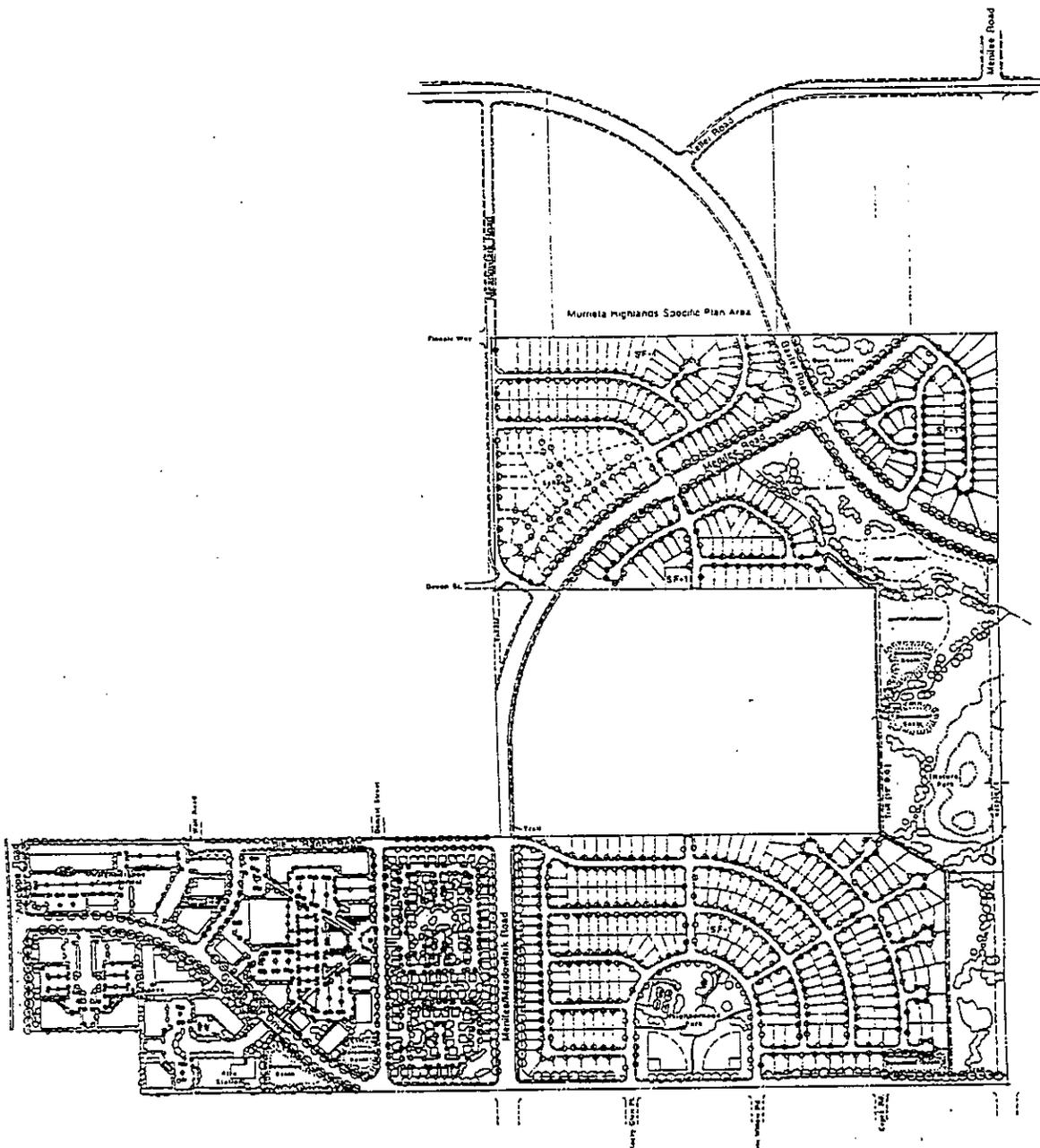
Development projections are based upon the best estimates of the DEVELOPER as to how the land development market is estimated to perform for the next fifteen years. The actual development rate of the project depends largely on market conditions. Unknown economic events could preclude development from taking place as forecasted. Higher interest rates and/or higher housing prices due to development exaction's or a worsening recession could significantly effect the rate of development.

The residential land uses will be developed as the residential market place dictates and will result in development over approximately 15 years.

The industrial and commercial land uses will be developed over a period of years to meet market demand and to service the trade area which is greater than the study area and which will result in a substantial employment and sales tax base.

Golden City

Illustrative Site Plan



The DEVELOPER is endeavoring to accelerate the development potential of the Multiple Use area by means of a Master Development Plan to generate the jobs and tax revenues in the near term even though the non-residential land uses are typically allocated to the last phases of development to maintain a conservative approach to the fiscal impact analysis.

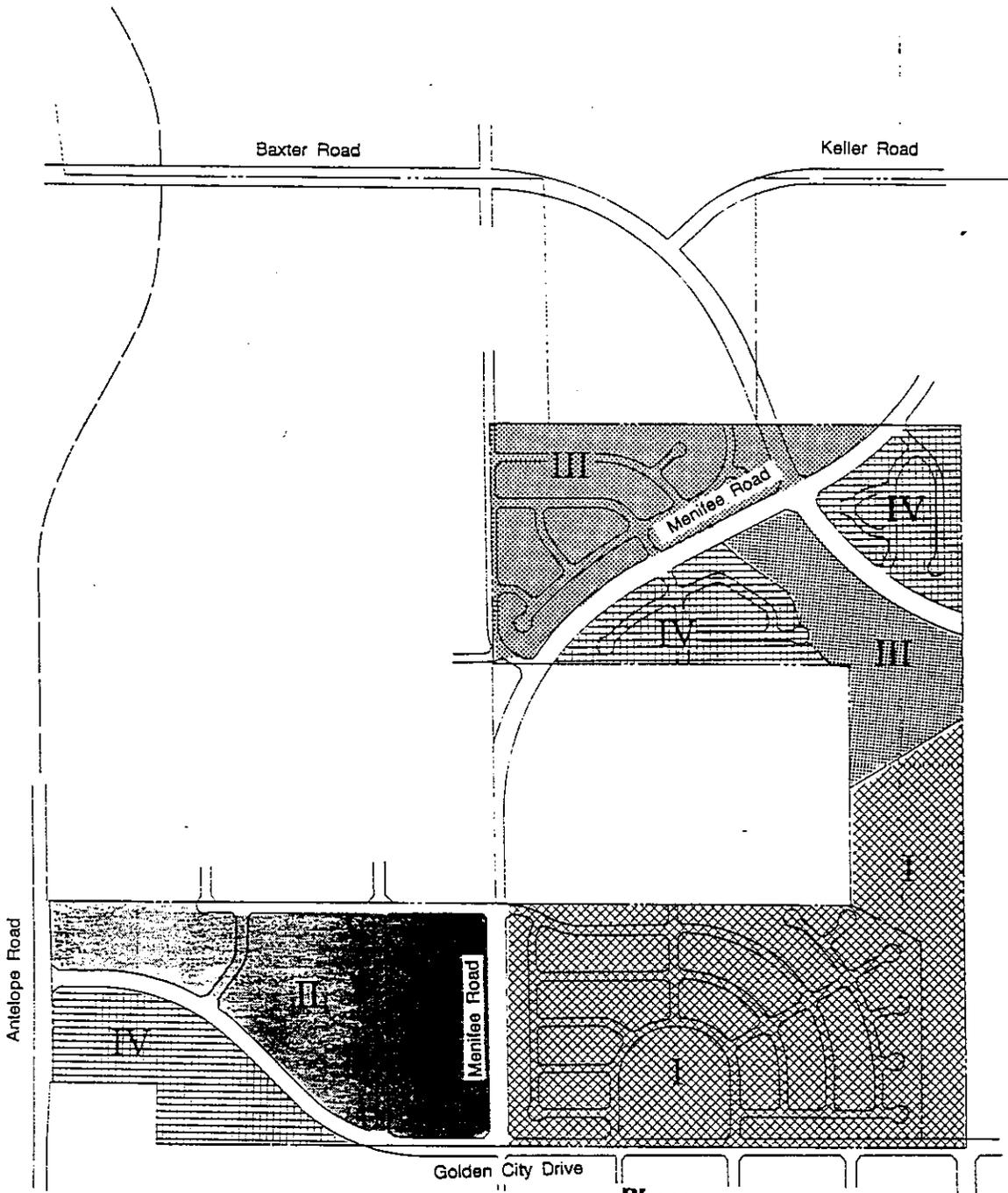
The phasing projections for the GOLDEN CITY Specific Plan are presented in Figure 9 with the land use acreage summary provided in Table 1. The buildout calculations are presented only for the Specific Plan areas and do not include any calculations for the remainder of the study area.

It is expected that the City of Murrieta will monitor all development activity within GOLDEN CITY and the surrounding areas on an ongoing basis. This monitoring will insure that the plan will proceed in a balanced and compact pattern that minimizes public and private capital expenditure requirements and that are balanced with land use absorption.

The provision of circulation linkages is the key element in controlling development phasing. The provision of these linkages is through the subdivision process. The roadways are provided for in the subdivision map conditions of approval. Roads will be constructed in cost effective stages keyed to traffic circulation needs as identified by periodic traffic study updates. To insure that roadway improvements are provided in conjunction with each development phase, the following development requirements will be enforced throughout the north eastern portion of the City:

- Traffic impact studies are required with submittal of each tentative sub-division, map plot plan and conditional/public use permit. These studies will be prepared by the Applicant at the Applicants expense.
- The required format for each traffic impact study is determined by the City of Murrieta. The required format includes evaluation of peak hour conditions at intersections significantly impacted by each development application. Existing approved and proposed development needs to be included in the studies.
- If an impacted intersection is estimated to exceed City service level standards then appropriate link and intersection improvements shall be recommended by the traffic engineer for review and approval by the City staff.
- The improvements needed to maintain the City service level standards will be required to be in place prior to occupancy of the relevant development phase. Improvements which are included in any adopted fee program will be paid for by the fee program mechanism if funds are currently available. If funds are not available to meet the circulation improvement needs at any particular development phase then the project proponent shall either construct the off-site improvements directly (with the potential of future reimbursement or credits if a relevant fee program is in place), or the development may construct the improvements without the potential for reimbursement or await other sources of impact mitigation implementation.

Golden City Development Phasing



Phase

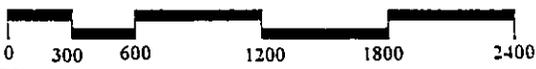
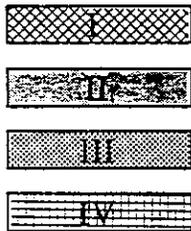


TABLE 1 - GENERAL LAND USE SUMMARY

SPECIFIC PLAN LAND USE	SP w/o		SP w/		UNITS		DENSITY		% of SP acreage	
	school		school		w/school	w/ school	w/ school	w/ school	w/ school	w/ school
Residential										
Single Family 1 SF-1	121.2		[108.7]		542	[500]	4.8	[4.6]	48.9	[43.9]
Single Family 2 SF-2	20.7				150		7.3		8.3	
Total Residential	141.9		[129.4]		692	[650]	4.9	[5.0]	57.2	[52.2]
Comm./Business										
Park*										
Business Park-BP	17.0								6.9	
Multiple Use 2-MU2	20.0								8.0	
Neighborhood Comm	11.1								4.5	
TII Comm/Industrial	48.1								19.4	
Community										
Facilities/O.S.										
Fire Station*	2.0*								0.8	
Open Space-OS	47.0								19.0	
Neighborhood Park	9.0								3.6	
School	0.0		[12.5]						0.0	[5.0]
TII Community Fac.	58.0		[70.5]						23.4	[28.4]
Total Subject to										
MPO***	197.9		[185.5]		692	[650]	3.5	[3.5]		
Project Total	248.0				692	[650]	2.8	[2.6]		

* Acres not subject to MPO

** 3.3 acres are located within the MU2/Business Park and are not included in the total MPO acreage.

*** MPO = Master Plan Overlay

The critical needs for circulation have been assessed by the project traffic engineer and verified by the City of Murrieta traffic engineer for the larger study area encompassing all five active Specific Plans in the northeastern City of Murrieta proper and the Sphere of Influence. The circulation study area includes buildout projections for this broader area based on a year 2005 planning horizon and are consistent with the General Plan Land Use Plan. This approach provides for a more conservative buildout based on 10 year planning horizon for circulation purposes and assesses all five of the proposed specific plans in the North Murrieta Traffic Model study area.

The mitigation monitoring plan required by the Specific Plan will be the implementing tool for the ongoing assessment of actual development versus General Plan projections. Should the actual buildout of the study area fall below General Plan projections the PFFP requirements shall be adjusted so that mitigations remain consistent with the actual project impacts as future development approvals are conditioned.

D. PHASING INTEGRATION

The DEVELOPER shall coordinate the development of the project in an orderly, sequential manner in accordance with the phasing shown on Figure 9. Specific development thresholds are not identified in the PFFP because the actual rate and geographic order of development is not certain. Thresholds for roadway linkages, traffic signals and intersection enhancements will be identified by the traffic study updates. It is a prerequisite of any final tract or parcel map exceeding the threshold that the necessary circulation improvements be completed prior to certificate of occupancy of the developed unit that will exceed the Level of Service thresholds.

The various phases of development are not intended to be discreet unto each phase but to generally follow logical paths of circulation and infrastructure extensions. The GOLDEN CITY Specific Plan, by the very nature of the existing and proposed circulation system, lends itself to integration of the various phases. This shall be subject to maintaining General Plan levels of service for provision of required primary and secondary access to all development and the capability to meet sanitary sewer service, domestic water service and fire flow requirements for each sub phase of development. These requirements, along with the capability to supply adequate park facilities, drainage facilities, fire protection services and school facilities acceptable to the City of Murrieta, shall permit the integration of the various phases to meet market demand and other unforeseen circumstances. The satisfaction of the level of service criteria will be assured through the requirement to perform traffic study updates for each land use entitlement and the provision to provide a mitigation monitoring plan to assess the performance of the conditions of approval in mitigating each land use projects impacts on the Infrastructure system.

IV. PUBLIC FACILITIES

INTRODUCTION

The public facilities contained in this PFFP will be installed in a timely manner as indicated on the phasing tables and the DEVELOPER shall maintain adequate levels of service to serve the residents and business owners within or in proximity to the project. At any time the City Manager determines that existing or proposed development within the project area is causing or could cause a decline in the level of service below acceptable standards, the City Manager will prepare a report to the City Council with recommendations for corrective action. This applies to all public facilities included in this PFFP.

A. PARKS and OPEN SPACES

1. Performance Standards

- a. The Quimby Act requires the dedication of between 3.0 to 5.0 acres per 1,000 population or in lieu fees based on local municipality standards.
- b. The Murrieta General Plan requires a ratio of 5.0 acres per 1,000 population.
- c. GOLDEN CITY requires 9.40 acres of park land based on the population of 1,880 and provides 9.0 gross acres of parks and 47.0 acres of open space.
- d. The Quimby requirements and the City park dedication ordinance requirements will be satisfied completely by the land dedications and improvements required by the park dedication ordinance.

2. Inventory

- a. The project area lies in the north eastern sector of the General Plan, Existing and Proposed Park Locations and Service Areas. This area contains 5 community parks and one mini-park within the current City limits and one mini-park outside of the City limit on Hunter Road. Additionally, there is one planned community park within the Adobe Springs project (VTM 23342-1) near Los Alamos Road. None of these existing or proposed facilities serve the project areas. These are shown on Figure 10.
- b. The GOLDEN CITY project will provide one neighborhood park. This is combined with several open space areas that serve combined uses as drainage detention facilities and smaller individual open space areas. These are shown on Figure 11 and in Table 2.

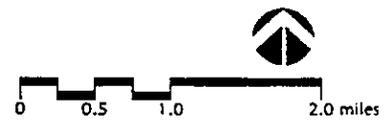
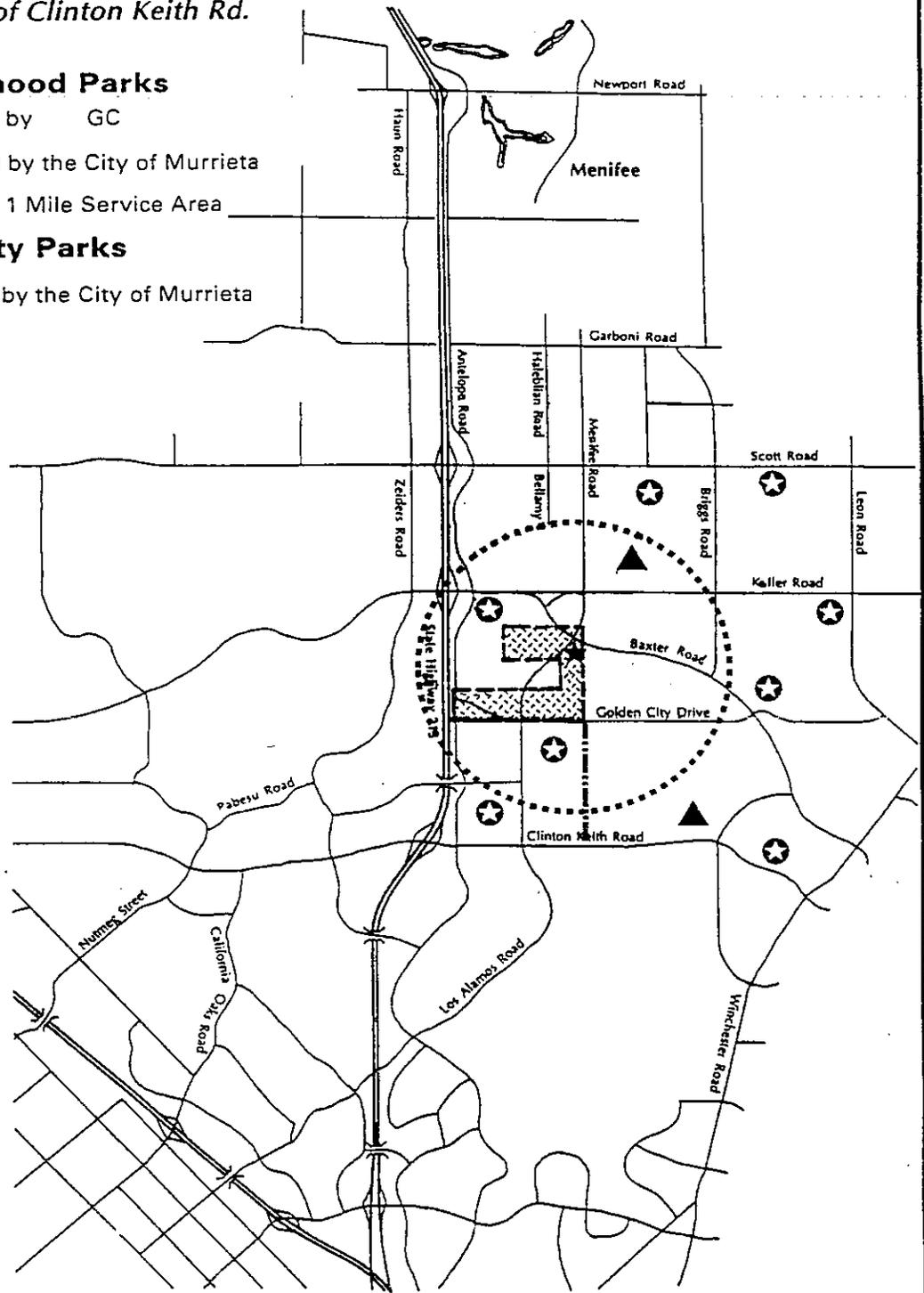
Golden City
*Neighborhood and Community
 Park locations & Service Area East of I-
 215 and N. of Clinton Keith Rd.*

Neighborhood Parks

- ★ Proposed by GC
- ⊛ Proposed by the City of Murrieta
- 1/2 - 1 Mile Service Area

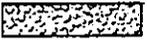
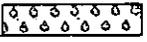
Community Parks

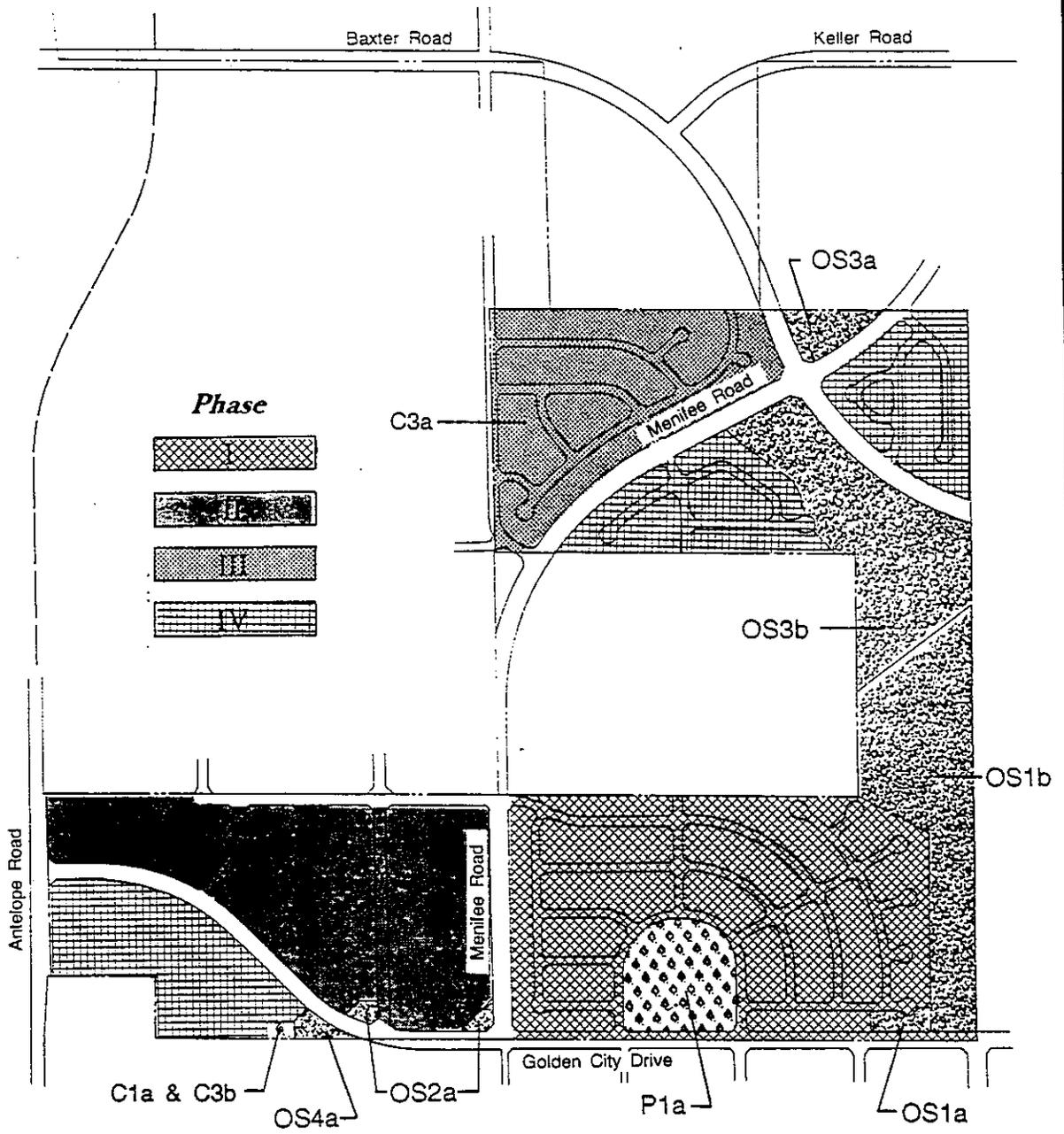
- ▲ Proposed by the City of Murrieta



Golden City Open Space and Civic Improvements

The infrastructure improvements shall be constructed on a phased basis as shown on the Tables and Figures unless approved by the City of Murreta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murreta General Plan.

Open Space 
 Parks & Civic Uses 



See tables for description of each facility. New on-site facilities are designated OS1a (Open space, phase and location), P3a (Parks, phase and location), C1a (Civic use, phase and location). See tables for location of lower case letter location.

Cross Reference Table 2, 5 and 6

FIGURE 11

TABLE 2
GCSP PARKS
Cross Reference Figure 11

Facility	Description	Location	Phase				Ultimate Size	Type	R.O.W. Width*	L.F. Quantity	GSCP Total		Reimbursement****	
			1	2	3	4					%	Est. Cost	%	Est. Cost
Phase 1	On-Site													
P1a	Neighborhood Park	South GCSP	X				9 Ac.	Neigh. Park			100%	\$720,000		
On-site Total											\$720,000			

GCSP OPEN SPACES

Facility	Description	Location	Phase				Ultimate Size	Type	R.O.W. Width*	L.F. Quantity	GSCP Total		Reimbursement****	
			1	2	3	4					%	Est. Cost	%	Est. Cost
Phase 1	On-Site													
OS1a	Partially improved	Southeastern GCSP	X				.9 Ac.	OS			100%	\$40,500		
OS1b	Nature Park	Southeastern GCSP	X				20 Ac.	OS			100%	\$600,000		
Subtotal											\$640,500			
Phase 2	On-Site													
OS2a	Partially improved	SF-2 & MU2 area		X			1.8 Ac.	OS			100%	\$81,000		
Phase 3	On-Site													
OS3a	Unimproved	N. of Baxter Rd. at Meniffee Rd.			X		2 Ac.	OS			100%	\$30,000		
OS3b	Nature Park	Northeastern GCSP			X		21 Ac.	OS			100%	\$630,000		
Subtotal											\$660,000			
Phase 4	On-Site													
OS4a	Partially improved	Business Park area				X	1.3 Ac.	OS			100%	\$58,500		
On-site Total											\$1,440,000			

**** To be determined at the time of submittal of final development plans.

The infrastructure improvements shall be constructed on a phased basis as shown on the tables and figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murrieta.

3. Phasing

There are 4 phases of the project development. The phase within which an improvement is to be constructed is denoted by the second numeric digit of the designation (P1a is a Phase 1 Park improvement). The parks and open space parcels shall be created and designated on the financing parcel map. The proposed parks and open space improvements shall be constructed in phases to provide recreational opportunities to the future residents as occupancy occurs but not before, so as to not result in an excessive maintenance cost to the CSD. The park sites shall be dedicated to the CSD by the DEVELOPER upon completion of the construction of the improvements. The sites for the detention basins shall be dedicated to either the CSD or the Riverside County Flood District should the basins be deemed of regional benefit, upon completion of the construction of the improvements. The improvements shall be constructed to meet the conditions of approval of the GOLDEN CITY Specific Plan, Quimby standards and the current City of Murrieta subdivision standards on a phased basis as deemed necessary by the CSD and the Public Works Department. All CEQA monitoring program requirements will be met on phase by phase basis.

Phase 1	302 du - 821 pop. -	4.1 acres required
Park	P1a	9.0 acres provided
Open Space	OS1a & b	20.9 acres provided
Phase 2	150 du - 408 pop. -	2.0 acres required
Open Space	OS2a	1.8 acres provided
Phase 3	118 du - 321 pop. -	1.6 acres required
Open Space	OS3a & b	23.00 acres provided
Phase 4	122 du - 331 pop. -	1.7 acres required
Open Space	OS4a	1.3 acres provided

These calculations do not include the joint use of the school site.

4. Financing and Operation

- a. All dedications of park land and/or park improvements in excess of Quimby requirements may become a credit or a potential reimbursement.
- b. The operation of the facilities constructed and/or dedicated by the DEVELOPER/BUILDER, shall be the responsibility of the CSD. The CSD shall establish a separate rate area for the GOLDEN CITY project to assure that this project is not in any way subsidized by the existing CSD rate payers. The CSD shall include in the rate area the costs of maintaining the ultimate and interim medians, parkways, entry monuments, street lighting and recreational trail systems. These rate areas shall be expanded to include other areas should the Flood Control detention facilities be determined to have wider benefit. The final area calculations of the park and open space parcels along with parkway and median calculations shall be provided on the financing parcel map.

B. CIRCULATION

1. Performance Standards

- a. The General Plan Objective C-1.1 requires the City to maintain no worse than a Level of Service (LOS) of "D" at all intersections during peak hours and maintain no worse than a Level of Service "E" at freeway interchanges during peak hours. The impacts of the GOLDEN CITY project were evaluated by Kahn & Kain in their traffic analysis and the City traffic consultant reviewed this analysis utilizing the North Murrieta Public Facilities Financing Plan 2005 Impact Analysis Model (NMTM), an expanded version of the Southwest District Traffic Model, which analyzed all five specific plans, namely GOLDEN CITY, MURRIETA HIGHLANDS, MURRIETA HILLS, GREER RANCH and MURRIETA OAKS. This model has identified the improvements required to meet the General Plan performance standards as defined in the Circulation Element shown on Figure 12 and has also calculated the fair share percentages for each project's impacts and the costs to build their fair share of the improvements for the year 2005 planning horizon. This analysis is presented in Appendix A, Mohle, Summary of PFFP Program Components and defines all circulation linkages, intersection enhancements and freeway interchange enhancements required to satisfy the LOS standard in the General Plan during the life of the projects up to and including build out of the five specific plans.

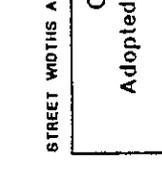
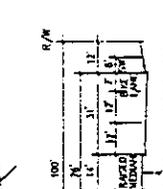
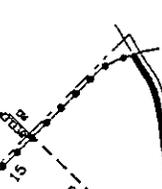
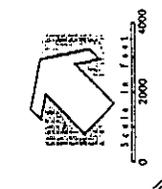
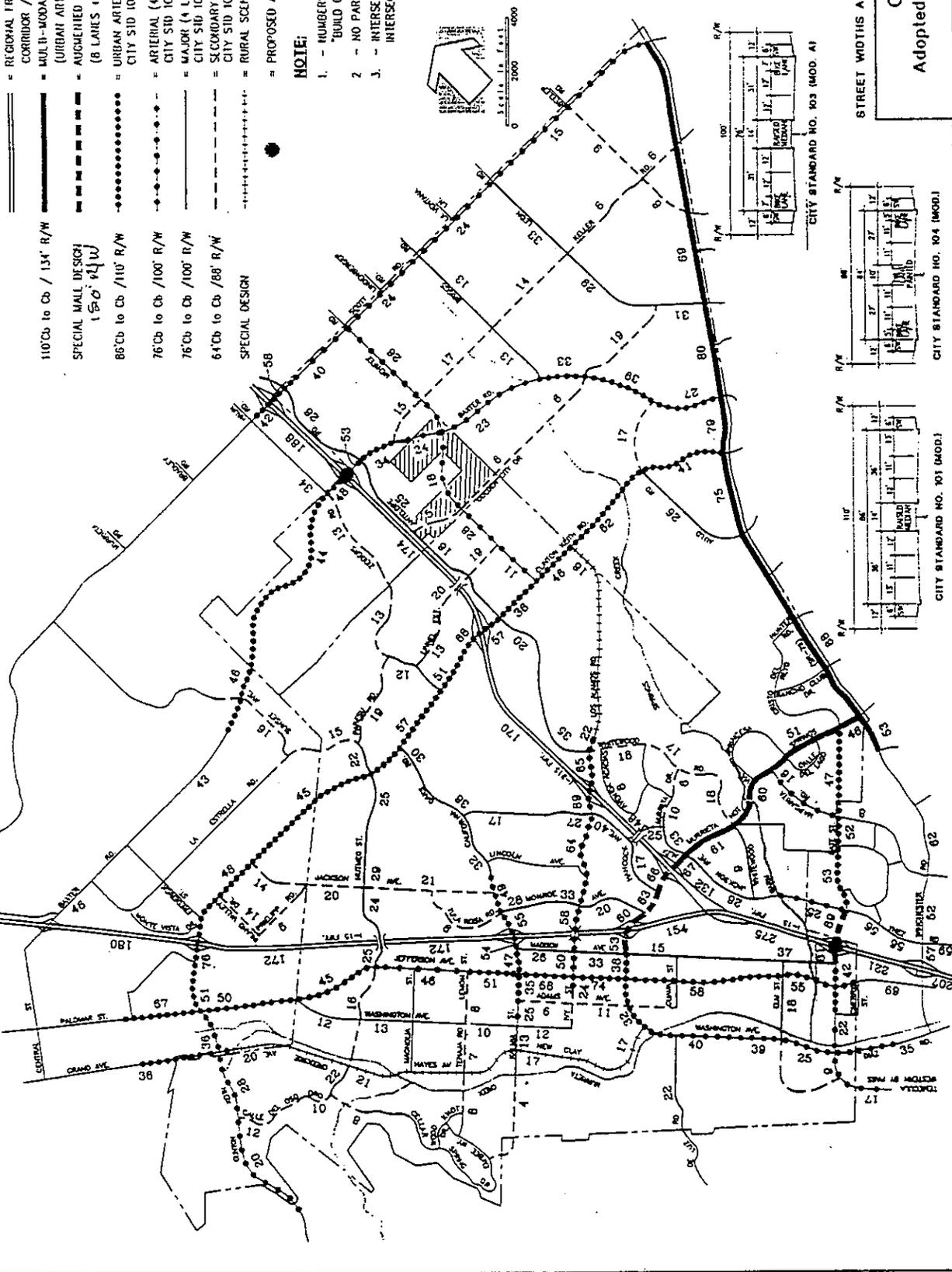
The City of Murrieta staff and GOLDEN CITY jointly agree that in the absence of an existing Road & Bridge Fee or Transportation Uniform Mitigation Fee that it is not feasible for an individual project to construct small percentages of the individual offsite improvements but GOLDEN CITY will construct a series of discreet offsite improvements that most directly effect GOLDEN CITY. These improvements will be constructed in their entirety on a phased basis and is intended to satisfy the total obligation of GOLDEN CITY for their fair share of the impacts to the circulation system of the City of Murrieta based on the North Murrieta Traffic Model at the year 2005 planning horizon. Should the final traffic analysis or Road and Bridge analysis determine that the constructed offsite NMTM improvements exceed each projects impacts fair share of the ultimate build out improvements, the DEVELOPER may be reimbursed or receive credit for the costs in excess of the GOLDEN CITY fair share by means of a proposed Road and Bridge Benefit District. Should the final traffic analysis or Road and Bridge District analysis determine that the constructed offsite NMTM improvements do not meet each projects impacts fair share of the ultimate build out, the DEVELOPER shall pay the additional costs or provide additional improvements as determined by the City of Murrieta.

LEGEND:

- REGIONAL FREEWAY
- CORRIDOR / HOV FACILITY
- MULTI-MODAL TRANSPORTATION CORRIDOR (URBAN ARTERIAL + LIGHT RAIL TRANSIT)
- AUGMENTED URBAN ARTERIAL (8 LANES + DOUBLE RAISED MEDIAN)
- URBAN ARTERIAL (6 LANES + CURBED MEDIAN) CITY STD 101 (MODIFIED)
- ARTERIAL (4 LANES + CURBED MEDIAN) CITY STD 103 (MODIFICATION A)
- MAJOR (4 LANES + PAINTED MEDIAN) CITY STD 103 (MODIFICATION B)
- SECONDARY (4 LANES) W/10' LTL & 5' BIKE LANES CITY STD 104 (MODIFIED)
- RURAL SCENIC (2 LANES) SPECIAL DESIGN
- PROPOSED ADDITIONAL INTERCHANGE

NOTE:

1. NUMBERS INDICATE 24-HOUR "BUILD OUT" TRAFFIC VOLUMES IN 1000'S
2. NO PARKING ON ABOVE STREETS
3. INTERSECTION WIDENING AT CRITICAL INTERSECTIONS NOT SHOWN



STREET WIDTHS AND SECTIONS ADDED SEPT. 20, 1994

Circulation Plan
Adopted by the City Council on
JUNE 21, 1994

FIGURE 12

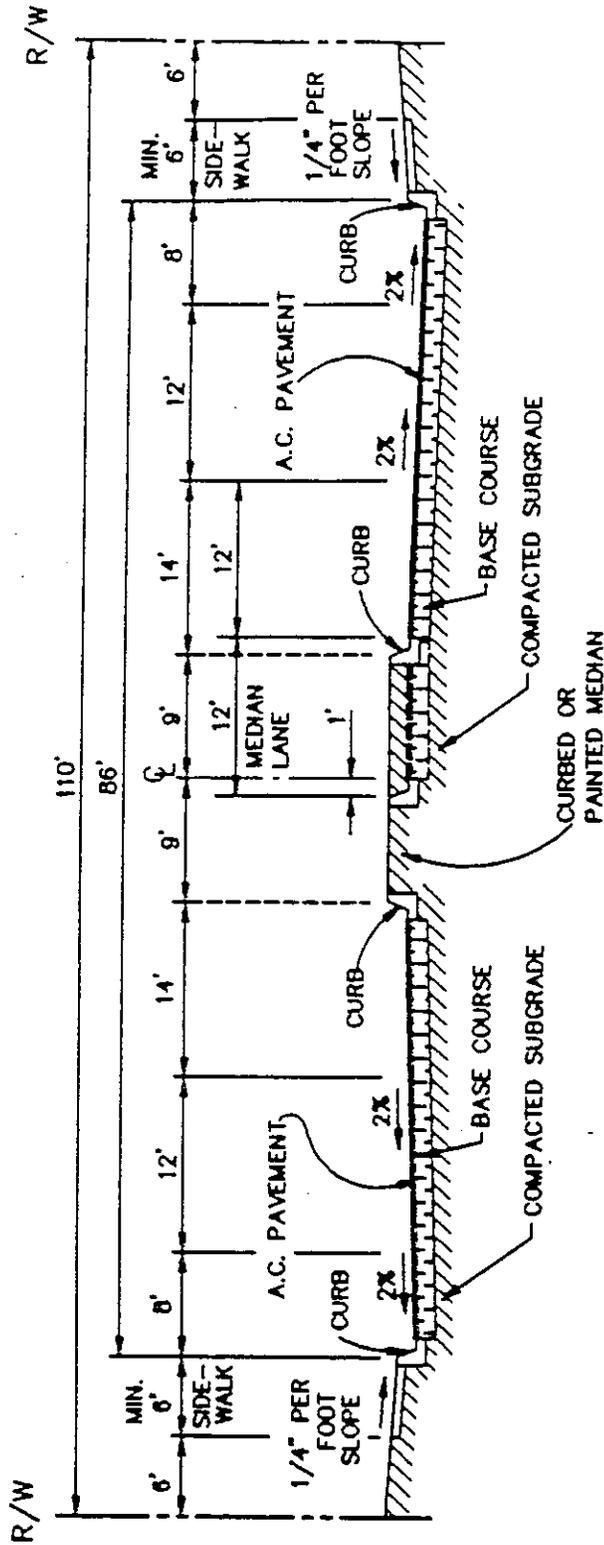
The onsite improvements may also qualify for reimbursement or credit for all construction costs in excess of the project's respective fair share of traffic impact to the ultimate improvements required by the Circulation Element of the General Plan.

This reimbursement will come in the form of a reimbursement agreement or the tailoring of the improvements to reflect the percentage of DEVELOPER responsibility in relationship to the ultimate improvement requirements while maintaining access acceptable to the Fire and Public Works Departments at the time of tract map, parcel map, plot plan or conditional/public use permit approval.

Subsequent traffic studies shall be done at the time of approval of each tract and parcel map, plot plan and conditional/public use permit to assess the continued compliance with the Level of Service criteria of the City of Murrieta General Plan.

The following standards are shown in Figure 13 through Figure 21.

- b. Proposed Arterial Highways - City of Murrieta Standard # 101.
 - 1. Clinton Keith Road @ Antelope Road intersection.
 - 2. Baxter Road - between I-215 & intersection with Keller Road.
- c. Proposed Major Highways - City of Murrieta Standard # 103.
 - 1. Baxter Road east of intersection with Keller Road.
 - 2. Menifee Road.
- d. Proposed Major Highways - City of Murrieta Standard # 103 & 110.
 - 1. Antelope Road.
- e. Proposed Secondary Highways - City of Murrieta Standard # 104.
 - 1. Golden City Drive - east of the intersection with Antelope Road.
- f. All industrial streets - City of Murrieta Standard # 111.
- g. All residential streets - City of Murrieta Standards # 105, 106, 107 and 113 as appropriate to meet traffic demand.
- h. All roads and streets will be landscaped in accord with Figures 22 through 24 as defined in the GOLDEN CITY Specific Plan.



COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOIL TEST.
 MINIMUM PAVING THICKNESS TO BE 3" ASPHALT CONCRETE.

CITY OF MURRIETA
 DEPARTMENT OF PUBLIC WORKS

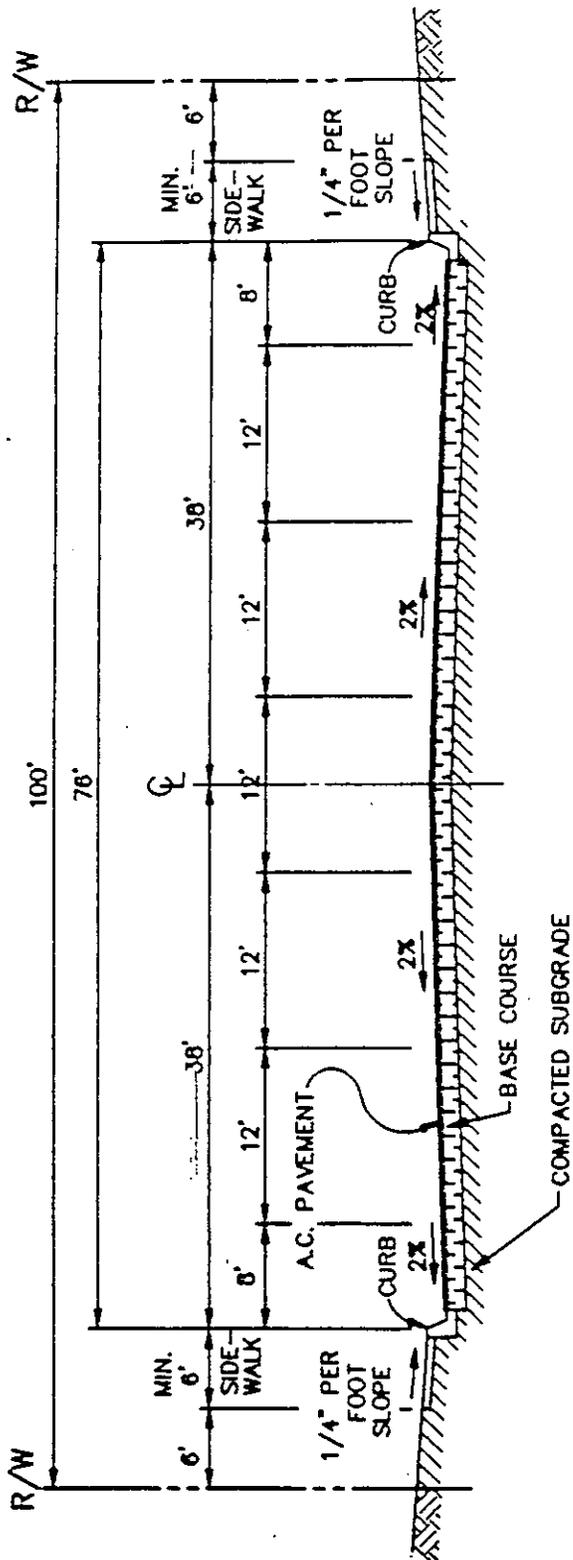
REVISIONS	
5/92	APPROVED

ARTERIAL HIGHWAY

STD. NO.

101

FIGURE 13



COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOIL TEST.
 MINIMUM PAVING THICKNESS TO BE 3" ASPHALT CONCRETE.

CITY OF MURRIETA
 DEPARTMENT OF PUBLIC WORKS

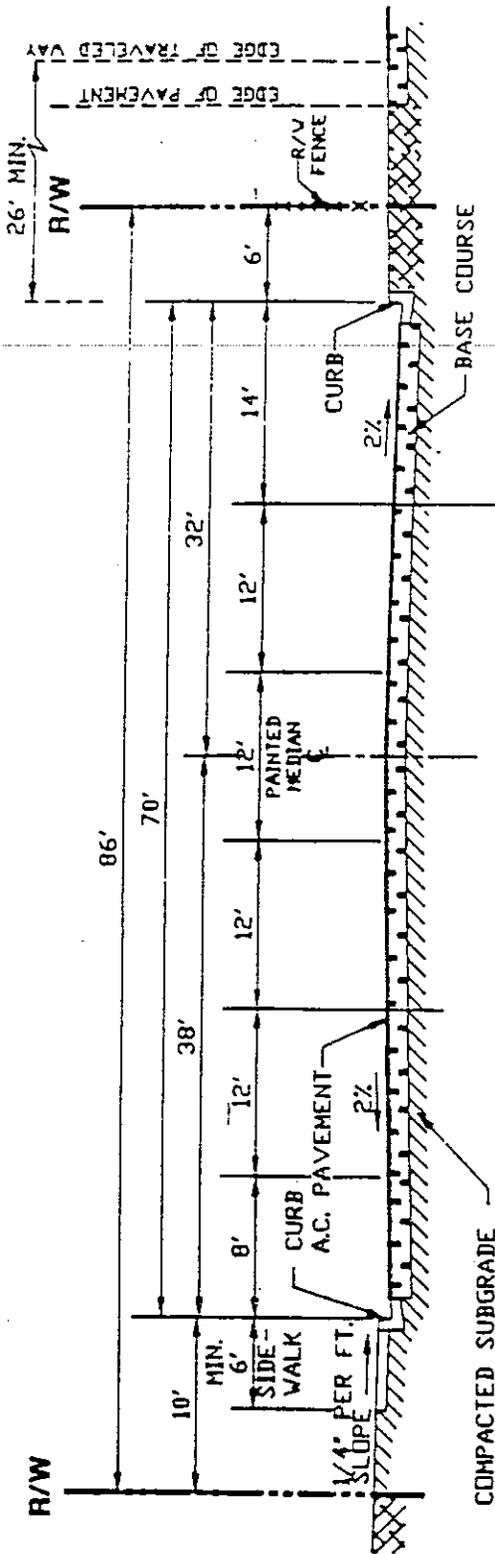
REVISIONS	
5/92	APPROVED

MAJOR HIGHWAY

STD. NO.

103

FIGURE 14



COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOIL TEST.
 MINIMUM PAVING THICKNESS TO BE 3" ASPHALT CONCRETE.
 ALL CURB AND GUTTER TO BE TYPE "A-6" UNLESS OTHERWISE SPECIFIED.
 THIS STANDARD FOR USE IN URBAN AREAS ONLY.

CITY OF MURRIETA
 DEPARTMENT OF PUBLIC WORKS

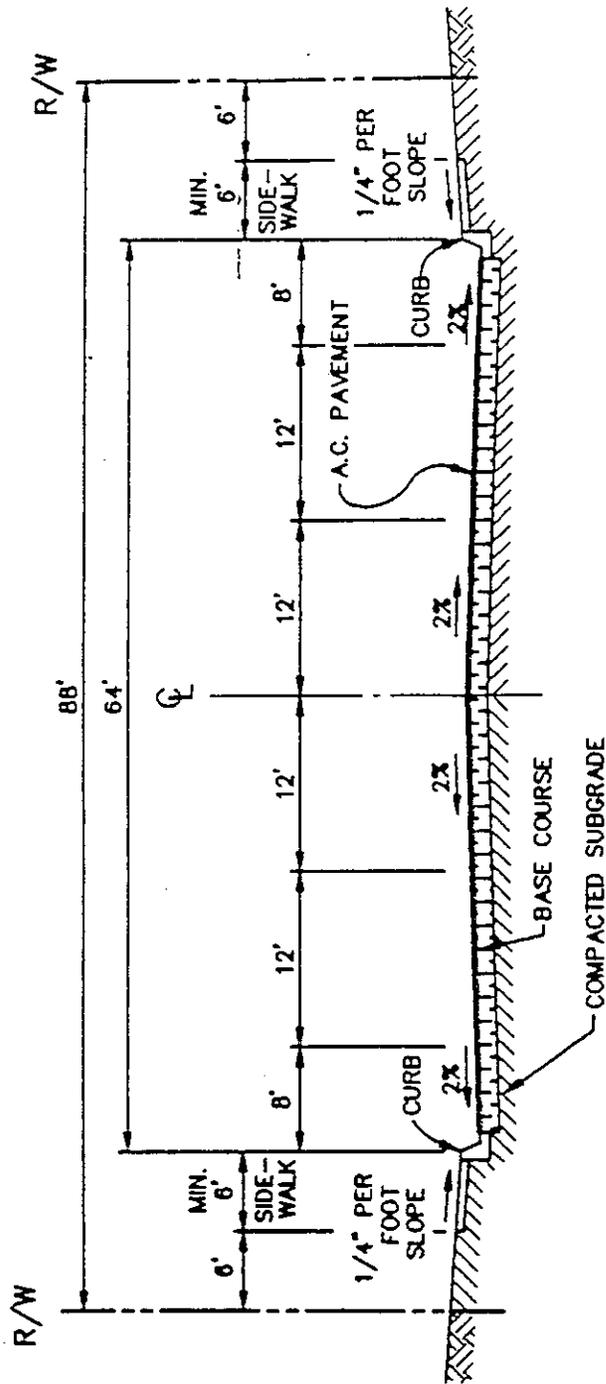
REVISIONS	
5/82	APPROVED

MAJOR FRONTAGE ROAD

STD. NO.

110

FIGURE 15



COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOIL TEST.
 MINIMUM PAVING THICKNESS TO BE 3" ASPHALT CONCRETE.

CITY OF MURRIETA
 DEPARTMENT OF PUBLIC WORKS

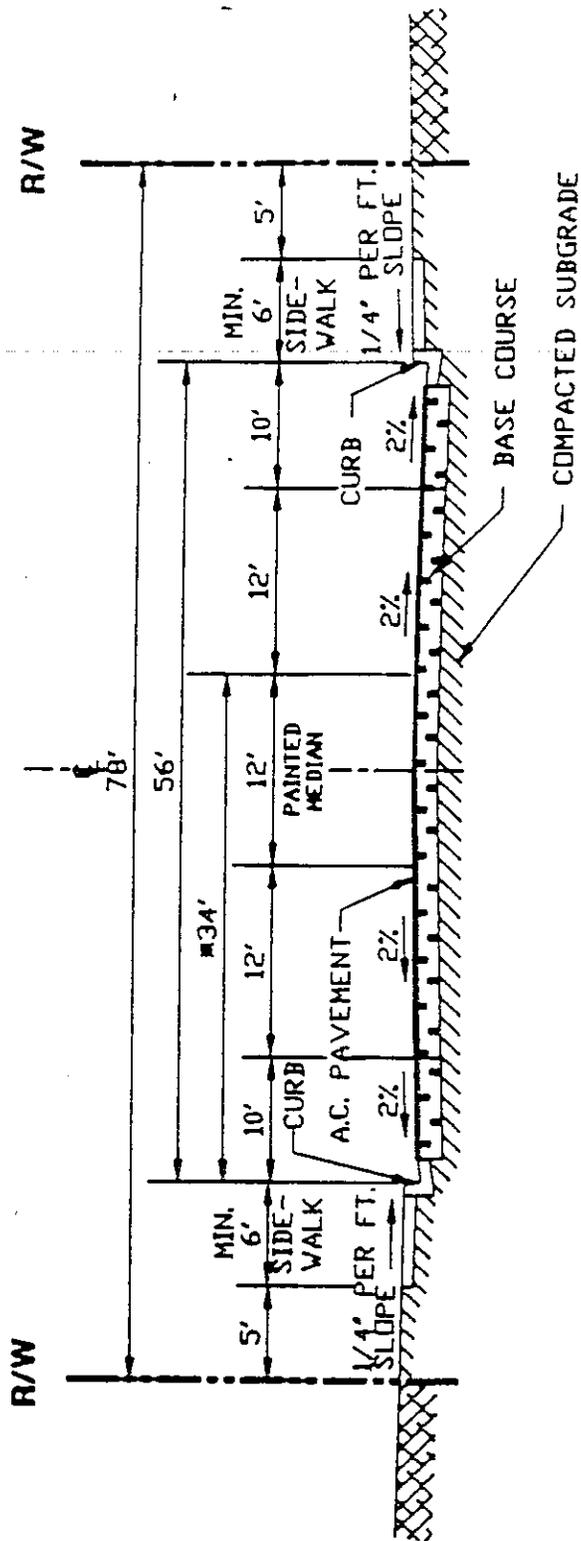
REVISIONS	
5/92	APPROVED

TYPICAL STREET SECTION
Secondary Highway

STD. NO.

104

FIGURE 16



COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOIL TEST.

MINIMUM PAVING THICKNESS TO BE 3" ASPHALT CONCRETE.

ALL CURB AND GUTTER TO BE TYPE "A-6" UNLESS OTHERWISE SPECIFIED.

* PART WIDTH STREET SECTION FOR AN INTERIOR COMMERCIAL OR INDUSTRIAL STREET.

CITY OF MURRIETA
 DEPARTMENT OF PUBLIC WORKS

INDUSTRIAL COLLECTOR STREET

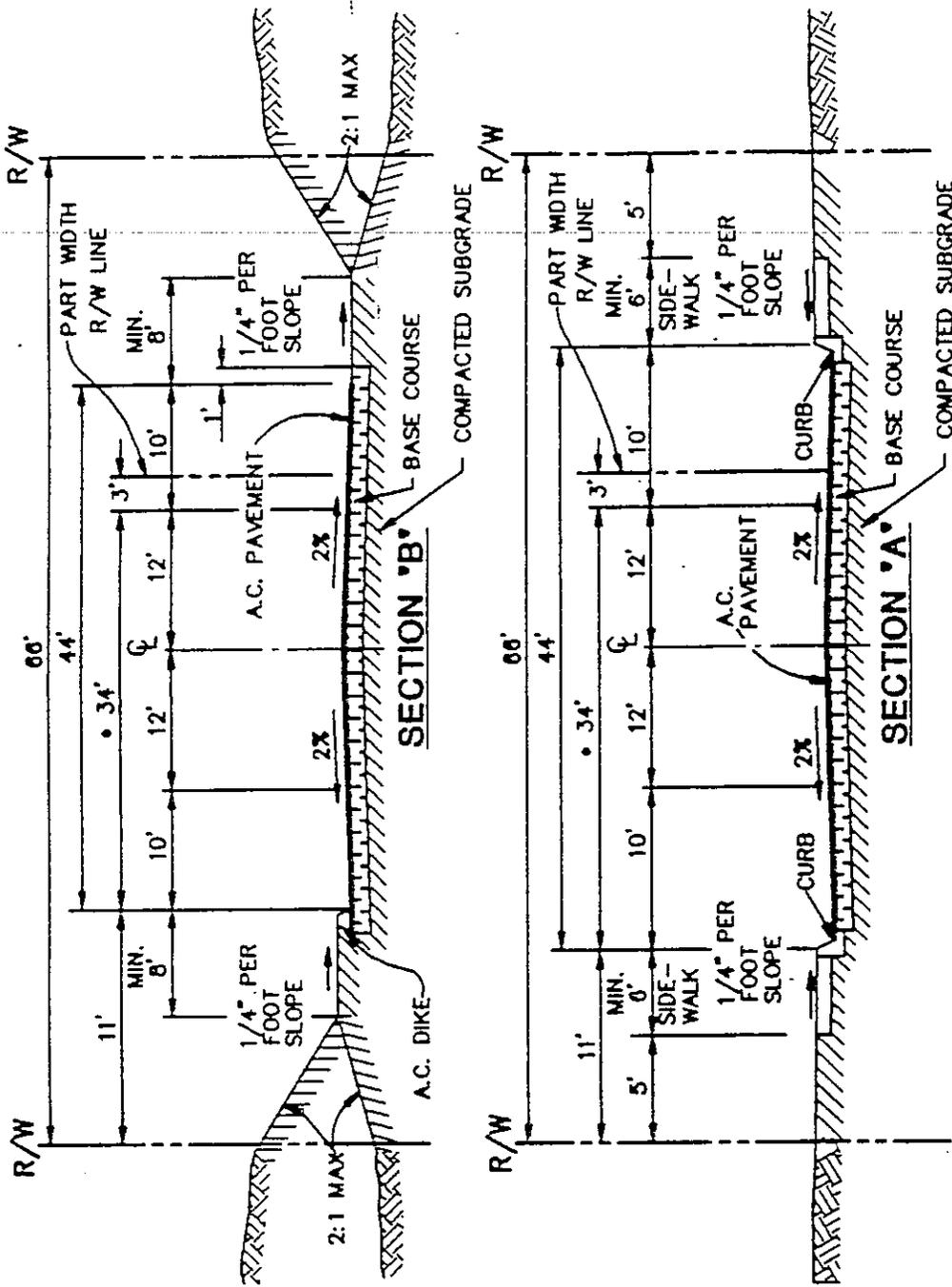
REVISIONS

5/92 APPROVED

STD. NO.

111

FIGURE 17



SEE STANDARD NO.315 FOR A.C. DIKE DETAIL.
 * PART WIDTH SECTION FOR ALL COLLECTOR STREETS - 34' IMPROVEMENTS ON 48' R/W
 COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOIL TEST.
 MINIMUM PAVING THICKNESS TO BE 3" ASPHALT CONCRETE FOR RESIDENTIAL STREETS AND 3" ASPHALT CONCRETE FOR INTERIOR COMMERCIAL OR INDUSTRIAL STREETS.
 ALL CURB AND GUTTER TO BE TYPE "A-6" UNLESS OTHERWISE SPECIFIED.

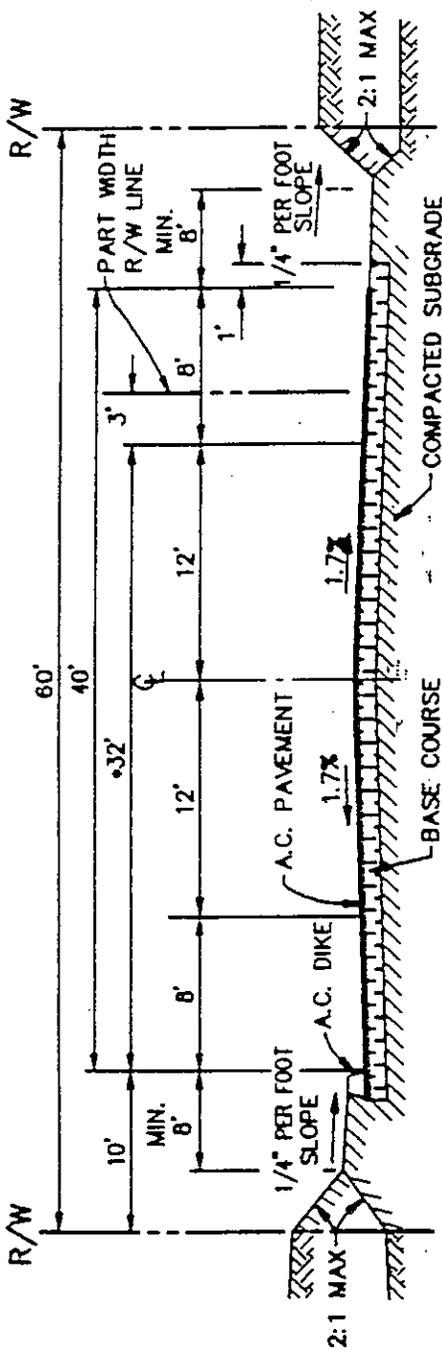
CITY OF MURRIETA
 DEPARTMENT OF PUBLIC WORKS

REVISIONS	
5/92	APPROVED

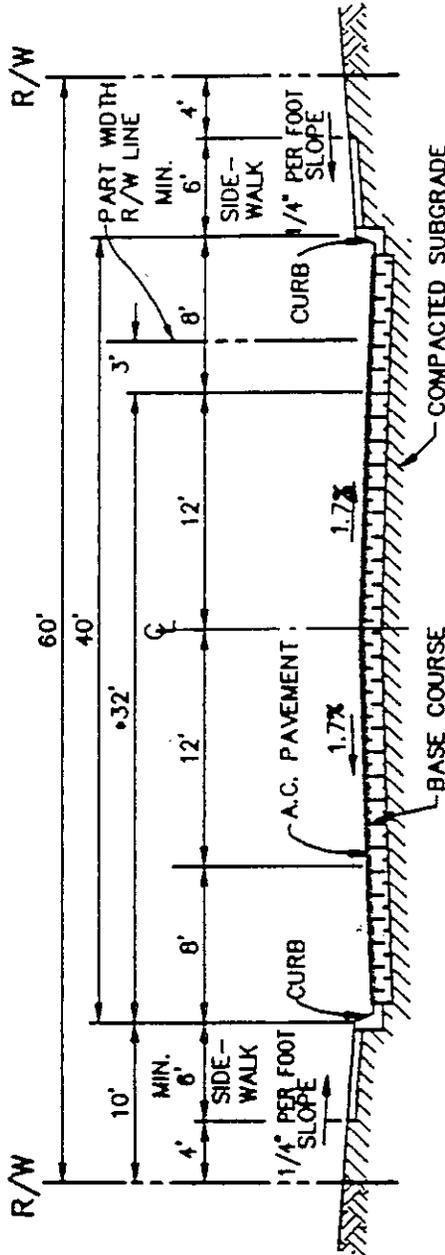
TYPICAL STREET SECTION
 Collector Street

STD. NO.
105

FIGURE 18



SECTION 'B'



SECTION 'A'

COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOIL TEST.
 MINIMUM PAVING THICKNESS TO BE 3" ASPHALT CONCRETE.

ALL CURB AND GUTTER TO BE TYPE A-6, UNLESS OTHERWISE SPECIFIED.
 SEE STD. NO. 315 FOR A.C. DIKE DETAIL

• PART WIDTH STREET SECTION 32' IMPROVEMENT ON 45' R/W

CITY OF MURRIETA
 DEPARTMENT OF PUBLIC WORKS

TYPICAL STREET SECTION
 General Local Street

STD. NO.

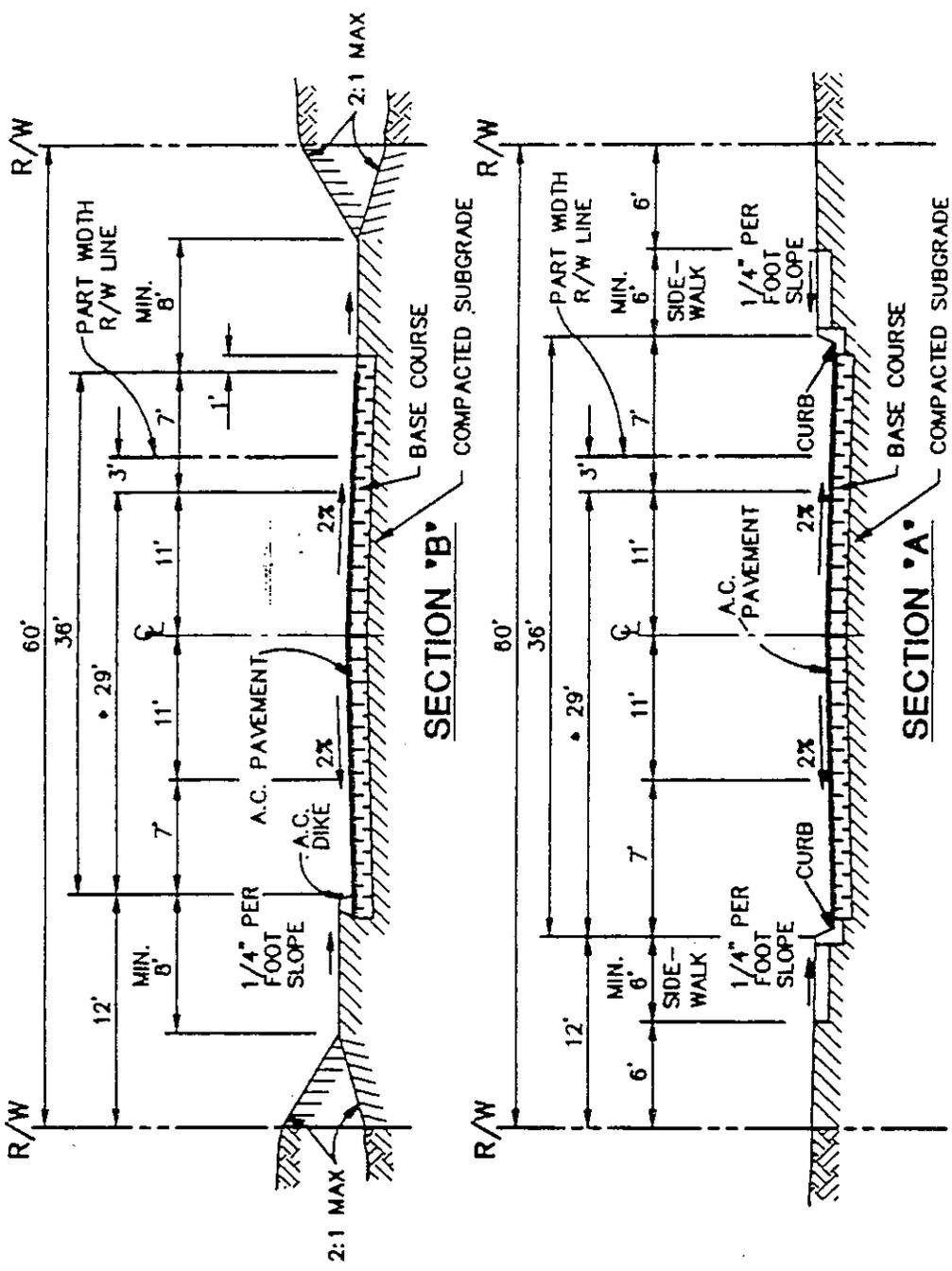
106

REVISIONS

5/92	APPROVED

FIGURE 19

NOTE: RIGHT OF WAY MAY NOT BE REQUIRED FOR PRIVATE STREETS.



SEE STANDARD NO. 315 FOR A.C. DIKE DETAIL.

* PART WIDTH STREET SECTION

29' IMPROVEMENTS ON 44' R/W

COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOIL TEST.

MINIMUM PAVING THICKNESS TO BE 3" ASPHALT CONCRETE

ALL CURB AND GUTTER TO BE TYPE "A-6" UNLESS OTHERWISE SPECIFIED.

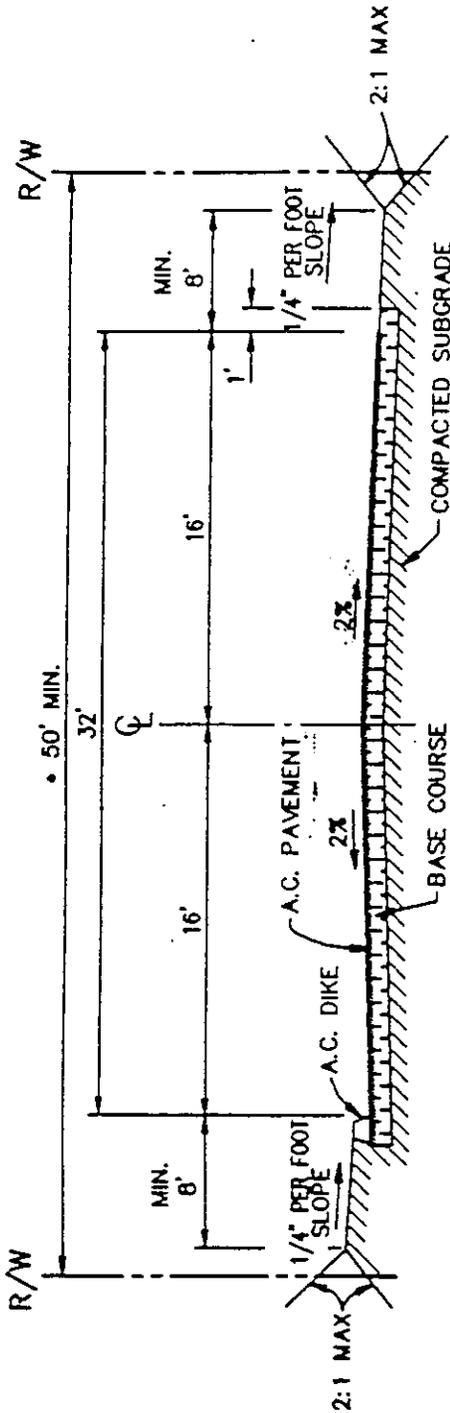
CITY OF MURRIETA
DEPARTMENT OF PUBLIC WORKS

REVISIONS	
5/92	APPROVED

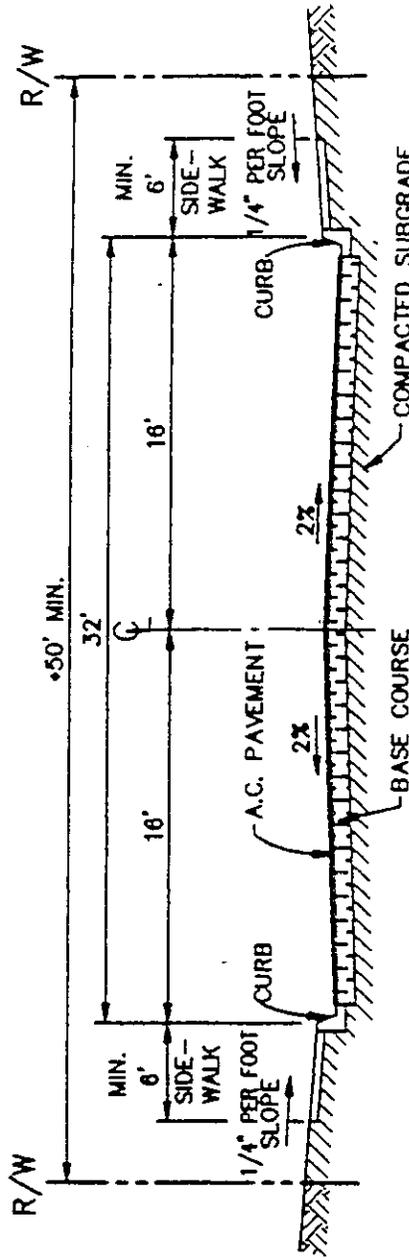
TYPICAL STREET SECTION
Short Local Street

STD. NO.
107

FIGURE 20



SECTION 'B'



SECTION 'A'

COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOIL TEST.
 MINIMUM PAVING THICKNESS TO BE 3" ASPHALT CONCRETE.
 ALL CURB AND GUTTER TO BE TYPE A-6, UNLESS OTHERWISE SPECIFIED.
 SEE STD. NO. 315 FOR A.C. DIKE DETAIL
 • 60' MIN. R/W IS REQUIRED FOR ACCESS ROADS

CITY OF MURRIETA
 DEPARTMENT OF PUBLIC WORKS

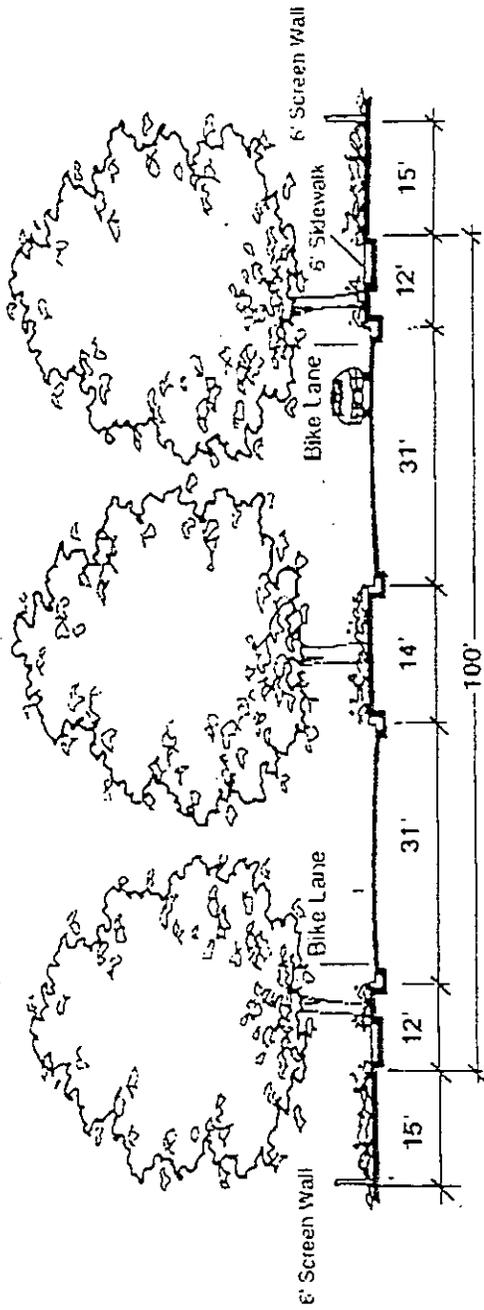
REVISIONS	
5/92	APPROVED

ACCESS ROAD,
 RESTRICTED LOCAL STREET,
 or MINOR INTERIOR STREET

STD. NO.

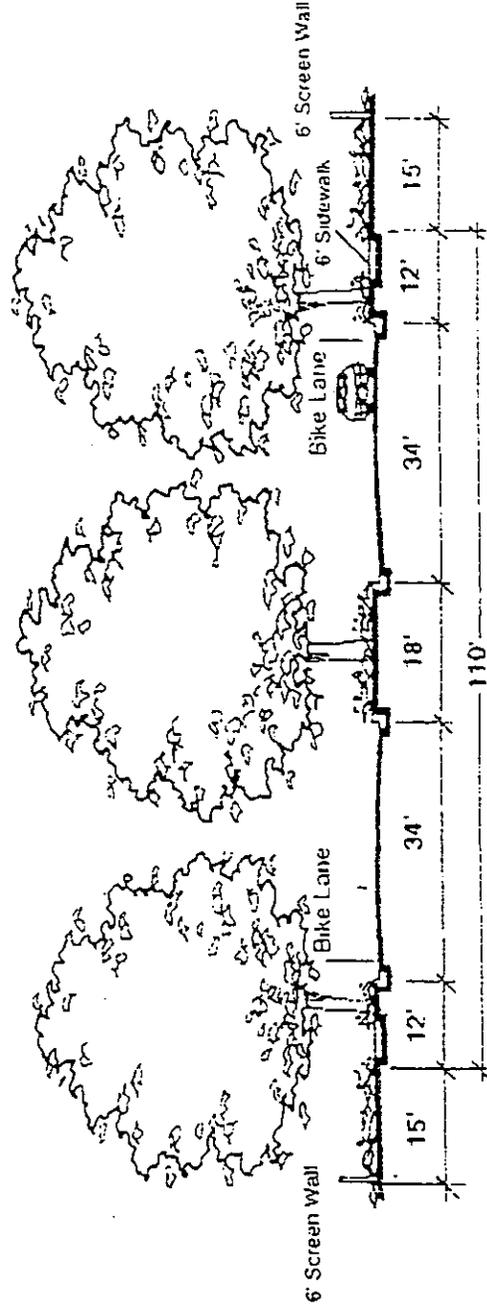
113

FIGURE 21



BAXTER & MENIFEE ROAD

Arterial Highway section with Class II Bike Lanes. 15 foot wide landscape setback required from R.O.W.
 For Baxter Road East of future Keller Road intersection.



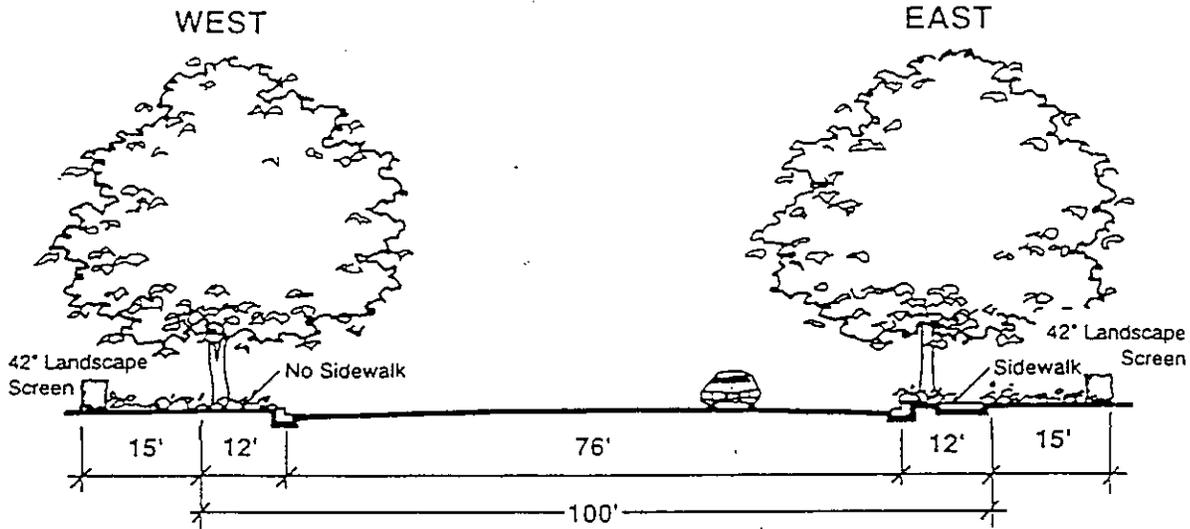
BAXTER ROAD

Urban Arterial Highway section with Class II Bike Lanes. 15 foot wide landscape setback required from R.O.W. For Baxter Road West of future Keller Road intersection.

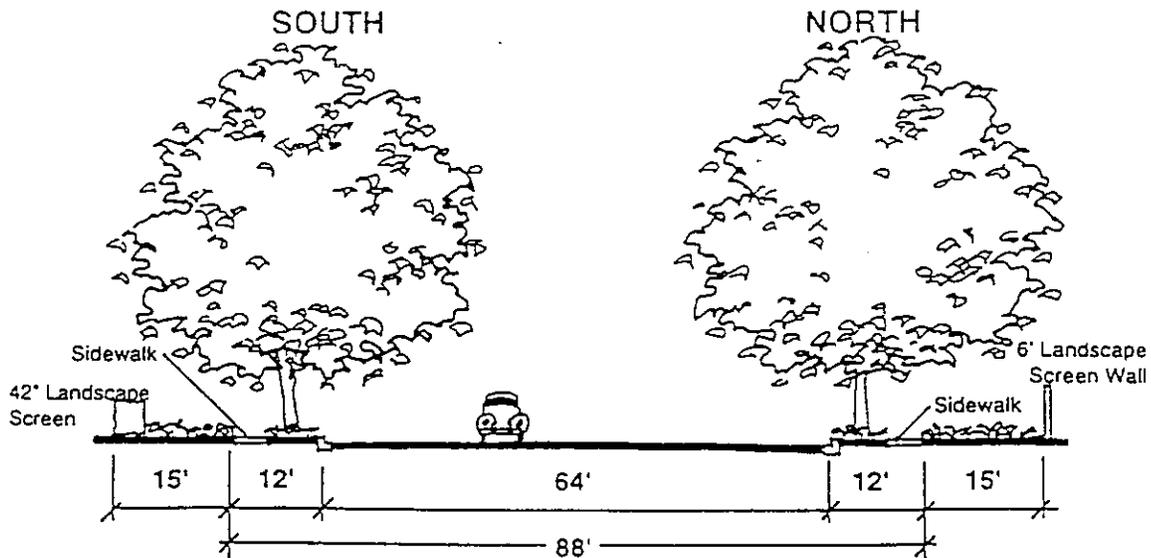


FIGURE 22

ANTELOPE & GOLDEN CITY DRIVE
ROAD SECTIONS
EXHIBIT III-30



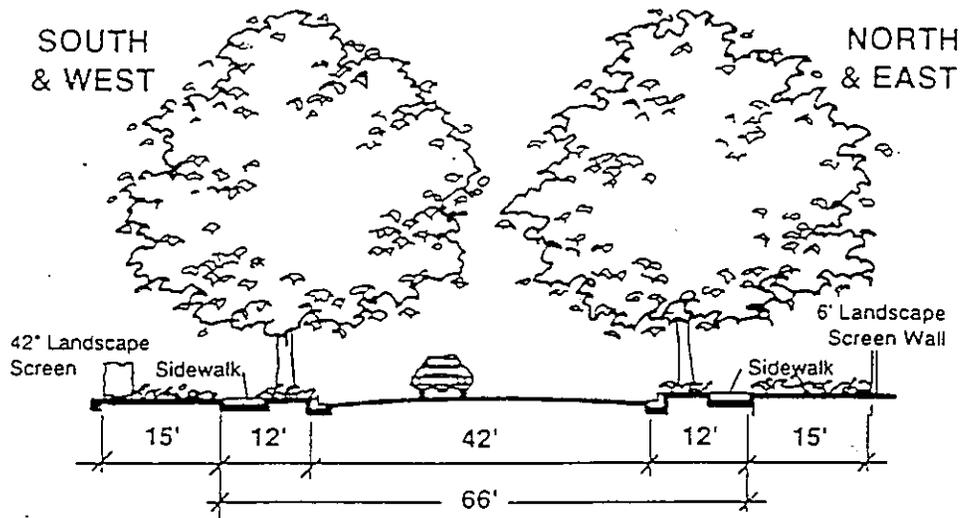
ANTELOPE ROAD
Major Highway section with Class II Bike Lanes



GOLDEN CITY DRIVE
Secondary Highway section

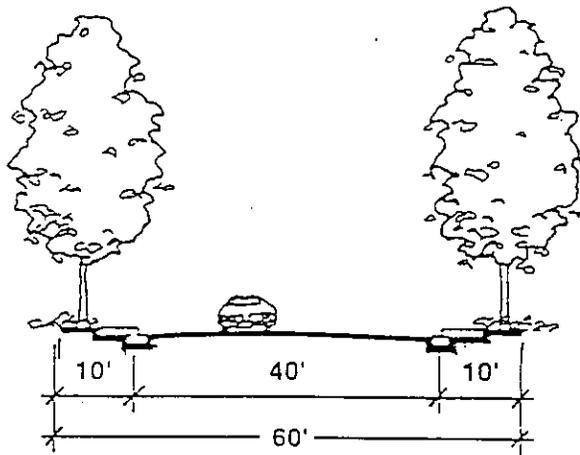


GOLDEN CITY DRIVE
 LOCAL STREET SECTIONS
 EXHIBIT III-31

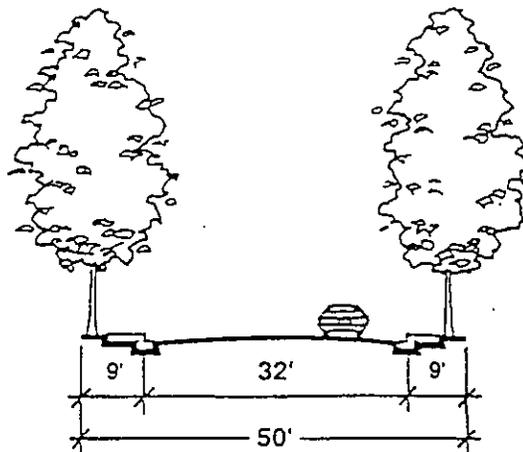
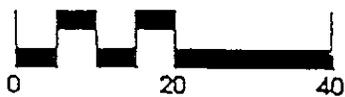


GOLDEN CITY DRIVE

Collector Road section - No Parking both sides with Class II Bike Lanes



RESIDENTIAL STREET
 Residential through street section



RESIDENTIAL LOCAL STREET
 Local and Cul-de-Sac Street section

- i. Proposed Future Baxter Road/I-215 interchange. This facility is not anticipated to be required prior to the planning horizon at the year 2005 defined in the NMTM analysis although the design of the GOLDEN CITY project, specifically the Antelope Road intersection with Baxter Road will dedicate the right-of-way required on the financing parcel map for the north bound onramp and the realignment of Antelope Road to accommodate the required geometrics for the future interchange.
- j. All roadways will be designed in accord with City of Murrieta Standard # 116, included as Figure 25, with regard to the permitted access and intersection intervals and the vertical and horizontal alignment, unless approved by the City Engineer. Additionally, all Standards and Ordinances shall apply unless superseded by the Specific Plan Zones adopted for the GOLDEN CITY Specific Plan.

2. Inventory

The inventory of existing roads and rights-of-way are shown on Figure 26.

- a. Antelope Road - exists as a maintained County and City road, paved to varying widths of between 24 to 32 feet, within a 60 foot or greater right-of-way from existing Keller Road to Clinton Keith Road.
- b. Existing Baxter Road - exists as a 88' foot right-of-way from the I-215 freeway to Menifee Road.
- c. Menifee Road - exists as a 50' foot right-of-way section from Keller Road to Baxter Road.
- d. I-215 - exists as Caltrans maintained Interstate Highway within a varying width right-of-way.

ROAD TYPE

	Restricted length Cul-de-sac	Short local Cul-de-sac	Local Road	Collector (Residential/ Industrial)	Secondary	Major	Mountain Arterial	Arterial	Urban Arterials	Expressway
R/W	50	60	60	66/78	88	100	110	110	120 134	142
Surfaced width Curb to Curb	32	36	40	44/56	64	76	REFER TO STANDARD 114	86	98 110	86
Preferred Radii (Horizontal)	Flat	300	300	850	1600	2000	-	2000	2000	2400
	Rolling Mountainous	300	300	550	1000	1600	850	1600	1600	2000
Max. Grade%	As approved by the City Engineer (R=150' min.)									
	Flat	4	4	4	3	3	-	3	3	3
	Rolling Mountainous	9	9	9	8	6	7	6	6	6
Design Speed	15	15	15	12	9	9	9	9	-	-
	Flat	30	30	30	45	60	-	60	60	65
	Rolling Mountainous	30	30	30	35	55	45	55	55	60
Intersection Intervals	As approved by the City Engineer (R=150' min.)									
	NA	200	200	200	330	660	**	**	**	**

Note: Roadway design less than shown requires Engineering Department approval. Minimum grade 1.0%. Part-width street sections shall be improved and R/W conveyed as shown on typical street sections.

- * Direct access prohibited.
 - ** Residential access prohibited.
- Commercial/industrial driveway access as determined by the City Engineer

CITY OF MURRIETA
DEPARTMENT OF PUBLIC WORKS

REVISIONS	
5/82	APPROVED

**ROADWAY DESIGN
REQUIREMENTS**

STD. NO.

116

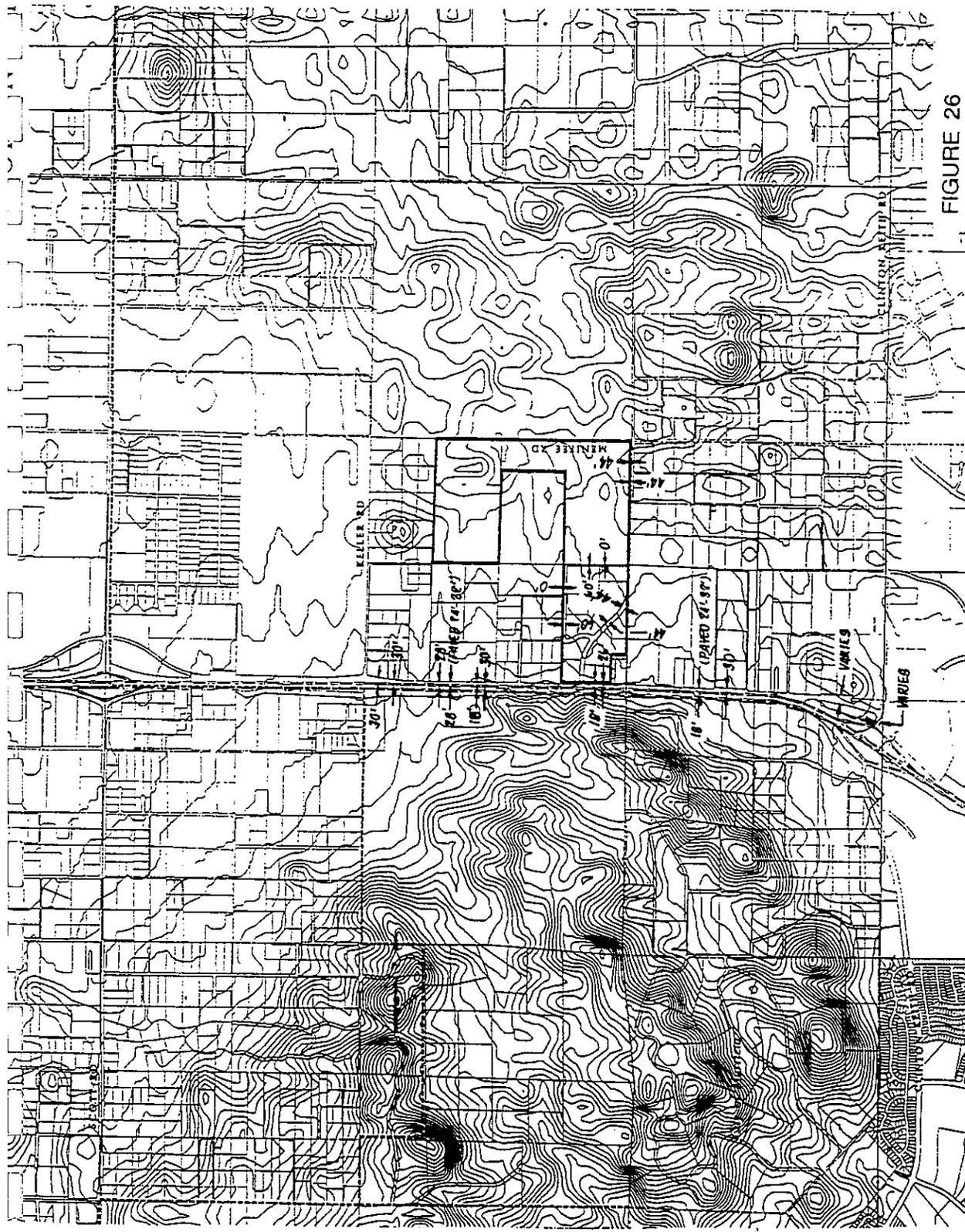


FIGURE 26

3. Phasing

- a. Onsite circulation improvements are shown in Figure 27 and Tables 3 and 4.

The circulation system has been designed in conjunction with the projects traffic studies with a series of varying right-of-way width elements. These range in size from restricted local streets up to arterial 4 lane roadways at the freeway interchanges.

These improvements are to be constructed on phased basis to provide primary and secondary access to each phase of development. The DEVELOPER will construct a graded ultimate width right-of-way section so as to provide for the construction of the utilities in their ultimate location. The DEVELOPER will only construct two separated 16 foot connector lanes with curb and gutter at the ultimate section location as shown on Figure 28.

The widening of the roadways to the ultimate pavement width, including the parkway landscaping, street lights and sidewalks will be constructed by the BUILDER prior to occupancy of the residential, commercial or industrial units.

Intersection signalization improvements are also shown Figure 27. These improvements will be phased in a similar manner as the circulation linkage improvements and built by the DEVELOPER to maintain appropriate Levels of Service required by the General Plan.

The intersection of one connector road with another connector road will be enhanced to provide adequate turn movement lanes by the DEVELOPER until the ultimate width improvements are built by the BUILDER.

A non-motorized recreation and equestrian trail system will provide for flow of pedestrians and recreational users to access the projects by means of a series of north-south and east-west trails to be constructed by the DEVELOPER in conjunction with other circulation and open space improvements.

GCSP SIGNAL & INTERSECTION IMPROVEMENTS

Cross Reference Figure 27 and 29

TABLE 4

Facility	Description	Location	Phase				Ultimate Size	Type	R.O.W. Width	L.F. Quantity	GCSP Total		Reimbursement****	
			1	2	3	4					100%	Est. Cost	100%	Est. Cost
Phase 2	On-Site													
12a	Menifee Rd. (South)	Menifee at Triple C Ranch Rd.		X			4-Way	Full	1	100%	\$90,000			
12b	Menifee Rd. (South)	Menifee at Golden City Dr.		X			3-Way	3/4	1	100%	\$67,500			
12c	Golden City Dr.	Golden City Dr. at GC Parkway		X			3-Way	3/4	1	100%	\$67,500			
12d	Golden City Dr.	Golden City Dr. at GC Collector		X			4-Way	Full	1	100%	\$90,000			
12e	Antelope Rd.	Antelope at Golden City Dr.		X			3-Way	3/4	1	100%	\$67,500			
Subtotal											\$382,500			
Phase 3	On-Site													
13a	Menifee Rd. (North)	Menifee Rd. at Meadowlark Rd.			X		3-Way	3/4	1	100%	\$67,500			
Phase 4	On-Site													
14a	Baxter Rd.	Baxter Rd. at Menifee Rd.				X	4-Way	Full	1	100%	\$90,000			
On-site total											\$540,000			
Phase 4	NMTM Off-Site													
114a***	Antelope Rd.	Relocated Antelope at Baxter Rd.				X	R/L/Thru	Lane/Signal	1	100%	\$765,000			
114b***	Antelope Rd.	Antelope at Clinton Keith				X	R/L/Thru	Lane/Signal	1	100%	\$275,000			
Off-site Total											\$1,040,000			
On & Off-site Totals											\$1,580,000			

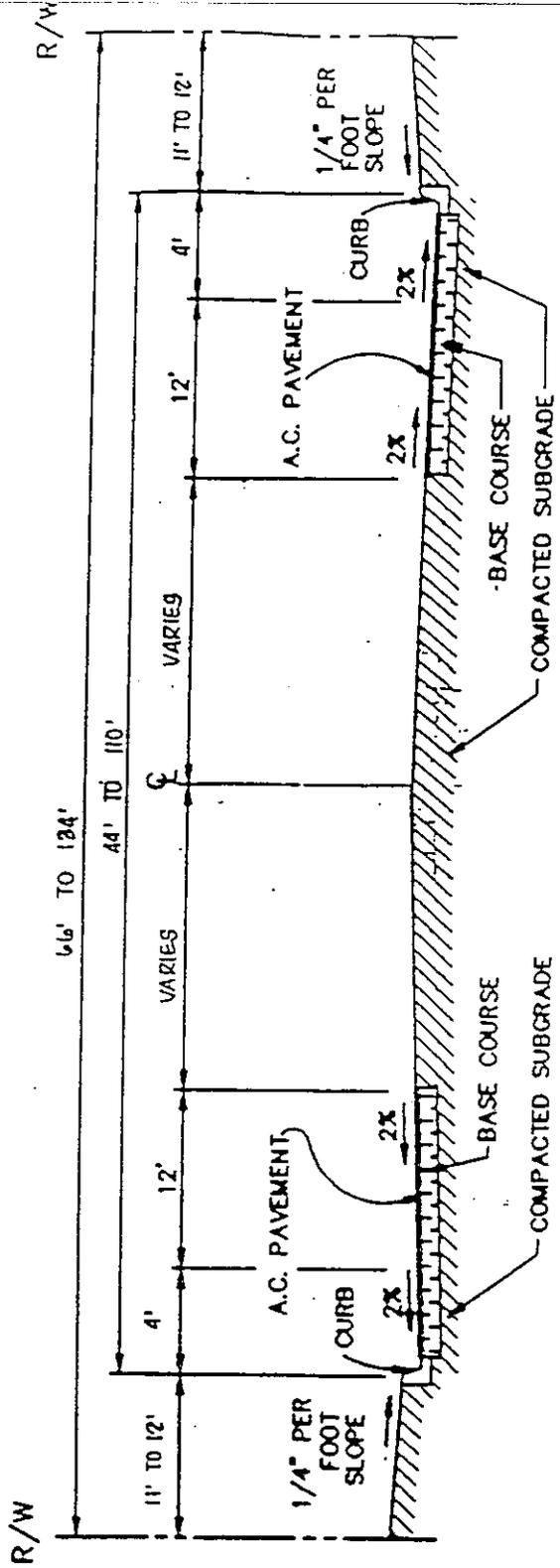
GCSP I-215 INTERCHANGE IMPROVEMENTS

Facility	Description	Location	Phase				Ultimate Size	Type	R.O.W. Width	L.F. Quantity	GCSP Total		Reimbursement****	
			1	2	3	4					100%	Est. Cost	100%	Est. Cost
Phase 4	NMTM Off-Site													
FR4a***	I-215 S. Bound Off Ramps	Clinton Keith Rd. & I-215				X	Ramps+Signal		1	100%	\$90,000			
FR4b***	I-215 N. Bound Off Ramps	Clinton Keith Rd. & I-215				X	Ramps+Signal		1	100%	\$440,000			
Subtotal											\$530,000			
Off-site Total											\$530,000			

*** North Murrieta Traffic Model for Regional Improvements.

**** To be determined at the time of submittal of final development plans.

The infrastructure improvements shall be constructed on a phased basis as shown on the tables and figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murrieta.



COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOIL TEST.
 MINIMUM PAVING THICKNESS TO BE 3" ASPHALT CONCRETE.

CITY OF MURRIETA
 DEPARTMENT OF PUBLIC WORKS

REVISIONS	
	APPROVED

INTERIM IMPROVEMENT
 SECTION

STD. NO.

FIGURE 28.

Each land use approval, i.e. residential tract map, industrial/commercial parcel map and industrial/commercial plot plan or conditional/public use permit, will require the review of a traffic study to assess current traffic levels and the impact of that individual land use traffic impact on the existing and proposed circulation system. Should any General Plan LOS be exceeded the PFFP improvement phasing plan will be modified accordingly to return the overall Specific Plan to General Plan compliance. The CEQA mitigation monitoring plan will provide for a means of confirming compliance with conditions of approval and the traffic study analysis not only for the Specific Plans but also for each land use case. Part of the monitoring effort will include compliance with City of Murrieta Congestion Management Plan to assure regional circulation compatibility.

A traffic study will be prepared at the time of filing tentative maps to assess the impacts of each map.

The DEVELOPER/BUILDER proposes to construct only that portion of a circulation linkage that is required for primary and secondary access and leave the remainder to be constructed by any proposed mitigation fee program or by other proposed developments easterly of the project within the sphere of influence, as needed in the future. This method has been proposed in the PFFP along the project's easterly boundary for that portion of the following roads, (easterly of the last project access point for); GOLDEN CITY Drive, Menifee and Baxter roads. The right-of-way shall be dedicated, the ultimate width cross section graded and all appropriate erosion control measures constructed.

- b. The Offsite circulation improvements are shown on Figure 29 and Tables 3 and 4.

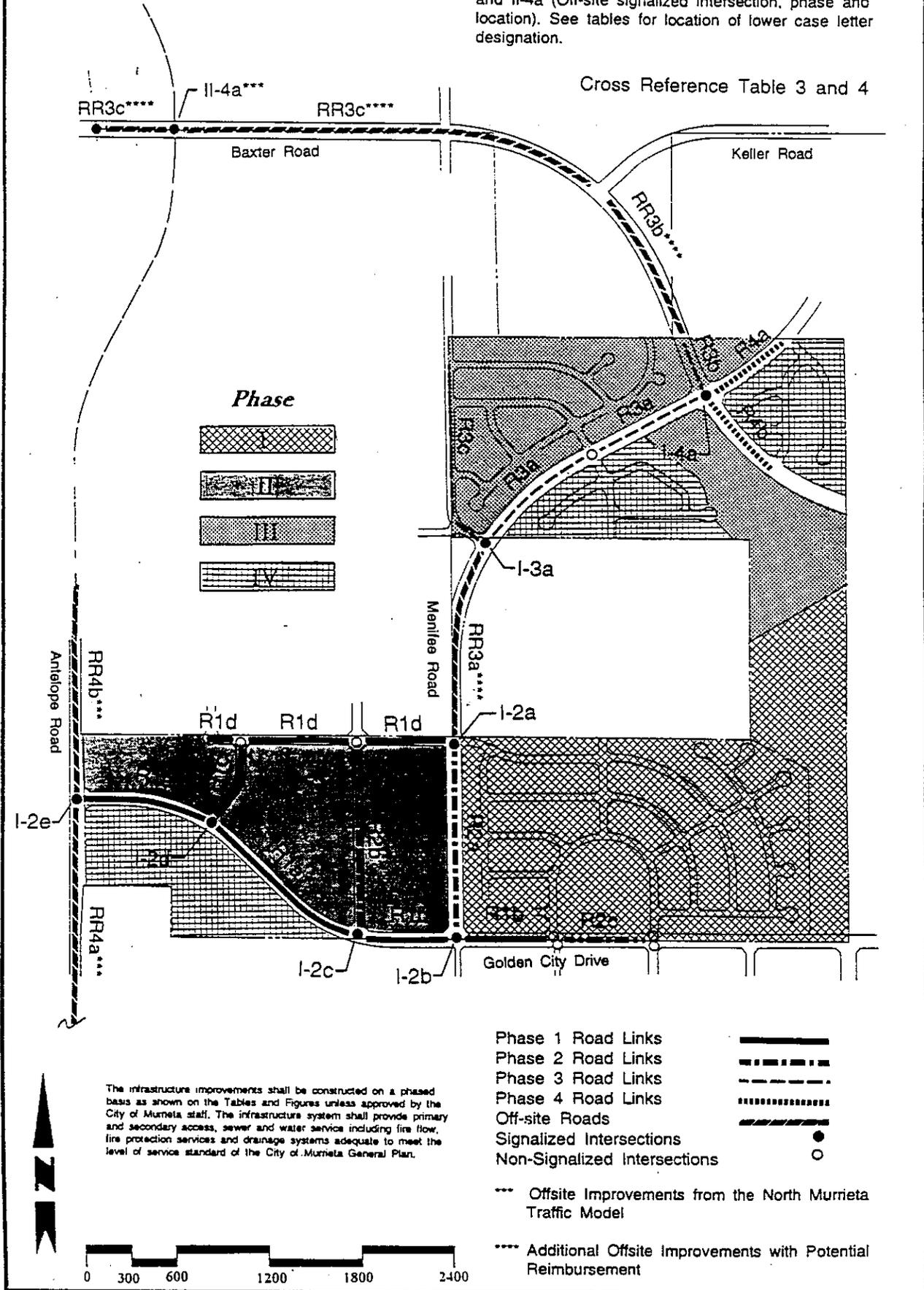
These improvements are primarily chosen from the improvements listed in the NMTM component listing to best serve the GOLDEN CITY Specific Plan and to be equal to the fair share of the total improvements defined as mitigation for the 5 specific plans defined in the NMTM. This methodology was chosen by staff to provide each project with the capability to mitigate their impact defined in the NMTM based on the total construction cost of a discreet set of improvements.

Golden City

On-Site Roads, Signals & Intersection Improvements

See tables for description of each facility. New on-site facilities are designated R1a (Road improvements, phase and location), and I-2a (Signalized intersection, phase and location). New off-site facilities are designated RR4b (Off-site road improvements, phase and location) and II-4a (Off-site signalized intersection, phase and location). See tables for location of lower case letter designation.

Cross Reference Table 3 and 4



The infrastructure improvements shall be constructed on a phased basis as shown on the Tables and Figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murrieta General Plan.

TABLE 3
GCSP ROAD IMPROVEMENTS
Cross Reference Figure 27 and 29

Facility	Description	Location	Phase				Ultimate Size	Type	R.O.W. Width	L.F. Quantity	GSCP Total		Reimbursement****	
			1	2	3	4					%	Est. Cost	%	Est. Cost
Phase 1	On-Site													
R1a	Golden City Dr. (West)	Antelope Rd. to GC Pkwy	X				2 Lane	88'	2,000	100%	\$217,000			
R1b	Golden City Dr. (Central)	GC Pkwy to GC Res. loop collector	X				2 Lane	44'	1,500	100%	\$82,500			
R1c	Golden City Collector	Golden City Dr. to Triple C Ranch Rd.	X				Collector	78'	600	100%	\$59,400			
R1d	Triple C Ranch Rd.	Golden City Collector to Menifee	X				Collector	39'	1,700	100%	\$91,800			
Subtotal											\$450,700			
Phase 2	On-Site													
R2a	Menifee Rd. (South)	GC Collector to Golden City Dr.		X			2 lane	100'	2,650	100%	\$344,500			
R2b	Golden City Parkway	GC Collector to Golden City Dr.		X			2 lane	78'	1,300	100%	\$128,700			
R2c	Golden City Drive	GC Res. loop collector west to east		X			2 lane	44'	700	100%	\$38,500			
Subtotal											\$511,700			
Phase 3	On-Site													
R3a	Menifee Rd. (North)	Chappell property to Baxter Rd.			X		2 Lane	100'	1,700	100%	\$221,000			
R3b	Baxter Rd.	MHSP to Menifee Rd.			X		2 Lane	100'	400	100%	\$52,000			
R3c	Meadowlark Ln.	From Menifee Rd. North			X		2 Lane	66'	1,200	100%	\$94,800			
Subtotal											\$367,800			
Phase 4	On-Site													
R4a	Menifee Rd.	Northeast of Baxter Rd.				X	2 Lane	100'	600	100%	\$78,000			
R4b	Baxter Rd.	From Menifee Rd. Southeast				X	2 Lane	100'	700	100%	\$91,000			
Subtotal											\$169,000			
On-site Total											\$1,499,200			
Phase 3	Additional Off-Site													
RR3a	Menifee Rd.	Thru Chappell Property		X			2 Lane	100'	1400	100%	\$182,000			
RR3b	Baxter Rd.	Keller Rd. to GCSP		X			2 Lane	100'	1100	100%	\$143,000			
RR3c	Baxter Rd.	Existing Antelope Rd. to Keller Rd.		X			2 Lane	100'	3400	100%	\$249,000			
Subtotal											\$574,000			
Phase 4	NMTM Off-Site													
RR4a***	Antelope Rd.	Golden City Dr. to Clinton Keith				X	4 Lane	100'	7000	100%	\$1,720,000			
RR4b***	Antelope Rd.	Golden City Dr. to Baxter				X	4 Lane	100'	1400	100%	\$338,000			
Subtotal											\$2,058,000			
Off-site Total											\$2,632,000			
On & Off-site Totals											\$4,131,200			

Additional Off-Site qualifies for reimbursement.

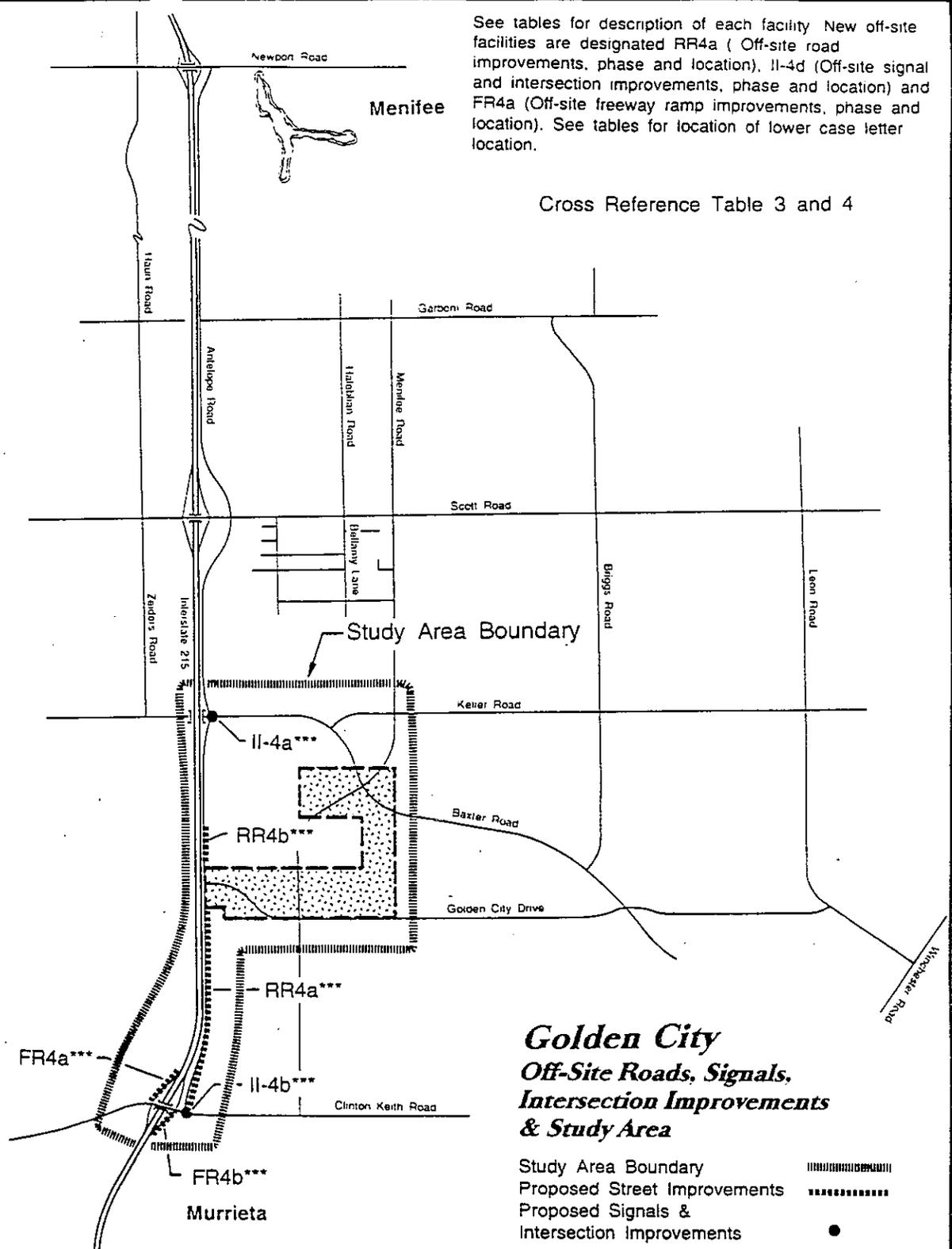
*** North Murrieta Traffic Model for Regional Improvements.

**** To be determined at the time of submittal of final development plans.

The infrastructure improvements shall be constructed on a phased basis as shown on the tables and figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murrieta.

See tables for description of each facility. New off-site facilities are designated RR4a (Off-site road improvements, phase and location), II-4d (Off-site signal and intersection improvements, phase and location) and FR4a (Off-site freeway ramp improvements, phase and location). See tables for location of lower case letter location.

Cross Reference Table 3 and 4



**Golden City
Off-Site Roads, Signals,
Intersection Improvements
& Study Area**

Study Area Boundary
Proposed Street Improvements
Proposed Signals &
Intersection Improvements

*** Offsite Improvements from the North Murrieta Traffic Model

The infrastructure improvements shall be constructed on a phased basis as shown on the Tables and Figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murrieta General Plan.

The proposed offsite improvements will focus on the Antelope Road north-south corridor, and the Clinton Keith, Menifee and Baxter corridors and associated intersections along with the off ramp enhancements at Clinton Keith Road and I-215 to provide a comprehensive mitigation program to mitigate all offsite project traffic impacts.

Additional offsite improvements are needed to provide primary and secondary access and may exceed GOLDEN CITY'S fair share of the traffic impact and as such may be eligible for reimbursement, these include Baxter from Antelope to the GOLDEN CITY boundary and Menifee through the Chappell property.

The phasing of these improvements will be validated by the project traffic study.

The Baxter(Keller)/I-215 interchange and the Linnel overcrossing are not within the planning horizon of the NMTM at year 2005 and are not included in this analysis.

The traffic studies and mitigation monitoring plans will assess the phased compliance of the offsite improvements and require PFFP amendments if necessary.

4. Financing and Operation

- a. The proposed PFFP improvements shall either be privately DEVELOPER financed or alternatively the circulation elements identified in the PFFP may be funded all or in part by the use of an AD, CFD, IFD with any credits or reimbursements funded by means of any proposed RBBD or TUMF fee programs.

In order to augment the conditions of approval for each land use entitlement and to secure the completion of the proposed PFFP offsite improvements an internal fee shall be imposed upon issuance of the certificates of occupancy for all residential, commercial and industrial development. This fee shall be calculated by the traffic engineer by dividing the total cost of the PFFP circulation improvements by the total number of the Average Daily Trips for the GOLDEN CITY Specific Plans. These fees shall be deposited with the City of Murrieta in a sole and separate interest bearing trust account held specifically for the purpose of constructing the GOLDEN CITY PFFP circulation improvements. All interest income earned by the trust fund shall accrue to the trust fund and shall increase the balance of the funds in the account available to the DEVELOPER/BUILDER to construct of the PFFP improvements. These fees shall be released to the DEVELOPER/BUILDER for the purpose of constructing any required component of the PFFP circulation system

upon receipt of approved improvement plans and permits, separate payment of inspection fees and a signed construction contract. The DEVELOPER/BUILDER shall be responsible for securing all appropriate material and labor lien releases upon payment to the prime contractor. The City of Murrieta shall make all best efforts to obtain any and all eligible Federal, State, Regional or County transportation grant or program funds available for these improvements. The financing of all or any of the offsite PFFP circulation improvements through means of a AD, CFD or IFD or the acquisition of any eligible Federal, State, Regional or County transportation grant monies or the inclusion of any of the offsite PFFP improvements in any other Road and Bridge and/or TUMF districts by any jurisdiction including the City of Murrieta may reduce the cost and the corresponding fee payable by the GOLDEN CITY Specific Plan. Additionally, as the project proceeds through buildout the required fee shall be reviewed annually to assess the accuracy of the fee as improvement designs and construction costs are finalized. This fee program is merely an adjunct to the conditions of approval for the PFFP improvements and does not release the BUILDER from any responsibility to construct the onsite infrastructure improvements for the individual lots to obtain occupancy. The adequacy of the program will be tested at each step by the Mitigation Monitoring Plan for each tract and parcel map, plot plan and conditional/public use permit.

Should credits or reimbursements be requested by the DEVELOPER, the City shall determine the merit of the credit or reimbursement request. If a credit or reimbursement is merited the City shall determine how the credit or reimbursement will be handled, pursuant to the Subdivision Map Act.

The DEVELOPER shall agree to a Road and Bridge District, if established by the City, to finance future regional bridge and related drainage improvements at or along I-215 and between Scott Road and Clinton Keith Road. The City shall not be required to form a Road and Bridge District, but if formed, the City shall be the sole judge as to what will be included in the Road and Bridge District and the purpose of the District.

Should the City of Murrieta not proceed forward to form a Road and Bridge District, the DEVELOPER shall provide the professional services necessary to identify the cost of improvements as approved by the City of Murrieta Public Works Director, identify all costs of formation of the Road and Bridge District, including the Environmental Impact Report, (if required) and an allocation of the costs to the various properties within the proposed District. This information to be subject to the approval of the Director of Public Works. Any costs that are incurred by the DEVELOPER

Golden City Ltd.

PFFP March 31, 1998

in developing this information shall, subject to the approval of the City Council, become a cost in the calculating of future reimbursements and credits available to the developer.

- b. The cost of maintenance of the circulation system will range from \$ 15,000 in year 1 to \$ 250,000 in year 15 at build out. This cost will be funded by various incremental motor vehicle license fees that are returned to the city by the State of California.

Golden City Ltd.

PFFP March 31, 1998

C. DRAINAGE

1. Inventory

The only existing upstream drainage facilities occur at the watershed natural swale crossings of the I-215 freeway and proceeding easterly under Antelope Road discharging ultimately onto the GOLDEN CITY project typically in a sheet flow manner.

No downstream facilities exist. The drainage is in an eastward direction.

The drainage areas are defined on Figure 30. The GOLDEN CITY project generally flows eastward ultimately into the Santa Margarita Basin.

2. Performance Standards

a. Streets

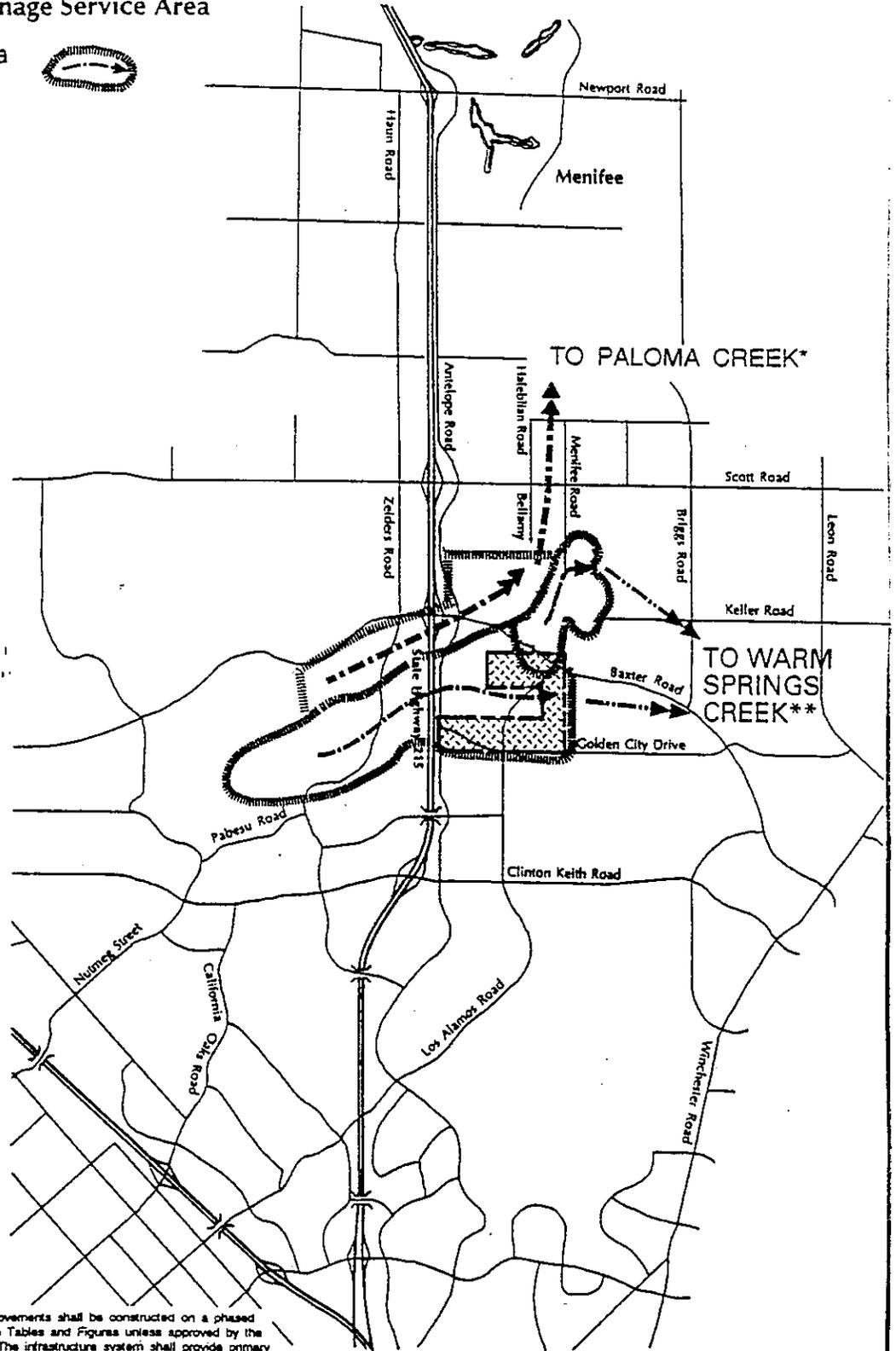
All streets shall be allowed to convey the 10 year storm flows within the street and curb section with the 100 year storm conveyed within the right-of-way section. Should the storm flows exceed this capacity a separate storm drain system shall be constructed either as an open channel or a closed conduit.

b. Channels and Conduits

All channels and conduits shall be designed to convey the 100 year storm with adequate discharge protection.

Golden City Off-Site Drainage Service Area

Service Area
Boundary



The infrastructure improvements shall be constructed on a phased basis as shown on the Tables and Figures unless approved by the City of Mureta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Mureta General Plan.

- * Santa Ana River Watershed
- ** Santa Margarita River Watershed

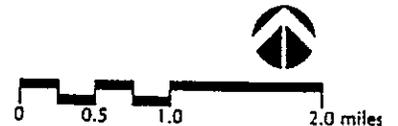


FIGURE 30

c. Detention Basins

GOLDEN CITY overlay two drainage areas each served by a series of detention basins. The design philosophy behind the drainage system improvements is to provide the detention capacity required to limit the post development discharge flow quantities to be no greater than the existing natural discharge quantities for the 1, 3, 6 and 24 hour duration events for the 2, 5, 10 and 100 year frequency storms. The post development discharge levels will be reduced to below existing natural levels, thus affording those downstream residents even greater drainage protection.

The basins are designed to fill gradually to shallow depths, with low velocities and to discharge over a period of hours. The physical design is that of a wide, shallow grass lined basin with fencing and/or inlet and outlet protection based on Department of Public Works and Community Service District design standards. Furthermore, the basins are not designed to rely on percolation or evaporation as the source of discharge. Geotechnical reports will be prepared to provide design parameters to prevent the percolation intrusion into adjacent residential properties. Low flow or nuisance drainage shall be retained within the basin with appropriate landscaping materials and design to best utilize this runoff. All appropriate National Pollution Discharge Elimination System (NPDES) requirements shall be accommodated in the design of the detention basins. The detention basins shall be constructed and operational prior to the certificate of occupancy of the first the unit of that phase. Stream flows from outlets will not exceed 20 c.f.s.

d. Sedimentation

All provisions of NPDES will be implemented during construction and compliance will be attained with the City of Murrieta's Municipal Permit through the appropriate Best Management Practices (BMP). The DEVELOPERS and BUILDERS will provide all required documentation and evidence of construction permit compliance by October 1 of each year.

3. Phasing

The proposed onsite drainage improvements are outlined in Figure 31 and Table 5. These facilities are to be constructed on phased basis planned around the concept of the DEVELOPER providing the detention facilities during the course of each individual phase in order to mitigate the drainage impacts in a coordinated manner.

There are no offsite drainage facilities anticipated.

The details of the design of the PFFP drainage facilities will be provided with initial subdivision submittals and to be constructed concurrently with the initial grading of each respective phase.

4. Financing and Operation

- a. The proposed PFFP improvements will either be privately DEVELOPER financed or alternatively funded all or in part by a City Of Murrieta AD, CFD or IFD.

The DEVELOPER shall pay drainage fees adopted or in effect at the time of issuance of building permits.

The Warm Springs watershed is a component of the extreme upper reach of the Murrieta Creek Master Area Drainage Plan. The current drainage fees are based on the 1986 master plan updated for the costs anticipated by the master plan as submitted to the Corps of Engineers in 1992. The subsequent Advisory Committee has substantially revised the proposed plan with a greatly reduced cost. Additionally, as a result of the lawsuit challenging certain components of the master plan the entire plan is subject to revision and updated environmental analysis with further revision of the fee structure. The 1986 master plan utilized a rural Category III (0.2 - 0.5 DU/acre) designation for this area.

The operation of the facilities will be either through City of Murrieta maintenance or by the Murrieta CSD with a separate zone of benefit for the facilities.

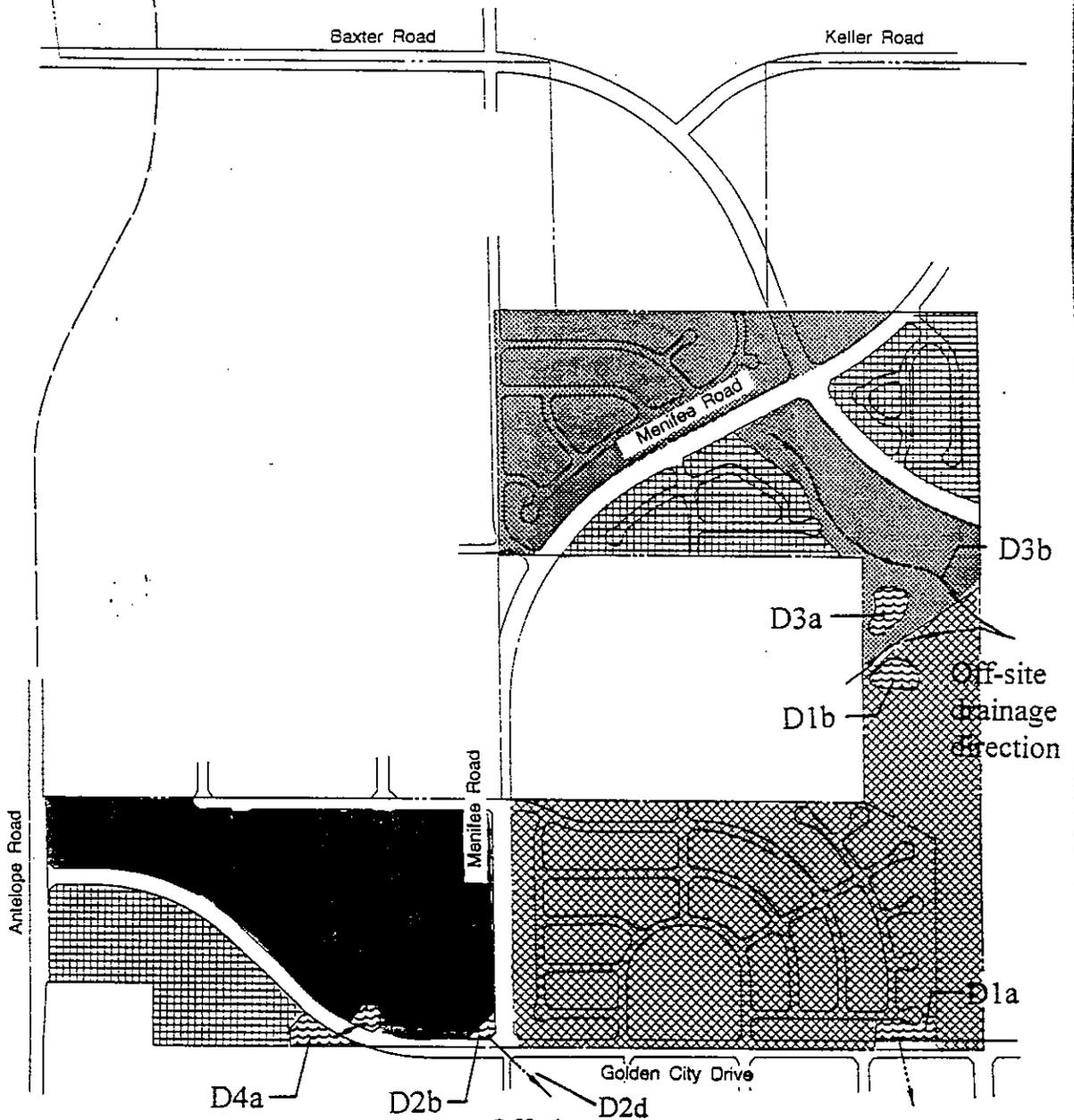
Golden City

On-Site Drainage Improvements

Detention Basins 

Storm Drains 

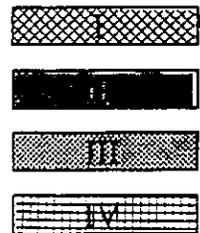
See tables for description of each facility. New on-site facilities are designated D1a (Detention basins or storm drain improvements, phase and location). See tables for location of lower case letter location.



The infrastructure improvements shall be constructed on a phased basis as shown on the Tables and Figures unless approved by the City of Murietta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murietta General Plan.

Off-site drainage direction

Phase



Cross Reference Table 5



TABLE 5
GCSP DRAINAGE
Cross Reference Figure 31

Facility	Description	Location	Phase				Ultimate Size	Type	R.O. Width	L.F. Quantity	GSCP		Reimbursement****	
			1	2	3	4					%	Est. Cost	%	Est. Cost
Phase 1	On-Site													
D1a	Detention Basin	GC Drive East	X				DB		6,500 CY	100%	\$32,500			
D1b	Detention Basin	Nature Park South	X				DB		8,100 CY	100%	\$40,500			
Subtotal											\$73,000			
Phase 2	On-Site													
D2a	Detention Basin	GC Drive and GC Pky		X			DB		5,700 CY	100%	\$28,500			
D2b	Detention Basin	GC Drive and Menifee Rd.		X			DB		5,700 CY	100%	\$28,500			
D2c	RCP 24"	Drains to D2b		X			RCP		1,000	100%	\$60,000			
D2d	RCP 24"	D2b to Rocky Glen Pl.		X			RCP		800	100%	\$48,000			
Subtotal											\$165,000			
Phase 3	On-Site													
D3a	Detention Basin	Nature Park North			X		DB		9,000 CY	100%	\$45,000			
D3b	Storm Drain	Collects surface flows to D3a			X		RCP		1,800	100%	\$108,000			
Subtotal											\$153,000			
Phase 4	On-Site													
D4a	Detention Basin	Golden City Dr. West				X	DB		5,700 CY	100%	\$28,500			
Subtotal											\$28,500			
On-site Total											\$419,500			

**** To be determined at the time of submittal of final development plans.

The infrastructure improvements shall be constructed on a phased basis as shown on the tables and figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murrieta.

D. SCHOOLS

1. Performance Standards

GOLDEN CITY could generate the estimated student yield rates at build out:

692 DU x 0.54 = 374 K-5 Grade

692 DU x 0.16 = 111 6-8 Grade

692 DU x 0.18 = 125 9-12 Grade

2. Inventory

GOLDEN CITY is currently served by the Menifee Union Elementary District and Perris Union High School. The project site is currently served by the Menifee Elementary School and the Menifee Valley Middle School, and a new Perris Union High School on Bradley Road north of the project area.

3. Phasing

The GOLDEN CITY project is offering a designated 12.5 gross acre (10 net acre) school site for the future construction of an elementary school. The sites shown on Figure 11 and in Table 6.

The site will be designated to the appropriate school district upon recordation of the GOLDEN CITY financing map. Subject to negotiation of a school mitigation agreement with the school district or districts, the site shall be sold.

This elementary site is served by a circulation link in Phase III and as such will be available to the district to construct an elementary school. This roadway will provide all utilities need for the construction of the school at any time during or after Phase III.

The students generated by the project will be accommodated at existing school facilities until such time as the district proceeds to construct the onsite facility.

No offsite facilities are anticipated.

4. School Mitigation Agreement

The DEVELOPER will comply with all applicable General Plan policies regarding school mitigation. A letter or school mitigation agreement from the Menifee Union School District signed by the districts and the DEVELOPER indicating agreement between the DEVELOPER and the school districts regarding adequate school mitigation shall be in compliance with the City of Murrieta General Plan prior to or concurrently with the submittal of the first tentative subdivision map for development of the property.

TABLE 6
GCSP CIVIC USES
Cross Reference Figure 11

Facility	Description	Location	Phase				Ultimate Size	Type	R.O.W. Width	L.F. Quantity	GSCP		Reimbursement****	
			1	2	3	4					%	Est. Cost	%	Est. Cost
Phase 1	On-Site													
C1a	Fire Station Site	S. of GC Drive & E. of GC Collector	X				1.5 Net Ac.	Site		100%	\$195,000	65%	\$126,750	
Subtotal											\$195,000		\$126,750	
Phase 3	On-Site													
C3a	Elementary School Site	N. of Menifee & Meadowlark			X		10 Net Ac.	Site		100%	\$1,300,000			
C3b	Fire Station Facilities	S. of GC Drive & E. of GC Collector			X			Fac. & Bldg.		100%	\$760,000	65%	\$494,000	
Subtotal											\$2,060,000		\$494,000	
On-site Total											\$2,255,000		\$620,750	

**** To be determined at the time of submittal of final development plans.

The infrastructure improvements shall be constructed on a phased basis as shown on the tables and figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murrieta.

E. FIRE PROTECTION

1. Inventory

The project area is currently served by the California Department of Forestry (CDF) Station 83 at French Valley Airport and Station 68 near the intersection of Garboni and Murrieta Roads, although the project areas are not within 5 minute response capability. Murrieta Fire District (MFD) will provide service upon annexation to the City of Murrieta. MFD has 3 existing stations serving the City of Murrieta as shown on Figure 32 with responses times from MFD Station 2 and CDF Station 68 as shown on the Memorandums of 2/22/96 and 5/15/96 Appendix B from the MFD Fire Chief Allen.

2. Performance Standards

a. Fire Flow

The project area will be provided with full fire flow hydrant capability through the EMWD water system to meet Schedule A residential and Schedule E commercial and industrial standards as defined in Subdivision Ordinance 460 and outlined in the EMWD Plan of Service Appendix C, as deemed necessary by the MFD Fire Chief.

These water system improvements will be required to be in place and operational prior to placement of any combustible materials on any construction site.

b. Access

Primary and secondary access will be required for all project areas that exceed maximum residential cul-de-sac or maximum commercial/industrial driveway length designed to meet appropriate subdivision standards.

c. Response

All residential, commercial and industrial units will be within a 5 minute response time of the closest Fire Station or additional mitigation measures may be proposed.

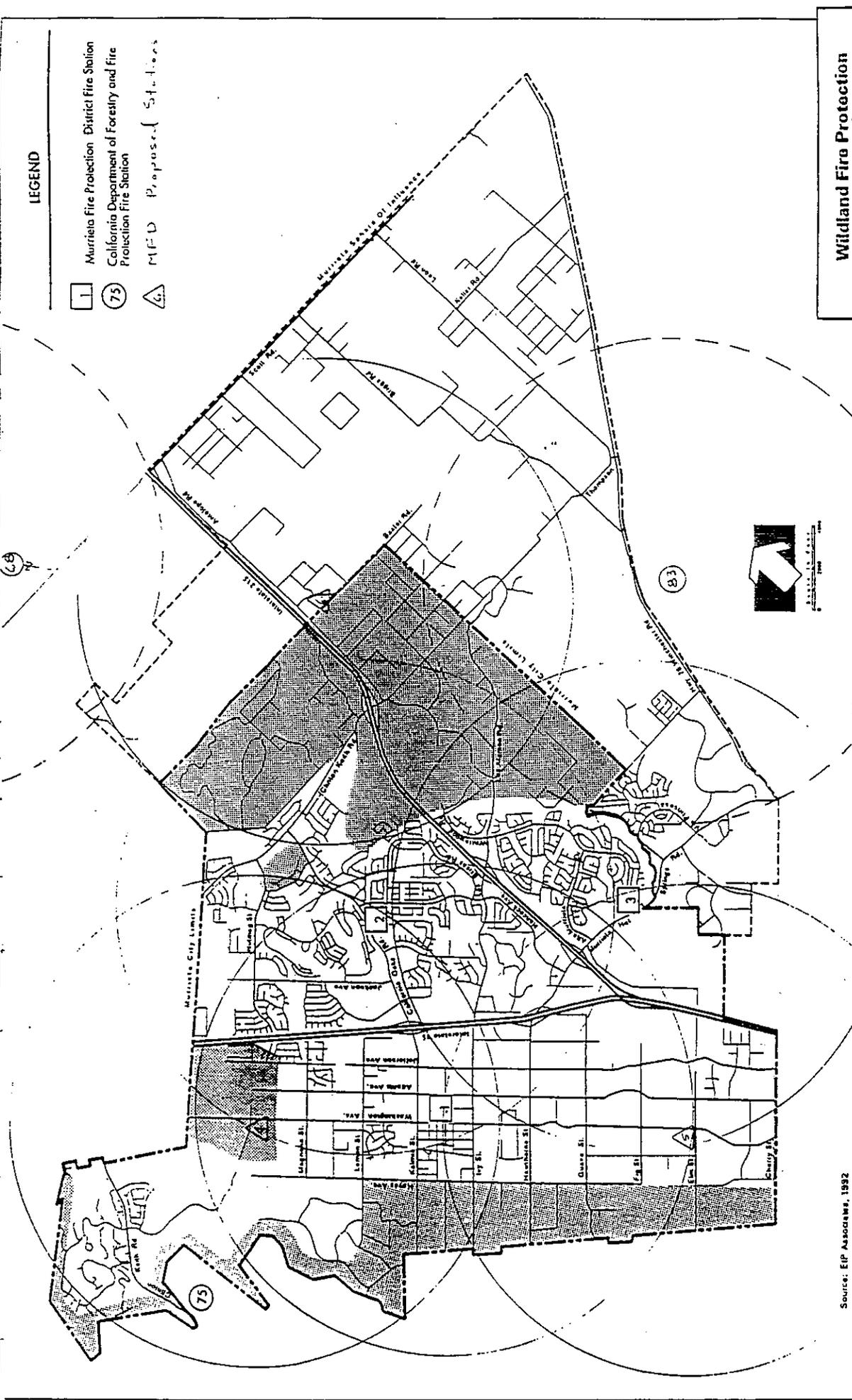
3. Phasing

a. Water system

The offsite and onsite backbone water distribution system is to be constructed in Phase 1 and will provide fire flow capability to the entirety of the GOLDEN CITY project area on a phased basis as required.

b. Access

Primary and secondary access will be provided on a phased basis to each planning area within the project area.



LEGEND

- Murrieta Fire Protection District Fire Station
- 75 California Department of Forestry and Fire Protection Fire Station
- △ 6 MFD Proposed Stations

Wildland Fire Protection Agreement Areas

FIGURE 32

Source: EIP Associates, 1992

S-19

c. Response

The DEVELOPER shall acquire a 1 acre fire station site in the GOLDEN CITY project or within the immediate area (.25 miles), and the DEVELOPER shall construct, equip and pay for the operation and maintenance of a fire station to the satisfaction of the Fire Chief. The fire station site shall be acquired and conveyed to the Fire District prior to the issuance of the 400th building permit within the GOLDEN CITY Specific Plan and surrounding projects and the fire station shall be operational prior to the issuance of the 500th building permit to be served by the station to the satisfaction of the Fire Chief. Should any of the other specific plans in the North Murrieta area proceed forward with development prior to GOLDEN CITY the thresholds discussed previously shall remain in effect for the entire response area of Station 6 and the fair share responsibility shall be established by the Fire Chief. The location is depicted on Figure 11 and in Table 6.

Additionally, the existing Automatic Aide Agreement and the Wildland Protection Agreement between MFD and CDF will need to be modified to include these areas until such time as Station 6 is operational.

4. Financing and Operation

- a. The Station 6 site shall be provided by the DEVELOPER within the proposed GOLDEN CITY Specific Plan project area along the Golden City Parkway corridor at a location acceptable to the Fire Chief. The purchase of the site shall be a credit to any fire mitigation fees required to be paid by the GOLDEN CITY Specific Plan, based upon fair market appraised value. Equipment will be supplied to provide an operational facility. The proposed improvements will either be privately DEVELOPER financed or alternatively funded all or in part as a component of a larger City of Murrieta CFD for the project area. Any costs in excess of statutory requirements will qualify as a reimbursement from future fire mitigation fees paid in the study area.

The project will pay fire mitigation fees of \$400 per dwelling unit and \$.25 per square foot for commercial/industrial buildings or approximately \$461,000 in mitigation fees.

- b. The operational funding of Station 6 ultimately will come from a combination of the Standby and Fire Suppression Fixed Unit yearly charges and Structural Fire Tax.

Any interim funding shortfalls will be augmented by inclusion of an interim Special tax within the CFD or as a special assessment within the CSD structure until such time as tax revenues are adequate to meet the operational requirements. Additionally, any interim funding requirements for Wildland Fire Protection agreement coverage will be funded by means of the CFD or CSD parcel charges.

The MFD shall also make all best efforts to expand the existing volunteer program to augment any interim funding shortfalls as a last option.

The MFD may apply any excess revenues from the other sources outlined in the MFD memo of 5/15/96 to address the interim funding needs of Station 6, if excess revenues become available.

F. SEWER COLLECTION SYSTEM

1. Performance Standards

The sewage collection and treatment system will be provided by EMWD. GOLDEN CITY sewer requirements have been evaluated by Eastern Municipal Water District (EMWD). A summary of this evaluation, GOLDEN CITY and GOLDEN CITY Independent Plan of Water and Sewer Service of 5/14/96 with amendments dated 5/23/96 and 6/24/96 has been included in the Appendix C. The system will be designed in accord with the EMWD Plan of Service. All residential, commercial and industrial systems will be designed in compliance with the appropriate Regional Water Quality Discharge Permits for the Sun City and Perris treatment facilities.

2. Inventory

The only sewer facility in close proximity is an existing 10" sewer line in Bellamy Road approximately 5,000 feet to the north in the J-Bar subdivision. This is the only facility available to serve the project area.

3. Phasing

- a. A system of two offsite gravity sewer trunk lines and a force main will provide the means of conveyance to the Sun City/Perris Treatment Plants. The sewer collection system is also designed to meet EMWD master plan requirements for the area, including the Murrieta Hills project.

This system is shown on Figure 33 and in Table 7.

- b. The onsite sewer system branches off to provide service to each phase with a series of gravity flow lines to be constructed concurrently with the phased circulation improvements. The onsite sewer system is depicted on Figure 33 and in Table 7.

4. Financing and Operation

- a. The proposed PFFP improvements will be DEVELOPER privately financed or alternatively may be funded all or in part by an EMWD AD or as a component of a larger City of Murrieta CFD.

Owing to the oversizing of these facilities EMWD may participate in the funding, financing and design of these improvements, subject to final negotiations between the DEVELOPERS and EMWD. Any oversized facilities constructed by the DEVELOPER and not funded by EMWD will be the subject of reimbursement by future service connections.

- b. The system will be maintained by EMWD utilizing monthly service charges as a revenue source.

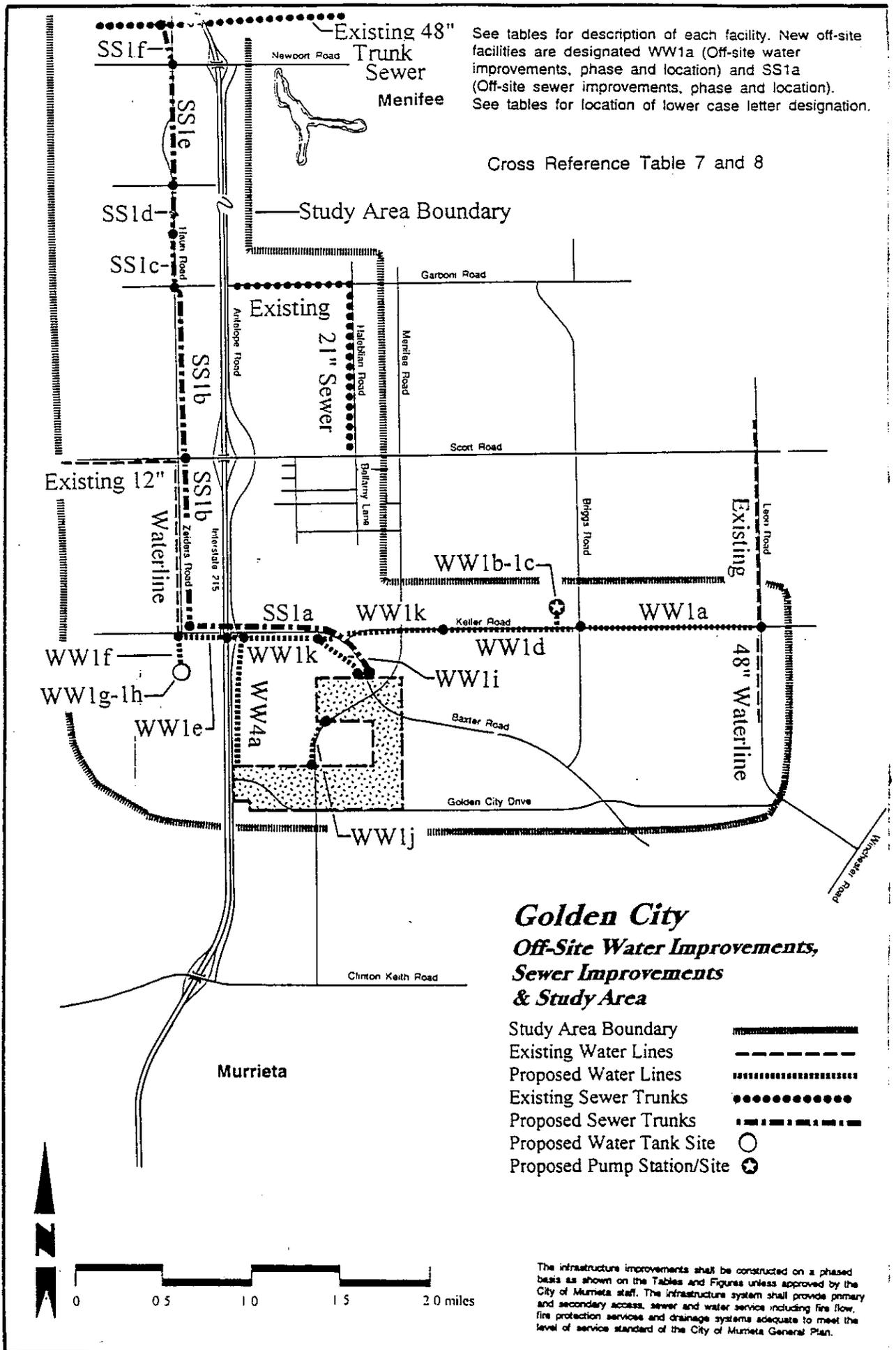


FIGURE 22

**TABLE 7
GCSP SEWER
Cross Reference Figure 33 and 34**

Facility	Description	Location	Phase				Ultimate Size	Type	R.O.W. Width	L.F. Quantity	GSCP		Reimbursement****	
			1	2	3	4					%	Est. Cost	%	Est. Cost
Phase 1	On-Site													
S1a*	Lift Station	Low point in Nature Park	X				500 GPM	LS	1	100%	\$250,000	61%	\$152,500	
S1b*	Force Main	Lift Station to MHSP	X				6"	FM	2,000	100%	\$200,000	61%	\$122,000	
S1c	Gravity Sewer	Res. Loop Collector to Lift Station	X				10"	VCP	2,500	100%	\$125,000			
S1d	Gravity Sewer	Res. Loop Collector	X				8"	VCP	1,000	100%	\$40,000			
Subtotal											\$615,000		\$274,500	
Phase 2	On-Site													
S2a	Gravity Sewer	Golden City Dr.		X			8"	VCP	3,500	100%	\$140,000			
Phase 3	On-Site													
S3a	Gravity Sewer	Menifee to Baxter to Lift Station				X	10"	VCP	2,400	100%	\$120,000			
On-site Total											\$875,000		\$274,500	
Phase 1	Off-Site													
SS1a**	Baxter Rd. Force Main	GCSP to Zelders Rd.	X				6"	FM	5,500	100%	\$550,000	61%	\$335,500	
SS1b**	Zelders/Haun Trunk Line	Existing Keller to Garboni Rd.	X				12"	VCP	8,000	100%	\$440,000	61%	\$268,400	
SS1c**	Haun Rd. Trunk Line	1200' N. of Garboni Rd.	X				15"	VCP	2,500	100%	\$167,500	61%	\$102,175	
SS1d**	Haun Rd. Trunk Line	To Holland	X				18"	VCP	1,200	100%	\$90,000	61%	\$54,900	
SS1e**	Haun Rd. Trunk Line	Holland to Sall Creek	X				18"	VCP	7,400	100%	\$555,000	61%	\$338,550	
Phase 1 & Off-site Total											\$1,802,500		\$1,099,525	
On & Off-site Total											\$2,677,500		\$1,374,025	

* Lift Station/Force Main sizes to be approved by EMWD.

**All Water Transmission and Sewer Trunk facilities subject to EMWD reimbursement.

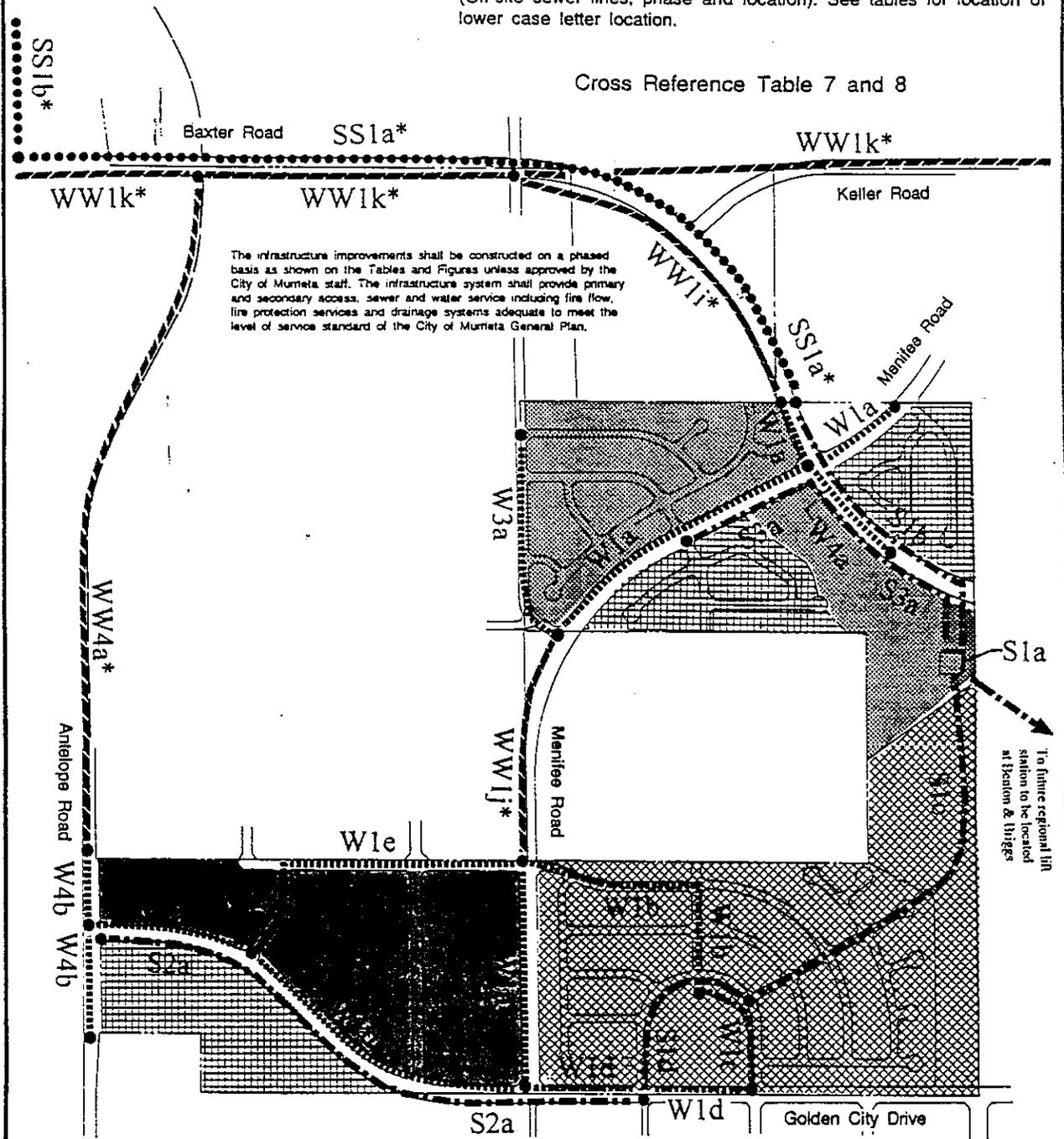
**** To be determined at the time of submittal of final development plans.

The infrastructure improvements shall be constructed on a phased basis as shown on the tables and figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murrieta.

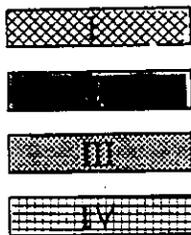
Golden City

See tables for description of each facility. New on-site facilities are designated W1a (On-site water lines, phase and location), S1a (On-site sewer lines, phase and location). New off-site facilities are designated WW1a (Off-site water lines, phase and location), SS1a (Off-site sewer lines, phase and location). See tables for location of lower case letter location.

Cross Reference Table 7 and 8



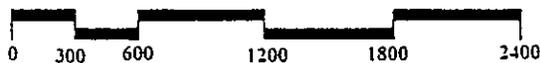
Phase



On-Site Water Improvements & Sewer Improvement

- On-Site Water Lines
- Off-Site Water Lines
- On-Site Sewer Lines
- Off-Site Sewer Lines
- Sewer Force Mains

Off-Site Improvements *



G. WATER DISTRIBUTION SYSTEM

1. Performance Standards

These projects will be supplied water service by Eastern Municipal Water District (EMWD). GOLDEN CITY water requirements have been evaluated by Eastern Municipal Water District (EMWD). A summary of this evaluation, GOLDEN CITY and MURRIETA HIGHLANDS Independent Plan of Water and Sewer Service of 5/14/96 with amendments dated 5/23/96 and 6/24/96 has been included in the Appendix C. The system will be designed in accord with the EMWD Plan of Service. The system is designed to comply with the EMWD Plan of Service which sets forth the domestic and fire flow requirements. Additionally, the fire flow standards, as required by the Murrieta Fire District will be satisfied.

2. Inventory

The only EMWD water line in close proximity is a 12" water line at the intersection of Keller and Zeider Roads which does not have the capability to serve GOLDEN CITY. The closest water line with the capability to serve the project area is the 48" water line in Leon Road, approximately 10,000 feet to the east along the Keller Road alignment.

3. Phasing

- a. The proposed offsite water supply system consists of a pump station, 30" and 24" transmission mains from Leon Road to a 4.2 million gallon storage tank west of the I-215 freeway in the Murrieta Hills project. This system will provide for all domestic water consumption needs and full residential, commercial and industrial fire flow requirements. The system is designed in accord with EMWD's Plan of Service). This system is designed to accommodate the EMWD master plan (1750 elevation zone) service area, with the exception of the storage tank. The storage tank is sized to only provide service to GOLDEN CITY and is envisioned to be an initial phase of a series of tanks at that site. Alternatively, a larger tank may be constructed with these projects contributing their fair share. This system is shown on Figure 33 and Table 8.
- b. The onsite water distribution system will branch off from the 24" transmission main in Keller Road to provide service to all phases of both projects. The water distribution system is depicted in Figure 34 and Table 8 to be constructed on a phased basis consistent with the circulation element roadways.

4. Financing and Operation

- a. The proposed PFFP improvements will be DEVELOPER and BUILDER privately financed or alternatively may be funded all or in part by an EMWD AD or as a component of a larger City Of Murrieta CFD.

Owing to the oversizing of these facilities EMWD may participate in the funding, financing and/or design of these improvements, subject to final negotiations between the DEVELOPERS and EMWD. Any oversized facilities constructed by

the DEVELOPER and not funded by EMWD will be the subject of reimbursement by future service connections.

- b. The system will be maintained by EMWD utilizing monthly service charges as a revenue source.

**TABLE 8
GCSP WATER
Cross Reference Figure 33 and 34**

Facility	Description	Location	Phase				Ultimate Size	Type	R.O.W. Width	L.F. Quantity	GSCP Total		Reimbursement****	
			1	2	3	4					%	Est. Cost	%	Est. Cost
Phase 1	On-Site													
W1a**	Transmission Line	Baxter Rd. from MHSP to Menifee	X				CMP		450	100%	\$22,500	75%	\$16,875	
		Menifee from Baxter to Chappell	X				CMP		1,800	100%	\$90,000	75%	\$67,500	
		Menifee from Chappell to Golden City Dr.	X				CMP		1,350	100%	\$67,500	75%	\$50,625	
W1b	Distribution Line	GC Collector E. of Menifee Rd.	X				CMP		1,500	100%	\$60,000			
W1c	Distribution Line	GC Residential Loop Collector	X				CMP		900	100%	\$36,000			
W1d**	Transmission Line	Golden City Dr. from Antelope to Loop	X				CMP		4,200	100%	\$210,000	75%	\$157,500	
W1e	Distribution Line	GC Collector W. of Menifee Rd.	X				CMP		2,000	100%	\$80,000			
Subtotal											\$566,000		\$292,500	
Phase 3	On-Site													
W3a	Distribution Line	Meadowlark from Menifee North		X			CMP		1,200	100%	\$48,000			
Phase 4	On-Site													
W4a	Distribution Line	Baxter Rd. S. of Menifee Rd.				X	CMP		700	100%	\$28,000			
W4b**	Transmission Line	Antelope Rd. thru GCSP				X	CMP		900	100%	\$66,600	75%	\$49,950	
Subtotal											\$94,600		\$49,950	
On-Site Total											\$708,600		\$342,450	
Phase 1	Off-Site													
WW1a**	Keller Rd. Transmission Line	Between Leon & Briggs Rd.	X				CMP		5,280	100%	\$380,160	75%	\$285,120	
WW1b**	Pump Station Site	Briggs and Keller Rd.	X				Site		1	100%	\$55,000	75%	\$41,250	
WW1c**	Pump Station	Briggs and Keller Rd.	X				Facility		1	100%	\$430,000	75%	\$322,500	
WW1d**	Keller Rd. Transmission Line	Briggs to MHSP	X				CMP		4,000	100%	\$200,000	75%	\$150,000	
WW1e**	Baxter Rd. Transmission Line	I-215 to Zeiders Rd.	X				CMP		1,300	100%	\$65,000	75%	\$48,750	
WW1f**	Transmission Line	Zeiders to Tank Site	X				CMP		4,000	100%	\$200,000	75%	\$150,000	
WW1g**	Water Tank Site	Murrieta Hills	X				Site		1	100%	\$50,000	75%	\$37,500	
WW1h**	Water Tank	Murrieta Hills	X				Facility		1	100%	\$1,250,000	30%	\$375,000	
WW1i**	Transmission Line	Baxter Rd. from Keller to GCSP	X				CMP		2,200	100%	\$110,000	75%	\$82,500	
WW1j**	Transmission Line	Menifee Rd. thru Chappell Property	X				CMP		1,400	100%	\$70,000	75%	\$52,500	
WW1k**	Transmission Line	Existing Keller Rd. thru MHSP	X				CMP		6,300	100%	\$315,000	75%	\$236,250	
Subtotal											\$3,125,160		\$1,781,370	
Phase 4	Off-Site													
WW4a**	Transmission Line	Antelope Rd. from GCSP to Baxter Rd.				X	CMP		3,400	100%	\$244,800	75%	\$183,600	
Off-Site Total											\$3,369,960		\$1,964,970	
On and Off-Site Totals											\$4,078,560		\$2,307,420	

** All Water Transmission and Sewer Trunk facilities subject to EMWD reimbursement.

**** To be determined at the time of submittal of final development plans.

The infrastructure improvements shall be constructed on a phased basis as shown on the tables and figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murrieta.

V. FINANCING

Construction of the majority of public capital improvements is proposed to be financed by a variety of financing methods.

These financing methods include but are not limited to:

- DEVELOPER secured private financing.
- The formation of a Community Facilities District (CFD), with the City of Murrieta acting as lead agency, to construct parks, trails and open space facilities, circulation element and specific plan collector roadways and signals, trunk storm drain facilities, detention basins, fire protection facilities, potential school sites, trunk sewer facilities and transmission water facilities.
- The formation of an Infrastructure Financing District (IFD), with the City of Murrieta acting as lead agency, to construct parks, trails and open space facilities, circulation element and specific plan collector roadways and signals, trunk storm drain facilities, detention basins, fire protection facilities, potential school sites, trunk sewer facilities and transmission water facilities.
- The formation of a Special Assessment District (AD), with the City of Murrieta acting as lead agency, to construct circulation element and specific plan roadways and signals, trunk storm drain facilities, detention basins, trunk sewer facilities and transmission water facilities.
- The expansion of the existing RBBB fee program by the City of Murrieta to include the Sphere of Influence area in order to mitigate transportation system impacts.
- The enactment of separate RBBB or TUMF fee program by the City of Murrieta for the Sphere of Influence to mitigate transportation system impacts and to establish reimbursement and/or credit capability, should reimbursement or credit be requested by the DEVELOPER.
- The execution of DEVELOPER reimbursement agreements by the City of Murrieta to be applied to public improvements that will benefit other property owners within the City of Murrieta and the Sphere of Influence.
- The execution of DEVELOPER reimbursement agreements by other public agencies to be applied to public improvements that will benefit other property owners within their respective service areas (special districts, public utilities, county, state, etc.)
- The formation of a project specific Special Assessment District (AD), with Eastern Municipal Water District acting as the lead agency, to construct trunk sewer facilities and transmission water facilities.
- The DEVELOPER has stated his intent regarding future assessment district financing as follows: Should a financing mechanism be implemented to finance infrastructure outlined in

the GOLDEN CITY Specific Plan, no property owner will be included without their written authorization.

- The DEVELOPER will fund an annual report on the fiscal impact of the project starting after the first occupancy of dwelling units and/or business development. A consultant selected by the City Manager will prepare the report. The report will include the actual or estimated costs of services and revenues and any capital facility expenditures by the City to serve the project or the surrounding area. The City manager will report the results of this assessment to the City Council on an annual basis (January 2) so that the actual, cumulative costs to the City for services and/or public facilities to serve this project are closely monitored for the first five years of project development.
- The DEVELOPER shall pay all applicable city wide fees in effect at the time of issuance of building permits.

The infrastructure improvements have been itemized by category and by development phase for both the onsite and offsite cases in Tables 9 through 15.

A category summary of the onsite improvements, by phase, has been provided in Table 16 with a category summary of the offsite improvements, by phase, supplied in Table 17.

A phase summary for both onsite and offsite improvements is provided in Table 18 to illustrate the scope of improvement costs for each phase.

The costs shown in Tables 9 through 20 are to be used for comparison purposes only and will require refinement after final development plans are prepared. Where reimbursements are shown in the Tables, the actual amount and percentage of reimbursement will be determined by the Director of Public Works at the time of development.

The phasing approach minimizes the exposure of the public entities issuing any potential bond financing by restricting the bond financing to only essential PFFP improvements only with project and area wide benefit. BUILDER improvements shall not be included in any proposed bond financing and shall be constructed entirely by private financing by the BUILDER.

The GOLDEN CITY PFFP is formatted to be a stand alone document to provide the means to identify the public facilities required to meet all General Plan levels of service for the GOLDEN CITY Specific Plan. The fiscal reality of the infrastructure needs for the GOLDEN CITY project and other major projects in the area, primarily the proposed MURRIETA HILLS Specific Plan and the MURRIETA HIGHLANDS Specific Plan dictate the joint planning, design and financing of the required improvements. This will be accomplished primarily through the master planning efforts of EMWD, to provide sewer and water service to not only these projects, but also to a broader overall service area. These improvements may be financed in part by financing districts that encompass a broader area than one project. Tables 19 and 20 are provided to illustrate the cost savings that can be effected by joint financing and construction of not only sewer and water improvements but also the fire protection facilities and circulation improvements.

The three projects mentioned will continue to endeavor to pursue joint financing alternatives and solutions to best serve the future citizens of Murrieta.

TABLE 9
PHASE 1 GCSP
ON-SITE IMPROVEMENTS

Facility	Description	Location	Phase				Ultimate Size	Type	R.O.W. Width	L.F. Quantity	GSCP Total		Reimbursement****	
			1	2	3	4					%	Est. Cost	%	Est. Cost
(Roads)	On-Site													
R1a	Golden City Dr. (West)	Antelope Rd. to GC Pkwy	X				Secondary	88'	2,000	100%	\$217,000			
R1b	Golden City Dr. (Central)	GC Pkwy to GC Res. loop collector	X				Secondary	44'	1,500	100%	\$82,500			
R1c	Golden City Collector	Golden City Dr. to Triple C Ranch Rd.	X				Collector	78'	600	100%	\$59,400			
R1d	Triple C Ranch Rd.	Golden City Collector to Menifee	X				Collector	39'	1,700	100%	\$91,800			
Subtotal											\$450,700			
(Water)	On-Site													
W1a**	Transmission Line	Baxter Rd. from MHSP to Menifee Menifee from Baxter to Chappell	X				18"		450	100%	\$22,500		75%	\$16,875
W1b	Distribution Line	Menifee from Chappell to GC Drive	X				18"		1,800	100%	\$90,000		75%	\$67,500
W1c	Distribution Line	GC Collector E. of Menifee Rd.	X				12"		1,350	100%	\$67,500		75%	\$50,625
W1d**	Transmission Line	GC Residential Loop Collector	X				12"		900	100%	\$36,000			
W1e	Distribution Line	GC Drive from Antelope to Loop GC Collector W. of Menifee Rd.	X				18"		4,200	100%	\$210,000		75%	\$157,500
Subtotal			X				12"		2,000	100%	\$80,000			
											\$566,000			\$292,500
(Sewer)	On-Site													
S1a*	Lift Station	Low point in Nature Park	X				500 GPM		1	100%	\$250,000		61%	\$152,500
S1b*	Force Main	Lift Station to MHSP	X				6"		2,000	100%	\$200,000		61%	\$122,000
S1c	Gravity Sewer	Res. Loop Collector to Lift Station	X				10"		2,500	100%	\$125,000			
S1d	Gravity Sewer	Res. Loop Collector	X				8"		1,000	100%	\$40,000			
Subtotal			X								\$615,000			\$274,500
(Drains)	On-Site													
D1a	Detention Basin	GC Drive East	X				0.9 Ac.		6,500 CY	100%	\$32,500			
D1b	Detention Basin	Nature Park South	X				0.9 Ac.		8,100 CY	100%	\$40,500			
Subtotal			X								\$73,000			
(Parks)	On-Site													
P1a	Neighborhood Park	South GCSP	X				9 Ac.			100%	\$720,000			
(Open Space)	On-Site													
OS1a	Partially improved	Southeastern GCSP	X				0.9 Ac.			100%	\$40,500			
OS1b	Nature Park	Southeastern GCSP	X				20 Ac.			100%	\$600,000			
Subtotal			X								\$640,500			
(Civic)	On-Site													
C1a	Fire Station Site	S. of GC Drive & E. of GC Collector	X				1.5 Net Ac.			100%	\$195,000		65%	\$126,750
TOTALS											\$3,260,200			\$693,750

* Lift Station/Force Main sizes to be approved by EMWD.
 ** All Water Transmission and Sewer Trunk facilities subject to EMWD reimbursement.
 *** North Murrieta Traffic Model for Regional Improvements.
 **** To be determined at the time of submittal of final development plans.

The infrastructure improvements shall be constructed on a phased basis as shown on the tables and figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage

TABLE 10
 PHASE 1 GCSP
 OFF-SITE IMPROVEMENTS

Facility	Description	Location	Phase				Ultimate Width	Type	R.O.W. Width	L.F. Quantity	GCSP Total		Reimbursement****	
			1	2	3	4					100%	Est. Cost	100%	Est. Cost
(Water)	Off-Site													
WW1a**	Keller Rd. Transmission Line	Between Leon & Briggs Rd.	X				24"	CMP	5,280	100%	\$380,160	75%	\$285,120	
WW1b**	Pump Station Site	Briggs and Keller Rd.	X				1 Ac.	Site	1	100%	\$55,000	75%	\$41,250	
WW1c**	Pump Station	Briggs and Keller Rd.	X				P.S.	Facility	1	100%	\$430,000	75%	\$322,500	
WW1d**	Keller Rd. Transmission Line	Briggs to MHSP	X				18"	CMP	4,000	100%	\$200,000	75%	\$150,000	
WW1e**	Baxter Rd. Transmission Line	I-215 to Zeiders Rd.	X				18"	CMP	1,300	100%	\$65,000	75%	\$48,750	
WW1f**	Transmission Line	Zeiders to Tank Site	X				18"	CMP	4,000	100%	\$200,000	75%	\$150,000	
WW1g**	Water Tank Site	Murrieta Hills	X				1 Ac.	Site	1	100%	\$50,000	75%	\$37,500	
WW1h**	Water Tank	Murrieta Hills	X				2.5 MG	Facility	1	100%	\$1,250,000	30%	\$375,000	
WW1j**	Transmission Line	Menifee Rd. from Keller to GCSP	X				18"	CMP	2,200	100%	\$110,000	75%	\$82,500	
WW1k**	Transmission Line	Menifee Rd. thru Chappel Property	X				18"	CMP	1,400	100%	\$70,000	75%	\$52,500	
Subtotal	Transmission Line	Existing Keller Rd. thru MHSP	X				18"	CMP	6,300	100%	\$315,000	75%	\$236,250	
											\$3,125,160		\$1,781,370	
(Sewer)	Off-Site													
SS1a**	Baxter Rd. Force Main	GCSP to Zeiders Rd.	X				6"	FM	5,500	100%	\$550,000	61%	\$335,500	
SS1b**	Zeiders/Haun Trunk Line	MHSP to Scott Rd.	X				12"	VCP	8,000	100%	\$440,000	61%	\$268,400	
SS1c**	Haun Rd. Trunk Line	1200' N. of Garboni Rd.	X				15"	VCP	2,500	100%	\$167,500	61%	\$102,175	
SS1d**	Haun Rd. Trunk Line	To Holland	X				18"	VCP	1,200	100%	\$90,000	61%	\$54,900	
SS1e**	Haun Rd. Trunk Line	Holland to Salt Creek	X				18"	VCP	7,400	100%	\$555,000	61%	\$338,550	
Subtotal											\$1,802,500		\$1,099,525	
Off-Site Total											\$4,927,660		\$2,880,895	
On & Off-Site Totals											\$8,187,860		\$3,574,645	

* Lift Station/Force Main sizes to be approved by EMWD.

** All Water Transmission and Sewer Trunk facilities subject to EMWD reimbursement.

*** North Murrieta Traffic Model for Regional Improvements.

**** To be determined at the time of submittal of final development plans.

The infrastructure improvements shall be constructed on a phased basis as shown on the tables and figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murrieta.

TABLE 11
PHASE 2 GCSP
ON-SITE IMPROVEMENTS

Facility	Description	Location	Phase				Ultimate Size	Type	R.O.W. Width	L.F. Quantity	GSCP Total		Reimbursement****	
			1	2	3	4					%	Est. Cost	%	Est. Cost
(Roads)	On-Site													
R2a	Menifee Rd. (South)	GC Collector to Golden City Drive		X			Arterial	2 lane	100'	2,650	100%	\$344,500		
R2b	Golden City Parkway	GC Collector to Golden City Drive		X			Collector	2 lane	78'	1,300	100%	\$128,700		
R2c	Golden City Drive	GC Res. loop Collector west to east		X			Secondary	2 lane	44'	700	100%	\$38,500		
Subtotal												\$511,700		
(Sewer)	On-Site													
S2a	Gravity Sewer	Golden City Dr.		X			8"	VCP		3,500	100%	\$140,000		
(Signals/ Inter-sections)	On-Site													
I2a	Menifee Rd. (South)	Menifee at Triple C Ranch Rd.		X			4-Way	Full		1	100%	\$90,000		
I2b	Menifee Rd. (South)	Menifee at Golden City Dr.		X			3-Way	3/4		1	100%	\$67,500		
I2c	Golden City Dr.	Golden City Dr. at GC Pky		X			3-Way	3/4		1	100%	\$67,500		
I2d	Golden City Dr.	Golden City Dr. at GC Collector		X			4-Way	Full		1	100%	\$90,000		
I2e	Antelope Rd.	Antelope at Golden City Dr.		X			3-Way	3/4		1	100%	\$67,500		
Subtotal												\$382,500		
(Drain)	On-Site													
D2a	Detention Basin	GC Drive and GC Pky		X			0.9 Ac.	DB		5,700 CY	100%	\$28,500		
D2b	Detention Basin	GC Drive and Menifee Rd.		X			0.9 Ac.	DB		5,700 CY	100%	\$28,500		
D2c	RCP 24"	Drains to D2b		X			24"	RCP		1,000	100%	\$60,000		
D2d	RCP 24"	D2b to Rocky Glen Pl.		X			24"	RCP		800	100%	\$48,000		
Subtotal												\$165,000		
(Open Space)	On-Site													
OS2a	Partially improved OS	SF-2 & MU2 area		X			1.8 Ac.	OS			100%	\$81,000		
On-Site Totals												\$1,280,200		

**** To be determined at the time of submittal of final development plans.

The infrastructure improvements shall be constructed on a phased basis as shown on the tables and figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murrieta.

TABLE 12
 PHASE 3 GCSP
 ON-SITE IMPROVEMENTS

Facility	Description	Location	Phase				Ultimate Size	Type	R.O.W. Width	L.F. Quantity	GSCP		Reimbursement****	
			1	2	3	4					%	Est. Cost	%	Est. Cost
(Roads)	On-Site													
R3a	Menifee Rd. (North)	Chappell property to Baxter Rd.			X		2 Lane	100'	1,700	100%	\$221,000			
R3b	Baxter Rd.	MHSP to Menifee Rd.			X		2 Lane	100'	400	100%	\$52,000			
R3c	Meadowlark Ln.	From Menifee North			X		2 Lane	66'	1,200	100%	\$94,800			
Subtotal											\$367,800			
(Water)	On-Site													
W3a	Water Distribution Line	Meadowlark from Menifee North			X		CMP	12"	1,200	100%	\$48,000			
(Sewer)	On-Site													
S3a	Gravity Sewer	Menifee to Baxter to Lift Station			X		VCP	10"	2,400	100%	\$120,000			
(Signals/Intersections)	On-Site													
I3a	Menifee Rd. (North)	Menifee Rd. at Meadowlark Rd.			X		3-Way		1	100%	\$67,500			
(Drain)	On-Site													
D3a	Detention Basin	Nature Park North			X		DB	1.5 Ac.	9,000 CY	100%	\$45,000			
D3b	Storm Drain	Collects surface flows into D3a			X		RCP	24"	1,800	100%	\$108,000			
Subtotal											\$163,000			
(Open Space)	On-Site													
OS3a	Unimproved	N. of Baxter Rd. at Menifee Rd.			X		OS	2 Ac.		100%	\$30,000			
OS3b	Nature Park	Northeastern GCSP			X		OS	21 Ac.		100%	\$630,000			
Subtotal											\$660,000			
(Civic)	On-Site													
C3a	Elementary School Site	N. of Menifee & Meadowlark			X		Site	10 Net Ac.		100%	\$1,300,000			
C3b	Fire Station Facilities	S. of GC Drive & E. of GC Collector			X		Fac. & Bldg.			100%	\$760,000	65%	\$494,000	
Subtotal											\$2,060,000		\$494,000	
ON-SITE TOTAL											\$3,476,300		\$494,000	

* Lift Station/Force Main sizes to be approved by EMWD.
 ** All Water Transmission and Sewer Trunk facilities subject to EMWD reimbursement.
 *** North Murrieta Traffic Model for Regional Improvements.
 **** To be determined at the time of submittal of final development plans.

The infrastructure improvements shall be constructed on a phased basis as shown on the tables and figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murrieta.

TABLE 13
 PHASE 3 GCSP
 OFF-SITE IMPROVEMENTS

Facility (Roads)	Description	Location	Phase				Ultimate Size	Type	R.O.W. Width	L.F. Quantity	GSCP		Reimbursement****	
			1	2	3	4					%	Est. Cost	%	Est. Cost
RR3a	Menifee Rd.	Thru Chappell property			X		2 Lane	100'	1400	100%	\$182,000			
RR3b	Baxter Rd.	Keller Rd. to GCSP			X		2 Lane	100'	1100	100%	\$143,000			
RR3c	Baxter Rd.	Existing Antelope Rd. to Keller Rd.			X		2 Lane	100'	3400	100%	\$249,000			
Subtotal											\$574,000			
Off-Site Total											\$574,000			
On and Off-Site Totals											\$4,050,300			

Additional Off-Site qualifies for reimbursement.

* Lift Station/Force Main sizes to be approved by EMWD.

** All Water Transmission and Sewer Trunk facilities subject to EMWD reimbursement.

*** North Murrieta Traffic Model for Regional Improvements.

**** To be determined at the time of submittal of final development plans.

The infrastructure improvements shall be constructed on a phased basis as shown on the tables and figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murrieta.

TABLE 14
 PHASE 4 GCSP
 ON-SITE IMPROVEMENTS

Facility	Description	Location	Phase				Size	Type	R.O.W. Width	L.F. Quantity	GSCP Total		Reimbursement****	
			1	2	3	4					%	Est. Cost	%	Est. Cost
(Roads)	On-Site													
R4a	Menifee Rd.	Northeast of Baxter Rd.				X	Arterial	100'	600	100%	\$78,000			
R4b	Baxter Rd.	From Menifee Rd. East				X	Arterial	100'	700	100%	\$91,000			
Subtotal											\$169,000			
(Signals/ Inter-sections)	On-Site													
I4a	Baxter Rd.	Baxter Rd. at Menifee Rd.				X	4-Way	Full	1	100%	\$90,000			
Subtotal											\$90,000			
(Water)	On-Site													
W4a	Distribution Line	Baxter Rd. S. of Menifee Rd.				X	12"	CMP	700	100%	\$28,000			
W4b**	Transmission Line	Antelope Rd. thru GCSP				X	24"	CMP	900	100%	\$66,600	75%	\$49,950	
Subtotal											\$94,600		\$49,950	
(Drain)	On-Site													
D4a	Detention Basin	Golden City Dr. West				X	1.3 Ac.	DB	5,700 CY	100%	\$28,500			
(Open Space)	On-Site													
OS4b	Partially improved	Business Park area				X	1.3 Ac.	OS		100%	\$58,500			
On-Site Total											\$440,600		\$49,950	

* Lift Station/Force Main sizes to be approved by EMWD.

** All Water Transmission and Sewer Trunk facilities subject to EMWD reimbursement.

*** North Murrieta Traffic Model for Regional Improvements.

**** To be determined at the time of submittal of final development plans.

The infrastructure improvements shall be constructed on a phased basis as shown on the tables and figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murrieta.

TABLE 15
**PHASE 4 GCSP
 OFF-SITE IMPROVEMENTS**

Facility	Description	Location	Phase				Ultimate Size	Type	R.O.W. Width	L.F. Quantity	GSCP Total		Reimbursement****	
			1	2	3	4					100%	Est. Cost	%	Est. Cost
(Roads)	NMTM Off-Site													
RR4a***	Antelope Rd.	Golden City Dr. to Clinton Keith				X	Major	100'	7000	100%	\$1,720,000			
RR4b***	Antelope Rd.	Golden City Dr. to Clinton Keith				X	Major	100'	1400	100%	\$338,000			
Subtotal											\$2,058,000			
(Water)	Off-Site													
WW4a**	Antelope Rd.	Antelope Rd. from GCSP to Baxter Rd.				X	24"		3400	100%	\$244,800		75%	\$183,600
(I-215 Interchanges)	NMTM Off-Site													
FR4a***	I-215 S. Bound Off Ramps	Clinton Keith Rd. & I-215				X	Ramps + Signal		1	100%	\$90,000			
FR4b***	I-215 N. Bound Off Ramps	Clinton Keith Rd. & I-215				X	Ramps + Signal		1	100%	\$440,000			
Subtotal											\$530,000			
(Signals/Intersections)	NMTM Off-Site													
II4a***	Antelope Rd.	Relocated Antelope at Baxter Rd.				X	R/L/Thru Lane/Signal		1	100%	\$765,000			
II4b***	Antelope Rd.	Antelope at Clinton Keith				X	R/L/Thru Lane/Signal		1	100%	\$275,000			
Subtotal											\$1,040,000			
Off-Site Total											\$3,872,800			\$183,600
On and Off-Site Total											\$4,313,400			\$233,550

** All Water Transmission and Sewer Trunk facilities subject to EMWD reimbursement.

*** North Murrieta Traffic Model for Regional Improvements.

**** To be determined at the time of submittal of final development plans.

The infrastructure improvements shall be constructed on a phased basis as shown on the tables and figures unless approved by the City of Murrieta staff. The infrastructure system shall provide primary and secondary access, sewer and water service including fire flow, fire protection services and drainage systems adequate to meet the level of service standard of the City of Murrieta.

TABLE 16
GCSP ON-SITE PUBLIC FACILITIES ESTIMATED COST SUMMARY

Public Facilities	Estimated cost GSCP	Reimbursement GSCP
1. Roads		
Phase 1 Roads	\$450,700	\$0
Phase 2 Roads	\$511,700	\$0
Phase 3 Roads	\$367,800	\$0
Phase 4 Roads	\$169,000	\$0
Subtotal Roads	\$1,499,200	\$0
2. Signals & Intersections		
Phase 2 Signals & Intersections	\$382,500	\$0
Phase 3 Signals & Intersections	\$67,500	\$0
Phase 4 Signals & Intersections	\$90,000	\$0
Subtotal Signals & Intersections	\$540,000	\$0
3. Water		
Phase 1 Water	\$566,000	\$292,500
Phase 3 Water	\$48,000	\$0
Phase 4 Water	\$94,600	\$49,950
Subtotal Water	\$708,600	\$342,450
4. Sewer		
Phase 1 Sewer	\$615,000	\$274,500
Phase 2 Sewer	\$140,000	\$0
Phase 3 Sewer	\$120,000	\$0
Subtotal Sewer	\$875,000	\$274,500
5. Drainage		
Phase 1 Drainage	\$73,000	\$0
Phase 2 Drainage	\$165,000	\$0
Phase 3 Drainage	\$153,000	\$0
Phase 4 Drainage	\$28,500	\$0
Subtotal Drainage	\$419,500	\$0
6. Parks		
Phase 3 Parks	\$720,000	\$0
Subtotal Parks	\$720,000	\$0
7. Open Space		
Phase 1 Open Space	\$640,500	\$0
Phase 2 Open Space	\$81,000	\$0
Phase 3 Open Space	\$660,000	\$0
Phase 4 Open Space	\$58,500	\$0
Subtotal Open Space	\$1,440,000	\$0
8. Civic Use		
Phase 1 Civic Use	\$195,000	\$126,750
Phase 3 Civic Use	\$2,060,000	\$494,000
Subtotal Civic Use	\$2,255,000	\$620,750
Total On-Site Costs	\$8,457,300	\$1,237,700

TABLE 18
GCSP PUBLIC FACILITIES ESTIMATED COST SUMMARY

Public Facilities	Estimated cost GSCP	Reimbursement GSCP
1. Phase 1 On-Site		
Roads	\$450,700	\$0
Water	\$566,000	\$292,500
Sewer	\$615,000	\$274,500
Drainage	\$73,000	\$0
Parks	\$720,000	\$0
Open Space	\$640,500	\$0
Civic Use	\$195,000	\$126,750
Subtotal Phase 1 On-Site	\$3,260,200	\$693,750
2. Phase 2 On-Site		
Roads	\$511,700	\$0
Sewer	\$140,000	\$0
Signals & Intersections	\$382,500	\$0
Drainage	\$165,000	\$0
Open Space	\$81,000	\$0
Subtotal Phase 2 On-Site	\$1,280,200	\$0
3. Phase 3 On-Site		
Roads	\$367,800	\$0
Water	\$48,000	\$0
Sewer	\$120,000	\$0
Signals & Intersections	\$67,500	\$0
Drainage	\$153,000	\$0
Open Space	\$660,000	\$0
Civic Use	\$2,060,000	\$494,000
Subtotal Phase 3 On-Site	\$3,476,300	\$494,000
4. Phase 4 On-Site		
Roads	\$169,000	\$0
Water	\$94,600	\$49,950
Signals & Intersections	\$90,000	\$0
Drainage	\$28,500	\$0
Open Space	\$58,500	\$0
Subtotal Phase 4 On-Site	\$440,600	\$49,950
Total On-Site Costs	\$8,457,300	\$1,237,700
1. Phase 1 Off-Site		
Water	\$3,125,160	\$1,781,370
Sewer	\$1,802,500	\$1,099,525
Subtotal Phase 1 Off-Site	\$4,927,660	\$2,880,895
2. Phase 3 Off-Site		
Roads	\$574,000	\$0
Subtotal Phase 3 Off-Site	\$574,000	\$0
3. Phase 4 Off-Site		
Roads	\$2,058,000	\$0
Water	\$244,800	\$183,600
I-215 Interchanges	\$530,000	\$0
Signals & Intersections	\$1,040,000	\$0
Subtotal Phase 4 Off-Site	\$3,872,800	\$183,600
Total Off-Site Costs	\$9,374,460	\$3,064,495
Total On & Off-Site Costs	\$17,831,760	\$4,302,195

TABLE 19
GCSP & MHSP ON-SITE PUBLIC FACILITIES ESTIMATED COST SUMMARY

Public Facilities	Estimated Total Costs Per Project		Estimated Total Cost
	GCSP	MHSP	
1. Roads			
Phase 1 Roads	\$476,000	\$1,027,000	\$1,503,000
Phase 2 Roads	\$599,000	\$327,000	\$926,000
Phase 3 Roads	\$817,750	\$327,250	\$1,145,000
Phase 4 Roads	\$341,500	\$731,500	\$1,073,000
Subtotal Roads	\$2,234,250	\$2,412,750	\$4,647,000
2. Signals & Intersections			
Phase 2 Signals & Intersections	\$405,000	\$180,000	\$585,000
Phase 3 Signals & Intersections	\$45,000	\$315,000	\$360,000
Phase 4 Signals & Intersections	\$125,775	\$211,725	\$337,500
Subtotal Signals & Intersections	\$575,775	\$706,725	\$1,282,500
3. Water			
Phase 1 Water	\$750,520	\$943,680	\$1,694,200
Phase 3 Water	\$40,000	\$0	\$40,000
Phase 4 Water	\$66,600	\$189,800	\$256,400
Subtotal Water	\$857,120	\$1,133,480	\$1,990,600
4. Sewer			
Phase 1 Sewer	\$900,100	\$391,900	\$1,292,000
Phase 2 Sewer	\$132,000	\$0	\$132,000
Phase 3 Sewer	\$185,000	\$150,000	\$335,000
Subtotal Sewer	\$1,217,100	\$541,900	\$1,759,000
5. Drainage			
Phase 1 Drainage	\$73,000	\$458,500	\$531,500
Phase 2 Drainage	\$207,000	\$0	\$207,000
Phase 3 Drainage	\$153,000	\$158,000	\$311,000
Phase 4 Drainage	\$28,500	\$0	\$28,500
Subtotal Drainage	\$461,500	\$616,500	\$1,078,000
6. Parks			
Phase 1 Parks	\$0	\$697,000	\$697,000
Phase 2 Parks	\$720,000	\$720,000	\$1,440,000
Subtotal Parks	\$720,000	\$1,417,000	\$2,137,000
7. Open Space			
Phase 1 Open Space	\$283,000	\$1,224,000	\$1,507,000
Phase 2 Open Space	\$78,400	\$0	\$78,400
Phase 3 Open Space	\$435,000	\$305,000	\$740,000
Phase 4 Open Space	\$65,000	\$305,000	\$370,000
Subtotal Open Space	\$861,400	\$1,834,000	\$2,695,400
8. Civic Use			
Phase 1 Civic Use	\$204,000	\$1,132,500	\$1,336,500
Phase 3 Civic Use	\$285,000	\$465,000	\$750,000
Subtotal Civic Use	\$489,000	\$1,597,500	\$2,086,500
Total On-Site Costs	\$7,416,145	\$10,259,855	\$17,676,000

This summary is for reference only and is not considered to be a part of the PFFP document to be approved.

**TABLE 17
GCSP OFF-SITE PUBLIC FACILITIES ESTIMATED COST SUMMARY**

Public Facilities	Estimated cost GSCP	Reimbursement GSCP
1. Roads		
Phase 3 Roads	\$574,000	\$0
Phase 4 Roads	\$2,058,000	\$0
Subtotal Roads	\$2,632,000	\$0
2. Signals & Intersections		
Phase 4 Signals & Intersections	\$1,040,000	\$0
Subtotal Signals & Intersections	\$1,040,000	\$0
3. I-215 Interchanges		
Phase 4 I-215 Interchanges	\$530,000	\$0
Subtotal I-215 Interchanges	\$530,000	\$0
4. Water		
Phase 1 Water	\$3,125,160	\$1,781,370
Phase 4 Water	\$244,800	\$183,600
Subtotal Water	\$3,369,960	\$1,964,970
5. Sewer		
Phase 1 Sewer	\$1,802,500	\$1,099,525
Subtotal Sewer	\$1,802,500	\$1,099,525
Total Off-Site Costs	\$9,374,460	\$3,064,495
Total On & Off-Site Costs	\$17,831,760	\$4,302,195

TABLE 20
GCSP & MHSP OFF-SITE PUBLIC FACILITIES ESTIMATED COST SUMMARY

Public Facilities	Estimated Total Costs Per Project		Estimated Total Cost
	GCSP	MHSP	
1. Roads			
Phase 3 Roads	\$1,720,000	\$1,780,000	\$3,500,000
Phase 4 Roads	\$768,600	\$928,400	\$1,697,000
Subtotal Roads	\$2,488,600	\$2,708,400	\$5,197,000
2. Signals & Intersections			
Phase 2 Signals & Intersections	\$0	\$1,040,000	\$1,040,000
Phase 3 Signals & Intersections	\$275,000	\$290,000	\$565,000
Phase 4 Signals & Intersections	\$405,450	\$359,550	\$765,000
Subtotal Signals & Intersections	\$680,450	\$1,689,550	\$2,370,000
3. I-215 Interchange			
Phase 4 I-215 Interchange	\$530,000	\$690,000	\$1,220,000
Subtotal I-215 Interchange	\$530,000	\$690,000	\$1,220,000
4. Water			
Phase 1 Water	\$1,608,548	\$2,355,752	\$3,964,300
Subtotal Water	\$1,608,548	\$2,355,752	\$3,964,300
5. Sewer			
Phase 1 Sewer	\$47,500	\$77,500	\$125,000
Phase 1 Sewer	\$547,162	\$892,738	\$1,439,900
Phase 1 Sewer	\$412,680	\$1,232,320	\$1,645,000
Subtotal Sewer	\$1,007,342	\$2,202,558	\$3,209,900
Total Off-Site Costs	\$6,314,940	\$9,646,260	\$15,961,200
Total On & Off-Site Costs	\$13,731,085	\$19,906,115	\$33,637,200

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VI. APPENDICES

- A. Summary of PFFP Program Components, 7/25/95,
North Murrieta Traffic Model
Hank Mohle & Associates
- B. Murrieta Fire Department Memo, 5/15/96,
Fire Chief Jerry Allen
- C. EMWD Plan of Service,
Kevin L. Crew, P.E., Senior Customer Service Engineer, EMWD
- D. Fiscal Impact Analysis, 10/18/93,
Gordon Kubota, Ph.D., CIC Research Inc.
- E. City Council Resolution - SPM - 1 - 9/19/95
- F. City Council Resolution - PFFP - 10/15/96
- G. Environmental Impact Report
Summary of Impacts and Mitigations

TABLE 1
SUMMARY OF PFFP PROGRAM COMPONENTS

LOCATION	MITIGATION	PRO-RATA SHARE PERCENTAGES OF TOTAL TRAFFIC					TOTAL FOR 5 PROJECTS
		MURRIETA OAKS	MURRIETA HILLS	GOLDEN CITY	GREER RANCH	MURRIETA HIGHLANDS	
Scott Rd. at:							
• Zeiders Rd. to Antelope Rd.	• Widen to four-lane + one left-turn lane section.	2.0	10.0	3.0	0.0	30.0	45.0
• Antelope Rd. to Menifee Rd.	• Widen to four-lane + one left-turn lane section.	0.0	0.0	0.0	0.0	21.0	21.0
Keller Rd. at:							
• Zeiders Rd. to Antelope Rd.	• Widen to four-lane + one left-turn lane section.	4.0	28.0	27.0	6.0	34.0	99.0
Clinton Keith Rd. at:							
• California Oaks Rd. to Greer Rd.	• Widen to four-lane + one left-turn lane section.	34.0	12.0	10.0	5.0	1.0	62.0
• Greer Rd. to Antelope Rd.	• Widen to four-lane + one left-turn lane section.	28.0	3.0	14.5	2.0	3.0	50.5
Antelope Rd. at:							
• Scott Rd. to Keller Rd.	• Widen to four-lane section.	3.0	8.5	17.5	2.0	64.5	95.5
• Golden City Dr. to Clinton Keith Rd.	• Widen to four-lane section.	10.0	1.0	37.0	0.0	31.0	79.0
• Keller Rd. to Golden City Dr.	• Realign for two-lane section.	3.0	19.0	42.0	4.0	27.0	95.0
Zeiders Rd. at:							
• Scott Rd. to Keller Rd.	• Realign for two-lane section.	11.0	33.0	15.0	6.0	9.5	74.5
Greer Rd. at:							
• Pabesu Rd. to Clinton Keith Rd.	• Construct to two-lane section.	32.0	36.0	5.0	18.0	7.0	98.0
Pabesu Rd. at:							
• Zeiders Rd. to Nutmeg St.	• Construct to two-lane section.	0.0	23.0	6.0	58.0	11.0	98.0
Nutmeg St. at:							
• Pabesu Rd. to Clinton Keith Rd.	• Construct to two-lane section.	0.0	23.0	6.0	58.0	11.0	98.0
Scott Rd. at:							
• I-215 Fwy. Interchange	• Widen to five-lane overcrossing.	4.0	11.0	3.0	0.0	37.0	55.0

TABLE 1
SUMMARY OF PFFP PROGRAM COMPONENTS

LOCATION	MITIGATION	PRO-RATA SHARE PERCENTAGES OF TOTAL TRAFFIC					TOTAL FOR MURRIETA HIGHLANDS PROJECTS
		MURRIETA OAKS	MURRIETA HILLS	GOLDEN CITY	GREER RANCH	MURRIETA HIGHLANDS	
Keller Rd. at:							
• I-215 Fwy. Undercrossing	• Widen with retaining walls for proposed four-lane + sidewalk roadway width of Keller Rd.	4.0	28.0	27.0	6.0	33.0	98.0
Clinton Keith Rd. at:							
• I-215 Fwy. Interchange	• Widen to five-lane overcrossing.	25.0	2.0	24.0	2.0	8.0	81.0
Los Alamos Rd. at:							
• I-215 Fwy. Interchange	• Widen to eight-lane overcrossing.	4.0	1.0	3.0	1.0	3.0	12.0
I-215 Fwy. SB Ramps (NS) at:							
• Scott Rd. (EW)	• Construct additional off-ramp lane.	0.0	7.0	8.0	0.0	18.0	33.0
	• Install traffic signal.	2.0	3.0	3.0	0.0	23.0	31.0
• Clinton Keith Rd. (EW)	• Install traffic signal.	18.5	2.0	17.0	2.0	7.5	47.0
• Los Alamos Rd. (EW)	• Construct additional off-ramp lane.	4.0	0.0	14.0	0.0	6.0	24.0
	• Install traffic signal.	2.5	0.5	5.5	0.5	3.0	12.0
I-215 Fwy. NB Ramps (NS) at:							
• Scott Rd. (EW)	• Construct free WB right-turn on-ramp.	5.5	0.5	3.0	0.0	18.0	27.0
	• Install traffic signal.						
• Clinton Keith Rd. (EW)	• Construct additional off-ramp lane.	17.0	10.0	17.0	5.0	16.0	65.0
	• Install traffic signal.	21.5	3.0	19.0	2.0	10.0	55.5
• Los Alamos Rd. (EW)	• Construct two additional off-ramp lanes.	0.0	0.0	0.0	0.0	0.0	0.0
	• Construct free WB right-turn on-ramp.	2.0	0.5	2.0	0.5	2.0	7.0
	• Install traffic signal.						

TABLE 1

SUMMARY OF PFFP PROGRAM COMPONENTS

LOCATION	MITIGATION	PRO-RATA SHARE PERCENTAGES OF TOTAL TRAFFIC					TOTAL FOR MURRIETA HIGHLANDS 5 PROJECTS
		MURRIETA OAKS	MURRIETA HILLS	GOLDEN CITY	GREER RANCH	MURRIETA HIGHLANDS	
Antelope Rd. (NS) at:							
• Scott Rd. (EW)	<ul style="list-style-type: none"> • Construct EB right-turn lane. • Construct dual NB left-turn lanes. • Construct additional EB & WB through lanes (included previously). • Construct WB left-turn lane. • Install traffic signal. • Construct additional EB, SB, WB, & NB through lanes (NB and SB legs included previously). 	0.0	0.0	4.0	0.0	27.0	31.0
		1.0	1.0	18.0	0.0	74.0	94.0
		—	—	—	—	—	—
		0.0	0.0	0.0	0.0	22.0	22.0
		1.0	1.0	7.0	0.0	43.0	52.0
		4.0	25.5	27.5	5.5	36.0	98.5
• Keller Rd. (EW)	<ul style="list-style-type: none"> • Construct dual SB left-turn lanes. • Construct WB right-turn lane. • Install traffic signal with WB right-turn arrow. 	5.0	16.0	17.0	4.0	55.0	97.0
		4.0	23.0	28.0	5.0	39.0	99.0
		4.0	21.5	28.5	5.0	38.5	97.5
• Clinton Keith Rd. (EW)	<ul style="list-style-type: none"> • Construct dual EB left-turn lanes. • Stripe existing EB lane as optional through/left-turn lane. • Construct SB right-turn lane. • Install traffic signal with SB right-turn arrow. 	20.0	0.0	35.0	1.0	16.0	72.0
		20.0	0.0	35.0	1.0	16.0	72.0
		10.0	1.0	37.0	0.0	31.0	79.0
		14.0	0.0	26.0	0.5	14.0	54.5
Menifee Rd. (NS) at:							
• Scott Rd. (EW)	<ul style="list-style-type: none"> • Construct additional EB through lane. • Construct two additional WB through lanes. • Construct EB, SB, WB, & NB left-turn lanes. • Install traffic signal. 	0.0	0.0	0.0	0.0	23.0	23.0
		0.0	1.0	6.0	0.0	23.0	30.0
		0.0	0.0	1.5	0.0	11.5	13.0
		0.0	0.0	1.5	0.0	11.5	13.0

TABLE 1

SUMMARY OF PFFP PROGRAM COMPONENTS

LOCATION	MITIGATION	PRO-RATA SHARE PERCENTAGES OF TOTAL TRAFFIC					TOTAL FOR MURRIETA HIGHLANDS 5 PROJECTS
		MURRIETA OAKS	MURRIETA HILLS	GOLDEN CITY	GREER RANCH	MURRIETA HIGHLANDS	
California Oaks Rd. (NS) at:							
• Clinton Keith Rd. (EW)	• Construct additional EB through lane. • Install traffic signal.	10.0	7.0	3.0	13.0	17.0	50.0
		23.0	12.0	7.0	10.0	10.0	62.0
• Hancock Ave. (EW)	• Construct NB right-turn lane. • Construct WB optional left/right turn lane.	14.0	10.0	4.0	7.0	5.0	40.0
		6.0	3.0	3.0	3.0	5.0	20.0
	• Install traffic signal with NB right-turn arrow.	12.0	8.0	4.0	6.0	6.0	36.0
I-15 Fwy. SB Ramps (NS) at:							
• Clinton Keith Rd. (EW)	• Install traffic signal.	3.0	1.5	1.5	0.5	1.0	7.5
I-15 Fwy. NB Ramps (NS) at:							
• Clinton Keith Rd. (EW)	• Install traffic signal.	4.5	2.0	2.5	0.5	1.0	10.5
Greer Rd. (NS) at:							
• Clinton Keith Rd. (EW)	• Construct dual EB left-turn lanes. • Construct WB left-turn lane. • Construct SB right-turn lane. • Install traffic signal with SB right-turn arrow.	34.0	12.0	10.0	5.0	1.0	62.0
		25.0	5.0	14.0	3.0	2.0	49.0
		32.0	36.0	5.0	18.0	7.0	98.0
		44.0	14.0	8.0	7.0	3.5	76.5
Zeiders Rd. (NS) at:							
• Scott Rd. (EW)	• Install traffic signal.	7.0	16.0	17.0	3.0	23.0	66.0
• Baxter Rd. (EW)	• Install traffic signal.	6.5	41.0	21.5	6.0	23.5	98.5
Los Alamos Rd. (NS) at:							
• Whitewood Rd. (EW)	• Install traffic signal.	2.0	1.0	2.0	0.5	1.5	7.0

TABLE 1

SUMMARY OF PFFP PROGRAM COMPONENTS

LOCATION	MITIGATION	PRO-RATA SHARE PERCENTAGES OF TOTAL TRAFFIC					TOTAL FOR 5 PROJECTS
		MURRIETA OAKS	MURRIETA HILLS	GOLDEN CITY	GREER RANCH	MURRIETA HIGHLANDS	
• Hancock Ave. (EW)	• Construct two additional EB through lanes.	0.0	0.0	2.0	0.0	1.0	3.0
	• Construct WB right-turn lane.	2.0	1.0	3.0	1.0	2.0	9.0
	• Construct additional SB left-turn lane.	5.0	3.0	3.0	3.0	4.0	18.0
	• Construct additional WB through lane.	2.0	1.0	3.0	1.0	2.0	9.0
	• Modify traffic signal to provide WB right-turn arrow.	3.0	1.5	3.0	1.5	3.0	12.0
TOTAL:							

FFFP PROGRAM COMPONENTS COMPARISON CHART 7/27/95

	Mileage required	Unit cost	Total cost	Murrels Highlands		Golden City		Murrels Hill		Greer Ranch	Murrels Oaks
				Before	After	Before	After	Before	After	After	After
Scott Rd. at:											
Zaiders to Antelope	1.10 miles*	3000000 /mile	3000000	28.8	30.0	8.8	3.0		10.0	0.0	2.0
Antelope to Manifee	1.70 miles*	3000000 /mile	2100000	26.8	21.0	9.8	0.0		0.0	0.0	0.0
Keller Rd. at:			0								
Zaiders to Antelope	1.21 miles	3000000 /mile	630000	33.5	34.0	22.3	27.0		29.0	3.0	4.0
Clinton Keith Rd. at:			0								
California Oaks to Greer	1.46 miles	3000000 /mile	1440000	8.3	1.0	9.3	10.0		12.0	5.0	34.0
Greer to Antelope	1.54 miles	3000000 /mile	1620000	11.8	3.0	18.7	14.5		3.0	2.0	29.0
Antelope Rd. at:			0								
Scott to Keller	1.74 miles	2000000 /mile	1480000	47.6	64.0	22.7	17.5		8.5	2.0	3.0
Golden City to Clinton Keith	1.86 miles	2000000 /mile	1720000	15.0	31.0	24.3	37.0		1.0	0.0	10.0
Keller to Golden City	1.84 miles	2000000 /mile	1280000	44.0	27.0	28.3	42.0		19.0	4.0	3.0
Zaiders Rd. at:			0								
Scott to Keller	1.71 miles	2000000 /mile	1420000	21.9	9.5	15.8	15.0		33.0	6.0	11.0
Greer Rd. at:			0								
Pawnee to Clinton Keith	1.45 miles	2000000 /mile	900000	7.3	7.0	9.3	3.0		36.0	15.0	32.0
Pawnee Rd. at:			0								
Zaiders to Nutmeg	1.06 miles	2000000 /mile	1320000	10.5	11.0	7.3	6.0		23.0	59.0	0.3
Nutmeg St. at:			0								
Pawnee to Clinton Keith	1.24 miles	2000000 /mile	480000	8.3	11.0	6.0	6.0		23.0	58.0	0.0
Scott Rd. at:			0								
I-215 interchange	1.1500 st	110 /st	1485000	20.3	37.0	5.0	3.0		11.0	0.0	4.0
Keller Rd. at:			0								
I-215 undercrossing	1.11 miles	2000000 /mile	779000	33.5	33.0	22.3	27.0		28.0	6.0	4.0
Clinton Keith Rd. at:			0								
I-215 interchange	1.2500 st	110 /st	1485000	14.0	4.0	24.0	24.0		2.0	2.0	25.0
Los Alamos Rd. at:			0								
I-215 interchange	2.2500 st	110 /st	2475000	4.3	3.0	6.0	3.0		1.0	1.0	4.0
I-215 SB ramps (NS) at:			0								
Scott (EW)	1 widen ramp	350000 /ramp	350000	24.0	18.0	5.5	8.0		7.0	0.0	0.0
	1 signal	90000 /signal	90000	24.0	21.0	5.5	3.0		3.0	0.0	2.0
Clinton Keith (EW)	1 signal	90000 /signal	90000	8.5	7.5	20.5	17.0		2.0	2.0	18.5
Los Alamos (EW)	1 widen ramp	350000 /ramp	350000	4.7	6.0	7.0	14.0		0.0	0.0	4.0
	1 signal	90000 /signal	90000	4.7	3.0	7.0	5.5		0.5	0.5	2.5
I-215 NB ramps (NS) at:			0								
Scott (EW)	1 signal/wider	250000 /sig.wider	250000	16.5	18.0	4.0	3.0		0.5	0.0	5.5
Clinton Keith (EW)	1 widen ramp	350000 /ramp	350000	19.5	18.0	27.5	17.0		10.0	5.0	17.0
	1 signal	90000 /signal	90000	19.5	10.0	27.5	19.0		3.0	2.0	21.5
Los Alamos (EW)	2 widen ramp	350000 /ramp	700000	3.0	0.0	3.0	0.0		0.0	0.0	0.0
	1 signal/wider	250000 /sig.wider	250000	3.0	2.0	3.0	2.0		0.5	0.5	2.0
Antelope Rd. (NS) at:			0								
Scott (EW)	1 turn lane	50000 /lane	50000	52.3	27.0	11.5	4.0		0.0	0.0	0.0
	2 turn lanes	50000 /lane	100000	52.3	74.0	11.5	18.0		1.0	0.0	1.0
	1 turn lane	50000 /lane	50000	52.3	22.0	11.5	0.0		0.0	0.0	0.0
	1 signal	90000 /signal	90000	52.3	43.0	11.5	7.0		1.0	0.0	1.0
Keller (EW)	2.25 miles	2000000 /mile	500000	44.0	54.0	26.3	27.5		25.5	3.5	4.0
	2 turn lanes	50000 /lane	100000	44.0	55.0	28.3	17.0		18.0	4.0	5.0
	1 turn lane	50000 /lane	50000	44.0	39.0	28.3	28.0		23.0	5.0	4.0
	1 signal	115000 /signal	115000	44.0	38.5	28.3	28.5		21.5	5.0	4.0
Clinton Keith (EW)	2 turn lanes	50000 /lane	100000	15.0	16.0	24.3	35.0		0.0	1.0	20.0
	1 lane strip	10000 /strip	10000	15.0	16.0	24.3	35.0		0.0	1.0	20.3
	1 turn lane	50000 /lane	50000	15.0	31.0	24.3	37.0		1.0	0.0	10.0
	1 signal	115000 /signal	115000	15.0	14.0	24.3	26.0		0.0	0.5	14.0
Manifee Rd. (NS) at:			0								
Scott (EW)	1.25 miles	1000000 /mile	250000	27.0	23.0	6.0	0.0		0.0	0.0	0.0
	1.25 miles	2000000 /mile	500000	27.0	23.0	6.0	6.0		1.0	0.0	0.0
	4 turn lanes	50000 /lane	200000	27.0	11.5	6.0	1.5		0.0	0.0	0.0
	1 signal	90000 /signal	90000	27.0	11.5	6.0	1.5		0.0	0.0	0.0
California Oaks Rd. (NS) at:			0								
Clinton Keith (EW)	1.25 miles	1000000 /mile	250000	10.5	17.0	9.5	3.0		7.0	13.0	16.0
	1 signal	90000 /signal	90000	10.5	10.0	9.5	7.0		12.0	10.0	23.0
Hancock (EW)	1 turn lane	50000 /lane	50000	7.7	5.0	4.0	4.0		10.0	7.0	14.0
	1 turn lane	50000 /lane	50000	7.7	5.0	4.0	3.0		3.0	3.0	6.0
	1 signal	115000 /signal	115000	7.7	6.0	4.0	4.0		8.0	6.0	12.0
I-15 SB ramps (NS) at:			0								
Clinton Keith (EW)	1 signal	90000 /signal	90000	2.0	1.0	2.0	1.5		1.5	0.5	3.0
I-15 NB ramps (NS) at:			0								
Clinton Keith (EW)	1 signal	90000 /signal	90000	3.0	1.0	3.5	2.5		2.0	0.5	4.5
Greer Rd. (NS) at:			0								
Clinton Keith (EW)	2 turn lanes	50000 /lane	100000	7.3	1.0	9.3	10.0		12.0	5.0	34.0
	1 turn lane	50000 /lane	50000	7.3	2.0	9.3	14.0		5.0	3.0	25.0
	1 turn lane	50000 /lane	50000	7.3	7.0	9.3	5.0		36.0	18.0	32.0
	1 signal	115000 /signal	115000	7.3	3.0	9.3	8.0		14.0	7.0	44.0
Zaiders Rd. (NS) at:			0								
Scott (EW)	1 signal	90000 /signal	90000	20.8	23.0	14.7	17.0		18.0	3.0	7.0
Bunker (EW)	1 signal	90000 /signal	90000	23.0	23.5	16.3	21.5		41.0	6.0	6.5
Los Alamos Rd. (NS) at:			0								
Whitewood (EW)	1 signal	90000 /signal	90000	2.0	1.5	2.3	2.0		1.0	0.5	2.0
Hancock (EW)	1.00 miles	1000000 /mile	500000	3.5	1.0	3.0	2.0		0.0	0.0	0.0
	1 turn lane	50000 /lane	50000	3.5	2.0	3.0	3.0		1.0	1.0	2.0
	1 turn lane	50000 /lane	50000	3.5	4.0	3.0	3.0		3.0	3.0	5.0
	1.00 miles	180000 /mile	180000	3.5	2.0	3.0	3.0		1.0	1.0	2.0
	1 signal	25000 /signal	25000	3.5	3.0	3.0	3.0		1.5	1.5	3.0
			28019000	5419420	5067520	3655882	3630205	172400	2965420	170190	2054200
Total before for 3 projects:			43.7	12247702	44.2		31.5	24.3			
Total after for 3 projects:			41.0	11643145	43.7		31.7	24.8			
Total after for 5 projects:			37.3	16067595	31.7		23.0	17.3	11.0		16.5

Murrieta Fire Department

Response to Murrieta Hills Public Facilities Financing Plan

From: Jerry W. Allen, Interim Fire Chief
To: Brad Kilger, Community Development Director

As a result of our May 15, 1996 meeting regarding Murrieta Hills, it was decided that each department should prepare a response to the Public Facilities Financing Plan proposed by the applicant. In addition, it was determined that the PFFP should be reviewed as a stand-alone project in the event one or more of the north-end plans did not materialize. The Fire Department has reviewed that plan and offer the following responses in two sections. The first section will address those areas in which minor errors exist. The second section will discuss major policy issues wherein major recommendations will be made.

Section I. Minor changes.

Page III-29, Inventory of Existing and Proposed Facilities

The Murrieta Hills area is serviced by Riverside County through the California Department of Forestry. The Murrieta Fire Department only responds into the area for Automatic or Mutual Aid requests.

Our Engine Company staffing is at two per engine, not the four listed in the report. We have a total staff of 24, with 1 Chief, 3 Shift supervisors (Captains), 6 Captains, 3 Acting Captains, 3 Engineers, 6 Firefighters, 1 Maintenance Captain, and 1 Secretary.

Page III-31, Table 8.

The "Equipment" column should reflect "2 Engines 1 Brush Truck" and the other equipment at Station 1. It should show 1 Engine at Station 2 with the other equipment. At station 3 we only have the Engine and Brush Truck.

Page III-32 Section 4, Implementation

Page III-35. The definition of "buildout" should also address commercial/industrial properties. Commercial/industrial properties contribute significantly to mitigation and operating expenses.

Missing from P. FP Prior to annexation LAFCO will probably require the area enter into a Wildland Protection Contract with the California Department of Forestry. Due to the wildland exposure, if LAFCO does not make that requirement, we should. We consider the area to be a high risk area for wildland fires. The annual cost of our current contract is approximately \$7.00 per acre

Section 2, Major policy issues.

A. Fire station. The method of funding the construction of Station 6 is acceptable. During the above referenced meeting, it was determined that while the three projects, Golden Cities, Murrieta Highlands, and Murrieta Hills are to be analyzed for their regional impacts, any one of the projects may not go forward immediately. A problem exists for siting a station if the Golden Cities project is delayed beyond the issuance of 399 permits in the other two projects. *Therefore, I recommend that the Murrieta Hills project, as well as the Murrieta Highlands project, be conditioned to purchase one acre of land and convey that land to the Fire Department prior to the issuance of the 400th building permit if the Golden Cities project is unable to provide the station site for any reason.* The land must be located within ¼ mile of the proposed site in the Golden Cities project. The site should not be on an arterial roadway. In any case, the Murrieta Hills PFFF does not address participation in the purchase of a fire station site. This is estimated to add approximately \$250,000 to the cost completing a fire station. *I recommend that this shortfall in total station funding be addressed by the PFFF.*

In addition to the station site, Station 6 must be completed before the 501st building permit may be issued for three specific plans. If for whatever reason the station is not completed, no more building permits may be issued. This condition may not be waived allowing for continuing construction beyond 500 homes, as seems to be inferred on page III-33. *I recommend that this language be clarified to insure that no more than 500 building permits be issued before Fire Station 6 is fully operational.*

If land is unavailable on the open market, the issue of eminent domain must be addressed to insure the proper location of that station

B. Operational funding

As the three specific plans build out, there will be an initial funding gap until sufficient homes and commercial/industrial properties exist to support station operations. The shortfall is exacerbated since this area is beyond the normal growth pattern in an urbanizing area,

further reducing overlap funding that would normally be available. In a January report several options were reviewed. The report was later modified to add an option proposed by Murrieta Highlands in their PFFP. Each option has benefits and deficits. The selection of the gap funding option would seem to be a policy decision of the City Council. *I must stress that these are gap-funding options, not choices.* In review, those options include

OPTION 1 - All operation and maintenance costs borne by the fire department general fund.

Use a combination of revenue from the assessed value generated from the three projects, the \$50,000 surplus from repayment of the COP and staffing Stations 1-3 to a minimum staff of three, and the new revenue from the auditor-controller error. This assumes that the 401st permit is drawn after the COP is repaid. This option does not account for cost of living increases that affect department operations and may use up those reserves

OPTION 2 - All operation and maintenance costs borne by the fire department general fund, using revenue from outside the specific plan projects.

If either auditor-controller money is not available, use other property tax revenue from the Greer development, Murrieta Oaks development, or Adobe Springs development to fund operations. The projects are within the service area of Station 6, although they could be served from Station 2. The Greer and Murrieta Oaks projects would be a natural progression of buildout from the urbanizing core of the city and would help offset costs of a Station 6. Unfortunately, we do not know the timing of these projects.

OPTION 3 - All operation and maintenance costs in excess of that generated in the Station 6 service area will be funded through an assessment on residents and the developer.

All operation costs in excess of those provided by the completed units and land within the Specific Plan areas will be borne by the residents and landowners in the Specific Plan through a fire district assessment under the Health and Safety Code. The gap would continue to be filled until fire department revenues in the Station five minute service area until department revenues can fully cover costs as in Option 1 or 2 above. Timing of the implementation of the assessment is critical. This may be applied only in August of any given year. For gap funding to be available at the 500th building permit, application of the assessment may be needed up to 11 months prior

The PFFP accurately defines the Station 6 service area for purposes of establishing those who will participate. It should only apply to new construction, which is causing the impact. *I recommend the applicant prepare a map visually showing what the language is describing for Station 6's service area.*

The benefit to this approach is that the area is self-supporting with no burden placed on current city residents. However, an assessment may result in political issues as residents are asked to pay higher fees until the area is self-supporting. There will also be the issue of "equity" where newer residents are assessed at a higher rate than residents living in the area before the projects started gap. *I recommend this approach for funding the Operations and Maintenance shortfall.*

OPTION 4 - Use build-out mitigation maximum to fund operations and maintenance for up to 3 years.

Fund up to three years of operational cost by the mitigation impact that would be due at build-out. Although this is not a preferred alternative, it offers a solution to bridge a shortfall due to early construction of the project or from a bankruptcy of one project. Approximately \$800,000 in mitigation would be available to fund up to three years of operation.

This would create a cap of developer responsibility for fire protection. If the time required for the area to fully support Station 6 exceeds three years, the residents within the current corporate boundaries may have to make up the shortfall. In addition, this approach would use up mitigation money for operation and maintenance rather than to fund capital improvements. In my January 11 discussion of mitigating the impacts of all north-end projects, I stated this was not my preferred alternative.

OPTION 5 - Alternate staffing options.

If the first three options fail, explore alternate staffing options, such as peak hour coverage, a one person station or partial week coverage. The PFFP excluded this option from consideration since it requires that Station 6 be staffed at a level equal to that within the current corporate boundary.

OPTION 6 - Volunteer personnel

If the above options are not successful, and there is insufficient money in the budget to provide paid firefighter coverage, Station 6 could be operational with volunteer personnel until sufficient general revenue funding is available within the coverage area. The PFFP excluded this

option from consideration since it requires that Station 6 be staffed at a level equal to that within the current corporate boundary

Recommendations

In addition to the above PFFP corrections, two critical areas, Station siting and funding, and operation and maintenance costs must be addressed.

Station siting. Provisions should be made to purchase one acre of land within ¼ mile of the intersection of Baxter and Meadowlark in the event the Golden Cities project is delayed or canceled. The method for funding the land purchase must be discussed. *I recommend that both the above items be addressed in the PFFP.*

Operations and maintenance. While options 1 and 2 would be most desirable and implemented first, if possible it is highly unlikely that funds will be available for either option. Therefore, the most desirable option for funding Mumeta Hills is Option 3, creating an assessment district. *I would recommend that the language in the PFFP be changed to reflect this approach.*

memorandum

Date: 12/28/95
 To: Larry Markham
 From: Jerry W. Allen, Interim Fire Chief
 RE: Projected response times to north-end specific plans

As we discussed this morning, we recently drove the expected routes from our Station 2 at California Oaks Rd. to the various specific plans in the sphere of influence area on both sides of 1-21/2 north of Clinton Keith Rd. Those estimated times are attached.

Post-It™ brand fax transmittal memo 7671 # of pages 2

To Larry Markham	From Jerry Allen
Co.	Co. FIRE
Dept.	Phone #
Fax # 699-1848	Fax #

North-end station

Time and distance measurements:

Station 68 distances and time

	Distance		Time	
	Total	Leg	Total	Leg
Station 68 to Bundy Canyon	.6	.6	.53	.53
Bundy Canyon to Zeiders	2.3	1.8	3:40	2:47
Zeiders to Keller	3.3	1.0	5:16	1:36

Station 2 distances and time

City-limit at Zeider to Clinton Keith Rd.	1.5	1.5	2:41	2.41
Clinton Keith to CAL Oaks	2.2	.7	3:37	.56
Cal Oaks to Station 2	3.1	.9	5:05	1:28

From Station 2 to Zeider without Greer Rd.

Station 2 to Clinton Keith Rd	1.0		1:31	1:31
Clinton Keith to I-215	2.3		3:40	2:09
I-215 to Baxter Rd.	3.5		5:43	2:03
Baxter Rd. to Keller	4.4		6:55	1:12
Keller to Zeiders	4.7		7:28	:33

From Station 2 to Golden Cities (Station 3)

Station 2 to Clinton Keith Rd	1.0		1:31	1:31
Clinton Keith to I-215	2.3		3:40	2:09
I-215 to Baxter Rd.	3.5		5:43	2:03
Baxter Rd. to Station 6	3.8		6:09	:26

From Station 2 to Murrieta Highlands via Antelope Rd.

Station 2 to Clinton Keith Rd	1.0		1:31	1:31
Clinton Keith to I-215	2.3		3:40	2:09
I-215 to Baxter Rd.	3.5		5:43	2:03
Baxter Rd. to Keller	4.4		6:55	1:12

Station 6 distance and time

Station 6 to Zeider/Keller	1.2		2:19	
----------------------------	-----	--	------	--

MURRIETA FIRE PROTECTION DISTRICT
ADMINISTRATIVE REPORT

DATE: 18 SEPTEMBER 1991

TO: BOARD OF FIRE COMMISSIONERS

FROM: MARVIN D. CURRAN, CHIEF

SUBJECT: STATION SITE FOR KELLER ROAD ANNEXATION

BACKGROUND

The City of Murrieta is processing a sphere of influence application through the Local Agency Formation Commission (LAFSCO) at this time. A group of property owners representing almost 400 acres on the North-east corner of Baxter Road and Antelope Road have discussed annexing to the fire district. Eliot Kahn, the representative of the "Keller Road 307/80" landowners group, has offered to provide the fire district an acre of land to site a fire station subject to the requirements of the fire district. The offer is contingent upon the area annexing to the fire district.

RECOMMENDATION

The Board of Commissioners vote conditional acceptance of the offer from Eliot Kahn subject to the following conditions:

- An acre of land be provided at no cost to the Murrieta Fire Protection District for a fire station site.
- Access to the land should not exit to an arterial highway.
- Access to the land should not exit near a signalized intersection.
- The acceptance of the site will be subject to the Murrieta Fire Protection District Chief's approval.
- The area be annexed to the fire district.
- The land be located on the east side of I-215 and west of the extension of Meadowlark Rd.
- The station site be located in an industrial area and/or adjacent to a park, but not in a residential area.

Post-it Fax Note	7/6/1	File # A/19	Pages 2
To	Laery	From	FIC
Cur/Dcu	FYI	On	
Phone #		Phone #	310-654-3900

Eastern Municipal Water District

V

General Manager

John B. Brudin

Legal Counsel

Rodrigue and Sturillo

Director of The Metropolitan Water

District of Southern California

Gregory C. Gilbert

Treasurer

Joseph J. Kuebler, CPA



Board of Directors

Marion V. Ashley, President
Richard R. Hall, Vice President
Rodger D. Stern
David J. Sawrae
Clayton A. Roward, Jr.

Secretary

Mary C. White

July 10, 1996

TO: Board of Directors
FROM: General Manager
SUBJECT: Adopt Proposed Resolution Nos. 1639.9 and 1640.15, Amendments to the Water Financial Participation Charge Policy and Charge Schedule Reflecting Storage Reservoir Funding Revisions

RECOMMENDATION

In order to move forward with the new Storage Reservoir Funding Program and associated Water Facility Participation Charge Resolutions governing policy and charges, I wish to recommend that the Board approve and adopt the following Resolutions:

- A. Resolution No. 1639.9, a Resolution of the Board of Directors of Eastern Municipal Water District adopting an Amended Domestic Water System Facilities Financial Participation Charge Policy and rescinding Resolution No. 1639.8; and
- B. Resolution No. 1640.15, a Resolution of the Board of Directors of Eastern Municipal Water District adopting an Amended Schedule of Domestic Water System Financial Participation Charges and rescinding Resolution No. 1640.14.

Concur:

[Signature]
John B. Brudin
General Manager

Submitted by:

[Signature]
Anthony J. Pack
Deputy General Manager for
Operations and Administration

Directors: All
Divisions: All

BACKGROUND

The attached Exhibit "A", Proposed Storage Reservoir Funding Revisions to the Water Financial Participation Charge Program, provides the rationale for restructuring of the Water Financial Participation Charge Policy and Charge Schedule.

In summary, the proposed revisions serve to achieve the following:

1. Maintain the currently in effect total per EDU Water FPC of \$1,510 for residential and \$1,330 (plus fire capacity charges) for commercial;
2. Establish a General District Storage Reservoir Construction Fund and Reimbursement Pool;
3. Establish new policy that limits the up-front funding responsibility of a sponsor for a required storage reservoir to the fire storage and maximum day demand storage portions required for the particular development. Any necessary reservoir oversizing in excess of that required to serve the development would be funded from the newly established General District Storage Reservoir Construction Fund;
4. The sponsor of the initial fire storage and maximum day demand storage portion of the reservoir would be eligible for 100% reimbursements from the proposed General District Storage Reservoir portion of the Water FPC's, and from the proposed General District Storage Reservoir Reimbursement Pool;
5. Redistribute the various Improvement and General District accounting components of the FPC's as indicated on Exhibit "A" to better reflect the July, 1995 FPC Study Facility Capital Costs.

To implement the proposed Water Facilities Participation Charge Program, amendments to the Water Financial Participation Charge Policy and Charge Schedule Resolutions have been made to reflect the findings of the program as indicated on Exhibit "A".

The amended Resolutions are attached and presented for District Board of Directors' review and adoption as recommended above.

Attachments

Finance *[Signature]*
Contracts/Purchasing *[Signature]*
KLC.cz

RESOLUTION NO. 1639.9

A RESOLUTION OF THE BOARD OF DIRECTORS OF
EASTERN MUNICIPAL WATER DISTRICT ADOPTING AN
AMENDED DOMESTIC WATER SYSTEM FACILITIES
FINANCIAL PARTICIPATION CHARGE POLICY AND
RESCINDING RESOLUTION NO. 1639.8

BE IT RESOLVED by the Board of Directors of Eastern Municipal Water District, in Adjourned Regular Session assembled this 10th day of July, 1996, that the attached "Eastern Municipal Water District Amended Domestic Water System Facilities Financial Participation Charge Policy," the provisions of which are similar with those contained in the currently in effect "Eastern Municipal Water District Amended Domestic Water System Facilities Financial Participation Charge Policy" (established by Resolution No. 1639.8), except for the addition and/or modification as follows:

1. A General District Storage Reservoir Construction Fund and Reimbursement Fund have been established in accordance with the "Proposed Storage Reservoir Funding Revisions to the Water Financial Participation Charge Program" report;
2. The various improvement district and general district accounting components of the financial participation charges have been redistributed to reflect the July, 1995 Financial Participation Study Facility Capital Costs;
3. Sections I. and II.B.1.b., II.B.1.c., II.B.3.b., II.B.3.c., II.B.4.b., II.B.4.c., II.B.5.b., II.B.5.c., II.G.2.a.1), II.G.2.a.2), II.G.2.b., II.H.(1. through 7.) have been revised to incorporate the appropriate revisions to accomplish items 1. and 2. above,

be and it is hereby adopted as official policy of the Eastern Municipal Water District;

BE IT FURTHER RESOLVED that the "Eastern Municipal Water District Amended Domestic Water System Facilities Financial Participation Charge Policy" (effective July 12, 1995) contained and set forth in Resolution No. 1639.8 be and it is hereby rescinded; and

Resolution No. 1639.9

BE IT FINALLY RESOLVED that the effective date of this Resolution No. 1639.9 and the attached "Eastern Municipal Water District Amended Domestic Water System Facilities Financial Participation Charge Policy" is July 10, 1996.

DATED: July 10, 1996

Marion V. Ashley, President

ATTEST:

Mary C. White, Board Secretary

(SEAL)

12:admin.01\res1639.710

Eastern Municipal Water District

General Manager

John B. Brudin

Legal Counsel

Redwine and Sherrill

Director of The Metropolitan Water

District of Southern California

Chester C. Gilbert

Treasurer

Joseph J. Kuebler, CPA



Board of Directors

Marion V. Ashley, President
 Richard R. Hall, Vice President
 Rodger D. Siems
 David J. Slawson
 Clayton A. Record, Jr.

Secretary

Mary C. White

June 24, 1996

JUN 26 1996

Larry Markham
 Markham & Associates
 41750 Winchester Road
 Suite N
 Temecula, CA 92591

**Re: Amended - Murrieta Highlands and Golden City Specific Plan
 Independent Plan of Water and Sewer Service**

Dear Mr. Markham:

Than you for calling my attention to an error in our May 14, 1996 letter regarding water demands represented by the Murrieta Highlands project. The following amends the entire section titled, "Water Service Plan" Murrieta Highlands:

WATER SERVICE PLAN

Murrieta Highlands:

MURRIETA HIGHLANDS LAND USE	ACRES	UNITS	AVERAGE DAILY DEMAND MGD	ANNUAL PEAK DAY DEMAND MGD
Low Density Residential		880	0.53	1.06
High Density Residential		287	0.17	0.34
Multiple Use	71.00		0.14	0.21
Commercial	14.60		0.03	0.04
School (assumed 1,000 students)	11.20		0.01	0.02
Total			0.88	1.67

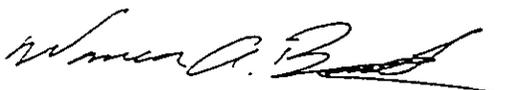
Larry Markham
Murrieta Highlands
June 24, 1996
Page 2

The total required water storage considers the peak day demand and assumed worst case fire flow. Murrieta Highlands requires 1.67 MGD-Day plus an assumed 5,000 gpm fire flow for 4-hours for a total of 2.87 million gallons of water storage. Considering a standard tank size of 3.0 million gallons, the tank will be oversized by 0.13 million gallons. The tank site shall be considered for a total water storage capacity of 10.7 million gallons. Currently, the District is discussing a proposed tank funding program for District up-front participation in water storage tank construction.

An 18-inch diameter water transmission pipeline will be required for pump to tank transmission pipeline for this development's water demand. This assumes no other water demands are required of the system. A pump station shall be located at or near the intersection of Briggs and Keller Roads. The pump station shall be sized to accommodate the ultimate 9,820 gpm $[9.5 \text{ mgd}(24/18) + 0.89(24/18) + 0.18(24/18)]$ pumping capacity in terms of storage replenishment for the combined MDD's of the 1750 Zone, 1960 Zone, and a portion of the 1627 Zone. The station shall draw from the 1627 Zone and discharge to the proposed 1750 Zone. The pumping requirement for the subject project is based upon tank replenishment of the maximum day portion of the proposed 3.0 million gallon tank volume within an 18 hour period. The subject project shall construct an initial pump capacity of 1.8 million gallons per 18 hours replenishment period or 1,667 gpm $[1.8 \text{ mgd}(24/18)]$.

For any commercial water service needs from facilities in Antelope Road or any road improvements required in Antelope Road affecting District standard location of water pipeline then 18-inch diameter water pipeline will be constructed to the north and/or south in antelope Road from Keller Road. Murrieta Highlands shall construct an 18-inch diameter water pipeline in Menifee Road of which only 12-inches is required to serve Murrieta Highlands itself.

Sincerely,
Eastern Municipal Water District


Warren A. Back
Customer Service Engineer

WAB/cz

J:\WORDPROC\WP\NEW_BUSI.11\CLZ\MARKHAM.WPD

Larry Markham
Murrieta Highlands
June 24, 1996
Page 3

Elliott Kahn
11272 Washington Pl
Culver City, CA 90230

Mark Jennings
P.O. Box 66
Corona Del Mar, CA 92625-0066

Eastern Municipal Water District

General Manager

John B. Brudin

Legal Counsel

Rodvina and Sherrill

Director of The Metropolitan Water

District of Southern California

Chester C. Gilbert

Treasurer

Joseph J. Kusblar, CPA



Board of Directors

Marlon V. Ashley, President
Richard R. Hall, Vice President
Rodger O. Slama
David J. Slawson
Clayton A. Record, Jr.

Secretary

Mary C. White

May 23, 1996

Mr. Elliott Kuhn
11272 Washington Place
Culver City, CA 90230

Re: Storage Reservoir Funding and Facility Oversizing
Reimbursement Programs

Dear Mr. Kuhn:

Historically storage reservoirs required for a particular project have generally been funded 80% by the sponsor and 20% by the District with reimbursement to the developer of 80% via connection fee credits and Improvement District Reimbursement Pool. The District recognizes that many times storage reservoir funding poses an onerous burden on development, and is in the process of restructuring the program. The proposed program, scheduled for District Board of Directors review in June, 1996, would limit the sponsor's up-front funding to the fire and demand storage necessary to serve the particular development. The sponsor would also be eligible for 100% reimbursement of such up-front funding from fee credits and/or the Reimbursement Pool Program.

As for water, sewer pipelines and pump station oversizing in excess of that required to serve the particular project or project group, sponsors are currently eligible for direct connection fee credits and Improvement District Reimbursement Pool credits (10 year limit) for 100% of the oversizing cost. For facilities which have been oversized for regional benefit in excess of that required by the project(s), the sponsor may also approach the District Board of Directors to determine if any direct District participation may be considered.

This is the "Year-of-the-Customer" at EMWD, and we are committed to you as our customer to assist you in the processing of your project. Please note that the proposed Storage Reservoir Program is preliminary currently at staff level, and subject to review, rejection, modification and/or approval by the District Board of

SENT BY: E M W O

5-23-96 9:27AM

9096531903-310-857-5503

1 of 3

Mr. Elliott Kahn
Storage Reservoir
May 23, 1996
Page 2

Directors. Additionally, the details of the above described existing programs are better defined in the applicable EMWD Rules and Regulations which are available for your review upon request.

Should you have any additional questions, please call me at (909) 766-1810, ext. 4407.

Sincerely,
Eastern Municipal Water District



Kevin E. Crew, P.E.
Assistant Director of Customer Service

KLC/cz

cc: John Fricker

\\WORDPROC\K7\NEW_EVS\11\022\MAY\K20

Eastern Municipal Water District

General Manager

John B. Brudin

Legal Counsel

Redwine and Sherrill

Director of The Metropolitan Water District of Southern California

Chester C. Gilbert

Treasurer

Rogers M. Cox



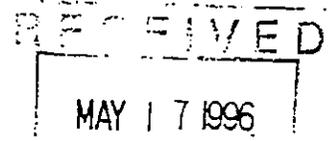
Board of Directors

Marion V. Ashlev, President
Richard R. Hall, Vice President
Roger D. Siems
David J. Slawson
Clayton A. Record, Jr.

Secretary

Mary C. White

May 14, 1996



Larry Markham
Markham & Associates
41750 Winchester Road, Ste. N
Temecula, California 92390

**SUBJECT: Murrieta Highlands and Golden City Specific Plan
Independent Plan of Water and Sewer Service**

Dear Mr. Markham:

Notwithstanding previous master plans of service conditions described in our December 6, 1995 letter (copy attached), the District is responding to your request for a determination of the required water and sewer facilities considered necessary to provide service to the subject projects' independent of the other. The following facilities described below will operationally respond to all service conditions of daily use, fire protection and system peaking for each project separately.

Water Service Plan

Murrieta Highlands:

MURRIETA HIGHLANDS LAND USE	ACRES	UNITS	AVERAGE DAILY DEMAND MGD	ANNUAL PEAK DAY DEMAND MGD
LOW DENSITY RESIDENTIAL		1167	0.70	1.40
HIGH DENSITY RESIDENTIAL	71.00		0.28	0.42
COMMERCIAL	14.60		0.03	0.40
SCHOOL (ASSUMED 1000 STUDENTS)	11.20		0.01	0.02
TOTAL			1.02	2.24

Larry Markham
P.O.S.
May 14, 1996
Page 2

The total required water storage considers the peak day demand and assumed worst case fire flow. Murrieta Highlands requires 2.24 MGD-DAY plus an assumed 5,000 gpm fire flow for 4-hours for a total of 3.44 million gallons of water storage. Considering a standard tank size of 4.0 million gallons the tank will be oversized by 0.56 million gallons. The tank site shall be considered for a total water storage capacity of 10.7 million gallons. Currently, the District is discussing a proposed tank funding program for District up-front participation in water storage tank construction.

An 18-inch diameter water transmission pipeline will be required for pump to tank transmission pipeline for this development's water demand. This assumes no other water demands are required of the system. A pump station shall be located at or near the intersection of Briggs and Keller Roads. The pump station shall be sized to accommodate the ultimate 9,820 gpm [9.5 MGD(24/180+0.89(24/18)+0.18(24/18))] pumping capacity in terms of storage replenishment for the combined MDDs of the 1750 Zone, 1960 Zone, and a portion of the 1627 Zone. The station shall draw from the 1627 Zone and discharge to the proposed 1750 Zone. The pumping requirement for the subject project is based upon tank replenishment of the maximum day portion of the proposed 4.0 million gallon tank volume within an 18 hour period. The subject project shall construct an initial pump capacity of 2.8 million gallons per 18 hour replenishment period or 2,592 gpm [2.8 MGD(24/18)].

For any commercial water service needs from facilities in Antelope Road or any road improvements required in Antelope Road affecting District standard location of water pipeline then 18-inch diameter water pipeline will be constructed to the north and/or south in Antelope Road from Keller Road. Murrieta Highlands shall construct 18-inch diameter water pipeline in Menifee Road of which only 12-inches is required to serve Murrieta Highlands itself.

Golden City:

GOLDEN CITY LAND USE	ACRES	UNITS	AVERAGE DAILY DEMAND MGD	ANNUAL PEAK DAY DEMAND MGD
MEDIUM DENSITY RESIDENTIAL		650	0.35	0.70
COMMERCIAL/BUSINESS PARK	57.3		0.11	0.17
TOTAL			0.46	0.87

The total required water storage considers the peak day demand and assumed worst case fire flow. Golden City requires 0.87 MGD-DAY plus an assumed 5,000 gpm fire flow for 4-hours for a total of 2.07, say

Larry Markham
P.O.S.
May 14, 1996
Page 3

2.0 million gallons of water storage. The tank site shall be considered for a total water storage capacity of 10.7 million gallons.

A 16-inch diameter water transmission pipeline will be required for pump to tank transmission pipeline for this development's water demand. This assumes no other water demands are required of the system. The pump station shall be located at or near the intersection of Briggs and Keller Roads. The pump station shall be sized to accommodate the ultimate 9,820 gpm [9.5 MGD(24/180+0.89(24/18)+0.13(24/18))] pumping capacity in terms of storage replenishment for the combined MDDs of the 1750 Zone, 1960 Zone, and a portion of the 1627 Zone. The station shall draw from the 1627 Zone and discharge to the proposed 1750 Zone. The pumping requirement for the subject project is based upon tank replenishment of the maximum day portion of the proposed 2.0 million gallon tank volume within an 18 hour period. The subject project shall construct an initial pump capacity of 0.8 million gallons per an 18-hour replenishment period or 741 gpm [0.8 MGD(24/18)].

For any commercial water service needs from facilities in Antelope Road or any road improvements required in Antelope Road affecting District standard location of water pipeline then 18-inch diameter water pipeline will be constructed to the north and/or south in Antelope Road from Keller Road.

Golden City shall require a 12-inch diameter water pipeline in the proposed realigned Baxter Road and Menifee Meadowlark Road from the proposed intersection of realigned Keller and Baxter Roads to proposed Golden City Drive. Fire flows exceeding 2,000 gpm within the Golden City will also require 12-inch diameter water pipeline in proposed Golden City Drive from Menifee Meadowlark Road to Antelope Road and 18-inch diameter water pipeline in Antelope Road from Golden City Drive to Keller Road.

The above discussion for Murrieta Highlands and Golden City may be interpreted as to construct 18-inch or 16-inch diameter pipeline in Keller Road. The attached December 6, 1995 letter, however, conditions, "the pump station discharge manifold piping shall be designed to discharge to a 24-inch diameter pipeline in Keller Road and a future 18-inch diameter pipeline to the north, blind flanged." The blind flanged pipeline to the north will allow for an 18-inch diameter pipeline to extend north in Briggs Road from Keller Road to Scott Road. An 18-inch diameter pipeline would then be constructed in Scott Road, joining with existing 18-inch diameter pipeline in Scott Road, from Briggs Road to Antelope Road. Therefore, the 18-inch/16-inch diameter pipeline size described to provide service to the subject projects' independent of the other will be constructed, however, it will parallel the 24-inch diameter water pipeline to be constructed in Keller Road. The two pipelines together will serve the regional water service needs. Note, certain lengths of this

Larry Markham
P.O.S.
May 14, 1996
Page 4

transmission pipeline's diameter for which future development will not parallel, will be oversized. Transmission pipeline from Antelope Road to the proposed water storage tank shall be a minimum 24-inch diameter (more appropriately 30-inch) and transmission pipeline from Leon Road to a proposed pump station at or near Briggs Road shall be a minimum 30-inch diameter. The 24-inch diameter transmission pipeline, described in the attached plan of service dated December 6, 1995, was considered for replenishment of an ultimate storage facility size of 10.7 million gallons. This was pursuant to the District's acceptance of headloss in excess of District standard headloss criteria for designing transmission with no more than 2 feet/1000 feet of pipe friction loss for flow ranging from 20 cfs to 50 cfs.

Wastewater Service Plan

Please refer to the attached letter dated December 6, 1995 regarding Sewer. Approval has been given for Golden City to utilize a temporary lift station at the easterly side of the subject project. The temporary lift station must be designed such that a regional gravity sewer facility may ultimately be installed to abandon the temporary lift station. The temporary lift station's force main shall discharge to the proposed Haun Road gravity sewer with a crossing of the I-215 Freeway near Keller Road. The Haun Road gravity sewer will provide a means to sewer the regions tributary flow and proposed 12.2 ADF-MGD regional lift station to be located near Benton and Briggs Roads. The temporary lift station's force main crossing of the I-215 Freeway shall consider a future large diameter force main from the proposed regional lift station to be located near Benton and Briggs Roads.

The subject projects together represent only a portion of the entire proposed Haun Road gravity sewer capacity. Comparing the subject project's average daily flows to the average daily flow capacity of the proposed Haun Road gravity sewer, a relationship of relative contributions toward the facility may be determined.

HAUN ROAD GRAVITY SEWER - AVERAGE DAILY FLOWS, CFS

REACH	MURRIETA HIGHLANDS	*GOLDEN CITY	**HAUN ROAD GRAVITY SEWER
8,280 FEET OF 15-INCH, KELLER RD. TO WICKERD RD.	NONE	1.17	1.86
2,640 FEET OF 18-INCH, WICKERD RD. TO GARBONI RD.	NONE	1.17	2.73
13,200 FEET OF 30-INCH, GARBONI RD. TO SALT CREEK	0.90	1.17	8.75

Larry Markham
P.O.S.
May 14, 1996
Page 5

- * Flow rate from Golden City considers the peak pumping capacity of the proposed temporary lift station. A peaking factor of 2.09 was used.
- ** Preferred minimum sewer slopes for each respective pipe diameter, 0.0032, 0.0024, and 0.0013 were used for capacity determination.

Murrieta Highland's engineer has determined the entire project will physically sewer by gravity to the Haleblian/Garboni Road sewer. Murrieta Highlands will utilize only a portion of the Haun Road gravity sewer from Garboni Road to the Salt Creek. Moreover, Murrieta Highlands must construct approximately 1,580 feet of 24-inch diameter gravity sewer across the I-215 Freeway in Garboni Road from Antelope Road to Haun Road.

The proposed Haun Road gravity sewer capacities are based on pipe diameters proposed as a first phase Haun Road gravity sewer. Regional planning efforts are currently underway to determine if a parallel Haun Road gravity sewer will actually be needed to serve the proposed regional lift station near Benton and Briggs Roads.

Should you have any questions please call me at (909) 766-1810, extension 4467.

Sincerely,
EASTERN MUNICIPAL WATER DISTRICT

Warren A. Back, P.E.
Associate Engineer II
Customer Service Department

WAB/
attachment

cc: Elliott Kahn
Inland Development Company
8913 Sunset Blvd.
West Hollywood, CA 90069

Mark Jennings
P.O. Box 66
Corona Del Mar, CA 92625-0066

Larry Markham
P.O.S.
May 14, 1996
Page 6

bcc: C. Bachmann
Planning Department

Eastern Municipal Water District

General Manager

John B. Bradin

Legal Counsel

Redwine and Sherrill

*Director of The Metropolitan Water
District of Southern California*

Chester C. Gilbert

Treasurer

Roger M. Cox



Board of Directors

Marion V. Ashley, President
Richard R. Hall, Vice President
Rodger D. Siems
David J. Slawson
Clayton A. Record, Jr.

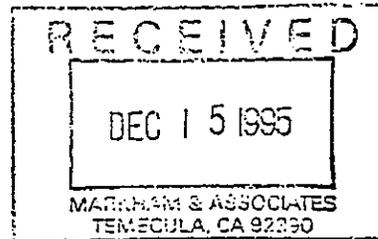
Secretary

Mary C. White

December 6, 1995

Mr. Elliott Kahn
Inland Development Company
8913 Sunset Blvd.
West Hollywood, CA 90069

Mr. Mark Jennings
P.O. Box 66
Corona Del Mar, CA 92625-0066



Re: Regional Plan-of-Service For the Rose Hills/Murrieta Hills,
Murrieta Highlands, Golden City Project Group

Dear Sir(s):

Per your request, we have reviewed the regional water, sewer and reclaimed water service requirements for your project group, and have prepared the following regional plan-of-service. It must be noted that this plan-of-service has been prepared with the latest project information provided by you. Additionally, realizing that the financing methodology has not been finalized, it is conceivable that participation in the regional facilities by a larger group of area developers may result in the need for a revised plan-of-service. Given that the subject projects, only, request EMWD service, however, the following plan-of-service will apply, subject to the timing of the project, the status of the District's permit to operate, and the service agreement between the District and the developers of the subject project.

Background

The subject regional project group is comprised of three Specific Plan developments, currently pursuing annexation to the City of Murrieta. Rose Hills/Murrieta Hills bounded approximately by I-215 to the east, and Keller Road to the north(see exhibits A-1, A-2, A-3) consists of an approximate 985 acre development comprised of an 184 acre memorial park, 363 acre residential development, 10 acre commercial/office development, and balance of acreage utilized by

Mr. Elliott Kahn
Mr. Mark Jennings
Plan-of-Service
December 6, 1995
Page 2

schools, circulation, park and open space. Murrieta Highlands bounded approximately by Keller Road to the south and Antelope Road to the west (see exhibits B-1, B-2) consists of an approximate 419 acre development comprised of 260 acres of residential development, 73 acres of commercial development and the balance of acreage utilized by schools, parks, circulation, and open space. Golden City bounded approximately by Antelope Road to the west and Baxter Road to the south (see exhibits C-1, C-2) consists of an approximate 248 acre development comprised of 201 acres of residential development, 47 acres of commercial development and balance of acreage utilized by schools, parks, circulation, fire station and open space.

Generally, the aforementioned projects have been found to be processing on similar time frames and are contiguous, therefore have approached the District for a regional plan-of-service.

Water

The nearest existing domestic water system is the Daily Pressure Zone which has a high water level of 1,853 feet, and a water storage volume of 0.21 MG. Although Daily Pressure Zone distribution pipelines exist in Menifee Road and Keller Road, due to storage and pumping constraints this system is not available for domestic potable water service to the subject projects.

With the exception of higher elevations and necessity for development of additional pressure zones on the Rose Hills/Murrieta Hills project, establishment of a 1750 High Water Pressure Zone will serve the Murrieta Highlands, Golden City and a portion of the Rose Hills/Murrieta Hills developments. The details and plan-of-service for the higher zones will continue to be coordinated with the Rose Hills/Murrieta Hills development.

Per the Preliminary Engineer's Report for the proposed Assessment District No. 16, the total regional maximum day demand for the service area of a Keller Road 1750 Zone system is 16.4 cfs, which breaks down as follows:

1750 Zone	14.74 cfs
1960 2116 Zone	1.38 cfs
1627 Zone (via regulation)	<u>0.28 cfs</u>
Total	16.4 cfs

Mr. Elliott Kahn
Mr. Mark Jennings
Plan-of-Service
December 6, 1995
Page 3

To satisfy these ultimate conditions, a total 1750 Zone storage volume of 10.7 million gallons, pump station capacity of 9,820 gallons per minute (based upon 18 hours MDD replenishment period), and a 30-inch diameter east/west pipeline in Keller Road from Leon Road westerly of Interstate 215 and various other regional transmission pipelines would be required. For the subject regional project group, however, all of the aforementioned facilities will not be required.

The total ultimate water demand imposed by the subject regional project group is as follows:

Residential Demand = 3,402 units x 3 c/unit x 200 gpd	= <u>2.04</u> mgd
Commercial Demand = 141 Ac x 3,000 gpd/Ac	= 0.42 mgd
Schools 21.2 AC x 60 students/Ac x 20 gpd/student	= <u>0.03</u> mgd
Total	2.49 mgd

Given an average daily demand of 2.49 mgd, the maximum daily demand is $2 \times 2.49 \text{ mgd} = 4.98 \text{ mgd}$ which is equivalent to 7.70 cfs or 3,458 gpm.

Assuming a commercial fire flow requirement of 5,000 gpm for 4 hours duration, the subject regional project group maximum day demand of 3,458 gpm, and the total regional constraints indicated above, the following facilities are required:

Storage - The total storage requirement for the regional project group is based upon the fire storage requirement plus one maximum day demand:

Fire Storage Volume	= 1.2 mg
One Maximum Day	= <u>5.0</u> mg
Storage	= 6.2 mg

A potential location for the storage facility is located near Keller Road, westerly of the I-215 Freeway on the Rose Hills/Murrieta Hills development property. The site and initial storage facility shall be designed in accordance with EMWD standards and accommodate the ultimate 10.7 mg storage requirement.

Pump Station - The pump station shall be located approximately near the intersection of Briggs and Keller Roads. The pump station shall be sized to accommodate the ultimate 9,820 gpm pump station. The station shall draw from the 1627 Pressure Zone and discharge to

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the proposed 1750 Pressure Zone. The total pumping requirement for the regional project group is based upon tank replenishment of one maximum day demand in an 18 hour period or $3,458 \text{ gpm} \times 24/18 = 4,610 \text{ gpm}$.

It is anticipated that approximately 240 pumping horsepower will be required to meet this criteria, however it is required that from the onset the pump station be designed to accommodate the ultimate pumping requirement in terms of site size, manifold size, pump bays, electrical system, etc., and in accordance with EMWD Engineering requirements.

Pipelines -

The east/west transmission pipeline to serve the subject regional project group shall be aligned in Keller Road and shall commence at the connection point to the existing 1627 Zone 48-inch diameter pipeline in Leon Road and shall extend westerly in Keller Road to the proposed tank site westerly of the I-215 Freeway.

For the subject regional project group, it is required that the pump station pipeline shall be 30-inch diameter from Leon Road to Briggs Road. The pump station discharge manifold piping shall be designed to discharge to a 24-inch diameter pipeline in Keller Road and a future 18-inch diameter pipeline to the north, blind flanged. A 24-inch diameter pipeline shall be extended from the pump station westerly in Keller Road to the proposed tank site.

For any construction proposed in Antelope Road, a 24-inch diameter line connecting to the Keller Road pipeline and extending to the southerly limits of Antelope Road construction shall also be required.

The design for in-tract or local distribution systems for the individual developments shall satisfy the individual fire flow requirements, maintaining a minimum of 20 psi residual pressure, and maximum day demand, maintaining 40 psi residual pressure everywhere in the systems.

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Sewer

Recently, Riverside County made a determination that the "Golf Course" sewer portion of Assessment District No. 161 from Murrieta Hot Springs Road northerly approximately to Benton Road would not be funded. Subsequently, Golden City requested relief from the construction of the sewer from the project area south which would now have to be extended the additional distance to Murrieta Hot Springs Road.

The District has considered the request and has reviewed the issue of sewerage the regional area tributary to the "golf course" sewer. The District will allow the Golden City Development to install a temporary lift station which will be located at the easterly side of the project and designed such that a regional gravity facility may ultimately be installed to abandon the lift station. The lift station force main shall discharge to the proposed Haun Road sewer, described below.

Upon completion of the Regional Sewer Study tributary to the "Golf Course" sewer, the District determined that a 12.2 mgd ADF regional lift station located near Benton and Briggs Roads will ultimately be required for the tributary basin. The lift station will discharge to Haun Road where a parallel sewer must ultimately be constructed.

The Haun Road sewer, as described below, is required for the subject Regional Project Group:

- From Keller Road approximately 8,000 lf northerly: 15-inch;
- From Garboni Road approximately 2,500 lf northerly: 21-inch;
- Continuing 1,200 lf northerly | 24-inch to Holland Road;
- From Holland Road to the connection to the 48-inch Salt Creek interceptor (7,400 lf): 30-inch.

The collection systems for the individual developments shall be designed per EMWD design and planning criteria.

Reclaimed Water

Pending receipt of further reclaimed water system information for the Rose Hills/Murrieta Hills development, the previously stated requirement per the District's Master Plan is required as follows:

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- Connection to the existing 24-inch diameter Leon Road reclaimed water pipeline at Keller Road;
- Construction of a reclaimed water pump station at the Leon Road or Briggs Road intersection with Keller Road;
- Construction of a 24-inch diameter pipeline from Leon Road and Keller Road westerly in Keller Road to the Rose Hills/Murrieta Hills project westerly of I-215;
- Construction of an appropriately sized storage facility to serve the flow and pressure needs of the respective developments.

Individual project facilities shall be designed to meet the various project needs and pressure requirements.

General

The subject regional project group of developments shall form water and sewer Improvement Districts in accordance with the District's Policies and Procedures.

All facility system designs shall be in accordance with EMWD design and operation criteria. Design shall be coordinated through Mr. Victor Barreto at (909) 766-1860 of the District's Engineering Department.

Should you have any additional questions please contact this office at (909) 766-1810.

Sincerely,
Eastern Municipal Water District



Kevin L. Crew, P.E.
Senior Customer Service Engineer

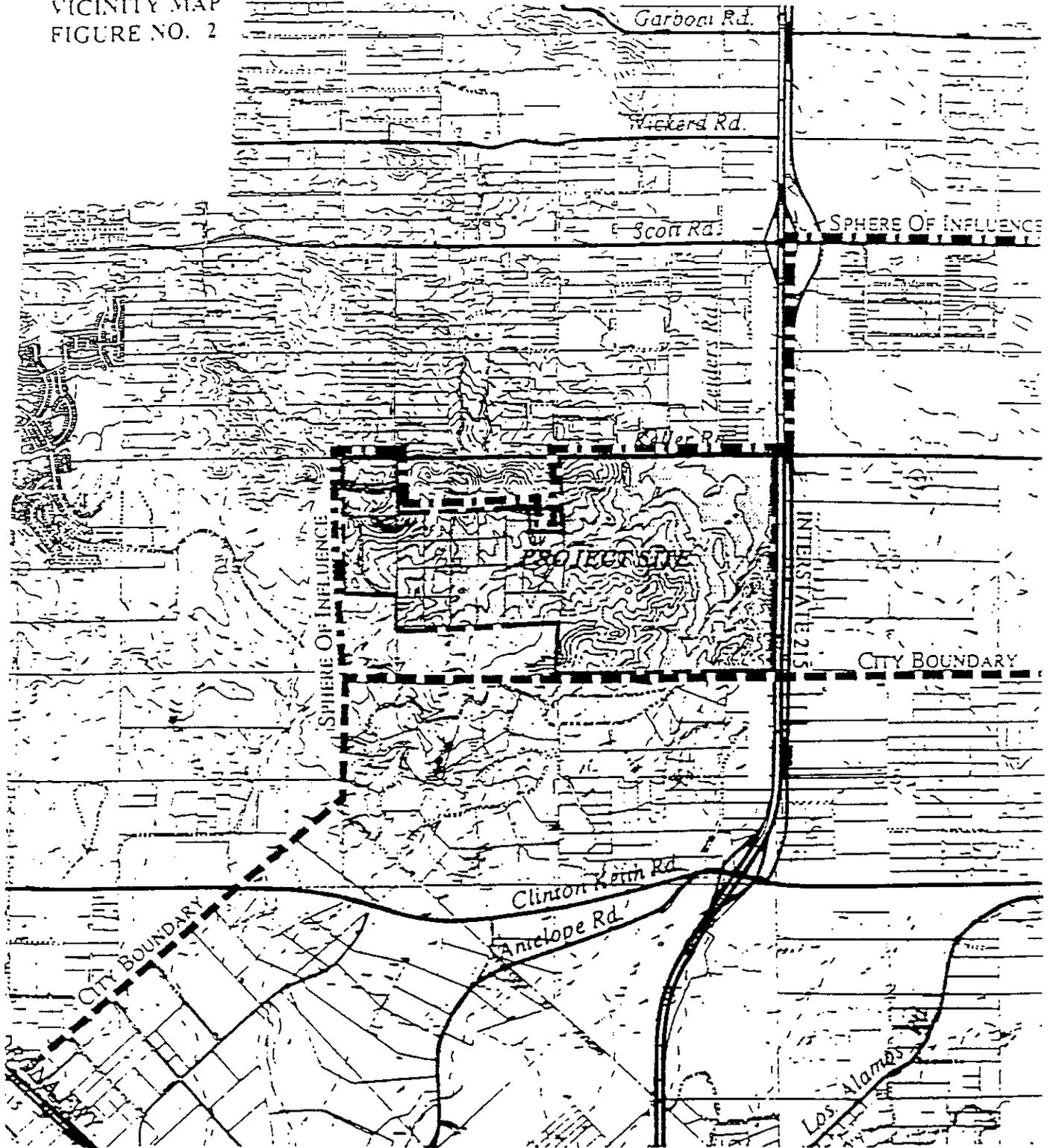
KLC/cz

attachments

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cc: John Fricker
R.C. Kung, Golden city
Larry Markham, Markham and Assoc.

VICINITY MAP
FIGURE NO. 2



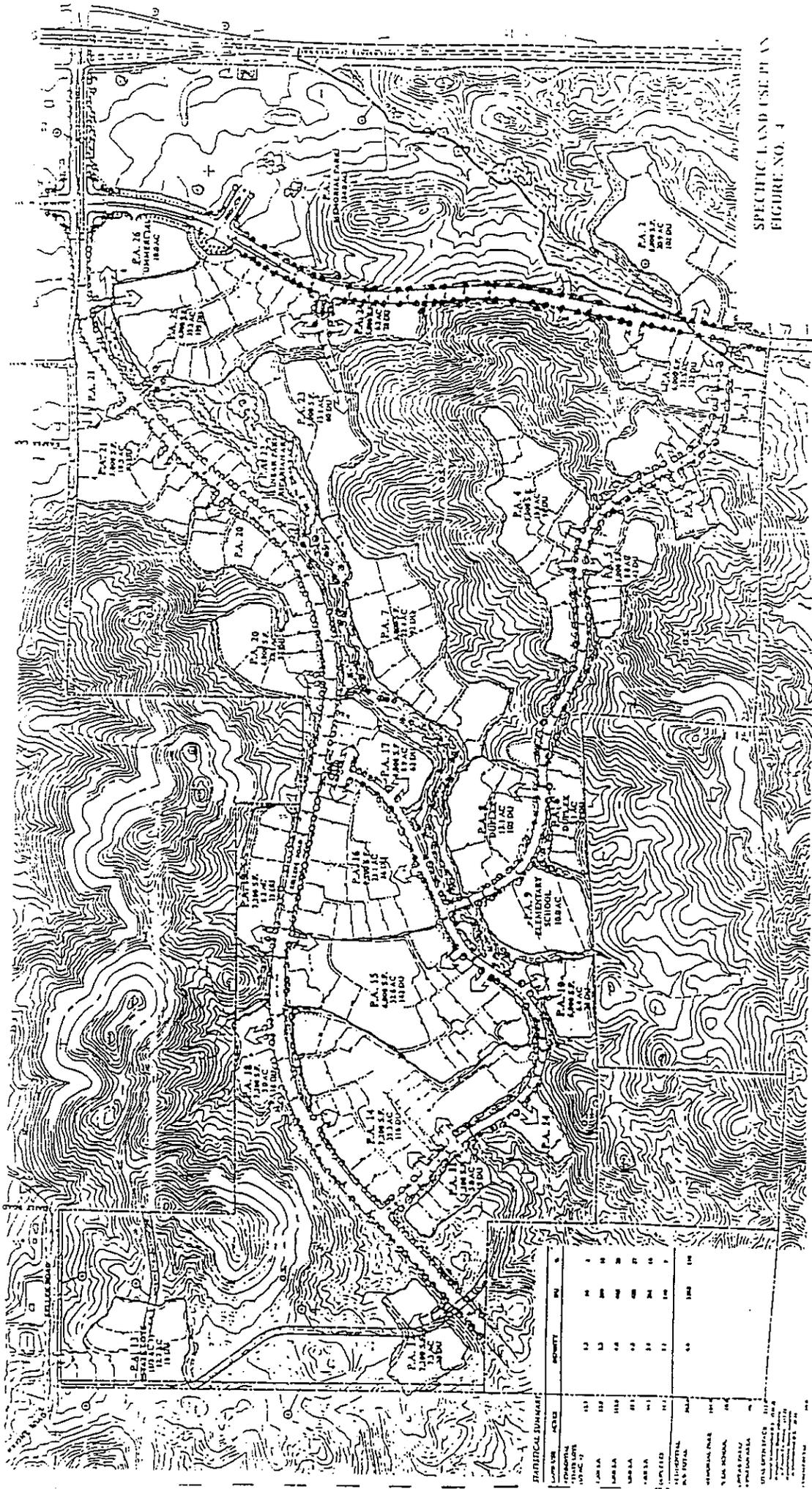
LAND USES SUMMARY
FIGURE NO. 3

DETAILED LAND USE SUMMARY

LAND USE	PLANNING AREA(S)	ACREAGE	DENSITY	DWELLING UNITS	PERCENTAGE/ ACRE
RESIDENTIAL					
SFD - 1/2+ Acre Estate Lots	13	12.7	1.3	16	1%
SFD - 7,200 s.f. Lots	11, 12, 14, 16, 18, 19	83.9	3.3	280	8%
SFD - 6,000 s.f. Lots	3, 7, 10, 15, 20	115.8	4.0	465	12%
SFD - 5,000 s.f. Lots	2, 4, 5, 21	87.9	4.8	423	9%
SFD - 4,000 s.f. Lots	17, 25	44.1	5.9	261	4%
MF - Duplexes	6, 8	18.2	7.7	140	2%
RESIDENTIAL SUBTOTAL		362.6	4.4	1,585	36%
COMMUNITY FACILITIES/OPEN SPACE					
Memorial Park	1	184.0	--	--	19%
Elementary School	9	10.0	--	--	1%
Linear Park/Riparian Corridor	22	46.5	--	--	5%
Open Space	--	313.0	--	--	32%
• Natural Undisturbed O.S.		288.3			
• Manufactured Slopes Adjacent to Project Roadways		18.2			
• Manufactured Slopes Adjacent to Undisturbed Open Space		6.5			
COMMUNITY FACILITIES/OPEN SPACE SUBTOTAL		553.5	--	--	57%
NON-RESIDENTIAL USES					
Neighborhood Commercial/Office	26	10.0	--	--	1%
Major Roads	--	59.1	--	--	6%
NON-RESIDENTIAL SUBTOTAL		69.1	--	--	7%
PROJECT TOTAL		985.2	1.6	1,585	100%

NOTE: All acreages are approximate and may vary slightly up or down.

EXHIBIT A-3



SPECIFIC LAND USE PLAN
FIGURE NO. 4

Prepared by: NBS/LOWRY
Rev. April 19, 1994

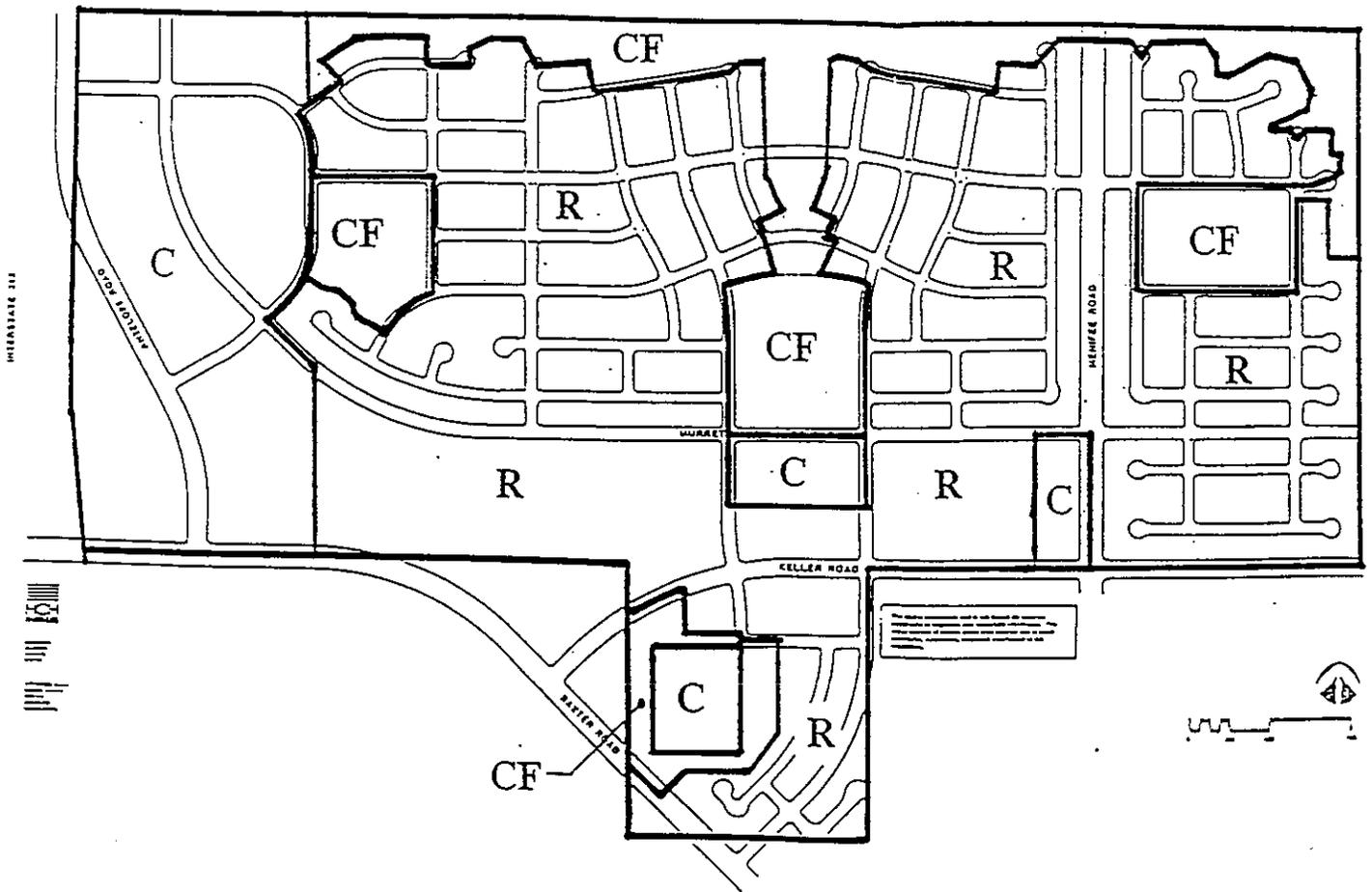
The State Office of Planning and Research prepared a guide entitled "Specific Plans in the Golden State, August 1988 which sets forth a comprehensive outline for the preparation of Specific Plans. The Planning Department provided each of the five applicants with written guidelines based upon the State guide to help in preparing each planning document in a consistent manner. These guidelines will be used by the City of Murrieta for all future Specific Plans which will help to facilitate their preparation and implementation.

ANALYSIS:

I. LAND USE PLAN: The Murrieta Highlands Specific Plan map details that within the 419.02 acres, there are proposed a maximum of 1167 dwelling units, with single family lot sizes in categories with minimum lot sizes of 7,200 sq.ft., 6,000 sq.ft. and 5,000 sq.ft. The proposed Murrieta Highlands Specific Plan calls for the following mix of land uses and residential densities.

LAND USE	ACRES	UNITS
Single Family 1	204.52	880
7,200 sq.ft. lots		150
6,000 sq.ft. lots		120
5,000 sq.ft. lots		610
Single Family 2	<u>55.50</u>	<u>287</u>
	260.02	1167
Multiple Use	71.00	
Neighborhood Commercial	14.60	
Convenience Commercial		
Civic Uses		
Wedding Chapel and B&B		
School	11.20	
Neighborhood Parks (2)	16.00	
Multi-purpose Greenbelt	35.10	
Open Space (slopes)	<u>7.00</u>	
	419.02 acres	1167 dwelling units

EXHIBIT B-2



C. LAND USE PLAN SUMMARY

The Golden City Specific Plan encompasses 248 acres. This high quality Master Planned Community is located in the northern most portion of the Murrieta Sphere of Influence as approved by the Local Agency Formation Commission (LAFCO). The entire project will be annexed to and developed within the City of Murrieta.

The City of Murrieta's General Plan designates the Golden City site with three land uses, Single Family Residential 1 (SF-1), Business Park (BP) and a Multiple Use 2 area (MU2). The Business Park land use is approximately 17.0 acres on the General Plan. The MU2 land use consists of approximately 29.8 acres on the General Plan. While the Residential land use is approximately 201.2 acres on the General Plan. The Residential area is within a Master Plan Overlay area. The Single Family 1 land use together with the Master Plan Overlay for Golden City permits a density of 3.5 dwelling units per acre. The 12.2 acre Golden City Neighborhood Commercial site is not included in the 201.2 acres for calculating density. Therefore, the overall maximum density permitted for the GCSP is 662 dwelling units on 189.0 acres.

TABLE IA
GENERAL LAND USE SUMMARY

Specific Plan Land Use	General Plan Ac.	SP Acres	Units	Density	Percent of SP Acres
Residential					
Single Family 1 (SF-1)		119.1	506	4.2	48.0 %
Single Family 2 (SF-2)		19.2	144	7.5	7.7 %
Total Residential	201.2	138.3	650	4.6	55.7 %
Commercial/Business Park*					
Business Park (BP)	17.0	15.5			6.3 %
Multiple Use 2 (MU2)	29.8	29.8			12.0 %
Neighborhood Commercial (NC)		12.2*			4.9 %
Total Comm'l & Industrial	46.8	57.5			23.2%
Community Facilities/O.S.					
Fire Station (Located in BP)		1.5			.6 %
Open Space (OS)**		40.7			15.5 %
Neighborhood Park (CP)		10.0			5.0 %
Total Community Facilities/ O.S.		52.2			21.1 %
Total Subject to MPO***	201.2	189.0	650	3.2	
Project Total	248.0	248.0	650	2.6	100.0 %

- * Acres not subject to MPO.
- ** 3.2 acres are located within the MU2/Business Park.
- *** MPO = Master Plan Overlay.

Note: General Plan and Specific Plan Acreage's are approximations and may vary 10% up or down.



**FISCAL IMPACT ANALYSIS
OF MURRIETA HIGHLANDS AND
GOLDEN CITY SPECIFIC PLAN PROJECTS**

Prepared For:

Inland Development
8913 Sunset Blvd.
Los Angeles, CA 90069
Golden City Ltd.
12475 Central Ave., #488
Chino, CA 91710

Prepared By:

CIC Research, Inc.
8361 Vickers Street
San Diego, CA 92111

October 18, 1993



EXECUTIVE SUMMARY

This report presents the findings of a fiscal impact analysis of annexing and developing Murrieta Highlands and Golden City Specific Plan Projects on the City of Murrieta. The proposed developments would consist of a total of 2,203 single family dwelling units (affordable housing products - \$140,000), 430 multi-family dwelling units, 26.50 gross acres of community commercial uses (showroom retail or large users), 37.32 gross acres of neighborhood commercial uses, 8.66 gross acres of convenience commercial uses, 7.90 gross acres of office professional uses and 57.80 gross acres of light industrial uses. The developments would be located just north of the current City of Murrieta limits and just east of Interstate 215. The projects are proposed to be annexed into the City of Murrieta. The fiscal analysis is prepared for both projects combined and includes a total of roughly 675 acres.

The fiscal impact analysis is presented annually from project start (1995) to build-out (2011). The project build-out and absorption schedule is derived from a previous market analysis prepared by CIC Research, Inc. Absorption and development of the proposed commercial uses is primarily dependent on the sales of residential units. The absorption schedule is utilized throughout the fiscal analysis to reflect the annual change in municipal revenues and expenditures. The summary table presented below details the annual municipal revenues, expenditures and net fiscal impact from Murrieta Highlands and Golden City developments at build-out (2011).

**NET FISCAL IMPACT OF MURRIETA
HIGHLANDS AND GOLDEN CITY
ON THE CITY OF MURRIETA**

REVENUE SOURCES	ANNUAL REVENUES AND EXPENDITURES AT BUILD-OUT (Thousands)
Secured Property Tax	\$211
Unsecured Property Tax	5
Property Transfer Tax	31
Sales & Use Tax	1,104
Business License	48
Franchise Tax	75
Miscellaneous Revenues	280
TOTAL REVENUES	\$1,754
EXPENDITURES SOURCES	
Police Department	\$720
Government, Administration	473
Roadway Maintenance	250
TOTAL EXPENDITURES	\$1,443
NET ANNUAL FISCAL IMPACT	\$311
NET CUMULATIVE IMPACT*	\$2,848

*Includes entire build-out schedule (1995 to 2011)

Source: CIC Research, Inc. 1993

As noted in the table, general fund revenue sources assumed to be derived from the development include secured property tax, unsecured property tax, property transfer tax, sales and use tax, business license fees, franchise tax and miscellaneous revenues. Sales tax generated from the proposed commercial developments represents the major revenue source. The quantity and type of commercial uses proposed for the projects will insure a positive net fiscal impact on the City of Murrieta. At build-out (2011) the combined projects will provide the City of Murrieta with an estimated \$1.754 million in gross revenues.



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... .. and of the Murrieta Fire Protection District were contacted for estimated costs and revenues associated with police and fire protection. The per

¹The case study method is based on specific characteristics of the project from which costs and revenues for municipal services can be estimated. Where costs and revenues cannot be directly associated with the project, then citywide per unit or per acre averages for the services are used.

Table 1

DETAILED LAND USE SUMMARY

Land Use	Murrieta Highlands			Golden City			Totals			Total Net Acres **
	Acres*	Density	Units	Acres*	Density	Units	Acres*	Density	Units	
Residential										
Single Family 1	235.18	4.98	1171	107.00	4.70	507	342.18	4.90	1678	-
Single Family 2	40.08	9.99	400	12.50	10.00	125	52.58	9.98	525	..
Multi-Family	20.00	14.95	300	8.70	14.90	130	28.70	14.98	430	..
Retail Commercial										
Community Commercial	15.00			11.50			26.50			20.41
Neighborhood Commercial	24.52			12.80			37.32			28.74
Convenience Commercial	4.66			4.00			8.66			6.66
Office & Light Industrial										
Office Professional	5.90			2.00			7.90			6.08
Light Industrial	0.00			57.80			57.80			44.51
Recreation & Open Space										
Resort/Recreation	5.11			0.00			5.11			..
Park/Open Space	6.98			6.80			13.78			..
Sports Park	20.00			0.00			20.00			..
Mini Parks	3.00			0.00			3.00			-
Woodland Corridor	34.67			23.40			58.07			-
Municipal & Other										
Fire Station	0.00			1.50			1.50			..
School	10.00			0.00			10.00			..
Civic	1.27			0.00			1.27			..
Total	426.37		187*	248.00		162	674.37			-

* areas shown are in gross acres.
 ** assumes a net usable acreage of 77 percent

Source: CIC Research, Inc., 1993
 Inland Development
 Golden City Ltd

Proposed commercial (Murrieta Highlands) parcels include a 15 gross acre parcel with freeway visibility and frontage which is planned for community commercial uses (showroom retail and large users). Two parcels totaling 24.52 gross acres are planned for neighborhood commercial uses. One of these parcels is located at the northwest corner of the proposed Menifee and Keller Roads; the other parcel is located on Antelope Road and will have freeway visibility. Other commercial parcels include 4.66 gross acres planned for convenience commercial uses located on Antelope Road and visible from I-215. An additional 5.90 gross acres are planned for office professional uses and 5.11 gross acres are planned for resort/recreation uses. The above mentioned proposed residential and commercial uses represent the major sources for municipal revenues and expenditures associated with developing Murrieta Highlands.

Similar to Murrieta Highlands, the Golden City development is primarily planned for single family residential uses (refer back to Table 1). Approximately 128 acres (52%) are planned for residential uses. A total of 762 residential units are proposed (632 single family and 130 multi-family units).

Proposed commercial uses include an 11.5 gross acre parcel with freeway visibility for community commercial uses, 12.8 gross acres for neighborhood commercial uses, and 4.0 gross acres for convenience commercial uses. These commercial uses are expected to be absorbed over the project build-out schedule (1995 to 2011). The proposed neighborhood commercial center is to be located at the intersection of proposed Baxter Road and Menifee Road. These two roads are planned as major area arterials with daily traffic volumes projected at roughly 30,000 each by 2015.

A small office park (2.0 gross acres) is planned for the southern end of the project, at the intersection of Menifee Road and Golden City Drive. Directly across from the office acreage is a small parcel (4.0 gross acre) planned for convenience commercial uses.

A 57.8 gross acre industrial park is also planned for the southern end of project, which extends from Interstate 215 to Menifee Road. The above mentioned acreages and residential units are combined with acreages and units proposed for Murrieta Highlands and utilized throughout this fiscal analysis.

As previously mentioned, the fiscal analysis is prepared for both projects combined. In total Murrieta Highlands and Golden City, developments include roughly 675 acres. The projected absorption schedule for the above land uses is presented in Table 2. The absorption schedule (1995 to 2011) was derived from a market analysis prepared by CIC Research, Inc. The absorption analysis is based on net acres, assuming an average of 77 percent usable acreage. The proposed absorption schedule is utilized throughout the fiscal analysis to reflect the annual change in municipal revenues and expenditures.

PROJECTED POPULATION AND VALUATION

Based on the County's average household size (2.86 persons per household), and an estimated 2.0 average persons per multi-family household the estimated population of Murrieta Highlands and Golden City would be approximately 7,160 persons at build-out. These population figures are utilized to estimate various municipal revenues and expenditures.

Valuation data were derived from the County Assessor's Appraisal Department, COMPS Inc. and local real estate brokers. Included in Table 3 is a summary of estimated assessed values for each of the revenue producing land uses. All values are presented in 1993 dollars and based on net acres. These identified assessed values are utilized in estimated property tax and property transfer tax revenues.

The single family units are expected to represent an affordable housing product with estimated selling prices of \$140,000. The multi-family units are expected to be developed as rental units, with assessed values of roughly \$65,000 per unit.

Table 2
 MURRIETA HIGHLANDS AND GOLDEN CITY
 ESTIMATED ABSORPTION OF OCCUPIED UNITS
 AND DEVELOPED NET ACRES*

	Number of Units/Net Acres By Year																	Total Gross Units/Acres
	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	
Single Family Residential		185	185	185	185	185	150	150	150	150	150	150	150	165				
Multi-Family Residential		30	30	30	30	30	26	25	25	25	25	25	25	25	25	25	30	
Community Commercial					2.50	11.55	2.50	2.50	1.30									20.41
Neighborhood Commercial																		26.74
Commerce Commercial					9.44					9.44			3.28		3.28			0.00
Office Professional										2.22								0.00
Light Industrial																		6.08
Resort/Recreation		2.00	2.00	2.00	2.00	2.00	3.50	3.50	3.50	3.50	3.50	3.50	3.50	3.50	3.50	3.01	44.51	57.80
																		3.93
																		5.11

* Net acres were derived using an average 77 percent usable acreage

Source: CIC Research Inc 1992

Table 3

**ESTIMATED ASSESSED VALUES
BY LAND USE
(1993 Dollars)**

Land Use	Density	Estimated Assessed Value
		Per Developed Unit/Net Acre
Residential		
Single Family	5 (DU's/Acre)	\$140,000
Multi-Family	15 (DU's/Acre)	\$65,000
Commercial		
Community	0.28 (F.A.R.)	\$1,427,000
Neighborhood	0.28 (F.A.R.)	1,281,000
Convenience	0.28 (F.A.R.)	1,427,000
Office	0.40 (F.A.R.)	1,742,000
Resort/Recreation*	0.10 (F.A.R.)	561,000
Industrial		
Light	0.30 (F.A.R.)	\$653,000

*Assumes a roughly \$100 per square foot construction cost for a 22,000 square foot building and \$3.00 per square foot land value.

Source: CIC Research, Inc., 1993.

In order to estimate assessed values for the proposed retail uses, an average floor area ratio (F.A.R.) of 28 percent (12,200 square feet of building per net acre) was utilized. The assessed values for retail uses were primarily derived from discussions with appraisers from the Riverside County Assessors Office. Per developed acre values for commercial uses range from \$1,281,000 for neighborhood uses to \$1,427,000 for community and convenience retail uses.

The proposed office developments are expected to have an estimated average F.A.R. of 40 percent, assuming some two-story projects. The office uses are estimated to be assessed at an average of \$1,742,000 per developed acre. The resort/recreation uses which are proposed for Murrieta Highlands are estimated to be assessed at \$561,000 per developed acre. The proposed light industrial uses are valued assuming a 30 percent F.A.R. which equates to an average assessed value of \$653,000 per developed acre.



MUNICIPAL REVENUES

Operating revenues for the City of Murrieta resulting from the proposed Murrieta Highlands and Golden City developments are estimated in this chapter. The major revenue sources which are expected to be generated from the subject developments and detailed in this chapter include property tax (secured and unsecured), property transfer tax, sales tax, business license revenue, franchise tax, animal license fees, miscellaneous fines, motor vehicle license fees, trailer coach license fees and traffic fines. The City of Murrieta's Budgets (FY1991 to 1994) for these revenue items is detailed in Table 4. The City's Budget for miscellaneous revenues (FY1993-1994) is allocated to the current total number of residential units to develop a per housing unit revenue ratio. The following sections detail each of the above revenue sources and the methodology employed to estimate the revenue from the subject developments. For each identified revenue source, a detailed table reflecting the revenue flow over the project build-out (1995 to 2011) is presented in the appendix of this report. All dollar figures are presented in 1993 dollars.

SECURED PROPERTY TAX

Secured property tax revenues generated from the proposed developments were calculated on the basis of a one percent tax rate on the current market value of the residential, commercial and industrial construction. According to the Murrieta City Managers Office, the development will be in the Tax Rate Area 024-001 and the City's share of the one percent tax collected will be 4.649 percent.

Table 4
CITY OF MURRIETA REVENUES*
 (FY 1991 To 1994)

REVENUE SOURCES	FY 1991 - 1992	FY 1992 - 1993	PROJECTED FY 1993 - 1994
Property Tax	\$787,456	\$750,500	\$590,000
Franchise Fees	159,000	329,047	505,000
Sales Tax	524,230	1,300,278	1,350,000
Property Transfer Tax	(In Misc.)	54,528	40,800
Business License Fee	78,746	107,837	108,000
Miscellaneous (Total)	1,024,951	1,041,212	1,032,000
Animal Licenses	--	13,111	13,000
Miscellaneous Fines	--	516	500
Motor Vehicle License Fees	1,024,951	1,008,515	1,000,000
Off Highway License Fees	--	493	0
Trailer Coach License Fees	--	5,700	5,500
Traffic Fines	--	12,877	13,000

*Includes only revenues which are expected to change as a result of developing Murrieta Highlands and Golden City.

Source: CIC Research, Inc.
 City of Murrieta

As noted in Table A-1 (in the appendix of this report), the total assessed value of the proposed developments in current dollars is estimated at \$453.7 million at build-out. Applying a one percent property tax to this tax base indicates revenue of \$4.5 million County-wide. The City's share (approximately 4.649 percent) of total tax collection results in net revenue from the subject developments to the City of Murrieta of \$211,000 a year at build-out.

UNSECURED PROPERTY TAX

Unsecured property which includes personal property such as equipment, inventory, furniture, etc. is taxed for commercial businesses only. The Riverside County Administrative Office's "Fiscal Impact Report Guide" indicated unsecured value can be assumed to equal 10 percent of secured value. The estimated secured assessed value for commercial and industrial development is \$117.3 million at build-out, which results in a unsecured value of \$11.7 million. The County receives one percent of the assessed value and the City's share is 4.649 percent or \$5,000 per year at build-out (refer to Table A-1).

PROPERTY TRANSFER TAX

Each time real property is sold, a property transfer tax is assessed. This tax would not only affect the original sale of a new home or commercial building, but also the resale of used property. An analysis conducted by the San Diego Association of Governments (SANDAG) indicates that the average turnover rate for residential property is once every seven years and for nonresidential property the average turnover rate is once every 14 years. The project's multi-family units are expected to be rental units which would apply to the turnover rate of once every 14 years.

The property transfer tax rate is \$.55 per thousand dollars of property value transferred. The City of Murrieta receives 50 percent of the property transfer tax (\$ 275 per \$500 assessed

valuation). The following formulas, which take both the transfer tax formula and the average turnover rate into account were utilized to yield average annual per unit property transfer revenue.

Single Family Residential	$\frac{\$275}{\$500}$	X	1/7	=	.00007857
Commercial/Industrial and Multi-Family Residential	$\frac{\$275}{\$500}$	X	1/14	=	.00003929

Applying these formulas results in the following annual property transfer taxes:

<u>Land Use</u>	<u>Value</u>	<u>Transfer Tax</u>
Single family unit	\$140,000	\$11.00
Multi-family unit	\$65,000	\$2.55
Community commercial acre	\$1,427,000	\$56.06
Neighborhood commercial acre	\$1,281,000	\$50.33
Convenience commercial acre	\$1,427,000	\$56.06
Office professional acre	\$1,742,000	\$68.44
Industrial acre	\$653,000	\$25.66

Refer to Table A-2 in the appendix of this report for estimated annual revenues from property transfer tax.

RETAIL SALES TAX

Retail sales tax revenue generated within Murrieta Highlands and Golden City is estimated on the basis of the proposed commercial land use. A retail market feasibility analysis prepared for the developments, indicated that the proposed retail elements are expected to be primarily supported by the projects' future residents. A portion of the sales tax revenues generated from the proposed developments will also be derived from residents outside of the City of Murrieta. Refer to Table 5 for the estimated annual sales tax revenues by land use.

An average coverage ratio of 28 percent (roughly 12,200 sq. ft. of building per acre) was combined with taxable sales per square foot ratios (\$187.00 for community commercial uses and

Table 5

ESTIMATED SALES TAX
REVENUES BY LAND USE
(1993 Dollars)

<u>Land Use</u>	<u>Square Foot Building Per Acre*</u>	<u>Taxable Sales Per Square Foot</u>	<u>Taxable Sales Per Developed Acre**</u>	<u>Annual Sales Tax Per Acre Generated to City***</u>
Community Commercial	12,200	\$187.00	\$1,939,190	\$19,392
Neighborhood Commercial	12,200	\$193.00	\$2,001,410	\$20,014
Convenience Commercial	12,200	\$193.00	\$2,001,410	\$20,014

*Utilizes a floor area ratio of 28 percent.

**Includes a vacancy rate of 15 percent.

***Represents a one percent share to the City of Murrieta.

Source: CIC Research, Inc., 1993
Urban Land Institute, Dollars & Cents of Shopping Centers

\$193.00 for neighborhood and convenience commercial uses) to determine the taxable sales per developed acre. Utilizing a vacancy rate of 15 percent and one percent share² to the City of Murrieta, results in an annual sales tax of \$19,392 per community commercial acre and \$20,014 annual sales tax per neighborhood and convenience commercial acre. Refer to Table A-3 in the appendix for the annual cash-flow of sales tax to the City of Murrieta.

BUSINESS LICENSE REVENUE

In order to estimate business license revenues, a fee schedule was obtained from the City of Murrieta. A flat rate fee of \$75 per year is applicable to the proposed office professional and light industrial uses resulting in an average business license fee of \$368 and \$120 per acre, respectively (refer to Table A-4).

Certain businesses pay a flat rate plus incremental fees, based on the annual gross receipts over \$500,000. Based on estimated business sizes and sales per square foot, community commercial businesses are expected to pay an annual business license fee of \$246 and neighborhood commercial business an annual fee of roughly \$194. Because of the relatively small size of the proposed convenience commercial uses, the expected annual fee will be a flat rate of \$75.00. Applying an average number of businesses per acre results in an average business license fee per developed acre of \$690 per community commercial acre, \$755 per neighborhood commercial acre, and \$653 per convenience commercial acre.

FRANCHISE TAX FEES

The City of Murrieta receives a franchise tax fee from providers of electricity, gas, cable television and trash collection to conduct business in the City. The annual fees are based on a percent of gross revenues. These fees are based on the following proportions:

²Although the sales tax rate within the City of Murrieta is 7.75% per dollar of taxable sales, only one cent of the 7.75 cents is returned to the City's General Fund

<u>Service</u>	<u>Percent of Gross Receipts</u>
	Minimum 1.0 percent
Electricity	2.0 percent
Gas	0.5 percent
Cable T.V. (King Company)	5.0 percent
Cable T.V. (Inland Company)	5.5 percent
Trash*	

*Gross receipts exclude tipping fees.

In estimating franchise fees per developed acre, CIC utilized monthly consumption data collected by Alfred Gobar Associates and presented in the "Fiscal Analysis of the Murrieta General Plan - Land Use Alternatives". Utilizing the consumption figures results in a annual franchise fee revenue of \$10 per residential unit, \$390 per commercial acre \$639 per office acre and \$535 per light industrial acre. Refer to Table A-5 in the appendix for an annual cash flow of franchise fees by land use.

MISCELLANEOUS REVENUES

Miscellaneous revenues include fees from animal licenses, miscellaneous fines, motor vehicle licenses, trailer coach license and traffic fees. These revenue sources were allocated entirely to residential uses. The City of Murrieta's FY1993/FY1994 budget for these items equates to roughly \$1.0 million. Allocating these total revenues to the existing 9,700 residential units equates to an estimated annual revenue of \$106 per residential unit. Refer to Table A-6 for an annual cash flow of miscellaneous revenues by land-use.



MUNICIPAL OPERATING EXPENDITURES

Operating expenditures for the City of Murrieta resulting from development and annexation of Murrieta Highlands and Golden City are estimated in this chapter. The major expenditures categories expected to be impacted by the subject developments are detailed in this chapter and include police protection, government administration, roadway maintenance and public works overhead. The City of Murrieta's operating Budgets for FY1991 to 1994 are presented in Table 6 and utilized to estimate per unit/acre expenditures. The methodologies employed to estimate these expenditures are presented in the following sections. Similar to the revenue analysis, all dollar figures are in 1993 dollars and detailed tables reflecting the annual expenditure cash flows are presented in the appendix, in the back of this report.

POLICE PROTECTION

Police protection for Murrieta Highlands and Golden City will be provided by the Murrieta Police Department. Lieutenant Rick McIntire of the Murrieta Police Department was contacted for expected expenditures associated with providing police protection to the subject developments. According to Lieutenant McIntire and based on forecasted population volumes (7,160 at build-out), the development would require roughly ten police officers, one supervisor and 1.5 vehicles at the following costs.

<u>Expenditure Item</u>	<u>Annual Cost Per Item</u>
Police Officer	\$62,556
Supervisor	\$72,000
Police Vehicle	\$15,000*

*represents a one time expense

Table 6
CITY OF MURRIETA OPERATING EXPENDITURES*
 (FY 1991 To 1994)

	FY 1991 - 1992	FY 1992 - 1993	PROJECTED FY 1993 - 1994
Government Administration	\$1,568,675	\$2,251,837	\$1,806,795
City Council	56,459	68,110	40,661
City Attorney	261,120	260,000	200,000
City Manager	318,046	389,650	276,938
Personnel	27,409	16,200	71,478
Comm. Promo.	9,951	21,200	1,500
Non Departmental	483,280	885,735	737,398**
Bldg. Maintenance	113,390	109,000	88,770
Special Projects	75,457	163,950	53,900
Economic Development	17,885	74,550	29,100
City Clerk	85,153	178,203	100,157
Finance	106,094	79,739	172,110
Business License	14,431	5,500	34,783
Roadway Maintenance	526,299	1,062,091	1,173,415
Public Works	521,259	1,055,591	1,166,915
Street Lighting	5,040	6,500	6,500
Police Department	501,634	2,579,892	2,404,938

* Includes only expenditures which are expected to change as a result of developing Murrieta Highlands and Golden City.

** Exclude the one time capital expenditure of \$1,432,200 for lease - purchase for the City Hall building.

Source: CIC Research, Inc.
 City of Murrieta

Lieutenant McIntire also mentioned a communication problem would exist in the study area which would eventually require a repeating tower as other proposed projects are built out. The rough cost for the repeating tower is approximately \$20,000.

Based on the above mentioned costs, excluding the repeating tower, the cost per person equates to \$101. Table A-7 presents the annual expenditure cash flow based on the projected absorption schedule for the residential units. An average of 2.86 persons per single family household and 2.0 persons per multi-family household was utilized.

GOVERNMENT ADMINISTRATION

The total costs for City government administration services were derived from the City's FY1993-94 Budget. These administrative services and proposed costs are presented in Table 7. In order to allocate these expenditure items, CIC proportioned the total budget to residential, commercial, and industrial uses by utilizing the following City-wide development acreage proportions:

City of Murrieta

<u>Land Use</u>	<u>Developed Acreage</u>	<u>Percent of Budget Allocated</u>	<u>Estimated Expenditures Allocated Per Unit/Acre</u>
Residential	5,556.9	91.2%	\$168
Commercial/Office	464.7	7.6	\$292
Industrial	<u>70.6</u>	<u>1.2</u>	\$303
	6,092.2	100.0%	

Refer to Table A-8 for an annual expenditure cash flow by land use.

ROADWAY MAINTENANCE EXPENDITURES

Roadway maintenance expenditures are included in the public works budget category in the City's FY1993-94 Budget. In order to allocate expenditures for roadway maintenance, CIC identified the estimated costs to maintain the roadways and the costs for public works

Table 7

CITY OF MURRIETA
ADMINISTRATIVE SERVICES

<u>Government Administration</u>	<u>FY1993-94 Budget</u>
City Council	\$40,661
City Attorney	200,000
City Manager	276,938
City Manager/Personnel	71,478
Community Promotion	1,500
Non Departmental	715,198*
Building Maintenance	88,770
Special Projects	53,900
Economic Development	29,100
City Clerk	100,157
Finance	172,110
Business License	<u>34,783</u>
Total	\$1,784,595

*Excludes the capital cost of \$1,432,200 for a new City Hall.

Source: CIC Research, Inc., 1993
City of Murrieta's FY1993-94 Budget

administration. According to Mr. Mike Brooks (Maintenance Superintendent, Public Works Department) the City maintains 50 centerline miles of roadway, at a total cost of \$262,000 (\$5,240 per mile). The City uses an outside contracting service for street maintenance and repair. The cost per mile (\$5,240) represents an average, which for the purpose of this analysis will be increased by 25 percent (based on an estimate from Mr. Mike Brooks) for four lane roads (\$6,550 per center line mile). According to the Facility Financing Plan prepared for Murrieta Highlands and Golden City, the two projects combined have a total of 3.17 miles of four-lane roads and 15.81 miles of two lane roads. It was assumed that the roads would be phased, in equal segments over the build-out schedule. The total annual cost to maintain the projects four-lane roadways would be roughly \$20,760 at build-out, the two-lane roadways would cost \$82,800 to maintain at build-out. Refer to Table A-9 in the appendix for an annual expenditure cash flow for roadway maintenance.

The public works department also has overhead costs associated with street maintenance. After a discussion with Mr. Mike Brooks, it was concluded that a portion of the following personnel and operating costs should be allocated to the study projects:

<u>Cost Item</u>	<u>FY1993-94 Budget</u>
Regular Salaries	\$271,291
Benefits/Insurance	94,735
Equipment Lease	14,015
Vehicle Maintenance	<u>4,400</u>
Total	\$384,441

In order to allocate these costs to the proposed project, a per mile overhead cost was estimated ($\$384,441 \div 50 \text{ miles} = \$7,689 \text{ per mile}$). Applying the identified per mile overhead cost to the subject development results in a total cost of \$146,000 ($\$7,689 \times 18.98 \text{ miles}$) at build-out for public works administrative services. Refer to Table A-9 in the appendix for an annual expenditure cash flow for public works administration costs.



SPECIAL DISTRICTS REVENUES AND EXPENDITURES

This chapter will highlight the fiscal impacts of annexing and developing Murrieta Highlands and Golden City on the special districts. The special districts include the Murrieta Fire Protection District (MFPD) and the Community Services District (CSD). Both districts are separate public services with autonomy from City funding considerations.

MURRIETA FIRE PROTECTION DISTRICT

Fire protection for the City of Murrieta and areas which may be annexed to the City is provided by the MFPD. The MFPD represents a separate funding agency with autonomy from City control. The MFPD has taxing authority to insure sufficient revenue is generated from property taxes and special assessments to cover operating expenditures. Information regarding these funding mechanisms was obtained from telephone conversations with Mr. Joe Whiserand at MFPD.

Revenue sources include a one time mitigation fee, special assessments and a share of the one percent property tax collected. The one time mitigation fee goes directly to a capital improvement fund to construct new fire stations. These one time fees consist of \$400 per dwelling unit and \$.25 per square foot of industrial and commercial developments. The total one time fee collected over the build-out schedule is estimated at \$1,267,000. Refer to Table A-10 in the appendix for an annual cash flow for these fees.

Operating expenditures are funded by a special assessment tax and a portion of the one percent property tax collected. The annual special assessment, which is included on the

property tax bill consists of \$130 per dwelling unit and \$40 to \$360 per commercial business depending on the needed water flow. For the purpose of this fiscal analysis, a median of \$200 per business will be used. The total special assessments at build-out will be \$408,000 (1993 dollars) per year.

In addition to the special assessment tax, MFPD receives 6.3 percent of the one percent property tax collected. At build-out (2011) the project will generate \$286,000 (1993 dollars) per year from property taxes for fire protection. Combining the property tax revenues with the special assessment revenues equates to a total annual revenue of \$694,000 at build-out. Refer to Table A-10 for an annual cash flow of the above mentioned revenues.

The FY1993-94 budget for total expenditures of MFPD is expected to be \$2.471 million. This fiscal analysis does not attempt to allocate a proportion of these expenses to the proposed development. It is assumed that the MFPD collects sufficient revenue to cover operating costs and that the projects would require services and expenditures similar to other City projects with the exception of a station site, which will be provided by the developer.

COMMUNITY SERVICE DISTRICT

The Community Service District (CSD) is also a separate funding agency under the administrative authority of the City of Murrieta. The CSD is responsible for the construction and maintenance of regional and neighborhood parks, recreation programs, street lighting, residential drainage facilities, landscape maintenance, slope protection, and recycling and refuse collection.

The cost to provide these services within the District are distributed among each assessable property based upon the benefit received by each property. The District consists of separate service levels in various areas throughout the City. Each parcel receives benefit from one or more service levels, based upon the parcel's location and the quantity and type of services provided.

Due to the difficulty in accurately estimating the CSD costs and revenues associated with the proposed developments, it is assumed that the CSD will collect sufficient special assessment revenues to offset any costs. A detailed revenue and cost analysis is not presented in this fiscal impact analysis.



NET FISCAL IMPACT

This chapter presents a summary of the municipal operating revenues and expenditures evaluated in the three previous chapters. As explained in the first chapter, the net fiscal impact is presented for each year of the project build-out. The projected absorption schedule is based on a separate market analysis prepared by CIC Research, Inc. Similar to the revenue and expenditure tables, all dollar values for the net fiscal impacts are stated in 1993 dollars and rounded to the nearest thousand of dollars.

REVENUES

Table 8 summarizes the annual municipal operating costs and revenues associated with developing Murrieta Highlands and Golden City from project start (1995) to build out (2011). The major sources of revenue include sales tax, property tax and miscellaneous revenues. Sales tax revenue represents the major contribution to the revenue sources beginning in the year 2000 and more than doubling by the year 2011. Revenue flow from property taxes also represents a major revenue source. The growth in miscellaneous revenues is directly tied with the growth in housing. The total annual revenues range from \$42,000 in 1996 to \$1.754 million in 2011 (build-out).

EXPENDITURES

The expenditure sources include police department, government administration and roadway maintenance. Annual expenditures for the police department reflect the projected growth in population and represent the largest expenditure item (\$720,000 at build-out).

Table 8
NET FISCAL IMPACT OF THE MURRIETA HIGHLANDS AND GOLDEN CITY
ON THE CITY OF MURRIETA

Revenue Sources	Revenues (In Thousands)																
	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011
Secured Property Tax	\$0	\$14	\$29	\$43	\$64	\$88	\$102	\$116	\$129	\$147	\$162	\$175	\$189	\$201	\$205	\$208	\$211
Unsecured Property Tax	\$0	\$0	\$0	\$0	\$1	\$2	\$3	\$3	\$3	\$4	\$4	\$4	\$5	\$5	\$5	\$5	\$5
Property Transfer Tax	\$0	\$2	\$5	\$7	\$10	\$13	\$15	\$17	\$19	\$21	\$24	\$26	\$28	\$30	\$30	\$31	\$31
Sales & Use Tax	\$0	\$0	\$44	\$44	\$282	\$550	\$599	\$647	\$673	\$862	\$907	\$907	\$972	\$972	\$1,038	\$1,038	\$1,104
Business License	\$0	\$0	\$2	\$2	\$11	\$22	\$24	\$26	\$27	\$35	\$38	\$38	\$41	\$41	\$44	\$45	\$48
Franchise Tax	\$0	\$3	\$7	\$10	\$18	\$28	\$33	\$37	\$42	\$49	\$55	\$59	\$64	\$68	\$71	\$74	\$75
Miscellaneous Revenues	\$0	\$23	\$46	\$69	\$91	\$114	\$134	\$154	\$173	\$193	\$212	\$232	\$251	\$272	\$274	\$277	\$280
TOTAL REVENUES	\$0	\$42	\$133	\$176	\$478	\$818	\$909	\$1,000	\$1,067	\$1,311	\$1,402	\$1,440	\$1,560	\$1,569	\$1,668	\$1,678	\$1,754

Expenditures Sources	Expenditures (In Thousands)																
	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011
Police Department	\$0	\$59	\$116	\$178	\$237	\$296	\$347	\$396	\$449	\$499	\$550	\$601	\$652	\$704	\$709	\$714	\$720
Government, Adm'n.	\$0	\$37	\$74	\$111	\$151	\$192	\$225	\$257	\$290	\$324	\$358	\$390	\$423	\$456	\$462	\$467	\$473
Roadway Maintenance	\$15	\$29	\$44	\$59	\$73	\$88	\$103	\$117	\$132	\$147	\$161	\$176	\$191	\$206	\$220	\$235	\$250
TOTAL EXPENDITURES	\$15	\$125	\$257	\$347	\$461	\$576	\$675	\$773	\$870	\$971	\$1,069	\$1,167	\$1,265	\$1,365	\$1,391	\$1,416	\$1,443
TOTAL REVENUES	\$0	\$42	\$133	\$176	\$478	\$818	\$909	\$1,000	\$1,067	\$1,311	\$1,402	\$1,440	\$1,560	\$1,589	\$1,663	\$1,678	\$1,754
TOTAL EXPENDITURES	\$15	\$125	\$257	\$347	\$461	\$576	\$675	\$773	\$870	\$971	\$1,069	\$1,167	\$1,265	\$1,365	\$1,391	\$1,416	\$1,443
NET FISCAL IMPACT	(\$15)	(\$83)	(\$104)	(\$171)	\$16	\$241	\$234	\$227	\$196	\$340	\$333	\$273	\$285	\$224	\$277	\$262	\$311
NET CUMULATIVE IMPACT	(\$15)	(\$98)	(\$202)	(\$373)	(\$356)	(\$115)	\$119	\$346	\$542	\$883	\$1,216	\$1,489	\$1,774	\$1,998	\$2,275	\$2,536	\$2,848

Source: CIC Research, Inc.: 1993

Government administration includes numerous City departments and ranges from an annual cost of \$37,000 in 1996 to \$473,000 in 2011.

The maintenance for roadways and the overhead associated with the public works department ranges from \$15,000 in 1995 to \$250,000 in 2011. Total expenditures range from \$15,000 in 1995 to \$1.443 million in 2011 (build-out).

NET FISCAL IMPACT

The net fiscal impact is negative for the first four years of the project: During the early years of project build-out the costs of providing municipal services to the area are not offset by the revenues that would be generated by relatively few dwelling units. However, as the project builds out and the commercial land uses come on line, the net fiscal impact turns positive by the year 1999 and remains positive throughout build-out. As the proposed residential units become occupied, the commercial developments will be constructed and occupied, and create a significant positive fiscal contribution to the project. Revenues from secured property tax also represent a significant positive fiscal contribution. The proposed residential product type (affordable housing-\$140,000) represents a very marketable housing unit which in turn will generate property taxes and provide support for the commercial development (sales tax revenue). Development of the quantity and type of commercial uses proposed at the projects will insure a positive net fiscal impact on the City of Murrieta.

From the year 1999 to 2011, the net fiscal impact averages a positive annual \$267,000. At build-out (2011) the projects will provide the City of Murrieta with \$1.754 million in gross revenue and will require \$1.443 million in gross municipal expenditures resulting in an annual net revenue of \$311,000. From project start (1995) to build-out, annexation and development of Murrieta Highlands and Golden City Specific Plan Projects represents a total benefit of \$2.848 million to the City of Murrieta.



APPENDIX A

Table A-1
SECURED PROPERTY TAX REVENUES BY LAND USE

Land Use	Cumulative Developed and Occupied Units (New Adds)																
	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011
Land Use	0	165	370	555	740	925	1,084	1,243	1,402	1,561	1,720	1,879	2,038	2,197	2,356	2,515	2,674
Single Family Residential	0	30	80	120	160	200	240	280	320	360	400	440	480	520	560	600	640
Multi Family Residential	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Community Commercial	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Neighborhood Commercial	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Convenience Commercial	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Office Professional	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Light Industrial	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Resto/Recreation	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0

SECURED PROPERTY TAX REVENUES	Secured Property Tax Revenue (in Thousands)																
	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011
Total Assessed Value	\$1,150	\$1,480	\$2,241	\$3,241	\$4,527	\$6,085	\$7,929	\$10,072	\$12,754	\$16,197	\$20,400	\$25,601	\$32,003	\$39,801	\$49,126	\$60,492	\$74,537
Tax Rate	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%
City of Murmeta Stable	\$115	\$148	\$224	\$324	\$453	\$609	\$793	\$1007	\$1275	\$1620	\$2040	\$2560	\$3200	\$3980	\$4913	\$6049	\$7454

City of Murmeta Stable
Derived from discussions with the Assistant City Manager (IRA 1024-06)

Table A-2
ESTIMATED PROPERTY TRANSFER TAX REVENUES BY LAND USE

Land Use	Number of Acquired Properties (in Thousands)																
	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011
Single Family Residential	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14
Multi Family Residential	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14
Community Commercial	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14
Neighborhood Commercial	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14
Convenience Commercial	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14
Office Professional	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14
Light Industrial	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14	14
Total Tax Collected	\$1,150	\$1,480	\$2,241	\$3,241	\$4,527	\$6,085	\$7,929	\$10,072	\$12,754	\$16,197	\$20,400	\$25,601	\$32,003	\$39,801	\$49,126	\$60,492	\$74,537

Single Family Residential
Community Commercial
City of Murmeta Stable
Source: CIC Research, Inc 1993
Riverside County Assessors Office
City of Murmeta, City Manager Office

Table A-3
ESTIMATED SALES TAX REVENUES BASED ON RETAIL SQUARE FOOTAGE

Land Use	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011
Community Commercial	30	30	30	\$4,847	\$2,048	\$2,048	\$2,048	\$2,048	\$2,048	\$2,048	\$2,048	\$2,048	\$2,048	\$2,048	\$2,048	\$2,048
Neighborhood Commercial	30	30	30	\$18,808	\$18,808	\$18,808	\$18,808	\$18,808	\$18,808	\$18,808	\$18,808	\$18,808	\$18,808	\$18,808	\$18,808	\$18,808
Convenience Commercial	30	30	30	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442
Office Professional	30	30	30	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442	\$4,442
Total Retail Sales	30	30	30	\$28,118	\$28,118	\$28,118	\$28,118	\$28,118	\$28,118	\$28,118	\$28,118	\$28,118	\$28,118	\$28,118	\$28,118	\$28,118
City of Murnela Share	50	50	50	\$7,029	\$7,029	\$7,029	\$7,029	\$7,029	\$7,029	\$7,029	\$7,029	\$7,029	\$7,029	\$7,029	\$7,029	\$7,029

*Assumes a vacancy rate of 15 percent

Table A-4
ESTIMATED BUSINESS LICENSE REVENUE BY LAND USE

Land Use	Average Business Size	Average Number of Businesses Per Acre	Average Business License Fee Per Acre	Business License Revenue (in thousands)													
				1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009
Community Commercial	3,700	5	\$755	\$3,700	\$3,700	\$3,700	\$3,700	\$3,700	\$3,700	\$3,700	\$3,700	\$3,700	\$3,700	\$3,700	\$3,700	\$3,700	\$3,700
Neighborhood Commercial	1,400	6	\$653	\$8,400	\$8,400	\$8,400	\$8,400	\$8,400	\$8,400	\$8,400	\$8,400	\$8,400	\$8,400	\$8,400	\$8,400	\$8,400	\$8,400
Convenience Commercial	2,800	4	\$368	\$11,200	\$11,200	\$11,200	\$11,200	\$11,200	\$11,200	\$11,200	\$11,200	\$11,200	\$11,200	\$11,200	\$11,200	\$11,200	\$11,200
Office Professional	7,500	1	\$120	\$7,500	\$7,500	\$7,500	\$7,500	\$7,500	\$7,500	\$7,500	\$7,500	\$7,500	\$7,500	\$7,500	\$7,500	\$7,500	\$7,500
Total Business License Revenue				\$30,700	\$30,700	\$30,700	\$30,700	\$30,700	\$30,700	\$30,700	\$30,700	\$30,700	\$30,700	\$30,700	\$30,700	\$30,700	\$30,700
City of Murnela Share				\$15,350	\$15,350	\$15,350	\$15,350	\$15,350	\$15,350	\$15,350	\$15,350	\$15,350	\$15,350	\$15,350	\$15,350	\$15,350	\$15,350

1997: 1,064 Budget For Franchise Fees

Table A-5
ESTIMATED FRANCHISE FEES BY LAND USE

Land Use	Average Franchise Fee Per Unit/Acre	Franchise Fees Revenue (in thousands)														
		1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010
Single Family Residential	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Multi Family Residential	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Community Commercial	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Neighborhood Commercial	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Convenience Commercial	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Office Professional	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Light Industrial	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Total Franchise Fee Revenue																
City of Murnela Share																

* Parcel values were derived from Parcel Analysis of The General Plan - Land Use Alternatives prepared by Jirad Gobat Associates in July, 1993
** Utilizes an average density of 28 units per acre
Source: CIC Research, Inc. 1990
City of Murnela

Table A-C
ESTIMATED MISCELLANEOUS REVENUES BY LAND USE

1999/2004 Budget Miscellaneous Revenue	Miscellaneous Revenue (in thousands)											
	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011
Animal Licenses	\$13,000											
Miscellaneous Fines	\$560											
Motor Vehicle Licenses	\$1,200,000											
Trailer Coach Licenses	\$5,500											
Traffic Fees	\$17,000											
Total Miscellaneous Revenue	\$1,222,060											

Table A-D
ESTIMATED EXPENDITURES FOR POLICE DEPARTMENT

Category	Police Expenditures (in thousands)											
	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011
Land Use												
Single Family Residential	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Multi-Family Residential	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Total Miscellaneous Revenue	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

Assumes 2000-2004 Police Department Personnel and 2005 Personnel per month, all other police

Source: City of Memphis, Police Department

ESTIMATED EXPENDITURES FOR GOVERNMENT ADMINISTRATION BY LAND USE

1900:1904 Budget for Government Expenditures \$1,704,203

Land Use	Days 3045 Average	Percent of Budget Allocated	Estimated Expenditure Allocated Per Unit/Acre
Total Residential	5,656.9	31.2%	\$104
Total Commercial/Office	404.7	7.6%	\$292
Total Industrial	70.6	1.2%	\$200
Total	6,032.2	100.0%	

Land Use	Government Expenditures (in thousands)											
	1906	1908	1917	1928	1939	1950	1962	1973	1984	1995	2006	2017
Single Family Residential	\$0	\$31	\$32	\$53	\$124	\$155	\$182	\$235	\$262	\$315	\$342	\$370
Multi-Family Residential	\$0	\$3	\$10	\$15	\$20	\$25	\$34	\$38	\$42	\$50	\$55	\$59
Community Commercial	\$0	\$0	\$0	\$0	\$4	\$4	\$6	\$6	\$6	\$6	\$5	\$5
Neighborhood Commercial	\$0	\$0	\$0	\$0	\$3	\$3	\$3	\$3	\$3	\$3	\$3	\$3
Convenience Commercial	\$0	\$0	\$1	\$1	\$1	\$1	\$1	\$1	\$1	\$1	\$1	\$1
Office Professional	\$0	\$0	\$0	\$0	\$1	\$1	\$1	\$1	\$1	\$1	\$1	\$1
Light Industrial	\$0	\$1	\$1	\$2	\$2	\$3	\$4	\$5	\$7	\$8	\$9	\$12
Total Government Expenditures	\$0	\$37	\$74	\$74	\$151	\$182	\$225	\$299	\$324	\$356	\$425	\$462

City of Atlanta 5 Year	1994	1997	2000	2003	2006	2009	2012	2015	2018	2021
	\$45	\$74	\$111	\$151	\$182	\$225	\$262	\$315	\$342	\$370

ESTIMATED EXPENDITURES FOR ROADWAY MAINTENANCE

Roadway Expenditures (in thousands)	Roadway Expenditures (in thousands)										
	1994	1997	2000	2003	2006	2009	2012	2015	2018	2021	2024
Paved Roadway (Lanes)	\$25	\$57	\$87	\$124	\$155	\$182	\$219	\$256	\$293	\$330	\$367
Paved Roadway (Lanes)	\$15	\$32	\$49	\$66	\$83	\$100	\$117	\$134	\$151	\$168	\$185
Total Expenditures	\$40	\$89	\$136	\$190	\$238	\$282	\$336	\$390	\$444	\$498	\$552

* Assumes roads are graded in equal increments over the development schedule

Source: C/C Ramebarn Inc. 1990

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CITY OF MURRIETA
CITY COUNCIL REPORT

DATE: OCTOBER 28, 1996

TO: HONORABLE MAYOR AND CITY COUNCIL

FROM: ERNEST PEREA, PRINCIPAL PLANNER

VIA: RONALD H. SMOTHERS, CONSULTANT PLANNER *RHS*

SUBJECT: GOLDEN CITY SPECIFIC PLAN SPM-5 (92-158) AND FINAL ENVIRONMENTAL IMPACT REPORT

RECOMMENDATION

The Planning Commission recommends that the City Council:

1. Consider the information contained in the Final Environmental Impact Report (FEIR) for the General Plan certified on June 24, 1994; and the information contained in the Golden City Final Environmental Impact Report dated November 1996 together with the Statement of Overriding Considerations and the CEQA findings prior to reaching a decision on the project; and
2. Adopt the Resolution certifying that the Final Environmental Impact Report (FEIR) (including the Mitigation Monitoring Program) has been prepared in accordance with the California Environmental Quality Act, CEQA Guidelines, and the Environmental Review Procedures of the City of Murrieta and adopting the Statement of Overriding Considerations; and
3. Approve the Resolution which approves Golden City Specific Plan SPM-5, Development Plans, Planned District Regulations, and Community Design Manual, subject to the attached conditions; and
4. Introduce a Zone Change Ordinance which approves rezoning the site of the Golden City Specific Plan to the SP zone district.

BACKGROUND

This project is a comprehensive plan for the physical development of land. The role of this Specific Plan is to serve as guidelines for the development of a master planned community. This project consists of residential development (up to 692 dwelling units), a Multiple Use area (neighborhood shopping, commercial, office/professional and light industrial uses), a Business Park area, an elementary school, open space areas and a neighborhood park. The Specific Plan

includes chapters on the Development Plans, Zoning Ordinance, Community Design Manual, and Public Facilities Plan; and the Final Environmental Impact Report.

The Planning Commission held a public hearing for this proposed specific plan and EIR at their October 2, 1996 meeting to adopt the resolution recommending approval of this project. The process involved the Planning Commission receiving a set of draft conditions of approval, discussion of issues, comments from the public, responses from the applicant, and consideration of revised conditions of approval.

The Planning Commission has recommended the City Council certify the Final Environmental Impact Report and approve the Golden City Specific Plan. You will note in the recommended conditions of approval that the Public Facilities Plan will be completed in the upcoming months following the approval of the Specific Plan. The Public Facilities Financing Plan will be submitted to the Planning Commission and City Council for approval.

FISCAL IMPACT

The Fiscal Impact Analysis submitted with the original plans addressed the impact of both Golden City Specific Plan and the Murrieta Highlands Specific Plan. This study concludes as would be generally expected that a net fiscal benefit to the City of \$311,000.00 will occur per year. Upon the completion of the Public Facilities Financing Plan it would be appropriate to revisit this tool and incorporate its findings.

EXHIBITS

1. City Council Resolution certifying the Final EIR and adopting a Statement of Overriding Considerations.
2. City Council Resolution which approves Golden City Specific Plan SPM-5, Development Plans, Planned District Regulations, and Community Design Manual.
3. Zone Change Ordinance which approves rezoning the site of the Golden City Specific Plan to the SP zone district.
4. P.C. Resolution No. 96-001 recommending certification of the Golden City Specific Plan Final EIR and the Statement of Overriding Considerations, and recommending approval of the project and rezoning of the project site.
5. October 2, 1996 P.C. Staff Report.
6. Miscellaneous Communications.
7. Final Environmental Impact Report, dated November 1996.

EXHIBIT "1"

CITY COUNCIL RESOLUTION NO.96-461

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
MURRIETA CERTIFYING THE FINAL ENVIRONMENTAL IMPACT REPORT
AND ADOPTING A STATEMENT OF OVERRIDING CONSIDERATIONS FOR THE
GOLDEN CITY SPECIFIC PLAN**

WHEREAS, Section 65450 of the Government Code allows cities to adopt a Specific Plan for the physical development of a specified area or property ; and

WHEREAS, the California Environmental Quality Act (CEQA), as amended (Sections 21000 through 21177 of the Public Resources Code), requires that prior to the approval of any project the Lead Agency shall consider the potential impacts and effects of said project, consider alternatives to the project, and identify mitigation measures necessary to reduce or eliminate the impact of the project on the environment; and

WHEREAS, the City of Murrieta is the Lead Agency for the Golden City Specific Plan project and has prepared an Environmental Impact Report (EIR) for the Golden City Specific Plan in accordance with the provisions of CEQA and the CEQA Guidelines prepared by the Office of Planning and Research; and

WHEREAS, the City of Murrieta prepared an Initial Study for the Golden City Specific Plan and determined that an EIR would be required for the project in accordance with the provisions of CEQA and the CEQA Guidelines prepared by the Office of Planning and Research; and

WHEREAS, the City of Murrieta issued a Notice of Preparation on May 20, 1992; and

WHEREAS, a number of comments were received concerning the scope and content of the EIR for the Golden City Specific Plan and were used to guide the preparation of the Draft EIR; and

WHEREAS, the City of Murrieta issued a Notice of Completion for the Draft EIR on March 25, 1996, and

WHEREAS, the Draft EIR was available for public review and comment from April 3, 1996 through May 17, 1996; and

WHEREAS, the City received a number of letters with comments and concerns about the content of the Draft EIR for the Golden City Specific Plan; and

WHEREAS, the Draft EIR for the Golden City Specific Plan identified a number of significant impacts relating to traffic/circulation, air quality, geology/seismic, drainage/hydrology/erosion, landform alteration/aesthetes/visual, light and glare, biology, cultural and paleontological resources, noise, and public services/facilities;

WHEREAS, the Draft EIR determined that a number of significant impacts could be mitigated and reduced to a level of insignificance for the following: traffic/circulation, geology/seismic, drainage/hydrology/erosion, biology, cultural resources, noise (project specific), air quality (project specific) and public services/facilities;

WHEREAS, the Draft EIR determined that, even with the application of available mitigation measures, cumulative long-term air quality, cumulative noise, landform alteration/aesthetics/visual and light and glare impacts could not be mitigated to a level of insignificance; and

WHEREAS, the Planning Commission has held duly noticed public hearings on October 2, 1996, to consider the proposed Golden City Specific Plan and EIR; and

WHEREAS, the City provided a copy of the Response to Comments to all Responsible Agencies on September 20, 1996, as provided in State law.

NOW, THEREFORE, THE CITY COUNCIL FOR THE CITY OF MURRIETA DOES HEREBY RESOLVE AS FOLLOWS:

SECTION I. Findings on the Final Environmental Impact Report for the Golden City Specific Plan

Findings on the Environmental Impact Report. The City makes the following findings on the Final EIR for the Golden City Specific Plan:

A. Traffic and Circulation

The Golden City Specific Plan will have significant impacts to traffic circulation based on the number of daily trips that will be generated and limits to the existing roadway system's capacity. In addition, the four additional projects anticipated for the area combined with this project result in cumulative traffic impacts. The Golden City Specific Plan proposes a Public Facilities Plan that addresses circulation improvements necessary to accommodate this project as well as the other planned projects. The PFFP identifies the individual project's share of the impact and their responsibility for mitigation.

The proposed project shall participate in the phased construction of off-site roadway improvements. Implementation of mitigation measures contained in Section 4.2 will reduce traffic impacts from the proposed project to a level of less than significant.

The Final EIR concludes that the following policies, regulations, and mitigation measures would reduce the potentially significant impact identified above to a less than significant level:

On-Site

- 4.2.4.1. Access to the proposed Golden City project shall be focused to the locations shown on Figure 4.2.6.
- 4.2.4.2 Project roadways shall be aligned and sized as illustrated on Figure 4.2.7. Because of the potential high capacity requirements for the Keller Road/Baxter Road corridor east of the I-215 Freeway, access to this facility shall be limited. Full access locations with median breaks shall be a minimum of at least 1,200 feet from the nearest intersection on the Keller Road/Baxter Road corridor west of Menifee Road. On Menifee Road, full access locations with median breaks shall be a minimum of at least 660 feet from the nearest intersection.
- 4.2.4.3 On Antelope Road, full access locations with median breaks shall be a minimum of at least 660 feet from the nearest intersection. On Keller Road northeast of the Keller Road/Baxter Road corridor, full access locations with median breaks shall be a minimum of at least 330 feet from the nearest intersection. On Golden City Drive, full access locations with median breaks shall be a minimum of at least 330 feet from the nearest intersection.

Off-Site

- 4.2.4.4 To ensure that roadway improvements are provided in conjunction with each development phase, the following development monitoring requirements should be enforced throughout the study area by the City of Murrieta:
- a. Traffic impact study reports shall be provided with submittal of each tentative tract map or plot plan as required by the City of Murrieta.
 - b. The required format for each traffic impact study report shall be determined by the City of Murrieta. The study shall meet both CMP and City requirements as deemed appropriate by City staff. The required format shall include evaluation of peak hour conditions at intersections significantly impacted by each phase of development.
 - c. If an impacted intersection is estimated to exceed City service level standards, then appropriate link and intersection improvements shall be required to be presented for City staff review.
 - d. The improvements needed to maintain the City service level standards shall be required to be in place prior to occupancy of the relevant development phase. Improvements which are included in an adopted fee program will be provided by the fee program mechanism if funds are currently available. If funds are not available to meet the circulation improvement needs at any

particular development phase, then the project proponent shall either provide the off-site improvements directly (with future reimbursement or credits if a relevant fee program has been adopted by the City), or the development must await other sources of implementation for the necessary circulation improvements.

- 4.2.4.5 As future areawide development occurs, the measures listed in the proposed Public Facilities Plan shall be implemented to mitigate the cumulative impact on traffic circulation due to growth. The implementation of each measure shall be determined as future entitlements are granted for development in and around the project area.
- 4.2.4.6 The traffic signals required within the study area shall specifically include an interconnect of the signals to function in a coordinated system.
- 4.2.4.7 Traffic signing/striping should be implemented in conjunction with detailed construction plans for the proposed project.
- 4.2.4.8 Sight distance at each intersection shall be reviewed with respect to standard Caltrans/City of Murrieta sight distance standards at the time of preparation of final grading, landscape and street improvement plans.
- 4.2.4.9 Bus turnouts designed in accordance with Figure 4.2.10 shall be provided within the Specific Plan area. The bus turnouts shall substantially be located in accordance with Figure 4.2.9.
- 4.2.4.10 At the time of Tract Map review, the applicant shall submit for review and approval by the Community Development Director, evidence that the project design is consistent with the requirements of the City's Transportation Demand Management Ordinance. The TDM Ordinance adopted by the City Council will identify the facility standards which will be enforced within the City, which may include some of the measures identified above.

B. Air Quality

The analysis in the Draft and Final EIR, indicates that future growth permitted by the proposed project would result in the following potentially significant environmental impacts:

1. Additionally contributes to the regional inability to attain the ozone standard;
2. Increased levels of emissions as a result of construction activity.

The Final EIR concludes that the following Specific Plan policies and regulations and EIR mitigation measures would reduce the potentially significant impacts identified above to a less than significant level, with the exception of increased long-term emissions and cumulative regional air quality degradation:

4.4.4.1 Prior to approval of any tentative maps for the project area, a "Dust Control Plan and Compliance Monitoring Plan" shall be prepared. The "Dust Control Plan" shall identify particular mitigation measures, including appropriate measures required and recommended by the SCAQMD, to be implemented during project development. These measures shall include, but not be limited to the use of following dust control methods:

- Enclose, cover, water twice daily or apply approved soil binders according to manufacturers' specification, to exposed piles (i.e. gravel, sand dirt).
- Water down active grading sites at least twice daily during the clearing, grading and construction phases of project implementation.
- Trucks hauling loose material shall be covered and shall maintain at least two feet of free board.
- Graded areas not planned for immediate construction shall be covered with erosion control sheeting or treated with a native drought tolerant hydroseed mix.

The plan shall also define the maximum number of acres to be graded at any one time and the extent of surface treatments that can be applied at any one time.

The dust control and compliance monitoring plan shall clearly define responsibilities for plan implementation and supervision. The project developer shall be responsible for implementing project specific measures with oversight control by the City of Murrieta with assistance from any other appropriate governmental jurisdictions.

The reduction of "spill-over" effects shall be reduced wherever possible by preventing soil erosion off the site, washing dirt from vehicles entering public roadways and washing/sweeping project access to public roadways on an periodic basis.

4.4.4.2 The minimization of construction interference with regional non-project traffic movement shall be required using the following specific methods:

- Scheduling receipt of construction materials to non-peak travel periods.

- Routing construction traffic through areas of least impact sensitivity.
 - Limiting land closures and detours to off-peak travel periods.
 - Providing ride-sharing incentives for contractor and subcontractor personnel.
- 4.4.4.3 Low-emissions tune-ups shall be required for on-site equipment on a routine, mandatory program.
- 4.4.4.4 During construction, the contractor shall discontinue construction activities during local second stage smog alerts and suspend grading operations when winds exceed 25 mph.

It is hereby determined that unavoidable impacts related to potential increased air pollution resulting from increased project related vehicle emissions and energy related air emissions are acceptable for the reasons specified in the Statement of Overriding Considerations set forth in Section II below.

C. Geology/Seismic Safety

In the project geologist's opinion, no soil and/or geologic conditions exist at the site which would preclude the development of the property as presently proposed provided the recommendations contained in the soils report are followed. Grading in areas of loose, compressible surface deposits in the form of topsoils, alluvium slopewash and undocumented fill will require special consideration. These soils are not suitable for support of fill or structural loads in their present conditions and will require complete removal and recompaction. Unanticipated saturated soil conditions may create exaction difficulties and will require remedial grading.

The Draft and Final EIR conclude that the following Specific Plan policies and regulations and EIR mitigation measures would reduce the potentially significant impacts identified above to a less than significant level:

- 4.5.4.1 Prior to the approval of the final building permits for each lot identified within areas of expansive soils, the Directors of the Departments of Community Development and Public Works for the City of Murrieta shall review and approve plans to assure that either remedial grading measures have been carried out which eliminate potential structural impacts from expansive soils or that foundation designs are adequate to avoid structural impacts to homes or buildings located on expansive soils.
- 4.5.4.2 In areas where blasting may be required, a Blasting Safety Plan shall be reviewed and approved by the Murrieta Fire Protection District as part

of the approval of the final grading plan for the relevant area of development.

- 4.5.4.3 Grading and development shall be reviewed by a qualified Engineer or Engineer/Geologist to determine the necessity for additional recommendations or analysis.
- 4.5.4.4 Subdrains shall be provided beneath canyon fills to mitigate shallow groundwater and perched groundwater conditions. Additional subsurface drainages may be required where near-surface seepage occurs.
- 4.5.4.5 Erosion control procedures such as sedimentation basins, silt fences etc., to satisfy NPDES criteria, shall be incorporated into grading plans. Erosion control procedures such as sand bags, hay bales and temporary sediment basins shall be used during the grading of the site and until landscape vegetation is well established.
- 4.5.4.6 All of the recommendations contained within the Soil and Geologic Reconnaissance for Golden City Limited Property, Riverside County, California, prepared by Geocon, Inc., dated April, 1992 shall be adhered to.

D. Drainage/Hydrology/Erosion

The addition of impervious sites will increase the potential run-off from the site therefore significantly impacting drainage. In addition there is the potential for significant erosion and related pollution impacts as a result of project construction and long term development.

The Draft and Final EIR conclude that the following Specific Plan policies and regulations and EIR mitigation measures would reduce the potentially significant impacts identified above to a less than significant level:

- 4.6.4.1 Drainage and flood control facilities and improvements shall be designed, constructed and maintained in accordance with the Golden City Specific Plan Public Facilities Plan (PFFP) and the Eastern Municipal Water District (EMWD) Revised Master Plan.
- 4.6.4.2 The detention basin that drains toward the farm pond located on the off-site property to the south of the subject property, at elevation 1460 MSL, shall be designed to ensure continued natural runoff during project implementation and after the proposed project is built-out. The detention basin shall be designed to have a flow distribution of 15 cubic feet per second released from the basin, which will be conveyed directly toward the pond by swale. The engineering design and construction of the basin shall result in a 2.5 acre-feet of water volume after a storm duration of

- two (2) hours. The BMP's established in the Golden City Specific Plan shall be incorporated into all grading and improvement plans in order to protect the pond and on and off-site drainage courses from sedimentation and other pollutants from the project site.
- 4.6.4.3 Prior to the issuance of the final grading permits for the project the applicant shall submit for the City of Murrieta's approval a Grading Erosion Control Plan.
- 4.6.4.4 Sedimentation basins shall be installed in conjunction with the initial grading operations and maintained through the development/construction process to remove sediment from run-off.
- 4.6.4.5 To prevent sedimentation of off-site areas, on-site vegetation shall be maintained where feasible. Vegetation shall be replanted from seed/hydroseed to help control sedimentation where necessary.
- 4.6.4.6 Temporary mechanical means of controlling sedimentation, such as hay bales, desilt fencing, earth berms and/or sand-bagging around the site, may be used as part of an overall Erosion Control Plan, subject to City approval.
- 4.6.4.7 Sediment catch basins and other erosion control devices shall be designed, constructed and maintained in accordance with the City of Murrieta Grading Manual.
- 4.6.4.8 As part of the maintenance of dedicated Open Space, landscape contractors shall be prohibited from dumping toxic chemicals into the storm drain system or the watershed, and shall use only non-toxic chemicals in maintaining landscape areas.
- 4.6.4.9 Prior to the issuance of the final grading permits for the project, the applicant shall provide documentation to the City of Murrieta, indicating that all requirements of the San Diego Regional Water Quality Control Board have been met and that the appropriate NPDES permits have been secured. A notice of intent (NOI) with the appropriate fees for coverage of the project under the General Construction Activity Storm Water Runoff Permit must be submitted to the State Water Resources Control Board at least 30-days prior to initiation of construction activity at the site. This is required for any construction activity over five acres in area. The development of a Storm Water Pollution Prevention Plan (SWPPP) is a requirement of the General Construction Permit.
- 4.6.4.10 Prior to the issuance of the final grading permit for the project, the applicant shall submit for the City of Murrieta's approval a Master Landscape Plan in compliance with the Specific Plan. Said landscape

plan shall include permanent erosion controls for those areas with the potential for long-term erosion.

E. Landform Alteration/Aesthetics/Visual

The Golden City Specific Plan contains a grading concept, a landscape concept, and design guidelines which mitigate to the extent feasible, impacts of the proposed project on landform alteration and visual quality. Implementation of the project would constitute a major change to the overall appearance of the area including alteration of slopes that exceed 25 percent (approximately 8 acres), and would create a substantial visual change in what is viewed from the I-215 freeway.

The Draft and Final EIR conclude that the following Specific Plan policies and regulations and EIR mitigation measures would reduce the potentially significant impacts identified above to the extent possible:

- 4.7.4.1 Prior to recordation of the Final Map for the Golden City project, the Director of the Department of Community Development for the City of Murrieta shall review and confirm that the Final Map Grading Plans are in conformance with all components of the Golden City Specific Plan.
- 4.7.4.2 Should it become necessary to amend the Golden City Specific Plan Design Guidelines in the future, the Planning Director shall require specific visual impact studies for those phases of the project affected by the design guideline variation to assess impacts of the changes to the mountain views from I-215 and to determine mitigation measures if warranted.
- 4.7.4.3 An alignment study for the realigned Baxter and Menifee/Meadowlark Road is required prior to or simultaneous with the tentative tract map application. The study will provide an alignment that is as sensitive as possible to environmental and engineering concerns. The alignment study shall be approved by the Community Development and Public Works Directors. The approved alignment of the realigned Baxter Road could be shifted south of the prominent knoll (located in the northeastern most portion of the site) or as much as 500 feet north of the Specific Plan location.

It is hereby determined that unavoidable impacts related to potential landform alteration which would constitute a major change to the overall appearance of the area and would create a substantial visual change in what is viewed from the I-215 freeway, are acceptable for the reasons specified in the Statement of Overriding Considerations set forth in Section II below.

F. Light and Glare

Light and glare impacts from the development of the proposed Golden City Specific Plan would increase because new and constant sources of light and glare would be introduced into an area that is basically undeveloped and devoid of light and glare.

The Draft and Final EIR conclude that the following Specific Plan policies and regulations and EIR mitigation measures would reduce the potentially significant impacts identified above to the extent possible:

- 4.8.4.1 The architectural guidelines for the Golden City Specific Plan shall require low glare building materials for the exterior of all structures.
- 4.8.4.2 Prior to the issuance of any building permits, the Planning Director of the City of Murrieta shall review and approve a lighting plan for the commercial areas, parks, and all outdoor project lighting. Outdoor lighting shall be designed to be focused, directed and shielded (when practical), to aim light downward and away from any roadways, to prevent light spill. Lighting shall be arranged to minimize glare, spilling into the night sky. Outdoor lighting shall be located and focused, to the extent possible, from spilling onto adjacent properties and natural habitats.
- 4.8.4.3 All street light designs and outdoor safety lighting applications shall conform to the City of Murrieta standards and other applicable regional health and safety standards.
- 4.8.4.4 Low pressure sodium-vapor lamps shall be used in all street lights and on-site NC and MU2 area lighting applications including primary project entries.
- 4.8.4.5 Final landscape plans for each phase of the project shall include large deciduous and evergreen trees located along the street frontage in commercial, residential, and industrial areas of the project site and adjacent to Interstate-215. The landscape plan shall require a minimum of five (5) feet spacing between trees. Trees shall also be planted adjacent to natural habitat and open space areas.
- 4.8.4.6 No freestanding lighting shall exceed 25 feet in height.

It is hereby determined that unavoidable impacts related to the potential introduction of new light sources into an area that is basically undeveloped and devoid of light and glare, are acceptable for the reasons specified in the Statement of Overriding Considerations set forth in Section II below.

G. Biological Resources

The analysis in the Draft and Final EIR, indicates that future growth permitted by the proposed Golden City Specific Plan would result in the following potentially significant environmental impacts:

1. Issues of loss of sensitive vegetation, loss of habitat for several sensitive animal species, and potential impacts to regional and local wildlife movement corridors.
2. Significant impacts to Riversidian Sage Scrub as well as wetland communities containing Southern Willow Scrub, Mule Fat Scrub and Riparian Herb habitats.
3. Potential loss of Stephens' Kangaroo Rat and California Gnatcatcher habitats.

The Draft and Final EIR conclude that the following Specific Plan policies and regulations and EIR mitigation measures would reduce the potentially significant impacts identified above to a less than significant level:

Golden City Specific Plan

4.9.4.1 Prior to the issuance of grading permits and the approval of any tentative tract map, the project proponent shall prepare a Vegetation and Wildlife Management Plan, for dedicated biological open space on the project site, in cooperation with the City of Murrieta. The plan shall include goals, performance standards and remedies that focus on ensuring the long-term viability of both preserved habitat areas and areas that are to be restored as mitigation for project impacts. Measures shall be derived where appropriate from the Golden City Specific Plan EIR and should include components that address the following:

- Prevention and removal of invasive plant species;
- Control of domestic pets;
- Long-term success of ongoing maintenance of wetland restoration areas;
- Use of best-management practices to avoid potential contamination of riparian habitat and wetland areas from storm runoff, excessive irrigation, and the effects of fertilizers and pesticides/herbicides;
- Design and management measures to limit access to sensitive habitat areas; and,
- Use of fire management and prevention techniques that minimize damage to sensitive habitat areas.

Implementation of the measures set for in said plan shall be verified by the City as part of the environmental review conducted for each tentative tract map submittal. Measures set forth in the plan shall be incorporated

into project plans or shall be imposed as conditions of project approval. Monitoring of the plan shall be the responsibility of the City of Murrieta.

- 4.9.4.2 Prior to implementation of the Specific Plan and/or loss of any sage scrub habitat, the applicant shall obtain the necessary approvals from the State of California Department of Fish and Game and United States Fish and Wildlife Service. Project impacts to sage scrub shall be mitigated by one or a combination of the following alternatives:

a. On-site Mitigation

Preserve the sage scrub in a consolidated block along the eastern and southeastern fringe of the site rather than in the fragmented parcels currently proposed in the Specific Plan; and,

Sage scrub shall be preserved on-site at a 1:1 area ratio; and,

Restore the low-lying ruderal lands, within the proposed open space, along the portion of the tributary of the Warm Spring Creek drainage corridor, using gnatcatcher favored plant materials including *Artemisia californica* and *Baccharis pilularis*; and,

The project applicant shall request an informal (early) Section 7 Consultation be initiated by the ACOE between itself and the USFWS, with participation of the project applicant, to determine appropriate mitigation for the take of the California Gnatcatcher on the project site. The approach to mitigation should consider on-site preservation of Riversidean Sage Scrub vegetation within appropriate open space areas;

or,

b. Off-site Mitigation

The applicant shall locate, acquire, preserve and protect similar quality off-site sage scrub habitat at a 1:1 replacement ratio which either supports gnatcatchers or helps to provide a regional linkage or core area protection benefit to the species. The off-site habitat shall be subject to approval of the Resource Agencies.

The applicant shall initiate a Section 7 Consultation effort with the USF&WS and ACoE and shall obtain a no-jeopardy Biological opinion with a take statement authorizing the loss of one pair of California gnatcatchers;

c. Payment of Mitigation Fees

The developer shall pay fees into a habitat acquisition fund to eventually be used to acquire and preserve tracts of sage scrub habitat for a future regional open space corridor.

The applicant shall initiate a Section 7 Consultation effort with the USF&WS and ACoE and shall obtain a no-jeopardy Biological opinion with a take statement authorizing the loss of one pair of California gnatcatchers; or,

4.9.4.3 A mitigation/revegetation/enhancement plan for sage scrub habitat shall be prepared by a qualified revegetation specialist in consultation with the resource agencies to implement the mitigations measures identified in 4.9.4.2. This plan shall be incorporated into the vegetation and wildlife management plan referenced in mitigation measure 4.9.4.1

4.9.4.4 Expand and enhance the existing wetlands on the eastern portion of the project site in the area designated on the Specific Plan for the Nature Park. Such expansion and enhancement will require the removal of some soils to bring adjacent areas of the existing wetlands to an equivalent, or slightly higher elevation. This may be accomplished in conjunction with a detention basin to accommodate both vegetation and flood requirements. Removal of soils for wetland habitat creation and restoration should attempt to focus on areas not currently being utilized by Stephens' Kangaroo Rat; however, design criteria may dictate that alternative areas are not readily utilized. Under such conditions, mitigation would be covered under the existing USFWS protocol and fee payment as authorized under the SKR Habitat Management Plan; or,

Mitigate the loss of wetlands off-site at a replacement ratio of 1:1. The off-site habitat shall be located along one of the region's primary creek systems or a location acceptable to the Resource Agencies and the City of Murrieta. The quality of habitat impacted under the proposed development design is generally poor or low quality wetland habitat (e.g. riparian herb) and does not merit more than a 1:1 replacement ratio.

4.9.4.5 A mitigation/revegetation/enhancement plan shall be prepared by a qualified revegetation specialist in consultation with the resource agencies to implement the mitigations measures identified in 4.9.4.4. This plan shall be incorporated into the vegetation and wildlife management plan referenced in mitigation measure 4.9.4.1

4.9.4.6 Provided the project applicant pays the required fees under the current SKR HCP program, for the entire project site acreage (248 acres), take of the SKR will be automatically authorized. Documentation of the amount of SKR take, if any, will be in the form of a SKR delineation to ascertain the extent of occupied habitat. It shall be conducted by a federally certified

Stephens' Kangaroo Rat biologist. The findings of this study will be necessary for keeping tally of take outside of Reserve Areas so that an equivalent amount of replacement habitat within Reserve Areas can be purchased. If the HCP for the Stephens' Kangaroo Rat is not approved, a Section 10(a) or 7 Permit must be obtained prior to grading habitat utilized by listed species. The City of Murrieta is now a member of the RCHCA. Therefore, the payment of mitigation fees will be required prior to a "take" of any SKR habitat.

- 4.9.4.7 Prior to the start of grading, the Project Biologist shall stake and flag the limits of grading on the site. The location of stake and flags shall be verified by the mitigation monitor. The mitigation monitor shall conduct orientations with grading supervisors to ensure that the necessary precautions are taken during grading operations to protect the habitat. The mitigation monitor shall advise all heavy equipment operators of the sensitivity of the species. A qualified biologist shall be on-site during grading operations in the immediate vicinity of the preserved wetland and sage scrub areas in order to ensure protection of these areas.
- 4.9.4.8 Following adoption of the Golden City Specific Plan, and prior to approval of discretionary actions (i.e. Tentative Maps) or issuance of grading permits to implement the Specific Plan, a spring survey for Fairy Shrimp shall be conducted, in accordance with USFWS/DFG protocols, within the two small ponding areas along the drainage from the unimproved dirt road along the southern boundary. The survey shall be conducted by a qualified biologist. The Resource Agencies shall be consulted during the preparation of the survey findings and mitigations, if the surveys show fairy shrimp to be present on-site. If necessary, those mitigation measures determined by the Resource Agencies to be sufficient to mitigate the impact shall be incorporated into individual future tentative maps and/or grading plans. The conditions and requirements of the study shall be made part of the mitigation monitoring plan for the project implementation.
- 4.9.4.9 Following adoption of the Golden City Specific Plan, and prior to approval of discretionary actions (i.e. tentative maps) to implement the Specific Plan, a spring survey for Quino Checkerspot butterfly shall be conducted in March within areas of California Buckwheat and sage scrub. The survey shall be conducted by a qualified biologist. The findings and mitigation of this study, required to avoid or mitigate potential impacts to this species, shall be incorporated into individual future neighborhood plans (i.e. tentative maps). The conditions and requirements of this study shall be incorporated into the environmental analysis conducted for effected tentative map submittals. Implementation of the measures set forth in the study shall be verified in the mitigation monitoring plan for the project implementation.

- 4.9.4.10 Those areas of the nature park that contain sensitive wetlands and sage scrub shall be designed to minimize human and pet associated secondary impacts within the designated open space. This design shall include back yards with walls/fences fronting the open space, no ready access into the open space except along designated equestrian/hiking trails, and signage to discourage all but passive human use. These design features shall be set forth in the vegetation/wildlife management plan referenced in mitigation measure 4.9.4.1.

Public Facilities Plan

- 4.9.4.11 Significant biological impacts related to future road improvement plans shall be mitigated in the manner described in mitigation measure 4.9.4.2 above.
- 4.9.4.12 When detailed plans for the implementation of off-site facilities (sewer, water, transportation, etc.) are available, environmental review shall be undertaken for these facilities and their potential for impacts on such issues as biology, cultural, etc. The environmental review shall be a form approved by the City of Murrieta.

H. Cultural Resources

The analysis in the Draft and Final EIR, indicates that the proposed Golden City Specific Plan would result in the following potentially significant environmental impacts:

1. Potential adverse effects to one cultural site within the subject property;
2. Potential disturbance of subsurface paleontological resources that could be identified during grading and trenching operations.
3. Potential disturbance of subsurface archaeological resources that could be identified during grading and trenching operations.

The Final EIR concludes that the following policies, regulations, and mitigation measures would reduce the potentially significant impacts identified above to a less than significant level:

Archaeological Resources

4.10.4.1 Riv-1074-(Salpas-Keller Locus 3)

Impacts to Riv-1074 shall be fully avoided. Human access to this site shall be avoided through the installation of fencing or other means to restrict access. In addition, no grading, landscaping or other development activity shall occur within fifty (50) feet the site. Restricted human access shall protect the site

from unauthorized artifact collection or excavation. The methods of restriction shall be determined at the time of Tract Maps;

OR

For all mitigation activities associated with CA-RIV-1074, a research design document prepared by a qualified archaeological consultant shall be required prior to excavating. This research design shall be prepared in accordance with CEQA and shall outline:

- 1) the requirements for the preservation or mitigation of all significant resources;
- 2) a plan for addressing the potential for human remains recovered during mitigation procedures;
- 3) negotiations for a curation agreement with an appropriate local facility for the repository of all cultural materials such that they may be accessed by future researchers; and
- 4) the significant research questions to be addressed through excavation activities at the site(s), as well as archival and ethnographic research. The research design shall be submitted for a voluntary peer review solicited of an archaeologist registered with the County of Riverside. The research design shall be submitted to the City of Murrieta Community Development Director prior to any ground disturbance activities in the site areas and should be incorporated into the archaeologist's final report.

Given the nature and sensitivity of the archaeological sites located within the Golden City Specific Plan project, it is recommended that a Native American Observer be present during all future field efforts on the project, including any grading activities near recorded archaeological sites. The Native American would assist in the disposition of any human remains recovered by field activities.

- 4.10.4.2 Prior to any grading activities occurring within the vicinity of Riv-1074 and the possible historic WWII encampment nearby, assessment of these resources shall be conducted by a qualified archaeologist trained in both historic and prehistoric archaeology. This reassessment shall incorporate the appropriate research and field methodology designed to determine the presence or absence of historic artifacts and/or features associated with the reported WWII encampment, and to determine the current spatial and vertical dimensions of CA-RIV-1074, a large prehistoric habitation site. Such methods may include, but are not limited to, subsurface excavations, backhoe trenching, and/or archival research. If determined necessary, an updated site record shall be completed for the site which will include the historic components (if present) and updated site area. A technical report detailing the archaeologist's research methods and results of the investigation shall be prepared by the consulting archaeologist and submitted to the City of Murrieta Director of Community Development. This

reassessment shall constitute the completion of Phase I and Phase II level investigations at CA-RIV-1074 and the possible WWII encampment; if the resources are found to be significant, then Phase III data recovery, as described in Mitigation Measure 4.10.4.1 may also be required.

- 4.10.4.3 Prior to grading activities within 50 to 100 feet of any other recorded archaeological site, a grading conference with the project archaeologist, the lead contractor and heavy equipment operators shall be held. The purpose of this conference is to inform the operators of the potential for both prehistoric and historic archaeological resources in the area and to provide them with general descriptions of artifacts so they can be recognized if they are encountered during grading. If any earth removal or disturbance activities result in the discovery of cultural resources, the project proponent's contractors shall cease all earth removal or disturbance activities immediately and notify the project archaeologist and the City of Murrieta Planning Department. The project archeologist shall have the power to halt or divert excavation equipment in order to evaluate any potential cultural material. All potential cultural findings shall be evaluated in accordance with standard practice and applicable regulations and data/artifact recovery procedures shall be conducted if deemed appropriate.
- 4.10.4.5 Should any human bone be encountered during any earth removal or disturbance activities, all activity shall cease immediately and the project archaeologist and the City of Murrieta Planning Department shall be notified. The Planning Department shall contact the Riverside County Coroner pursuant to Sections 5097.98 and 5097.99 of the Public Resources Code relative to Native American Remains.
- 4.10.4.6 Prior to approval of the final grading plan for the Golden City Specific Plan project, the Director of the Department of Planning for the City of Murrieta shall review the plan for compliance with required Mitigation Measure 4.10.4.1.
- 4.10.4.7 Upon completion of any required mitigation phase and upon completion of each of the grading phases in areas of known resources, a report of findings with attached artifact inventory, shall be submitted to the City of Murrieta Director of Community Development. The report of findings shall indicate the completion of the mitigation monitoring program for the grading of the project site.

Paleontological Resources

- 4.10.4.8 Earthmoving operations occurring at depths greater than 10 feet shall be monitored. Should any paleontological resources be uncovered, a qualified paleontologist shall be contacted to determine the significance of these resources and to recommend mitigations which shall include, but not be

limited to, salvage of fossils from known localities, including processing standard sample of matrix for recovery of small vertebrates, and trackway replication.

- 4.10.4.9 Prior to grading and trenching activities, a grading conference concerning paleontological resources shall be held with the operators of the heavy equipment and excavation machinery.
- 4.10.4.10 Full-time monitoring shall be provided in areas where paleontological resources have been uncovered. The qualified paleontological monitor shall be equipped to salvage and remove fossils as they are unearthed, rapidly to avoid construction delays and to remove samples of sediments which are likely to contain the remains of small fossil vertebrates. The paleontologist monitor shall be empowered to temporarily halt or redirect excavation equipment while the fossils (abundant or large specimens) are being removed. Since the most cost effective method of salvage has been determined to be the removal by screen washing, this method will be incorporated into the mitigation monitoring program.
- 4.10.4.11 Any recovered fossils shall be prepared to the point of identification by screen washing of sediments to recover small fossil vertebrates and curated into a suitable repository with a retrievable storage system, such as the San Bernardino County Museum.
- 4.10.4.12 A report of the findings, with attached itemized specimen inventory, shall be prepared and submitted to the Community Development Department. The report of findings shall indicate completion of the mitigation monitoring process at the end of the construction phase.
- 4.10.4.13 When detailed plans for the implementation of off-site facilities (sewer, water, transportation, etc.) are available, environmental review shall be undertaken for these facilities and their potential for impacts such as biology, cultural, etc. The environmental review shall be a form approved by the City of Murrieta.

H. Noise

The analysis in the Draft and Final EIR, indicate that future growth permitted by the proposed project would result in the following potentially significant environmental impacts:

1. Increases in traffic generated noise at existing adjacent sensitive noise receptors, at locations within the Specific Plan site and immediately adjacent to the project;
2. Short-term increased noise levels during the construction phase.

The Draft and Final EIR conclude that the following Specific Plan policies and regulations and EIR mitigation measures would reduce the potentially significant project specific impacts identified above to a less than significant level:

On-site

- 4.11.4.1 All construction and general maintenance activities, except in an emergency, shall be limited to the hours of 7 AM to 7 PM and prohibited on Sundays and all legally proclaimed holidays.
- 4.11.4.2 All construction equipment shall use properly operating mufflers, and no combustion equipment such as pumps or generators shall be allowed to operate within 500 feet of any occupied residence from 7 PM to 7 AM unless the equipment is surrounded by a noise projection barrier to mitigate noise levels to 50 dBA.
- 4.11.4.3 All construction staging shall be performed as far as possible from occupied dwellings.
- 4.11.4.4 Prior to issuance of grading and/or building permits, the project proponent shall submit a detailed acoustic analysis prepared by a specialist that evaluates existing and future traffic noise levels at on-site and off-site sensitive receptors. Noise attenuation measures shall include the following:
 - a. A noise barrier will be required for any residences that backs up to the Menifee Road, Baxter Road or Golden City Drive. right-of-way.
 - b. Truck access, parking areas and air conditioning refrigeration units should be carefully designed and evaluated at more detailed levels of planning to minimize the potential for acoustic impacts to adjacent noise sensitive development.
 - c. Building setbacks, design, and orientation will be used to reduce intrusive noise levels at any building pads adjacent to the I-215 Freeway and major arterials.

It is hereby determined that unavoidable cumulative impacts related to the potential increase of mobile noise sources for the proposed project and other anticipated projects in the vicinity, are acceptable for the reasons specified in the Statement of Overriding Considerations set forth in Section II below.

I. Public Services and Utilities

The analysis in the Draft and Final EIR, indicates that future growth permitted by the proposed project would result in the following potentially significant environmental impacts:

1. Increased need for additional infrastructure systems, including roadways, water and sewer systems, public parks, schools, public utilities and public services.

The Draft and Final EIR conclude that the following Specific Plan policies and regulations and EIR mitigation measures would reduce the potentially significant impacts identified above to a less than significant level:

- 4.13.4.1 All public facilities and improvements, including water, sewer, drainage and transportation systems shall be designed, constructed and maintained in accordance with the Golden City Facilities Plan (PFFP) and the Golden City Specific Plan.
- 4.13.4.2 Prior to the approval of the final maps for the project, the Director of Community Development for the City of Murrieta shall have written approval of Southern California Edison, Southern California Gas, General Telephone Company, and appropriate cable television providers that adequate levels of service will be provided at the time of implementation.
- 4.13.4.3 Detailed water system plans for adequate on-site facilities and water lines shall be planned by the project engineers and shall be reviewed and approved by EMWD and the City of Murrieta prior to the construction of any phase of the water system construction.
- 4.13.4.4 If reclaimed water becomes available for onsite residential use, and if EMWD adopts dual piping requirements and standards, dual piping shall be required for the reclaimed water system in conformance with EMWD's requirements.
- 4.13.4.5 If deemed necessary by the Board of Trustees of the School District, the District will adjust enrollment boundaries as necessary to utilize available school capacity. As development applications are processed within the boundaries of Golden City, the City will coordinate with the school district to ensure that any additional development approvals do not take place until the provision for financing of school facilities is approved. The approval of a tentative map within the boundaries of Golden City will not be made unless the City receives a letter from the school district confirming the developer's participation in financing programs established by the District in accordance with the policies of the City's General Plan. As noted in the City's policies, there shall be a reasonable nexus between the impact of the project and mitigation for the school district's facilities.
- 4.13.4.6 A condition of Specific Plan approval shall be that the entire project site annex to the Murrieta Fire Protection District.

- 4.13.4.7 Prior to the issuance of grading permits, the water improvement plans will be reviewed and approved by the Murrieta Fire Protection District. The project shall be required to include fire hydrants that will accommodate sufficient fire flows in accordance with the directives of the Murrieta Fire Protection District.
- 4.13.4.8 Prior to the issuance of final grading permits, the project shall be required to pay mitigation fees for the "Fire Department Impact Mitigation Program", based on a one-time fee per residential dwelling unit and per square foot of commercial space or other proponent negotiated fee or "in-lieu of" fees site, approved by the Murrieta Fire Protection District.
- 4.13.4.9 The developer of each project (tentative map) within Golden City shall participate in the fire protection impact mitigation program as adopted by the City.
- 4.13.4.10 The City Fire Department shall review all developments plans prior to approval.
- 4.13.4.11 All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate standards subject to the approval of the City Fire Department.
- 4.13.4.12 Fire resistant vegetation shall be planted in Hazardous Fire Area developments.
- 4.13.4.13 Any buildings constructed on lots adjacent to brush or chaparral shall comply with the special construction provisions contained in City Ordinances.
- 4.13.4.14 All buildings in hazardous fire areas shall be constructed with fire retardant roofing materials as described in Section 3203 of the Uniform Building Code. Any wood shingles or shakes shall have a Class "B" rating and shall be approved by the City Building & Safety Division prior to installation.
- 4.13.4.15 Prior to final approval of any phase of the project, a fiscal review (reserve study) shall be undertaken to ensure that all funding mechanisms are adequate and will be provided on a timely basis, as required by the City of Murrieta.
- 4.13.4.16 Prior to final approval of any phase of the project, all maintenance and service responsibilities within the phase shall be charged to a public agency, district or proponent with reimbursement agreement.
- 4.13.4.17 The City shall work with the police department to maintain the desired manpower ratio as development and new annexation occurs.
- 4.13.4.18 Prior to consideration of any tentative maps within the Specific Plan boundaries, the City of Murrieta Police Department shall review the design issues affecting law enforcement efficiencies and the public safety and welfare of all final site plans for all residential, commercial and industrial uses. This input would allow

for the identification of additional manpower and equipment needed to meet the needs of the proposed development.

- 4.13.4.19 Prior to approval of the plot plan for each neighborhood, the Director of Community Development for the City of Murrieta shall review and approve the plot plan for the provision of adequate handicapped person facilities to comply with State of California and City of Murrieta requirements.
- 4.13.4.20 Prior to the issuance of grading permits for any phase of specific plan implementation, the Director of Community Development shall review and approve the grading plan for the inclusion of appropriate erosion controls to be implemented during the construction of utility trenches, including the use of watering trucks to prevent dust.
- 4.13.4.21 Detailed sewer systems plans for adequate on and off-site sewer facilities shall be reviewed and approved by EMWD and the City of Murrieta prior to the issuance of any grading permits.
- 4.13.4.22 Prior to approval of any final map for the commercial and industrial areas of the site, the Community Development Director of the City of Murrieta shall review the plans for compliance with California State Law which require recycling centers to be in place at all commercial facilities on-site.
- 4.13.4.23 Prior to the approval of any final maps for residential planning areas of the site, the Community Development Director of the City of Murrieta shall review the project for compliance with State of California for the inclusion of an acceptable recycling program. The program shall include a method of collection of newspaper, glass and aluminum which is coordinated with the recycling centers to be located in the commercial areas of the specific plan. Multi-family dwellings within the Golden City Specific Plan shall incorporate adequate space within the waste bin enclosures to allow for efficient disposal and storage of recyclable materials.
- 4.13.4.24 Prior to the issuance of occupancy permits, the Chief Building Official of the City of Murrieta shall review and approve a contract executed by the responsible funding and maintenance facilities district with a private company to provide trash pick-up of all solid waste generated on-site.
- 4.13.4.25 New Utility lines will be sited underground wherever feasible.
- 4.13.4.26 Prior to approval of each final map within the Golden City Specific Plan, the Director of Community Development for the City of Murrieta shall review the plans for substantial conformance with the site plan/tentative map approved by the responsible utility service agencies.

- 4.13.4.27 Grading and construction activities related to utility extension shall be limited by their permits to between the hours of 7:00 a.m. and 6:00 p.m.
- 4.13.4.28 The Community Development Director of the City of Murrieta shall require that each phase of project implementation complies with guidelines provided by SCE and SCG in regard to easement restrictions, construction guidelines, protection of pipeline easement and potential amendments to right-of-way in the areas of any existing easements, and that the purveyor has inspected the construction of the utility improvements. The Director shall require in writing from the utility providers that substantial compliance was accomplished prior to issuing occupancy permits for that phase.
- 4.13.4.29 Prior to the issuance of building permits for residential tracts or commercial/industrial plot plans, the Director of Community Development for the City of Murrieta shall require a review of plans for the inclusion of feasible and effective energy conservation techniques such as solar energy and waste heat recovery uses.
- 4.13.4.30 The affected utility companies shall determine compliance with these mitigation measures as a part of the mitigation monitoring program, prior to approval of the Notice of Completion for improvements.
- 4.13.4.31 Prior to issuance of building permits, the project proponent shall contribute to the Riverside County Library preservation and expansion program through payment of a one-time Library Mitigation fee of \$100 per dwelling unit. The project will generate approximately \$116,700 to offset impacts to the public library system.
- 4.13.4.32 When detailed plans for the implementation of off-site facilities (sewer, water, transportation, etc.) are available, environmental review shall be undertaken for these facilities and their potential for impacts on such issues as biology, cultural, etc. The environmental review shall be a form approved by the City of Murrieta.
- 4.13.4.33 During construction waste shall be converted with grinders either on-site or at a wood waste recycling facility.

J. Alternatives

Alternatives one through four to the project are discussed in the Project Alternatives Section (Section 6.0) of the Draft and Final EIR. The City has considered the project alternatives in approving the project and, with respect to those alternatives, makes the following findings:

1. No Growth Alternative

The "No-Project" alternative would not provide for any proposed residential, commercial, industrial or community facility uses proposed for the site. The "No Project" alternative is considered to be the environmentally superior alternative because it does not alter the landform or disturb sensitive biological and archaeological sites. However, it fails to meet the goals delineated in the City of Murrieta General Plan for land use in the area. It also fails to achieve the proponent's project goals of developing a balanced job/housing project, with the necessary infrastructure, at this location. The alternative would result in one less project being a part of building and/or financing the major infrastructure improvements called for in the project PFFP. However, it would result in less of a demand for certain infrastructure improvements. Without development in this area, funding for other public facilities that the City has identified as needed would be reduced.

2. Rural Alternative

This alternative is not considered to be environmentally superior to the Golden City project, inspite of its proposed lower intensity of development. Impacts to groundwater quality would be greater as a result of the septic system. In addition, this alternative would be totally dependent upon groundwater through its well system. It would reduce the flexibility necessary to ensure that some of the biological resources and sensitive cultural areas would be preserved. In accordance with State and Federal law, a portion of the nature park (the sensitive wetlands habitat) would be protected, or mitigated for under most alternatives through the State 1603 and 404 permits and the archaeological sites would have data recovery as mitigation. However, this alternative would not preserve the large open space areas or the sensitive cultural sites in open space. It would reduce impacts to noise, traffic, air quality, and public utilities due to the decrease in the number of dwelling units. Impacts to landform alteration/visual quality would be greater than the proposed project because this alternative would not designate the area of the nature park and the neighborhood park as open space. The alternative would not likely provide affordable housing at the required density, and job opportunities would be reduced without commercial and industrial development. Finally, this alternative would not meet the goals and objectives of the City of Murrieta's General Plan or the objectives of the project proponent. For these reasons the "Rural Alternative" was rejected.

3. Higher Density (Future Choice Development) Alternative

The "Higher Density (Future Choice Development) Alternative is not compatible with the City of Murrieta General Plan Land Use designations for the site or surrounding development. It does not implement the goals and objectives of the City of Murrieta General Plan. This alternative increases impacts to traffic, noise, air quality and public services. As a result of the clustering of

development that would be part of this alternative, impacts to biological resources, landform alteration (grading) and cultural resources would be substantially avoided. For those issues only (landform alteration, cultural resources and biological resources) this alternative is the environmental superior. Even though this alternative would reduce some areas of impact significantly, additional impacts in other areas would be far greater than the proposed project. Impacts to land use, traffic and circulation, air quality and noise would be substantially greater than with the currently proposed project. Since this alternative would call for a much more intensive development of the site, the cumulative impacts of this alternative (i.e. traffic and air quality) would be greater.

4. Low Density Urban (Riverside County Zoning) Alternative

The "Low Density Urban" alternative is not considered to be environmentally superior to the Golden City project proposal. It would significantly increase the impacts to all public infrastructure systems without providing adequate fiscal resources for the implementation and maintenance of the required systems. It would not necessarily preserve the biological or cultural resources on-site. However, it would likely reduce impacts to noise and traffic. It would substantially reduce the significant unmitigable impacts to air quality however, not to a level of less than significant. If the site were annexed to the City of Murrieta, this alternative would have a significant impact to Land Use/General Plan since this alternative is not in compliance with the City of Murrieta's General Plan policies for such issues as infrastructure implementation and specific plan requirements. Provided the site remained in the County of Riverside, there would an impact to Land Use since the current zoning is not in compliance with the SWAP Community Plan designation. The impact would be slightly reduced due to the fact that this alternative is in compliance with the current site zoning. This alternative would not provide the level of affordable housing and job opportunities that the proposed project does. It would have greater fiscal impacts to the area in that it would not contribute as great a share to public improvements as the project would. Finally it does not meet the goals and objectives of the City of Murrieta General Plan or the proponent's goals for this project.

5. Off-Site Alternative

Review of the Stoneridge project compared with the Golden City project proposal indicates that the projects would have similar impacts and propose similar mitigations. The traffic/circulation impacts were considered to be greater in the vicinity of the Stoneridge project.

The location of the proposed Golden City project would allow development to occur now with fewer impacts to the community character, than the Stoneridge project if the Stoneridge site is not annexed to the City of Murrieta.

Development of the Stoneridge site would most likely have a greater impact on landform alterations/aesthetics due to the topography of the Stoneridge site and the extensive grading that would be necessary to accommodate the site. In conclusion, all potential environmental impacts for the Stoneridge site are either equal or greater than the Golden City project site. For these reasons the off-site alternative was rejected in favor of the proposed project.

SECTION II. Statement of Overriding Considerations

The EIR has identified significant and unavoidable adverse impacts that would result from the implementation of the proposed project. Section 15093(b) of the State CEQA Guidelines provides that when the decision of the public agency (Lead Agency) allows the occurrence of significant adverse effects that are identified in the EIR but are not at least substantially mitigated, the agency must state in writing the reasons to support its action based upon the Final EIR and on information in the record. The Planning Commission recognizes that significant adverse unavoidable impacts could result from implementation of the proposed project. With implementation of the mitigation measures recommended in the Final EIR, the following environmental effect may remain significant:

- A. Construction of the project would result in contribution of pollutants to the atmosphere, adding air pollutants with other cumulative projects in the vicinity, which will further degrade air quality in the region.
- B. Construction of the project would result in additional mobile sources of noise from this project and other project anticipated in the vicinity which may exceed City of Murrieta noise standards and are beyond the control of a single project to mitigate.
- C. Development of the site would result in the replacement of the rural natural open space and cultivated land with urban uses, which would alter views and potentially degrade the visual quality of the site.
- D. Development of the site would result in slopes that exceed 25% gradient being altered.

Having considered the unavoidable adverse impacts of the proposed Golden City Specific Plan, the Planning Commission hereby recommends that the City Council determines that no additional feasible mitigation is available to further reduce this impact, and that the remaining unmitigated impact is acceptable based on the overriding considerations outlined below.

The City Council hereby adopts a Statement of Overriding Considerations, as follows:

Having evaluated the benefits of development of the site subject to the proposed Golden City Specific Plan against potential, unavoidable, adverse impacts, the City hereby determines that the benefits of the project outweigh the potential, unavoidable, adverse effects, based on the following overriding considerations:

- A. All feasible mitigation had been proposed to reduce or avoid potentially significant impacts identified in the EIR, and no additional feasible mitigation is available to further reduce significant impacts.
- B. The adoption of the proposed Golden City Specific Plan is considered to be vital to the future well-being of the City and its citizens, consistent with the City's vision of residential, commercial, and community serving uses expressed in the General Plan.
- C. Project development is essential for orderly and balanced development of the City and the City's attempts to enhance revenue sources while controlling the negative effects of growth and development. Fiscal benefits associated with the project provide revenue necessary for the City to continue to maintain a high level of law enforcement, fire protection, recreation, and other public services for its residents and business interests.
- D. The Golden City Specific Plan is necessary to provide for the continued orderly growth and development of the City by providing infrastructure improvements necessary to provide necessary links in the transportation and circulation system, and the orderly extension of utilities.
- E. The proposed Golden City Specific Plan is consistent with the City's Land Use Element, Circulation Element, and Housing Element and the general goals and policies, as promulgated in the City's adopted General Plan.
- F. Implementation of the proposed Golden City Specific Plan will provide a number of benefits to the City, including opportunities for additional employment, a range of housing for a growing population, facilities for connecting and providing improvements to the local circulation system, protection of important natural, historic and biological resources through a permanent open space dedication program and enhanced revenues for public services .
- G. The proposed Golden City Specific Plan is the product of a thorough planning and public comment process that involved approximately five years of plan formulation and multiple public hearings providing for public input and comment.

SECTION III. The Planning Commission has reviewed the EIR prepared for the Golden City Specific Plan, has considered the information contained within it, and hereby recommends that the City Council certifies that the EIR has been prepared in accordance with the provisions of the California Environmental Quality Act, as amended.

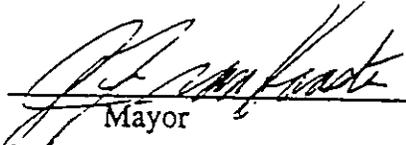
SECTION IV. The Planning Commission finds that to the extent that any impacts attributed to the Golden City Specific Plan remain unmitigated, such impacts are acceptable in light of the overriding social, economic, and other considerations that will result from development of the project. As a result, the Planning Commission recommends that the City Council finds that the benefits of the project outweigh the unmitigated impact that may result, and hereby adopts a Statement of Overriding Considerations for regional air pollution, regional noise,

landform alteration/ aesthetics/visual and light and glare resulting from project related to grading, increased vehicular noise levels, air emissions and landform alteration.

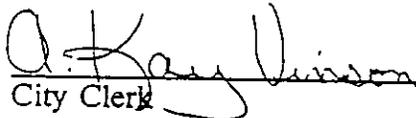
SECTION V. The City Clerk shall certify the adoption of this Resolution.

PASSED, APPROVED AND EFFECTIVE this 12th day of November, 1996

Attest:



Mayor



City Clerk

STATE OF CALIFORNIA:

COUNTY OF RIVERSIDE:

} SS

I, A. Kay Vinson, City Clerk of the City of Murrieta, California, DO HEREBY CERTIFY that the Resolution 96-461 was duly and regularly adopted by the City Council of the City of Murrieta, California, at a meeting thereof held on the 12th day of November _____, 1996 by the following vote:

AYES: Enochs, G. Smith, Walsh and van Haaster

NOES: None

ABSENT: Washington

ABSTAIN: None

(Seal)

A. Kay Vinson
Murrieta City Clerk

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Murrieta, California, this 12th day of _____ November _____, 1996.

A. Kay Vinson
City Clerk

CITY COUNCIL RESOLUTION NO. 96-462

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA APPROVING THE GOLDEN CITY SPECIFIC PLAN SPM-5 AND ATTACHING CONDITIONS OF APPROVAL THERETO

WHEREAS, the City of Murrieta General Plan has established the Master Plan Overlay and the land use designations of Single Family 1 Residential and Multiple Use for the subject property; and,

WHEREAS, the Golden City Specific Plan has been prepared subject to the City of Murrieta guidelines for preparation of specific plans; and,

WHEREAS, a Draft Environmental Impact Report was prepared for this project and was distributed for public review on April 3, 1996, and made the topic of a special public hearing on May 8, 1996; and,

WHEREAS, the Planning Commission considered testimony presented by the public, the Planning Department, and other interested parties with respect to the Golden City Specific Plan and Final Environmental Impact Report at a public hearing held on October 2, 1996.

WHEREAS, the City Council has considered the recommendations of the Planning Commission, taken testimony presented by the public, the Planning Department, and other interested parties with respect to the Golden City Specific Plan and Final Environmental Impact Report at public hearings held on November 5, 1996.

NOW, THEREFORE, the City Council of the City of Murrieta DOES HEREBY RESOLVE as follows:

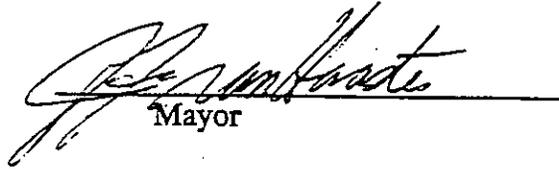
SECTION 1. Pursuant to the California CEQA Guidelines for the implementation of the California Environmental Quality Act, the City Council has reviewed the Final Environmental Impact Report, considered the information contained therein, and certified the Final Environmental Impact Report prior to approving the Specific Plan.

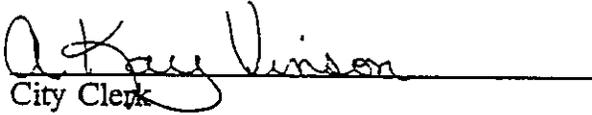
SECTION 2. That the City Council approves the Specific Plan as amended by the Conditions of Approval contained herein and designated as Exhibit "A".

SECTION 3. The City Clerk shall certify the adoption of this Resolution.

PASSED, APPROVED AND EFFECTIVE this 12th day of November, 1996.

Attest:


Mayor


City Clerk

STATE OF CALIFORNIA:

} SS

COUNTY OF RIVERSIDE:

I, A. Kay Vinson, City Clerk of the City of Murrieta, California, DO HEREBY CERTIFY that the Resolution 96-462 was duly and regularly adopted by the City Council of the City of Murrieta, California, at a meeting thereof held on the 12th day of November, 1996 by the following vote:

AYES: Enochs, G. Smith, Walsh and van Haaster

NOES: None

ABSENT: Washington

ABSTAIN: None

(Seal)


Murrieta City Clerk

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Murrieta, California, this 12th day of November, 1996.

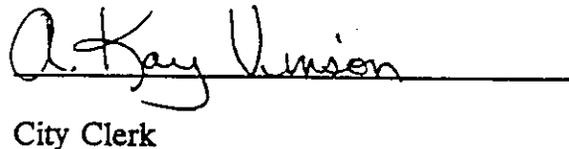

City Clerk

EXHIBIT "A"

**GOLDEN CITY SPECIFIC PLAN SPM-5
RECOMMENDED CONDITIONS OF APPROVAL PER P.C.RESOLUTION 96-001
NOVEMBER 5, 1996**

All of the following conditions shall be subject to the approval of the responsible City official, board, commission or the City Council prior to the approval of permits implementing this project or in accordance with the mitigation measures contained in the environmental documentation for the project. These conditions are not intended to be all inclusive of the requirements that may be imposed on future discretionary permits required to construct this project. The City reserves the right to review future permit applications in accordance with City environmental review procedures. These conditions shall be attached to the resolution approving the Specific Plan document and placed on file with the City Clerk and distributed to all affected public agencies.

GENERAL CONDITIONS:

1. Implementing development applications (e.g., Tract Maps, Plot Plans, CUPs, etc.) shall conform substantially with the adopted Golden City Specific Plan (SPM-5) as filed in the City of Murrieta Community Development Department. Approval of the Specific Plan does not constitute approval of the final lot configurations and street design shown on the Specific Plan Map or the Specific Plan: Illustrative Site Plan (Figure I O). Modifications may be made by the Planning Commission and City Council during tentative subdivision map processing.
2. Comply with all City Ordinances and Standards, including the Hillside Development Ordinance, except as adopted specifically in the Specific Plan. Except as expressly modified by any subsequent Development Agreement, the Golden City Specific Plan shall be subject to all Citywide fees and area fees applicable to new development in place as each development is approved.
3. The mitigation measures included in the EIR for Golden City are hereby incorporated herein as conditions of approval. All subsequent development applications shall be reviewed in accordance with Government Code Section 65457 and State CEQA Guidelines Section 15182, which allows residential development that is part of an approved specific plan and environmental impact report to be processed without further environmental clearance.
4. The revisions to the Specific Plan as presented in the Final Environmental Impact

Report shall be incorporated into the Golden City Specific Plan, recognizing that the residential density for this project shall not exceed 3.5 du/ac.

5. The applicant shall defend, indemnify, and hold harmless, the city, its agents, officers, and employees from any claim, action or proceeding against the city, its agents, officers and employees to attack, set aside, void or annul the approval by the city of the specific plan or certification of the environmental impact report. The city shall promptly notify the applicant of any such claim, action or proceeding. The city shall be obligated to cooperate fully in the defense thereof.

6. Prior to the filing of the financing parcel map and/or development applications, the final Specific Plan documents shall be edited and recompiled by the developer to incorporate these conditions of approval and delete any language which is in conflict with these conditions to the satisfaction of the Director of Community Development. Final documents shall be submitted within 90 days of the City Council approval of the Public Facilities Financing Plan.

7. Notwithstanding these conditions of approval to the contrary, the applicant may file and record a "financing tentative parcel map," provided, however, the City Planning Commission "conceptually" approves a Master Tentative Subdivision Map which portrays the proposed lot, street and grading design for the entire project before the "financing tentative parcel map" is approved. The "financing tentative parcel map" shall be conditioned as appropriate to assure consistency with the General Plan, the adopted Specific Plan, and the Master Tentative Subdivision Map including improved public access both onsite and offsite, basic infrastructure such as water, sewer, and drainage for each parcel shown on the "financing tentative parcel map." In no event shall the financing parcel map or the first tentative subdivision map for the project be approved until the PFFP is approved.

8. Statements in the Specific Plan regarding receipt of dedications and responsibilities for maintenance shall be considered suggestions until such time prior to the approval of tentative maps such dedications and responsibilities can be determined with more certainty.

LAND USE:

9. The Land Use Plan contained in the Specific Plan represents the general arrangement and type of land use intended for development. The maximum number of units, 650, or 692 if the school is not used, shall be permitted subject to the conditions of approval of the Specific Plan and the mitigation measures contained in the Final EIR.

Approval of the tentative subdivision maps will determine the actual number of lots, lot sizes, lot design or street design, grading and other design elements and improvements. Existing and future ordinances and studies that will apply to this project may result in a reduction in the final number of lots to less than the number shown in the Golden City Specific Plan.

10. Implementation of residential planning areas designated Single Family 2 (SF-2) may be designed with "cluster site planning" concepts which may include such things as common walls, common floors, private streets/drives, common open space, lots/units fronting on common open space, common parking areas, and complete site landscaping.

11. The Zoning (SP District Regulations) shall be modified to designate planning areas by the lot size and/or density proposed prior to the approval of any tentative map. The development standards shall be modified to reflect the variations in minimum lot size.

12. The SP District Regulations special purpose districts governing various open space areas, shall be modified to show the permitted uses per the City's guidelines for SP District Regulations.

13. The areas proposed for public facilities, such as schools and parks shall be identified in net acreage.

14. Plot Plans, conditional use permits, variances and zone changes shall be processed per the Ordinance No. 348 or its successor ordinance.

15. The standard single family siting concepts, Types D & E on Exhibit III-35 in the Community Design Chapter shall be limited to 10% of the total number of units per Planning Area.

16. All structures shall be subject to architectural and site plan review in conjunction with the permit required by the District Regulations for this Specific Plan. The commercial and industrial land uses shall be subject to a Plot Plan Review, and single family detached homes shall be reviewed at the time of plot plan review prior to the issuance of a building permit.

GRADING:

17. Lot lines shall be at the top of slope, except where the Specific Plan allows for an exception. Final grading plans and lot line locations will be subject to approval of the

Director of Public Works.

18. Following approval of the Specific Plan, the applicant shall produce the Conceptual Grading Plan as a 200 scale map showing the boundary of the 0-25% slope area as well as portray how the manufactured slopes in the transition between the 0-25% slope area and the 25-50% areas are to be affected with landform grading. This map will serve to guide the preparation and review of grading plans submitted at the time of tentative tract map processing.
19. The soils report submitted prior to the approval of tentative tract maps shall show that the design of all detention basins insures that the contained water can not percolate to areas outside the basin.
20. Preliminary grading plans shall be submitted concurrently with subdivision maps to ensure conformance with these conditions and the Final EIR's mitigation measures.
21. The tentative map and preliminary grading plans shall identify existing rock outcroppings, knolls, drainage courses and trees and note those to be preserved.
22. Tentative subdivision maps may be subject to further environmental review in accordance with the environmental review procedures of the City.

PUBLIC FACILITIES FINANCING PLAN:

23. The Public Facilities Financing Plan shall be completed and approved by the City Council (with Planning Commission recommendations) prior to the approval of a development agreement, approval of any development applications, approval of a financing parcel map and/or approval of tentative map applications. Utilizing the established City of Murrieta PFFP Guidelines subject to the approval of the Director of Public Works and the City Manager, public facilities shall be addressed with respect to the details of their physical description, estimated costs, construction phasing, financing methods, and the responsible party for actual construction of the facilities. The applicant will agree to provide, arrange, or participate in financing for the project's fair share of areawide infrastructure improvements in accordance with the PFFP.
24. The applicant shall submit complete public facility planning information as described in the City of Murrieta PFFP guidelines. The City shall establish the format, assumptions, criteria and standards (level of service, performance, development and

threshold), coordinate with other development plans and prepare the PFFP documentation. The City's efforts and costs of PFFP preparation shall be reimbursed to the City on a pro-rata/fair share basis by the Applicant. The City will review, analyze, comment on and act upon the PFFP within four (4) months of receiving a complete PFFP submittal package.

25. Golden City shall submit updated development summaries, phasing plans, forecasts, and development data, such as actual traffic counts and completed building permit information to the City Manager no later than the end of each calendar year for project monitoring and comparison to the projections contained in the fiscal impact report. The Public Facilities Financing Plan shall be reviewed as to the actual amount, timing and location of new development. Should the fiscal impact to the City of Murrieta change in the future, the annual monitoring report shall provide the City Manager with the reasons and the alternatives which can be taken by the City to maintain a positive fiscal impact to the City. This monitoring shall continue until the last final building permit.

26. The Public Facilities Financing Plan shall be followed with respect to the public improvements required to be installed or guaranteed to be installed in accordance with said plan or as required to meet the standards of the City. In addition, the sequence that improvements are constructed shall correspond to the phasing contained within the Public Facilities Financing Plan.

27. The developer shall agree to participate in the formation of a Road and Bridge District to finance future regional bridge and related drainage improvements at or along I-215 and between Scott Road and Clinton Keith Road. Should the City of Murrieta not proceed forward to form a Road and Bridge District, the developer shall provide the professional services necessary to identify the cost of improvements as approved by the City of Murrieta Public Works Director, including the cost of preparation of an Environmental Impact Report, the district formation costs and an allocation of costs to the various properties within the proposed District.

28. Major public facilities shall be installed in accordance with the Public Facilities Plan and Standards contained in the Specific Plan. Specific improvements shall be determined in conjunction with the tentative maps to the satisfaction of the Director of Public Works.

29. The references to project and facility phasing in the Development Plans chapter of the Specific Plan shall be modified to be consistent with the Public Facilities Financing Plan chapter.

FISCAL IMPACT RESERVE FUND:

30. The project shall provide funding for periods where expenditures, including operational and capital, exceed projected revenues. The details of such funding shall be determined by the city prior to the approval of the first tentative subdivision map.

OPEN SPACE AND RECREATIONAL IMPROVEMENTS DESIGN:

31. Final approval of pedestrian paths, equestrian trails, hiking trails, bikeways or bike paths, and any park or open space and park facility design shall be subject to City Public Works Department, Community Development Department and the Parks and Recreation Department approval, consistent with Specific Plan and tentative subdivision map alignments and cross-sections.

32. The determination of open space/fuel modification area boundaries and maintenance responsibilities shall be subject to the approval of the City Manager prior to the approval of the first tentative subdivision map. The use of home owners associations will be considered for the maintenance of project open space and slope areas.

Prior to recordation of the a final subdivision map, the subdivider shall submit the following documents to the Planning Department for review, which documents shall be subject to the approval of that department and the City Attorney:

- a. A declaration of covenants, conditions and restrictions; and
- b. A sample document conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions and restriction are incorporated therein by reference.

The declaration of covenants, conditions, and restrictions submitted for review shall:

- c. provide for a minimum term of 60 years
- d. provide for the establishment of a property owner's association for the owners of each individual lot or unit,
- e. provide for ownership for the common area by either the property owners association or the owners of each individual lot or unit as tenants in common, and

- f. contain the following provisions verbatim:
"Notwithstanding any provision in this Declaration to the contrary, the following provisions shall apply:
- (a) The property owners' association established herein shall manage the continuously maintain in the 'common area', or any part thereof, absent the prior written consent of the Planning Director.
 - (b) The declaration shall not be terminated, 'substantially' amended or property deannexed therefrom absent the prior written consent of the Planning Department. A proposed amendment shall be considered 'substantial' if it affects the extent, usage or maintenance of the 'common area'.
 - (c) In the event of any conflict between this Declaration and the Articles of Incorporation the bylaws or the property owners' association Rules and Regulations, if any, this Declaration shall control."
- g. Once approved, the declaration of covenant, conditions and restrictions shall be recorded at the same time that the final map is recorded if required by the City Manager.

33. All plant materials, sizes and locations within parks, streetscapes, and open space areas shall require approval by the City Manager prior to final subdivision approval.

34. Details for fuel modification areas within dedicated open space areas shall be delineated on the tentative subdivision map and shall be subject to review and approval of the Fire Chief prior to any tentative subdivision map approval. The developer shall be responsible for the initial cycle of fire management/brush clearance within natural open space areas.

35. Open space maintenance access points shall be a minimum of 10 feet in width and subject to the approval of the City Manager prior to tentative subdivision map approval..

36. The alignment, location and design of equestrian, pedestrian and bike paths shall be subject to approval of the City Manager prior to tentative subdivision approval.

37. Final details of habitat enhancement, protective measures for sensitive

habitat/species, brush modification and temporary irrigation shall be subject to approval of the City Manager prior to the issuance of final grading permits.

38. The project shall dedicate and improve 5 acres of parkland per 1,000 persons in accordance with the requirements of the General Plan and adopted ordinances. As part of the overall requirement a nine (9) acre neighborhood park shall be fully improved in accordance with Ordinance No. 460 for active recreational use within the project. No park credit is approved or implied with the approval of the Specific Plan.

39. Plans relating to landscape plans, master park plans, pedestrian paths, hiking trails, bikeways and bike paths, street median landscaping, fuel modification areas and open space design shall be submitted and reviewed with each tentative subdivision map. Such plans shall be consistent with the Community Design Guidelines in the Golden City Specific Plan and consistent with the General Plan.

40. The location and maintenance responsibility for all perimeter walls shall be determined at the time of tentative subdivision map approval or plot plan approval. If a perimeter wall is to be maintained by a public entity, it may be required that the perimeter wall be constructed entirely within a lot or R.O.W. dedicated to the City.

41. Street trees and streetscape landscaping standards shall be subject to the approval of the Community Development Director, Director of Public Works and Parks and Recreation Director.

42. The neighborhood park shall include adequate parking with respect to the facilities ultimately constructed. The plans for this park shall be prepared in conjunction with the design of the surrounding residential tentative maps, taking into account unit orientation and on site parking.

TRANSPORTATION AND CIRCULATION:

43. The developer shall comply with the City of Murrieta Street Design Standards for all public streets within the boundaries of the Specific Plan with the exception that local streets with 50 foot right-of-way may be used with a minimum curb-to-curb dimension of 32 feet.

44. Private street cross sections shall conform to those shown in the Specific Plan for curb-to-curb width and right-of-way width unless otherwise specified by the Director of Public Works. Use of private streets shall be subject to the approval of the Director of Public Works.

45. Development of roadway and other transportation facilities shall be coordinated with the County of Riverside, in particular where the County's authority is necessary to carry out required improvements.
46. All sidewalks shall have a minimum width that provides a dimension four (4) feet clear from all appurtenances within the street right of way. Public sidewalks shall meet all other City standards.
47. All private streets shall provide easements for fire hydrants, mail box pedestals, cable television and other utilities and facilities as required by said utilities/entities.
48. Any private or public street which does not meet all aspects of the design standards of the City of Murrieta shall be indicated on the tentative subdivision map. The City will condition the approval of any deviation prior to tentative map approval.
49. The maximum roadway gradient within the project shall not exceed 15%, except within intersections where the maximum grade shall be determined by the City Engineer.
50. Pedestrian walkways shall be provided from specific cul-de-sac ends which are designed with open ends. Details of the pedestrian walk system will be subject to review prior to approval of any tentative subdivision map. Provisions for light maintenance vehicle passage shall be made.
51. Transit stop designs, including benches and shelters, shall be reviewed by the Director of Public Works prior to approval of any tentative subdivision map.
52. The installation of transit facilities, such as bus stops, shelters and turnouts, shall be concurrent with transit service availability. Since this may not coincide with project development the developer shall commit to funding these facilities and that they be installed when requested by the City.
53. The developer shall commit to funding the project's fair share of a park-and-ride facility at such time as one is located in the vicinity of Keller Road and the I-215. Payment shall occur, if not sooner, prior to the approval of the final tentative map of the project.
54. Menifee Road shall be constructed with two travel lanes between Golden City Drive and Baxter Road and Baxter Road (Keller Road) shall be constructed with two travel lanes between Antelope Road and Menifee prior to any development within the

northerly portion of the project .

55. The public street widths and sections shall be modified to be consistent with the City of Murrieta "Street Sections," adopted April 4, 1995 as part of the General Plan Circulation Element.

56. The street sections shown in the Specific Plan for Antelope Road shall be modified to show "Recreation Trails" (separating equestrian from other users).

57. The project shall comply with the Congestion Management Program requirements to the satisfaction of the Director of Public Works.

58. It is anticipated that prior to the City approving the precise alignment of Menifee/ Meadowlark Road and Baxter/Keller Road as they cross through Golden City Specific Plan and Murrieta Highlands Specific Plan and the neighboring properties, more precise environmental and engineering reviews will occur that could relocate the locations of these roads in order to further reduce their environmental impact, impact on adjacent properties and to comply with City design standards. It is viewed that a such relocation could be as much as several hundred feet off of the current alignments.

POTABLE WATER, RECLAIMED WATER, SEWER AND DRAINAGE:

59. A drainage facilities plan shall be subject to approval by the Director of Public Works prior to approval of any tentative subdivision map. Storm water detention basins shall be planned to handle silts and water quality problems introduced by urbanization. Basins shall be designed to provide extended detention that meets the design guidelines provided in the California Storm Water BMP Handbook, pages 5-39 to 5-48 or its successor.

60. Specific methods of handling drainage and sewer issues shall be subject to approval by the Director of Public Works prior to approval of tentative maps. All current provisions of the NPDES and the Clean Water Program shall be met.

61. The detention basins shall be designed to mitigate the impacts due to development from nuisance flows, and the impacts from 2, 5, and 10 year storms. The detention basin design to be subject to the approval of the City Engineer.

62. Runoff from the development shall not exceed present flows of the 100 year frequency storm. Retention/detention facilities will be required as approved by the Director of Public Works prior to issuance of grading permits to reduce the quantity of

runoff to an amount equal to or less than present flows.

63. Graded access shall be provided to all storm drain cleanouts, inlets and outlets, and paved access shall be provided to all sewer manholes to the satisfaction of the Director of Public Works.

64. Public improvements shall be installed as indicated in accordance with the public facilities financing plan or any changes to same approved by the Director of Public Works. Specific improvements will be determined prior to approval of the tentative map.

65. Potable water, reclaimed water and sewer facilities shall be installed in accordance with the requirements and specifications of Eastern Municipal Water District (EMWD).

66. Any plans for water reservoir siting shall be reviewed by the City Engineer and Community Development Department and coordinated with Eastern Municipal Water District.

67. The applicant shall provide in writing from EMWD, a statement that an agreement has been reached with respect to providing services to this project prior to approval of any tract maps or commercial/industrial parcel maps or approval of any commercial/industrial plot plans.

68. If drainage diversion is proposed, the developer shall enter into agreements with the City to provide for diversion of drainage at such time as specified by conditions placed on any tentative map.

69. The Conceptual Storm Drainage Plan Figure 4.6.3 in the EIR shall be corrected to reflect the not to exceed 20 cubic feet per second flow limitation as specified in the text.

70. Plans for detention basins shall be evaluated at the tract map phase to determine the need for fencing the facility. It is intended that these basins serve as useable open space and therefore be accessible to the public.

71. The maintenance of the detention basins shall be carried out by a public agency at the property owner's expense.

72. This project shall be subject to the Master Plan Drainage fees in place at the time

of issuance of grading permits.

73. The applicant shall provide the City of Murrieta with will-serve letters from the special districts prior to approval of any tentative subdivision map, such as the water and sewer willserve letter from Eastern Municipal Water District.

FIRE SERVICES:

74. The limits for maximum water main pressure within the project shall be approved by the Fire Chief.

75. Fire sprinkler systems or other acceptable fire safety measures may be required for residences located on flag lots and/or private access lots. A final determination will be made by the Fire Chief.

76. The developer shall dedicate a 1 acre fire station site in the Golden City project as shown or within the immediate area (within .25 miles), and the developer shall construct, equip and pay for the operation and maintenance of a fire station to the satisfaction of the Fire Chief. The site shall be located to have direct street frontage on Golden City Drive.

SCHOOLS:

77. If deemed necessary by the Board of Trustees of the School District, the District will adjust enrollment boundaries as necessary to utilize available school capacity. The applicant shall provide the land for school facilities within the project commensurate with the need caused by the Golden City project. As development applications are processed within the boundaries of Golden City, the City will coordinate with the school district to ensure that any additional development approvals do not take place until the provision for financing of school facilities is approved by the school district. The approval of a tentative map within the boundaries of Golden City will not be made unless the City receives a letter from the school district confirming the developer's participation in financing programs established by the District.

78. The land use plan shall show the location of an elementary school site of 10 acre (net).

LIBRARY:

79. If the City of Murrieta adopts an ordinance regarding library fees, such fees shall

be paid to the City of Murrieta. If there is no city ordinance, then library fees shall be paid in accordance with the County ordinance.

ORDINANCE NO. 168-96

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, AMENDING THE OFFICIAL ZONING MAP OF SAID CITY IN CHANGE OF ZONE CASE NO. 92-158, GENERALLY LOCATED EAST OF I-215, SOUTH OF KELLER ROAD, CHANGING PRE-ZONING FROM RS-1, BP, and C-MU TO SP ZONE (SPECIFIC PLAN) AS ILLUSTRATED ON THE ATTACHED CITY OF MURRIETA PREZONE MAP (EXHIBIT A) PER THE GOLDEN CITY SPECIFIC PLAN SPM-5

The City Council of the City of Murrieta does ordain as follows:

Section 1.: Section 65859 of the California Government Code, titled Prezoning of Unincorporated Territory specifies that a city may prezone unincorporated territory adjoining the city for the purpose of determining the zoning that will apply to such property in the event of subsequent annexation to the city. And, the method of accomplishing such prezoning shall be as provided for zoning within the city.

Section 2.: On March 19, 1996 the City Council approved the prezoning for the area including the subject property, designating it RS-1 Single Family Residential, BP Business Park, and C-MU Commercial Multiple Use, consistent with the General Plan land use designations.

Section 3.: Ordinance No. 348 of the County of Riverside, as incorporated and adopted by Ordinance of the City of Murrieta, and as amended thereafter from time to time by the City Council of the City of Murrieta, and the City of Murrieta Official Zoning, are further amended by placing in effect the zone as shown on the attached map entitled Exhibit A (including herein by reference), Change of Official Zoning, City of Murrieta, referenced as Golden City Specific Plan SPM-5, Prezoning Case No. 92-158.

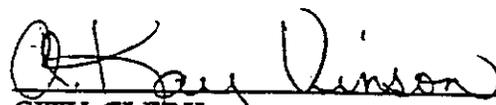
Section 3.: The zoning shall become SP (Specific Plan) which consists of zoning standards and criteria for land use development in the area described on Exhibit A, and as specified in the Golden City Specific Plan, Chapter 2, SP District Regulations.

Section 5.: The City Clerk of the City of Murrieta shall certify to the adoption of this Ordinance and shall publish a summary of this ordinance and post a certified copy of the full ordinance in the office of the City Clerk at least five days prior to the adoption of the proposed ordinance; and within fifteen days after adoption of the ordinance, the City Clerk shall publish a summary of the ordinance with the names of the council members voting for and against the ordinance. This ordinance shall take effect thirty days after the date of its adoption.

ADOPTED by the City Council and signed by the Mayor and attested by the City Clerk this 3rd day of December, 1996.

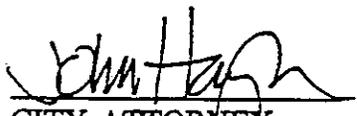

MAYOR
City of Murrieta

ATTEST:


CITY CLERK
City of Murrieta

(See attached Map)

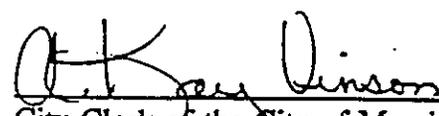
APPROVED AS TO FORM:

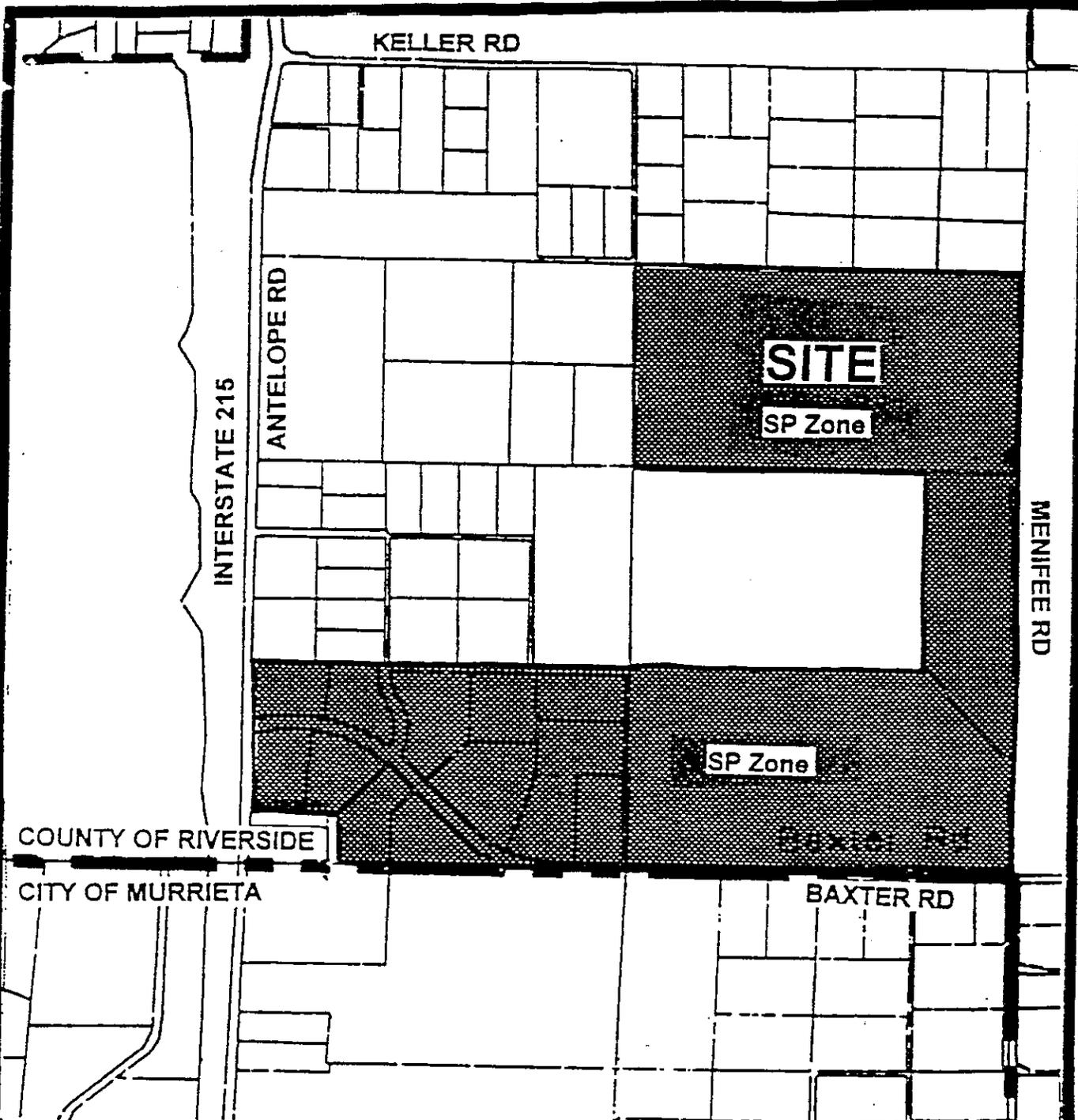

CITY ATTORNEY

I, A. Kay Vinson, City Clerk of the City of Murrieta, California, hereby certify that the foregoing ordinance was duly and regularly introduced at a meeting of the City Council on November 12, 1996, and that thereafter the said ordinance was duly and regularly adopted at a meeting of the City Council on the 3rd day of December, 1996, by the following vote, to wit:

Ayes: Enochs, G. Smith, Walsh, Washington and van Haaster
Noes: None
Absent: None

IN WITNESS WHEREOF, I have hereunto set my hand and official seal of the City of Murrieta, California, this 3rd day of December, 1996.


City Clerk of the City of Murrieta



COUNTY OF RIVERSIDE

CITY OF MURRIETA

CASE NO. **92-158 Pre-Zone**

LOCATION MAP

PROPOSED ZONING

GOLDEN CITY
SPECIFIC PLAN

FROM: SF-1, B-P & C-MU TO: SP

DATE:
OCTOBER 2, 1996

EXHIBIT A

CITY OF MURRIETA PLANNING DEPARTMENT

NO SCALE



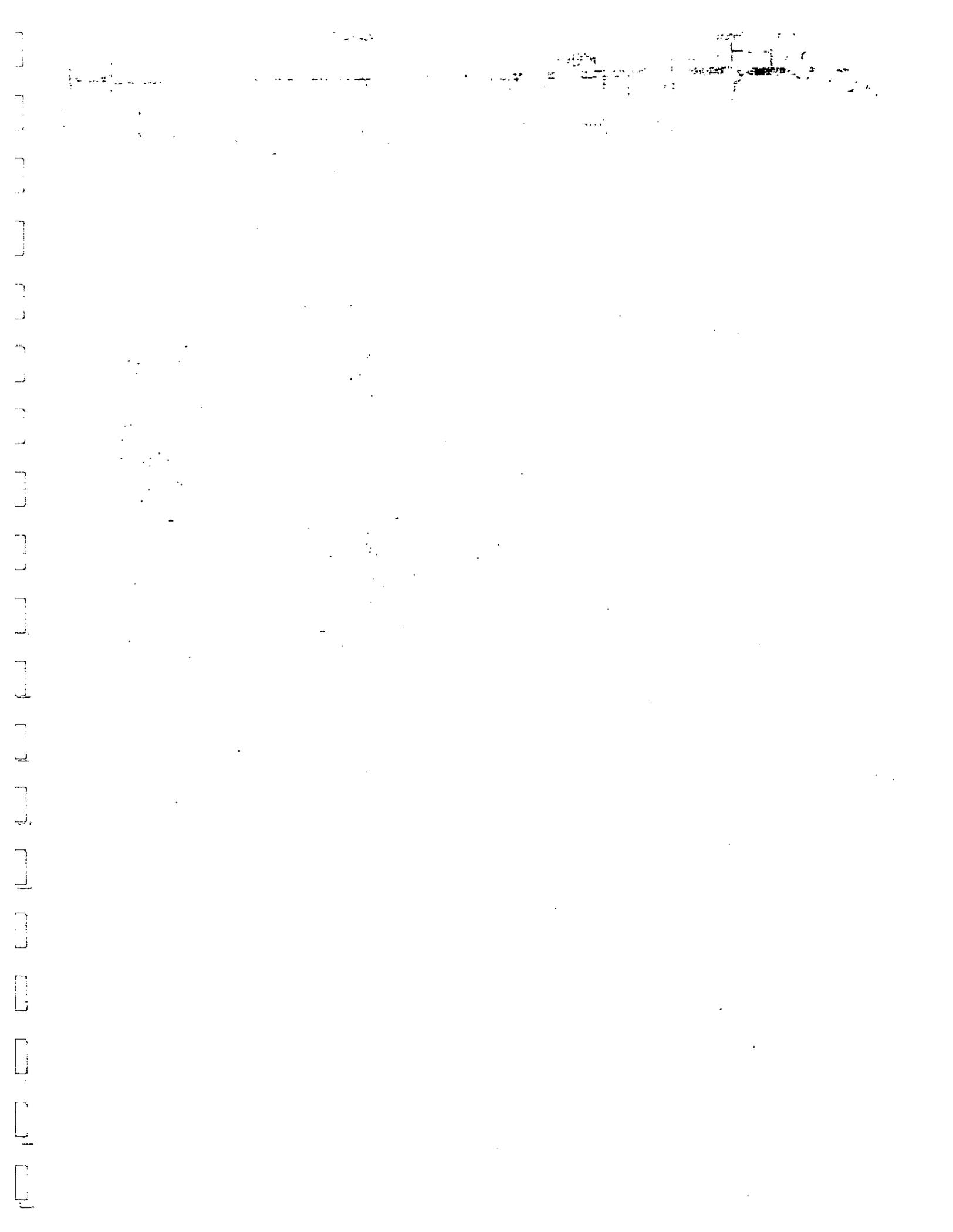


EXHIBIT "4"

PLANNING COMMISSION RESOLUTION NO. 96-001

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MURRIETA RECOMMENDING APPROVAL OF THE GOLDEN CITY SPECIFIC PLAN SPM-5 AND RECOMMENDING THAT THE CITY COUNCIL MAKE THE NECESSARY ENVIRONMENTAL FINDINGS AND APPROVE THE ZONING ORDINANCE AMENDMENT CHANGING THE PREZONING FROM RS-1, BP, C-MU TO THE SP ZONE (SPECIFIC PLAN)

WHEREAS, the City of Murrieta General Plan has established the Master Plan Overlay and the land use designation of Single Family 1 Residential for the subject property; and,

WHEREAS, the Golden City Specific Plan has been prepared consistent with the City of Murrieta General Plan and the General Plan Final Environmental Impact Report certified by the City Council on June 21, 1994, and subject to the City of Murrieta guidelines for preparation of specific plans; and,

WHEREAS, CEQA documentation was prepared for this project and was available for public review from April 3, 1996 to May 17, 1996, and made the topic of a public hearing by the Planning Commission on May 8, 1996; and,

WHEREAS, the Planning Commission has considered testimony presented by the public, the Planning Department, and other interested parties with respect to the Golden City Specific Plan and environmental documents at a public hearing held on October 2, 1996.

NOW, THEREFORE, the Planning Commission of the City of Murrieta DOES HEREBY RESOLVE as follows:

SECTION 1. Pursuant to the California CEQA Guidelines for the implementation of the California Environmental Quality Act, the Planning Commission has reviewed the environmental documents and considered the information contained therein prior to recommending approval of the Golden City Specific Plan. Therefore, the Planning Commission recommends that the City Council make the necessary environmental findings attached herein. Further, the Planning Commission recommends the prezoning of the subject property be changed from Single Family Residential (RS-1), Business Park (BP) and Commercial Multiple Use (C-MU) to the SP Zone (Specific Plan) with the adoption of the SP District Regulations (Zoning Ordinance) attached herein and designated as Chapter II of the Golden City Specific Plan.

SECTION 2. That the Planning Commission recommend approval of the Golden City Specific Plan as amended by the Conditions of Approval contained herein, as Exhibit "A".

PASSED this 2nd day of October 1996, by the following Roll Call vote:

AYES:

NOES:

ABSENT:

ABSTAINED:

SECRETARY

CHAIR

EXHIBIT "A"

GOLDEN CITY SPECIFIC PLAN SPM-5 CONDITIONS OF APPROVAL October 2, 1996

All of the following conditions shall be subject to the approval of the responsible City official, board, commission or the City Council prior to the approval of permits implementing this project or in accordance with the mitigation measures contained in the environmental documentation for the project. These conditions are not intended to be all inclusive of the requirements that may be imposed on future discretionary permits required to construct this project. The City reserves the right to review future permit applications in accordance with City environmental review procedures. These conditions shall be attached to the resolution approving the Specific Plan document and placed on file with the City Clerk and distributed to all affected public agencies.

GENERAL CONDITIONS:

1. Implementing development applications (e.g., Tract Maps, Plot Plans, CUPs, etc.) shall conform substantially with the adopted Golden City Specific Plan (SPM-5) as filed in the City of Murrieta Community Development Department. Approval of the Specific Plan does not constitute approval of the final lot configurations and street design shown on the Specific Plan Map or the Specific Plan: Illustrative Site Plan (Figure I O). Modifications may be made by the Planning Commission and City Council during tentative subdivision map processing.
2. Comply with all City Ordinances and Standards, including the Hillside Development Ordinance, except as adopted specifically in the Specific Plan. Except as expressly modified by any subsequent Development Agreement, the Golden City Specific Plan shall be subject to all Citywide fees and area fees applicable to new development in place as each development is approved.
3. The mitigation measures included in the EIR for Golden City are hereby incorporated herein as conditions of approval. All subsequent development applications shall be reviewed in accordance with Government Code Section 65457 and State CEQA Guidelines Section 15182, which allows residential development that is part of an approved specific plan and environmental impact report to be processed without further environmental clearance.
4. The revisions to the Specific Plan as presented in the Final Environmental Impact Report shall be incorporated into the Golden City Specific Plan, recognizing that the residential density for this project shall not exceed 3.5 du/ac.
5. The applicant shall defend, indemnify, and hold harmless, the city, its agents, officers, and employees from any claim, action or proceeding against the city, its agents, officers and

employees to attack, set aside, void or annul the approval by the city of the specific plan or certification of the environmental impact report. The city shall promptly notify the applicant of any such claim, action or proceeding. The city shall be obligated to cooperate fully in the defense thereof.

6. Prior to the filing of the financing parcel map and/or development applications, the final Specific Plan documents shall be edited and recompiled by the developer to incorporate these conditions of approval and delete any language which is in conflict with these conditions to the satisfaction of the Director of Community Development. Final documents shall be submitted within 90 days of the City Council approval of the Public Facilities Financing Plan.

7. Notwithstanding these conditions of approval to the contrary, the applicant may file and record a "financing tentative parcel map," provided, however, the City Planning Commission "conceptually" approves a Master Tentative Subdivision Map which portrays the proposed lot, street and grading design for the entire project before the "financing tentative parcel map" is approved. The "financing tentative parcel map" shall be conditioned as appropriate to assure consistency with the General Plan, the adopted Specific Plan, and the Master Tentative Subdivision Map including improved public access both onsite and offsite, basic infrastructure such as water, sewer, and drainage for each parcel shown on the "financing tentative parcel map." In no event shall the financing parcel map or the first tentative subdivision map for the project be approved until the PFFP is approved.

8. Statements in the Specific Plan regarding receipt of dedications and responsibilities for maintenance shall be considered suggestions until such time prior to the approval of tentative maps such dedications and responsibilities can be determined with more certainty.

LAND USE:

9. The Land Use Plan contained in the Specific Plan represents the general arrangement and type of land use intended for development. The maximum number of units, 650, or 692 if the school is not used, shall be permitted subject to the conditions of approval of the Specific Plan and the mitigation measures contained in the Final EIR. Approval of the tentative subdivision maps will determine the actual number of lots, lot sizes, lot design or street design, grading and other design elements and improvements. Existing and future ordinances and studies that will apply to this project may result in a reduction in the final number of lots to less than the number shown in the Golden City Specific Plan.

10. Implementation of residential planning areas designated Single Family 2 (SF-2) may be designed with "cluster site planning" concepts which may include such things as common walls, common floors, private streets/drives, common open space, lots/units fronting on common open space, common parking areas, and complete site landscaping.

11. The Zoning (SP District Regulations) shall be modified to designate planning areas by the lot size and/or density proposed prior to the approval of any tentative map. The development standards shall be modified to reflect the variations in minimum lot size.
 12. The SP District Regulations special purpose districts governing various open space areas, shall be modified to show the permitted uses per the City's guidelines for SP District Regulations.
 13. The areas proposed for public facilities, such as schools and parks shall be identified in net acreage.
 14. Plot Plans, conditional use permits, variances and zone changes shall be processed per the Ordinance No. 348 or its successor ordinance.
 15. The standard single family siting concepts, Types D & E on Exhibit III-35 in the Community Design Chapter shall be limited to 10% of the total number of units per Planning Area.
 16. All structures shall be subject to architectural and site plan review in conjunction with the permit required by the District Regulations for this Specific Plan. The commercial and industrial land uses ~~neighborhood shopping center~~ shall be subject to a Plot Plan Review Master Conditional Use Permit, and single family detached homes shall be reviewed at the time of plot plan review prior to the issuance of a building permit.
- GRADING:**
17. Lot lines shall be at the top of slope, except where the Specific Plan allows for an exception. Final grading plans and lot line locations will be subject to approval of the Director of Public Works.
 18. Following approval of the Specific Plan, the applicant shall produce the Conceptual Grading Plan as a 200 scale map showing the boundary of the 0-25% slope area as well as portray how the manufactured slopes in the transition between the 0-25% slope area and the 25-50% areas are to be affected with landform grading. This map will serve to guide the preparation and review of grading plans submitted at the time of tentative tract map processing.
 19. The soils report submitted prior to the approval of tentative tract maps shall show that the design of all detention basins insures that the contained water can not percolate to areas outside the basin.
 20. Preliminary grading plans shall be submitted concurrently with subdivision maps to ensure conformance with these conditions and the Final EIR's mitigation measures.

21. The tentative map and preliminary grading plans shall identify existing rock outcroppings, knolls, drainage courses and trees and note those to which shall be preserved ~~to the maximum to the satisfaction of the Director of Community Development.~~
22. Tentative subdivision maps ~~within sensitive areas on site~~ may be subject to further environmental review in accordance with the environmental review procedures of the City.

PUBLIC FACILITIES FINANCING PLAN:

23. The Public Facilities Financing Plan shall be completed and approved by the City Council (with Planning Commission recommendations) prior to the approval of a development agreement, approval of any development applications, approval of a financing parcel map and/or approval of tentative map applications. Utilizing the established City of Murrieta PFFP Guidelines subject to the approval of the Director of Public Works and the City Manager, public facilities shall be addressed with respect to the details of their physical description, estimated costs, construction phasing, financing methods, and the responsible party for actual construction of the facilities. The applicant will agree to provide, arrange, or participate in financing for the project's fair share of areawide infrastructure improvements in accordance with the PFFP.
24. The applicant shall submit complete public facility planning information as described in the City of Murrieta PFFP guidelines. The City shall establish the format, assumptions, criteria and standards (level of service, performance, development and threshold), coordinate with other development plans and prepare the PFFP documentation. The City's efforts and costs of PFFP preparation shall be reimbursed to the City on a pro-rata/fair share basis by the Applicant. The City will review, analyze, comment on and act upon the PFFP within four (4) months of receiving a complete PFFP submittal package.
25. Golden City shall submit updated development summaries, phasing plans, forecasts, and development data, such as actual traffic counts and completed building permit information to the City Manager no later than the end of each calendar year for project monitoring and comparison to the projections contained in the fiscal impact report. The Public Facilities Financing Plan shall be reviewed as to the actual amount, timing and location of new development. Should the fiscal impact to the City of Murrieta change in the future, the annual monitoring report shall provide the City Manager with the reasons and the alternatives which can be taken by the City to maintain a positive fiscal impact to the City. This monitoring shall continue until the last final building permit.
26. The Public Facilities Financing Plan shall be followed with respect to the public improvements required to be installed or guaranteed to be installed in accordance with said plan or as required to meet the standards of the City. In addition, the sequence that improvements are constructed shall correspond to the phasing contained within the Public Facilities Financing

Plan.

27. The developer shall agree to participate in the formation of a Road and Bridge District to finance future regional bridge and related drainage improvements at or along I-215 and between Scott Road and Clinton Keith Road. Should the City of Murrieta not proceed forward to form a Road and Bridge District, the developer shall provide the professional services necessary to identify the cost of improvements as approved by the City of Murrieta Public Works Director, including the cost of preparation of an Environmental Impact Report, the district formation costs and an allocation of costs to the various properties within the proposed District.

28. Major public facilities shall be installed in accordance with the Public Facilities Plan and Standards contained in the Specific Plan. Specific improvements shall be determined in conjunction with the tentative maps to the satisfaction of the Director of Public Works.

29. The references to project and facility phasing in the Development Plans chapter of the Specific Plan shall be modified to be consistent with the Public Facilities Financing Plan chapter.

FISCAL IMPACT RESERVE FUND:

30. The project shall provide funding for periods where municipal operation and capital expenditures exceed projected revenues. The details of such funding shall be determined by the city prior to the approval of the first tentative subdivision map.

OPEN SPACE AND RECREATIONAL IMPROVEMENTS DESIGN:

31. Final approval of pedestrian paths, equestrian trails, hiking trails, bikeways or bike paths, and any park or open space and park facility design shall be subject to City Public Works Department, Community Development Department and the Parks and Recreation Department approval, consistent with Specific Plan and tentative subdivision map alignments and cross-sections.

32. The determination of open space/fuel modification area boundaries and maintenance responsibilities shall be subject to the approval of the City Manager prior to the approval of the first tentative subdivision map. The use of home owners associations will be considered for the maintenance of project open space and slope areas.

Prior to recordation of the a final subdivision map, the subdivider shall submit the following documents to the Planning Department for review, which documents shall be subject to the approval of that department and the City Attorney:

- a. A declaration of covenants, conditions and restrictions; and

- b. A sample document conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions and restriction are incorporated therein by reference.

The declaration of covenants, conditions, and restrictions submitted for review shall:

- c. provide for a minimum term of 60 years
- d. provide for the establishment of a property owner's association for the owners of each individual lot or unit.
- e. provide for ownership for the common area by either the property owners association or the owners of each individual lot or unit as tenants in common, and
- f. contain the following provisions verbatim:
"Notwithstanding any provision in this Declaration to the contrary, the following provisions shall apply:
- (a) The property owners' association established herein shall manage the continuously maintain in the 'common area', or any part thereof, absent the prior written consent of the Planning Director.
- (b) The declaration shall not be terminated, 'substantially' amended or property deannexed therefrom absent the prior written consent of the Planning Department. A proposed amendment shall be considered 'substantial' if it affects the extent, usage or maintenance of the 'common area'.
- (c) In the event of any conflict between this Declaration and the Articles of Incorporation the bylaws or the property owners' association Rules and Regulations, if any, this Declaration shall control."
- g. Once approved, the declaration of covenant, conditions and restrictions shall be recorded at the same time that the final map is recorded if required by the City Manager.

33. All plant materials, sizes and locations within parks, streetscapes, and open space areas shall require approval by the City Manager prior to final subdivision approval.

34. Details for fuel modification areas within dedicated open space areas shall be delineated on the tentative subdivision map and shall be subject to review and approval of the Fire Chief prior to any tentative subdivision map approval. The developer shall be responsible for the

initial cycle of fire management/brush clearance within natural open space areas.

35. Open space maintenance access points shall be a minimum of 10 feet in width and subject to the approval of the City Manager prior to tentative subdivision map approval..

36. The alignment, location and design of equestrian, pedestrian and bike paths shall be subject to approval of the City Manager prior to tentative subdivision approval.

37. Final details of habitat enhancement, protective measures for sensitive habitat/species, brush modification and temporary irrigation shall be subject to approval of the City Manager prior to the issuance of final grading permits.

38. The project shall dedicate and improve 5 acres of parkland per 1,000 persons in accordance with the requirements of the General Plan and adopted ordinances. As part of the overall requirement a nine (9) acre neighborhood park shall be fully improved in accordance with Ordinance No. 460 for active recreational use within the project. No park credit is approved or implied with the approval of the Specific Plan.

39. Plans relating to landscape plans, master park plans, pedestrian paths, hiking trails, bikeways and bike paths, street median landscaping, fuel modification areas and open space design shall be submitted and reviewed with each tentative subdivision map. Such plans shall be consistent with the Community Design Guidelines in the Golden City Specific Plan and consistent with the General Plan.

40. The location and maintenance responsibility for all perimeter walls shall be determined at the time of tentative subdivision map approval or plot plan approval. If a perimeter wall is to be maintained by a public entity, it may be required that the perimeter wall be constructed entirely within a lot or R.O.W. dedicated to the City.

41. Street trees and streetscape landscaping standards shall be subject to the approval of the Community Development Director, Director of Public Works and Parks and Recreation Director.

42. The neighborhood park shall include adequate parking with respect to the facilities ultimately constructed. The plans for this park shall be prepared in conjunction with the design of the surrounding residential tentative maps, taking into account unit orientation and on site parking.

TRANSPORTATION AND CIRCULATION:

43. The developer shall comply with the City of Murrieta Street Design Standards for all public streets within the boundaries of the Specific Plan with the exception that local streets with

- 50 foot right-of-way may be used with a minimum curb-to-curb dimension of 32 feet.
44. Private street cross sections shall conform to those shown in the Specific Plan for curb-to-curb width and right-of-way width unless otherwise specified by the Director of Public Works. Use of private streets shall be subject to the approval of the Director of Public Works.
45. Development of roadway and other transportation facilities shall be coordinated with the County of Riverside, in particular where the County's authority is necessary to carry out required improvements.
46. All sidewalks shall have a minimum width that provides a dimension four (4) feet clear from all appurtenances within the street right of way. Public sidewalks shall meet all other City standards.
47. All private streets shall provide easements for fire hydrants, mail box pedestals, cable television and other utilities and facilities as required by said utilities/entities.
48. Any private or public street which does not meet all aspects of the design standards of the City of Murrieta shall be indicated on the tentative subdivision map. The City will condition the approval of any deviation prior to tentative map approval.
49. The maximum roadway gradient within the project shall not exceed 15%, except within intersections where the maximum grade shall be determined by the City Engineer.
50. Pedestrian walkways shall be provided from specific cul-de-sac ends which are designed with open ends. Details of the pedestrian walk system will be subject to review prior to approval of any tentative subdivision map. Provisions for light maintenance vehicle passage shall be made.
51. Transit stop designs, including benches and shelters, shall be reviewed by the Director of Public Works prior to approval of any tentative subdivision map.
52. The installation of transit facilities, such as bus stops, shelters and turnouts, shall be concurrent with transit service availability. Since this may not coincide with project development the developer shall commit to funding these facilities and that they be installed when requested by the City.
53. The developer shall commit to funding the project's fair share of a park-and-ride facility at such time as one is located in the vicinity of Keller Road and the I-215. Payment shall occur, if not sooner, prior to the approval of the final tentative map of the project.
54. Menifee Road shall be constructed with two travel lanes between Golden City Drive and

Baxter Road and Baxter Road (Keller Road) shall be constructed with two travel lanes between Antelope Road and Menifee prior to any development within the northerly portion of the project

55. The public street widths and sections shall be modified to be consistent with the City of Murrieta "Street Sections," adopted April 4, 1995 as part of the General Plan Circulation Element.

56. The street sections shown in the Specific Plan for Antelope Road shall be modified to show "Recreation Trails" (separating equestrian from other users).

57. The project shall comply with the Congestion Management Program requirements to the satisfaction of the Director of Public Works.

POTABLE WATER, RECLAIMED WATER, SEWER AND DRAINAGE:

58. A drainage facilities plan shall be subject to approval by the Director of Public Works prior to approval of any tentative subdivision map. Storm water detention basins shall be planned to handle silts and water quality problems introduced by urbanization. Basins shall be designed to provide extended detention that meets the design guidelines provided in the California Storm Water BMP Handbook, pages 5-39 to 5-48 or its successor.

59. Specific methods of handling drainage and sewer issues shall be subject to approval by the Director of Public Works prior to approval of tentative maps. All current provisions of the NPDES and the Clean Water Program shall be met.

60. The detention basins shall be designed to mitigate the impacts due to development from nuisance flows, and the impacts from 2, 5, and 10 year storms. The detention basin design to be subject to the approval of the City Engineer.

61. Runoff from the development shall not exceed present flows of the 100 year frequency storm. Retention/detention facilities will be required as approved by the Director of Public Works prior to issuance of grading permits to reduce the quantity of runoff to an amount equal to or less than present flows.

62. Graded access shall be provided to all storm drain cleanouts, inlets and outlets, and paved access shall be provided to all sewer manholes to the satisfaction of the Director of Public Works.

63. Public improvements shall be installed as indicated in accordance with the public facilities financing plan or any changes to same approved by the Director of Public Works. Specific improvements will be determined prior to approval of the tentative map.

64. Potable water, reclaimed water and sewer facilities shall be installed in accordance with the requirements and specifications of Eastern Municipal Water District (EMWD).
65. Any plans for water reservoir siting shall be reviewed by the City Engineer and Community Development Department and coordinated with Eastern Municipal Water District.
66. The applicant shall provide in writing from EMWD, a statement that an agreement has been reached with respect to providing services to this project prior to approval of any tract maps or commercial/industrial parcel maps or approval of any commercial/industrial plot plans.
67. If drainage diversion is proposed, the developer shall enter into agreements with the City to provide for diversion of drainage at such time as specified by conditions placed on any tentative map.
68. The Conceptual Storm Drainage Plan Figure 4.6.3 in the EIR shall be corrected to reflect the not to exceed 20 cubic feet per second flow limitation as specified in the text.
69. Plans for detention basins shall be evaluated at the tract map phase to determine the need for fencing the facility. It is intended that these basins serve as useable open space and therefore be accessible to the public.
70. The maintenance of the detention basins shall be carried out by a public agency at the property owner's expense.
71. This project shall be subject to the Master Plan Drainage fees in place at the time of issuance of grading permits.
72. The applicant shall provide the City of Murrieta with will-serve letters from the special districts prior to approval of any tentative subdivision map, such as the water and sewer willserve letter from Eastern Municipal Water District.

FIRE SERVICES:

73. The limits for maximum water main pressure within the project shall be approved by the Fire Chief.
74. Fire sprinkler systems or other acceptable fire safety measures may be required for residences located on flag lots and/or private access lots. A final determination will be made by the Fire Chief.
75. The developer shall dedicate a 1 acre fire station site in the Golden City project as shown or within the immediate area (within .25 miles), and the developer shall construct, equip and pay

for the operation and maintenance of a fire station to the satisfaction of the Fire Chief. The site shall be located to have direct street frontage on Golden City Drive.

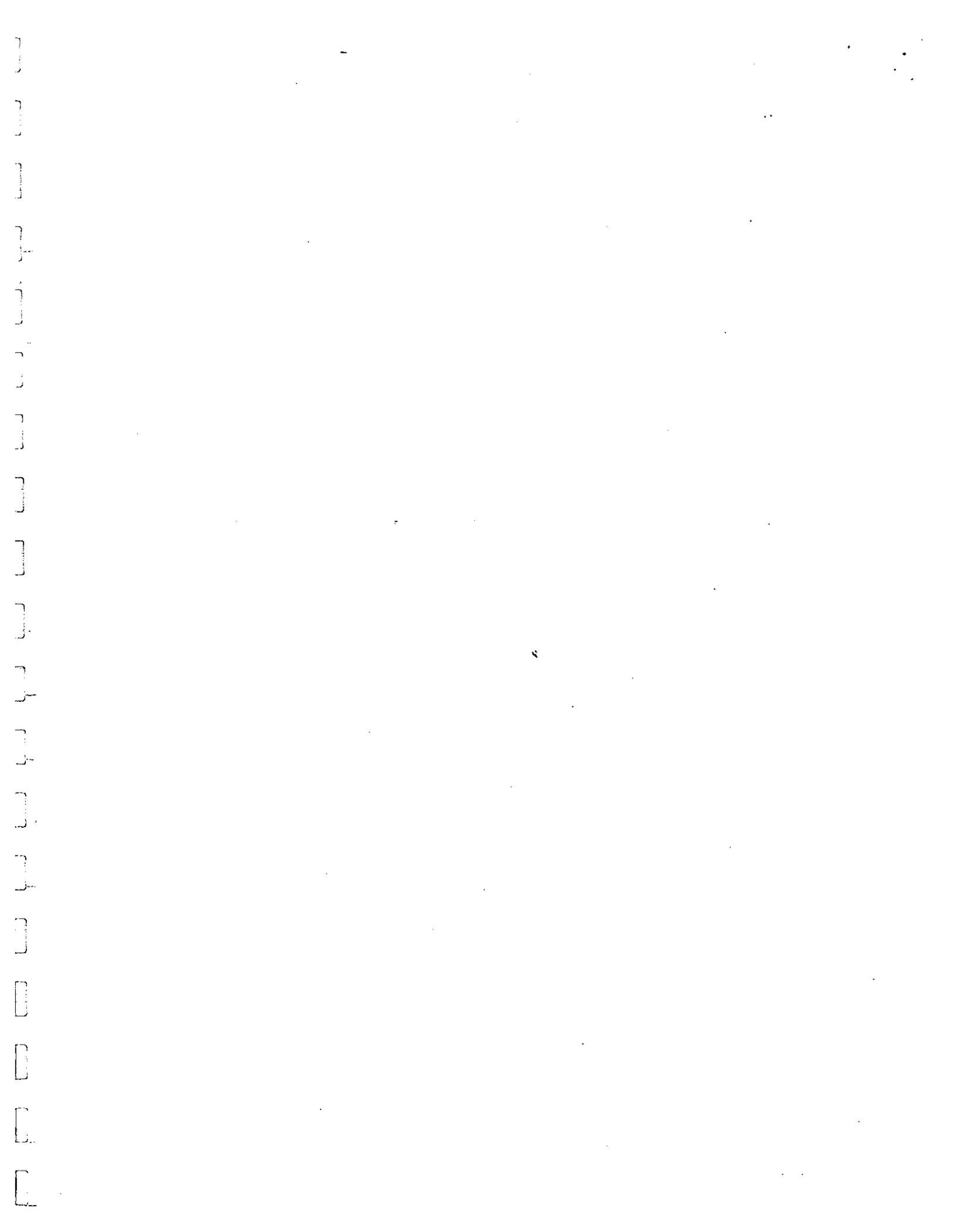
SCHOOLS:

76. If deemed necessary by the Board of Trustees of the School District, the District will adjust enrollment boundaries as necessary to utilize available school capacity. The applicant shall provide the land for school facilities within the project commensurate with the need caused by the Golden City project. As development applications are processed within the boundaries of Golden City, the City will coordinate with the school district to ensure that any additional development approvals do not take place until the provision for financing of school facilities is approved by the school district. The approval of a tentative map within the boundaries of Golden City will not be made unless the City receives a letter from the school district confirming the developer's participation in financing programs established by the District.

77. The land use plan shall show the location of an elementary school site of 10 acre (net).

LIBRARY:

78. If the City of Murrieta adopts an ordinance regarding library fees, such fees shall be paid to the City of Murrieta. If there is no city ordinance, then library fees shall be paid in accordance with the County ordinance.



CITY OF MURRIETA



STAFF REPORT PLANNING DEPARTMENT

CASE: Golden City Specific Plan SPM-5, 92-158
Environmental Impact Report SCH No. 93032092

REQUEST: To certify the Final EIR and approve a Specific Plan and related items for the development of 650 residential units on 248 acres.

APPLICANT: Golden City Ltd. R. C. Kung

MEETING DATE: October 2, 1996

LOCATION: East of the I-215 Freeway, south of Keller Road and north of Baxter Road.

CASE PLANNER: Ron Smothers, Consultant Planner

RECOMMENDATION: Recommend the City Council approve Golden City Specific Plan SPM-5, including the Development Plans, Public Facilities Financing Plan, District Regulations, and Community Design Manual; and Certify the Final Golden City Specific Plan Environmental Impact Report.

STAFF RECOMMENDATION:

That the Planning Commission:

1. ----Finds that the Final Environmental Impact Report has been prepared in accordance with the California Environmental Quality Act, the State Guidelines and the Environmental Review Procedures of the City of Murrieta and should be certified as shown in the attached Resolution (Exhibit "2"); and
2. Finds that it has reviewed the CEQA Findings and Statement of Overriding Considerations (Exhibit "2"); and recommends to the City Council that it adopt the CEQA Findings and Statement of Overriding Considerations; and
3. Finds that it has considered the information contained in the Final Environmental Impact Report prior to reaching a decision on the proposed project; and
4. Finds that the Golden City Specific Plan has been prepared consistent with the City of Murrieta General Plan and General Plan Final Environmental Impact Report certified by the City Council on June 21, 1994; and

Now based upon these findings, Move to:

APPROVE Planning Commission Resolution No.96-001 (Exhibit "1") recommending that the City Council approve the Golden City Specific Plan SPM-5 including the Development Plans, District Regulations, and Community Design Manual, subject to the attached conditions; and prezone the property to the SP Zone (Exhibit "3"), and recommend they make the necessary environmental findings as presented in Exhibit "2" and the documentation attached herein.

BACKGROUND INFORMATION:

A. EXISTING LAND USE:

	<u>Land Use Designation/General Plan</u>	<u>Existing Zoning</u>	<u>Existing Land Use</u>
Site:	Single Family 1 Residential with Master Plan Overlay, Multiple Use and Business Park	R-A-5, R-R (County)	Unused dry farming
North:	Single Family 1 Residential	R-R (County)	Unused dry farming
South:	Rural Residential and Business Park & Light Industrial	R-R (County)	Rural Residential
East:	Equestrian Residential w/ Master Plan Overlay	R-R (County)	Vacant/Dry Farm
West:	Multiple Use, Rural Residential w/ Master Plan Overlay & I-215	R-R (County)	Vacant

B. SITE CHARACTERISTICS:

This site is 248 acres, which lies northeast of the intersection of Antelope Road and Baxter Road. The western portions of the site have been used in the past for dry farming and remains as open land. While most of the site is vacant there is a residence and farm structures in the southern portion of the site. The terrain consists of flat land in the west portion of the site and a rolling hill (knolls) character in the east and north portions of the site. The knoll features are generally low and they do not project above the horizon line, unless viewed from areas to the east of the site. Drainage on the site is toward the east and into Warm Springs Creek (which drains south into Murrieta Creek).

Access to the site is provided by Antelope Road, which parallels the east side of the I-215 freeway and serves as the western boundary for the southwest portion of the site. The Scott Road interchange, a mile and a quarter to the north, and the Clinton Keith Road interchange, a mile to the south, give freeway access to the site via Antelope Road.

The site has been used for dry farming in its past, so there is limited native vegetation. The drainage ways that cross the central part of the site have riparian vegetation. Native vegetation can also be found around small rock out croppings and the knolls on the eastern parts of the site.

C. STREET CIRCULATION PLAN:

This Specific Plan is located such that two significant planned roadways traverse the site. The General Plan recommends that Menifee Road be realigned to join with Meadowlark Road, the transition curves of this new alignment occur on this and neighboring sites. Menifee/Meadowlark Road will become the major north-south arterial serving this project and the area. Baxter Road is also proposed to be realigned to join with Keller Road and much of the curved portion of the transition roadway segments occur on this site. Baxter Road will give this project access to the future Keller Interchange on the I-215; ultimately it will become a major arterial connecting with Highway 79 in Temecula. Upon the completion of these roadways, most of this project's access will be off of these roadways. The existing Baxter Road, to become Golden City Drive currently provides the site with its access.

Baxter Road and Menifee/Meadowlark Road are to be arterial roadways and have 100 foot of right-of-way. Antelope road is an existing frontage road on the east side of the I-215; planned to become a major roadway with a 100 foot right-of-way, and provide the project with its principle route for access. Golden City Drive is to be a secondary roadway with an 88 foot right-of-way.

D. PREVIOUS APPROVALS/SPECIAL CIRCUMSTANCES:

The Murrieta Highlands Specific Plan is located north of and adjacent to the Golden City Specific Plan. The Murrieta Highlands Specific Plan was approved by the City Council September 19, 1995. The Golden City Specific Plan could be considered a "sister" plan in that it is patterned after the Murrieta Highlands neo-traditional planning concept. These two projects also share common street patterns and infrastructure.

The Golden City Specific Plan has been commissioned by a different applicant than the Murrieta Highlands Specific Plan, but the planning, engineering and environmental consulting team is the same group for both plans and EIRs. While the two sites are different in many respects, it is intended that they be well integrated.

E. ENVIRONMENTAL DETERMINATION:

As a result of the evaluation of the Initial Study and the proposed Specific Plan an Environmental Impact Report was determined to be necessary and has been prepared in compliance with the California Environmental Quality Act and the CEQA Guidelines.

GOLDEN CITY SPECIFIC PLAN

A. PROJECT DESCRIPTION:

The General Plan designates this site Single Family 1 Residential, Business Park and Multiple Use. Single Family 1 Residential has a target density of 3.5 dwelling units/acre. This allows the project to have a maximum of 650 dwelling units. Specific Plan residential density categories of Single Family 1 Residential (2.1-5 du/ac) and Single Family 2 Residential (5.1-10 du/ac) will be utilized. The average density of the proposed Single Family 1 Residential development will be 4.20 du/ac (117.3 acres with 500 dwelling units). The average density of the Single Family 2 Residential development will be 7.8 du/ac (19.2 acres with 150 dwelling units).

The Specific Plan also proposes 12 acres of neighborhood commercial development. Business Park uses will occupy 15.5 acres, and Multiple Use 2 will occupy 29.8 acres. Civic use consists of 1.50 acres (Fire Station), a neighborhood park at 10.0 acres and open space at 40.7 acres.

Access to this site from the I-215 freeway will be via the Clinton Keith Road and Scott Road interchanges. The through streets in this project are General Plan streets. The realigned Baxter Road traverses the site as an Arterial Street. In the north-south direction Menifee Road passes through the site, where it makes its transition to the old Meadowlark alignment, as an Arterial Road. Antelope Road, which lies adjacent to the east side of the I-215, will serve the site as a Major Highway. The old alignment of Baxter Road becomes Golden City Drive and will serve as an east-west Secondary road. Some significant off site segments of these roadways are needed to complete the access to the project.

Golden City is proposing the application of Neotraditional town planning principles. Physically connected to the Murrieta Highlands Specific Plan on the north, Golden City will apply similar planning principles. These principles attempt to bring about a more pedestrian oriented community and one that minimizes the need for the automobile. This puts a renewed value on the use of the grid iron street pattern, which offers residents more route choices for their trips, which is hoped to give them more reason to walk to neighborhood destinations. This is done in contrast to the typical planned community's use of the hierarchical street system, that tend to follow natural land forms, create curvilinear street patterns, and rely more heavily on long cul-de-sac streets.

Neotraditional town planning tries to make walking a more favored form of transportation by creating more pleasing street settings, and placing frequently used land uses (including the workplace) closer to the residents. It attempts to reestablish many of the qualities and characteristics of small towns created prior to the 1940's, a time when the automobile was less prevalent. Neotraditional town planning also encourages the creation of a more intensively developed center or village core, where commercial, business, workplace, and housing are more

closely mixed together, preferably not in typical shopping center fashion. An effort is also made to make parks and other public/quasi-public buildings more landmark-like so that they serve to improve community identity and create a greater sense of place.

The Specific Plan includes Zoning Regulations and Community Design Guidelines. There are certain community design guidelines describing neighborhood entries, walls and fences, street trees, parks, and other community design elements contained in the Community Design Guidelines. Architectural review of the homes will be conducted as part of the tentative subdivision map review or as part of a plot plan review of the townhomes and the shopping center.

The Public Facilities Financing Plan is part of the Specific Plan. The significant public facilities that need to be constructed to serve this project are (1) The new Baxter Road, both on and off-site. (2) Menifee Road connection with Meadowlark Road, both on and off site, and (3) the fire station. The on site streets, flood control facilities, traffic signals and parks will be built as part of the project. Freeway improvements, offsite roadways, traffic signals, libraries, regional drainage facilities will also be a responsibility of this project and will be detailed in the Public Facilities Financing Plan.

B. SPECIFIC PLAN LAW:

The Golden City Specific Plan defines the general location of all proposed uses and the general circulation system. Its purpose is to serve as a bridge between general descriptions contained in the General Plan and more detailed descriptions in the zoning regulations.

The State Law sets forth the authority for the City of Murrieta to approve a Specific Plan. Section 65450 of the Government Code provides as follows:

65450. After the legislative body has adopted a General Plan, the planning agency may, or if so directed by the legislative body, shall prepare specific plans for the systematic implementation of the general plan for all or part of the area covered by the general plan.

65451. (a) A specific plan shall include a text and a diagram or diagrams which specify all of the following in detail:

- (1) The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
- (2) The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the

plan.

(3) Standards and criteria by which development will proceed, and utilization of natural resources, where applicable.

(4) A program of implementation measures including regulations, programs, public works projects and financing measures necessary to carry out paragraphs (1), (2), and (3).

(b) The Specific Plan shall include a statement of the relationship of the specific plan to the general plan.

The State Office of Planning and Research prepared a guide entitled "Specific Plans in the Golden State, August 1988 which sets forth a comprehensive outline for the preparation of Specific Plans. The Planning Department provides specific plan applicants with written guidelines based upon the State guide to help in preparing specific plan documents in a consistent manner.

C. PROJECT ANALYSIS:

1. LAND USE PLAN: The Golden City Specific Plan shows that within the 248 acres of this project there are proposed a maximum of 650 dwelling units. The proposed Golden City Specific Plan calls for the following mix of land uses and residential lot sizes.

LAND USE	ACRES	UNITS
Residential SF-1	117.3	500
7,200 sq.ft.		150
6,000 sq.ft.		140
5,000 sq.ft.		210
Residential SF-2	<u>19.2</u>	<u>150</u>
Total Residential	136.5	650
Neighborhood Commercial	12.0	
Business Park	15.5	
Multiple Use 2	29.8	
Civic (Fire Station)	1.5	
Neighborhood Park	10.0	
Open Space	<u>40.7</u>	
Total :	<u>248.0</u> acres	<u>650</u> dwelling units

The Golden City Specific Plan is divided into twelve (12) neighborhood planning areas with the following statistics:

PLANNING AREA	ACRE	UNITS
1	20.94	105
2	44.91	62
3	15.04	76
4	15.13	59
5	20.70	150
6	31.30	0
7	25.10	96
8	14.48	41
9	12.00	0
10	17.60	61
11	12.00	0
12	<u>18.80</u>	<u>0</u>
Total	248.00	650

Golden City is planned with a wide range of housing types for families and individuals with various incomes and housing needs. Single family lots will be developed in three lot size categories, 7,200 sq.ft., 6,000 sq.ft. and 5,000 sq.ft.. Single family 2 units will be in the form of small lot single family and attached single family developed with a planned development concept. In this form of development the pad area of lot area may be less than the requirement for standard single family lots, but common open space and other amenities are provided so that lot area per unit can be reduced.

The plan follows the General Plan land use plan which shows Multiple Use 2 and Business Park land uses between I-215 and the Single Family 1 Residential areas of this project. This plan incorporates a significant open space feature on its east boundary, along the riparian corridor that traverses the area.

Some of the knoll features of the site are preserved and will provide some vertical relief to the grading proposed for the site. The most significant knoll, located in the northeast corner of the site is proposed to be removed. Two blueline streams cross the site and serve as natural drainage courses, along with a network of smaller drainage courses. The only drainage course to be preserved in its natural condition is the larger, blue line stream that bisects the central open space area. The Revised plan however, proposes to preserve the northern drainage corridor.

2. REVISED LAND USE PLAN: As a result of the EIR public review process several revisions to the proposed specific plan have been proposed to reduce the plan's impact upon the

environment and neighboring properties. The discussion of these revisions and their environmental implications are contained in Section 10.0 of the Response to Comments report. These revisions consist of:

1. Increase in area designated as open space to consolidate sensitive biological resources and create an open space corridor that can be integrated into a regional conservation effort.
2. Addition of a 12.5 acre elementary school site.
3. Re-alignment of Baxter Road and Menifee/Meadowlark Road to better align these roadways with the projects boundary lines (to minimize the bisection of neighboring properties).

The following table presents a comparison of the land use acreages of the proposed plan and the revised plan. The revised plan includes an elementary school and in this regard, if for some reason a school was not accepted within the Golden City site, the area designated as the school site could be developed with 42 single family lots. This scenario is also shown below.

PROPOSED AND REVISED LAND USE PLAN ACREAGES

LAND USE	PROPOSED PLAN	REVISED PLAN	
	Acres (Units)	W/School Acres (Units)	W/O School Acres (Units)
Residential SF-1	117.3 (500DU)	(495DU)	(537DU)
Residential SF-2	<u>19.2 (150DU)</u>	<u>(155DU)</u>	<u>(155DU)</u>
Total Residential	136.5 (650DU)	129.4 (650 DU)	141.9 (692DU)
Neigh. Commercial	12.0	11.1	11.1
Business Park	15.5	17.0	17.0
Multiple Use	29.8	20.0	20.0
Fire Station	1.5	2.0	2.0
Neighborhood Park	10.0	9.0	9.0
Open Space	40.7	47.0	47.0
School	<u>0</u>	<u>12.5</u>	<u>0</u>
TOTAL	248.0	248.0	248.0

The revised plan is most significantly different in terms of how it preserves open space. The proposed plan preserved the 20 acre natural area that connected the north and south portions of this site as well as scattered knolls as a way to integrate open space into the residential neighborhoods. The revised plan consolidates the open space into an area that creates a north-south corridor of open space. The area previously planned for a park site and a 300 foot wide greenbelt have been added to the central open space area to create an open space area that can be linked with natural resource areas on neighboring properties to form a more significant regional open space network.

The proposed school site effectively replaces the neighborhood commercial (12 acres) that occupied the same general area. As an option if the school site is not utilized by the school district, this 12 acre area could be developed for residential use, which at the 3.5 du/ac density permitted here would create 42 additional dwellings.

Criticism of how this plan's arterial roadways bisected neighboring properties lead to a re-evaluation of the roadway alignments of Baxter Road and Menifee/Meadowlark Road. This resulted in a plan that, for the most part, keeps these roadways along its boundaries, where neighboring properties will share in providing portions of these road right of ways, but will not find their property bisected by them. These new alignments also affect the alignments within the Murrieta Highlands Specific Plan, which has been revised to be consistent with the revised Golden City plan. In all this seems to be a much superior way to locate these roadways.

There is a response to the Wampler letter in the Response to Comment report, #2 on page R-43, that states the General Plan Circulation Element will be revised if these roadway realignments are approved. The city views this kind of roadway realignment to be consistent with the General Plan and with the role of the specific plan as an instrument that provides a more precise definition of the planning for a given area. So, in this regard the Circulation Element is not expected to require amendment because of these revisions.

3. DENSITY: The General Plan designates the Golden City site as Single Family Residential 1 with a Master Plan Overlay. The Single Family Residential 1 category has a density range of 2.1 - 5.0 du/ac. This site is also designated with the Master Plan Overlay(MPO), which allows development standard flexibility for planned residential developments. The MOP requires a project to be limited to the "target density" for this general plan residential category or 3.5 du/ac, which results in a maximum of 650 dwelling units. The revised plan discussed above presents the possible scenario that would permit 692 dwelling units if the school site is for some reason not required in the Golden City plan.

The minimum lot size of the Single Family 1 Residential category is 7,200 sq.ft. However, the minimum lot size may be reduced when a project prepares a Specific Plan pursuant to the Master Plan Overlay, in which case 5,000 sq.ft becomes the minimum lot size for single family units.

Lot size may be further reduced to a minimum of 4,000 sq. ft. when necessary to preserve sensitive and hillside areas. The Master Plan Overlay gives flexibility to what type of residential products are used. In flatter topography, Neotraditional town planning is required. The Golden City plan proposes to continue the Neo-traditional planning concepts utilized in the Murrieta Highlands Specific Plan.

4. PARKS and TRAILS: The General Plan proposes local parks should be developed at five (5) acres per 1,000 persons. Using the General Plan population per household number of 2.86 persons per household, at 650 units, the project population of 1,859 persons would require 9.3 acres of park. The plan proposes 10 acres of park, including 1.5 acres of detention basin. This amount of proposed park land exceeds the City standard, unless you remove the 1.5 acres of detention basin, in which case the project would be under the City standard by 0.8 acre. With the revised plan, however, a nine (9) acre park is proposed that would be free from detention facilities and would be developed fully as an active park.

The new park is now located in the southern portion of the site and is designed in a more traditional fashion, with residential lots fronting the road that surrounds the park. As a passive park this presents little concern, but as this park is to be an active park, designed to accommodate organized recreation activities, the impacts on the surrounding residential lots must be considered. Adequate parking on the park site will be important. The orientation of the lots that are subdivided around the park should be examined to insure the homes are not exposed to the park in an undesirable way. The residential lots should also have sufficient on site parking so that when the street around the park is heavily used for parking it does not create conflict with the future residents.

The General Plan proposes a Roadway trail system that would follow Antelope Road in the vicinity of the project. A Waterway trail, to be a Class II trail, is proposed to follow the drainage corridor that crosses the center of the site in an east-west direction. In addition the revised plan proposes a trail (10'DG) that follows the edge of the open space area.

5. CIRCULATION: Golden City proposes the logical extension of the General Plan Circulation Element roadways. Golden City will require coordination with Murrieta Highland Specific Plan to the north because it creates the off site roadways Golden City requires for access. In addition it will be necessary to construct the segment of Menifee-Meadowlark Road that runs through the property between the north and south portions of Golden City.

Within the proposed plan a Parkway Road system is established to serve as collector roadways, primarily serving the needs of the residential neighborhoods. This Parkway creates alternate routes to the arterial system that serves the project. The Parkways are to be in a 66 ft. right of way, with large parkways and pedestrian ways. The revised plan's re-alignment of the arterials has resulted in the removal this concept of paralleling parkway roads. As a substitute there are

several locations where local streets terminate at the project's boundaries where they can be extended through neighboring properties and provide alternate routes for the residents of this area and provide access to neighboring properties.

6. GRADING: The residential design criteria includes site work principles such as:

- cut and fill may not be exposed following completion of construction.
- no change in natural or existing drainage patterns will be made that may adversely affect adjacent lot owners.
- retaining walls and other walls not supporting a building will not exceed 8 feet.
- excessive cut and fill is discouraged and grading outside of the building envelope (except for driveways) is not allowed.

Outside the open space areas, which the revised plan has increased in size, the entire site is proposed to be graded. However, it is recommended that a conceptual grading plan be prepared to serve as a guide for the City's review of tentative maps. This plan will account for how this plan complies with the Hillside Development Ordinance. Grading plans for each tentative map will also be prepared and will include identification of natural resources.

7. PUBLIC FACILITIES PLAN: The objective of the Public Facilities Financing Plan is to identify all public facilities required to support the project. Public facilities include transportation, flood control, water, sewer, parks, schools, and libraries. The PFFP for Golden City is intended to guide development of the project and coordinate the provision of public facilities in accordance with the Specific Plan. It proposes recommended financing programs to ensure the construction of necessary improvements, as well as to identify regional facilities needed to serve this project and costs to construct those regional facilities.

The improvements identified in the PFFP shall be requirements of subsequent discretionary permits. In most cases, they will become conditions of approval of tentative and final subdivision maps. In other cases, building and occupancy permits will be the means of implementation. Improvements called for in any development phase are required to be completed and usable prior to occupancy of any dwelling unit within that particular phase. The plan discusses improvements through available financing techniques. Some facilities will be financed by the developer and others can be better financed through specific techniques available in state law. For example, the financing of schools may occur through use of the Mello-Roos Community Facilities District financing. The PFFP may also utilize the development impact fee program with certain facilities financed and then subject to reimbursement agreements.

Also included in the PFFP is a listing of the particular threshold standard for each public facility and an analysis of how each Threshold will be complied with, by phase. With respect to respect to the public facilities needed by this project over the life of the development, the PFFP makes the following provisions:

- a). Transportation: The transportation projects to be financed by Golden City are of two basic types:
- 1) Those facilities that provide for major circulation within Golden City which will primarily benefit the Golden City development; and
 - 2) Those facilities that are off-site of Golden City that will be of benefit to other northeastern area developments including Golden City.

The phasing of on-site improvements are made part of the PFFP and will be made a part of the PFFP and will be constructed prior to need. Off-site and regional improvements are also included in the plan by reference. Golden City will be subject to the Transportation Phasing Plan and will participate in improvements required by that portion of the plan.

- b). Parks and Recreation: Golden City includes a 9 acre neighborhood park which incorporates active recreational facilities such as tennis courts, swimming pool, and other active recreational facilities.
- c). Schools: The Golden City Specific Plan project will be required to reach agreement on a plan for financing school facilities prior to approval of the first tentative subdivision map. The revised plan designates a 12.5 acre elementary school site to house the school children from the project. The project will be required to participate in the Perris Unified School District CFD to provide off-site junior and senior high school facilities.

Full buildout of 650 dwelling units will generate 351 students for grades kindergarten through fifth (0.54 students per dwelling unit) and 104 students for grades sixth through eighth (0.16 students per dwelling unit). The revised plan, if it resulted in the construction of 42 additional homes would generate 23 K-5 students and 7 6-8 grade students.

- d). Water Facilities: The Eastern Municipal Water District will provide water service to Golden City. Golden City will be served by the same trunk lines and storage facilities that will serve Murrieta Hills Specific Plan and Murrieta Highlands Specific Plan.

- e). Sewer Facilities: The Golden City project is being studied by EMWD for future needs for sewer service. Two alternatives are under consideration, one involves pumping Golden City effluent north to the Murrieta Highlands system and onto the Sun City plant and the other is a gravity system that would flow down Warm Springs Creek to A.D. 161 and the Murrieta Treatment Plant. The first phase of development will however be directed to the Murrieta Highlands facilities using a pumping system. The Public Facilities Financing Plan details the various sewer facilities as well as their location, sizing, estimated cost, and phasing.

On-site collection systems and pump facilities will be built and funded by the developer as a subdivision exaction. The developer will be responsible for payment of fees for the project's share of off-site facilities.

- f). Drainage System: The project will build a series of on-site storm water facilities that will serve to collect and convey the storm water for this project into the natural drainage courses that ultimately convey the water to Murrieta Creek and on to the Santa Margarita river.

An on-site storm water detention basin system is proposed to decrease the peak flows during storm periods so that there is no increase in downstream volumes above existing flows.

- g). Library: The Golden City does not propose any on-site library facilities, although the developer will be responsible for the payment of fees, based on the number of proposed dwelling units.

- h). Fire Protection: The project will be providing a fire station facility on-site, located east of Antelope Road on the south side of Golden City Drive.

The project will be responsible for paying the fire department fee as well as the necessary fire hydrants and fuel modification buffers to protect residential structures.

- i). Other Facilities: While there are no other public facilities proposed for inclusion within the Golden City project area, the developer will be responsible for the payment of fees to the city as part of the Development Agreement to pay for other city facilities.

8. ZONING REGULATIONS AND DESIGN GUIDELINES: In addition to the subdivision

maps and site plan review which will follow the Specific Plan, the City has prepared a special Zoning Ordinance to regulate the use and development of the Golden City Specific Plan project. These regulations are designed to carry out the city Council intent as reflected in the Specific Plan. The application of standard zoning regulations would not fit a master planned project such as Golden City because of the need to apply more restrictive development controls to maintain the overall design and use control reflected in the Specific Plan. These regulations, which provide specific implementation standards, should be applied in conjunction with the design guidelines for both the landscape and residential elements of the project. The standards contained in this document have been patterned after other master planned projects in Southern California.

As part of the Specific Plan, the developer has developed special design standards that will be carried throughout the project to maintain the design contained in the master plan. The Design Guidelines were prepared by and submitted to the City by the developer to carry out the plan's design program.

The proposed guidelines are intended to establish minimum standards for the design and architectural character of the Golden City Specific Plan. They are provided to ensure that the quality and fundamental concepts established at the Specific Plan stage are maintained in the final phase of detailed planning and design.

The design guidelines are structured into four basic sections: Design Review, Community Design Guidelines, General Development Guidelines, Landscape Design, and Site Planning Criteria. These sections address unique features of the Golden City project, including grading guidelines, project edge treatments, fuel modification standards in natural open space areas, and streetscape treatment.

ENVIRONMENTAL IMPACT REPORT:

A. PURPOSE OF THE EIR:

The purpose of an environmental impact report is to provide public agencies and the public with detailed information about the effects which a proposed project is likely to have on the environment, to identify ways that such effects can be minimized, and to evaluate feasible alternatives to the project. (Public Resources Code, 21061)

An EIR is a detailed informational document prepared by the City that analyzes a project's significant effects and identifies mitigation measures and alternatives. The most basic purposes of an EIR are to:

- Inform decision makers and the public about a project's significant environmental effects and ways to reduce them;
- Demonstrate to the public that the environment is being protected;
- Ensure political accountability by disclosing to citizens the environmental values held by their elected and appointed officials.

[CEQA Guidelines Sections 15003, 15121(a)]

While the EIR does not control the City's ultimate decision on the project, CEQA does set forth a number of steps which the City must take in responding to each significant environmental effect identified in the EIR before considering approval of the project. CEQA Guidelines Section 15091 provides that no public agency shall approve a project if the project EIR identifies one or more significant environmental effects unless the agency makes one or more of the following written findings, supported by substantial evidence in the record:

- 1) Changes or alterations have been required in, or incorporated into the project which avoid or substantially lessen the significant environmental effects identified in the final EIR.
- 2) Such changes or alterations are within the responsibility and jurisdiction of another public agency and not the agency making the finding. Such changes have been adopted by another such agency or can and should be adopted by such other agency.
- 3) Specific economic, social, or other considerations make infeasible the mitigation measures or project alternatives identified in the final EIR.

After considering the EIR and making the findings specified above, the City may then consider whether or how to approve a project for which an EIR has been prepared. The City may not

approve a project unless either:

- 1) The project will have no significant effect on the environment; or
- 2) The City demonstrates that it has:
 - a) eliminated or substantially lessened all significant effects on the environment where feasible, as shown by the above-specified findings; and
 - b) determined that any remaining significant effects on the environment found to be unavoidable under Section 15091 are acceptable due to overriding concerns.

[CEQA Guidelines Section 15092]

The Final EIR for this project, if approved in its current form by the City Council, indicates that there are four significant environmental effects of the project which cannot be eliminated or substantially mitigated and are "unavoidable." Thus, under CEQA, the City Council may not approve the project as proposed unless it first adopts a "statement of overriding considerations" pursuant to CEQA Guidelines Section 15093. When a public agency approves a project that will significantly affect the environment, CEQA imposes a burden on the public agency to show that it has considered the impacts and to explain its decision allowing those changes to occur. CEQA does not absolutely prohibit public agencies from approving projects that will produce significant environmental effects. However, CEQA requires that decision-makers balance the benefits of the proposed project against its unavoidable environmental risks in determining whether to approve the project. If the benefits of a proposed project outweigh the unavoidable adverse environmental effects, such impacts may be considered "acceptable" under CEQA. [CEQA Guidelines Section 15093(a)].

B. REQUIRED CONTENTS OF AN EIR:

An EIR need not conform to any particular format, as long as it addresses all of the elements required by CEQA. Under CEQA, the Draft EIR must include the following elements:

- a table of contents;
- a brief summary, in language as clear and simple as is reasonably practical, of the proposed project and its consequences;
- the proposed project's location;
- a description of the environmental setting, both local and regional, in which the proposed project will occur;
- a discussion of any inconsistencies between the proposed project and the applicable general/or regional plans;
- a description of the significant environmental effects of the proposed project,

- explaining which, if any, can be mitigated;
- a statement of measures, if any, proposed to mitigate such environmental impacts;
- an analysis of a range of reasonable alternatives to the project;
- an analysis of the proposed project's "growth inducing impacts";
- a statement explaining why impacts identified as insignificant were determined to be such;
- a list of all federal, state and local agencies, other organizations, and private individuals consulted in preparing the Draft EIR, and the persons, firm or agency preparing the document by contract or other authorization;
- an analysis of the proposed project's cumulative impacts; and
- an analysis of any economic or social effects related to or caused by the proposed project's environmental effects.

[CEQA Guidelines, Sections 15122-15131]

The Draft EIR for the Golden City Specific Plan contained all of these elements. The Final EIR for the project now before the Planning Commission, consists of two volumes, the Draft EIR and a second volume, the Responses to Comments report. The Final EIR is required to contain the contents of the Draft EIR along with 1) comments and recommendations received, either verbatim or in summary; 2) a list of persons, organizations, and public agencies commenting on the Draft EIR; and 3) the City's responses to significant environmental points raised in the review and consultation process. Volume 2 contains all of the required elements as well as changes that have been recommended for the Draft EIR and the Specific Plan in response to comments received.

C. PUBLIC REVIEW OF THE EIR:

The Notice of Preparation for this EIR was distributed on March 23, 1993. The Draft Environmental Impact Report and its Notice of Completion was circulated for a forty-five (45) day public review period, April 3, 1996 to May 17, 1996. Fifty eight (58) agencies and organizations were sent copies of the Draft EIR and the Notice of Completion. The four surrounding cities were also sent copies of the Notice of Completion. On April 3, 1996 public notice was mailed to all property owners and occupants (117 total) within 1,000 feet of the subject property. This public notice was for the purpose of announcing the availability of the Golden City Specific Plan and Draft Environmental Impact Report and the proposed date for a public hearing to take comments on the Draft EIR. On April 10, 1996 this public notice was published in the Californian newspaper. The City Staff conducted a public workshop on May 1, 1996 to assist the public in understanding the proposed plan. On May 8, 1996 the Planning Commission conducted a public hearing for the purpose of facilitating public comment on this EIR. Seventeen (17) agencies and 6 citizens submitted comment letters which are responded to and incorporated into the Response to Comments report.

D. PLANNING COMMISSION REVIEW OF THE FINAL EIR:

The public comments and agency comments received during the public circulation period for the Draft EIR have been responded to in the Final EIR. The Planning Commission is charged with the review of the entire Final EIR document and with making a recommendation to the City Council as to the adequacy of the Final EIR document and whether they recommend certification of the Final EIR. This action is separate from determinations regarding the proposed project. The City can find the Final EIR adequate in accordance with CEQA legislation and CEQA Guidelines, and still determine to approve, approve with modifications, or deny the requested approval of the Golden City Specific Plan.

In reviewing the Final EIR and considering a recommendation to the City Council as to the adequacy of the document, the "rule of reason standard" is applied to judicial review of EIR contents, and should be used by the Planning Commission in its review. The courts do not hold an agency to a standard of absolute perfection, but rather require only that an EIR show that an agency has made an objective, good-faith effort at full disclosure. The following provides a concise summary of the proper context for considering the legal adequacy of an EIR.

"An EIR should be prepared with a sufficient degree of analysis to provide decision-makers with information which enables them to make a decision which intelligently takes account of environmental consequences. An evaluation of the environmental effects of a proposed project need not be exhaustive, but the sufficiency of an EIR is to be reviewed in the light of what is reasonably feasible. Disagreement among experts does not make an EIR inadequate, but the EIR should summarize the main points of disagreement among experts. The courts have to look not for perfection but for adequacy, completeness, and a good faith effort at full disclosure."

Guidelines for Implementation of the California Environmental Quality Act, Section 15151.

E. MAJOR AREAS OF CONCERN:

The City received 24 comment letters during the 45 day public review period for the Draft EIR, as well as public testimony at the May 8, 1996 public hearing on the Draft EIR. The Response to Comments report presents responses to those comments about the content of the Draft EIR. While the comments addressed a wide variety of issues, certain issues received more concern. The characteristics of the circulation system, cumulative impacts on the transportation and circulation system, biological resources, air quality and cultural resources received considerable attention. The comments were such that the applicant, in addition to responding to them, prepared numerous revisions to the proposed plan that they want the City to consider approving.

F. SIGNIFICANT UNAVOIDABLE IMPACTS:

The Final EIR for this project, if approved in its current form by the City Council, indicates that there are two significant project impacts (Landform Alteration/Aesthetics/Visual and Light and

Glare) and two cumulatively significant impacts (Air Quality and Noise) which cannot be eliminated or substantially mitigated and are considered "unavoidable".

1. Air Quality - Long-term and cumulative project emissions
2. Land Form/Aesthetic/Visual Resources - Modification of the landform by grading and urbanization of the site.
3. Light and Glare
4. Noise - Cumulative

Therefore, under CEQA, the City Council may not approve the project as proposed unless it first adopts a "statement of overriding considerations" pursuant to CEQA Guidelines Section 15093. When a public agency approves a project that will significantly affect the environment, CEQA imposes a burden on the public agency to demonstrate that it has considered the impacts and provided an explanation of its decision to allow those changes or impacts to occur. While CEQA does not absolutely prohibit public agencies from approving projects that will produce significant environmental effects, it does require decision-makers to balance the benefits of the proposed project against its unavoidable environmental risks in deciding whether to approve the project. If the benefits of the proposed project are considered by the agency to outweigh its unavoidable environmental effects, these effects may be considered "acceptable" under CEQA. In this situation, CEQA requires that the agency adopt a written statement of overriding considerations to explain its decision. [CEQA Guidelines Section 15093(b)].

The required CEQA findings and Statement of Overriding Considerations are contained in the accompanying resolution.

G. LEGAL REQUIREMENTS:

In brief, the legal and California Environmental Quality Act issues may be summarized as follows:

- Because the Final Environmental Impact Report states that there are significant, unmitigable impacts with the project as proposed including air quality, land form/aesthetics/visual resources, light and glare, and noise a statement of overriding considerations must be adopted prior to final action on the Specific Plan.
- The Planning Commission must make a finding that the Specific Plan is consistent with the General Plan before approving the project.
- In the event that there is future legal action against the City of Murrieta regarding the adequacy of the environmental impact report, the City is requesting written indemnification of the City by the applicant in the event of subsequent legal action. This is required because the Applicant hired the EIR Consultant, but the City is the Lead (responsible) Agency.

H. RECOMMENDATION:

1. That the Planning Commission has considered the information contained in the Final Environmental Impact Report (FEIR) prior to reaching a decision on the project; and
2. That the Planning Commission recommend to the City Council that it adopt the CEQA Findings and Statement of Overriding Considerations; and
3. That the Planning Commission recommend to the City Council that it adopt a resolution certifying that the Final Environmental Impact Report (FEIR) (including the Mitigation Monitoring Program) has been prepared in accordance with the California Environmental Quality Act, CEQA Guidelines, and the Environmental Review Procedures of the City of Murrieta.

BUDGET IMPACTS:

The Fiscal Impact Analysis was submitted as a separate document. This study concludes as would be generally expected there will be a net fiscal benefit to the City of \$1,700,000.00 per year as a result of the development of the Murrieta Highlands and Golden City projects.

Prepared By:

Ronald H. Smothers,
Consultant Planner

ATTACHMENTS:

1. Golden City Specific Plan.
2. Environmental Impact Report for the Golden City Specific Plan.
3. Environmental Impact Report for the Golden City Specific Plan Technical Appendices.
4. Environmental Impact Report for the Golden City Specific Plan Responses to Comments.
5. Exhibit "1", Planning Commission Resolution No.96-001 Recommending Approval of Golden City Specific Plan.
6. Exhibit "2" City Council Resolution Certifying EIR and Statement of Overriding Consideration.
7. Exhibit "3" City Council Ordinance Approving Rezoning for Golden City Specific Plan.

CITY OF MURRIETA

MEMORANDUM

TO: MAYOR AND CITY COUNCIL MEMBERS

FROM: RONALD H. SMOTHERS, CONSULTANT PLANNER

DATE: OCTOBER 28, 1996

SUBJECT: GOLDEN CITY SPECIFIC PLAN: MISCELLANEOUS COMMUNICATION

Attached you will find several letters of support for the project. You will also find a letter from Golden City Ltd. offering their assurance that if they pursue the establishment of a financing mechanism they will not include any surrounding property owner without their consent. This matter came up during the Planning Commission public hearing and the applicant felt compelled to submit this letter to clarify their position. There are some property owners in the vicinity of this project that fear being drawn into some form of area financing mechanism without a choice in the matter.

Finally you will find some correspondence regarding Mr. John Chappell's continued objection to the street plans for this project. We have included this material here because Mr. Chappell's letter did not arrive in time to be presented to the Planning Commission at their hearing. Staff believes the attached memo provides an adequate response to these issues.

Eun Sil Yun
1935 Alpha Road #325
Glendale, Calif. 91208

Steve Harding
City Manager
City of Murrieta
26442 Beckman Court
Murrieta, Calif. 92562

Dear Mr. Harding:

I am the owner of 6.25 acres in the Sphere of Influence of the City of Murrieta (APN # 359-360-007). I am in support of the Golden City Specific Plan and D.E.I.R because of its implementation of the City's General Plan, the regional infrastructure it will bring, and the good land use planning in its design. Please take this as a neighbor's support for the project.

I am also in support of the Antelope Corridor Annexation (LAFCO 96-13-3) and look forward to having my property annexed to the City of Murrieta.

Thank you, in advance, for your attention to my request.

Very truly yours,


Eun Sil Yun

RECEIVED

JUL 7 1996

City of Murrieta
City Manager's Office

Sook Ja Choi
19244 E. Northam Street
West Covina, Calif. 91792

Steve Harding
City Manager
City of Murrieta
26442 Beckman Court
Murrieta, Calif. 92562

Dear Mr. Harding:

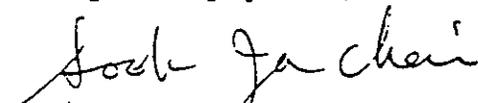
I am the owner of 6.25 acres in the Sphere of Influence of the City of Murrieta (APN # 359-360-006). I am in support of the Golden City Specific Plan and D.E.I.R because of its implementation of the City's General Plan, the regional infrastructure it will bring, and the good land use planning in its design. Please take this as a neighbor's support for the project.

I have met with the Golden City proponents, over the years, and they have done a fine job of working with their neighbors.

I am also in support of the Antelope Corridor Annexation (LAFCO 96-13-3) and look forward to having my property annexed to the City of Murrieta.

Thank you, in advance, for your attention to my request.

Very truly yours,


Sook Ja Choi

RECEIVED
JUN 7 1986
City of Murrieta
City Manager's Office

Ann Mc Grath
34888 Antelope Rd
Murrieta, Ca. 92563

September 30, 1996

City Manager
Steve Harding
City of Murrieta
26442 Beckman Court
Murrieta, Ca. 92562

Dear Mr. Harding:

My family owns approximately 10 acres in the Sphere of Influence of the City of Murrieta (APN 359-383-005,006,008,009 and 359-370-006)

We are in support of the Golden City Specific Plan and D>E>I>R> because of its implementation of the City's General Plan, the regional infrastructure it will bring, and the good land use planning in its design. Please take this as a neighbor's support for the project.

I have met with the Golden City proponents, over the years, and they have done a fine job of working with their neighbors.

We are also in support of the Antelope Corridor Annexation (LAFCO 96-13-3) and look forward to having my property annexed to the City of Murrieta.

Thank you in advance for your attention to our request.

Sincerely,



Ann Mc Grath

The Mc Grath family

RECEIVED

OCT 7 1996

City of Murrieta
City Manager's Office

JOHN R. HARRISON
240 EAST FOURTH STREET
PERRIS, CALIFORNIA 92570

October 1, 1996

Steve Harding
City Manager
City of Murrieta
26442 Beckman Court
Murrieta, CA 92567

Dear Mr. Harding:

Our family owns approximately 50 acres in the Sphere of Influence of the City of Murrieta (APN 359-11-053).

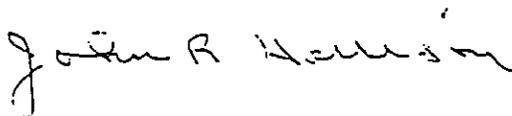
I support the Golden City Specific Plan and D.E.I.R. because of its implementation of the City's General Plan, the regional infrastructure it will bring, and the good land use planning it its design. Please take this as a neighbor's support for the project.

The Golden City Group has done a fine job of planning their project and working with their neighbors.

I also support the Antelope Corridor Annexation (LAFCO 96-13-3) and look forward to having our property annexed to the City of Murrieta.

Thank you, in advance, for you attention to these requests.

Very truly yours,



John R. Harrison

RECEIVED

OCT - 3 1996

City of Murrieta
City Manager's Office

COLE INVESTMENTS

October 1, 1996

City of
City of

Mr. Steve Harding
City Manager
CITY OF MURRIETA
26442 Beckman Court
Murrieta, CA 92562

RE: Golden City Specific Plan

Dear Mr. Harding,

The purpose of this letter is to indicate my strong support for the Golden City Specific Plan and its DEIR. I am the general partner of a partnership that owns of 56.18 acres in the City of Murrieta (AP# 359-240-17) located on the east side of the I-215 freeway between Antelope Road and Meadowlark Road. My property is adjacent to the Golden City Specific Plan as part of their southerly boarder.

Several months ago I obtained a complete copy of the Golden City Specific Plan and their accompanying EIR documents, and after reviewing them I believe the implementation of the City's General Plan will be well served by approving the Golden City Specific Plan. The City's General Plan was to insure growth through the I-215 corridor and the Golden City Plan provides this goal with a responsible land use and planned development.

The regional infrastructure that the project will bring, including their participation in the Rose Hills storage water tank site, will be an important step in providing the much needed services that will better serve the citizens of Murrieta. I believe in the final analysis the correct and responsible agenda for the City of Murrieta is to provide for the safety and welfare of those citizens by providing the necessary infrastructure that the Golden City Specific Plan will help to facilitate.

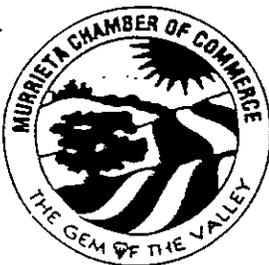
Finally, I feel I must state that I have personally met with the proponents of the Golden City Specific Plan and they have taken into consideration my comments and concerns, which I feel is the correct and neighborly way to propose land use of this magnitude. I have found them to be attentive to the needs of the area in providing a very well thought out land use plan.

I strongly support the approval of the Golden City Specific Plan and its DEIR. Thank you for your consideration in this matter.

Sincerely,



Michael Cole



October 1, 1996

Mr. Mike Reynolds, Chairman
Planning Commission
City of Murrieta
26442 Beckman Court
Murrieta, CA 92562

Dear Mr. Reynolds:

The Murrieta Chamber of Commerce supports the Golden City project as proposed by Mr. R. C. Kung's Golden City, Ltd. This, of course, is one of several specific plans that have come before your Commission.

The Chamber believes that Golden City meets the 15-way test for building complete communities that would be self-reliant and would minimize the demand on City services. We support well-designed projects in order to insure that our community achieves a strong residential foundation in order to support growth within the City's much needed commercial base. Retail sales revenues are a must for our City's future. Without projects such as Golden City, we will have a tough fiscal road to hoe.

We encourage your support for this project. It makes sense for our northern quadrant and makes sense for our future. We believe Golden City, Ltd. has worked hard with its neighbors and the City to develop a very workable project.

Thank you for your consideration.

Sincerely,

Margaret D. Jones, CTC
President

MDJ:kkw

cc: Commission Members
Staff

OCT 15 1996

RECEIVED
PLANNING DEPT**M.A. MATTESON**41800 Brett Ln.
Murrieta, CA 92562

10/12/96

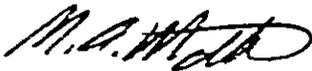
Planning Commissioner
City of Murrieta
26442 Beckman Court
Murrieta, CA 92562

Re: Golden City Specific Plan and Draft Environmental Impact Report.

Dear Commissioner,

I'm sorry that I couldn't attend the meeting on the 2nd of October 1996. I was out of the country at that time, and just returned. I want to state that I'm in full support of the above mentioned project. My brother, and myself have a 4 acre parcel that adjoins the proposed project.

Thank You,



M.A. Matteson

Kenneth Y. And Janet C. Chen
c/o Alexander J. Chen
Schaffer & Lax
5757 Wilshire Boulevard, Suite 600
Los Angeles, CA 90036-3664
October 23, 1996

Steve Harding
City Manager
City of Murrieta
26442 Beckman Court
Murrieta, CA 92562

Dear Mr. Harding:

We own approximately 25 acres in the Sphere of Influence of the City of Murrieta (APN 359-360-002-6 and 359-360-005-9). We are in support of the Golden City Specification and P.E.I.R. because of its implementation of the City's General Plan, the regional infrastructure it will bring, and the good land use planning in its design.

We are also in support of the Antelope Corridor Annexation (LAFCO 96-13-3) and look forward to having my property annexed to the City of Murrieta.

Thank you, in advance, for your attention to our request.

Very truly yours,


Kenneth Y. Chen Janet C. Chen

cc: Alexander J. Chen

RECEIVED
OCT 22 1996
City of Murrieta
City Manager's Office

SCOTT GROUP PARTNERSHIP
170 WILKERSON AVENUE, SUITE B
PERRIS, CALIFORNIA 92570
(909) 657-7331 FAX (909) 657-6237

October 1, 1996

Mr. Steve Harding
City Manager
City of Murrieta
26442 Beckman Court
Murrieta, CA 92567

Dear Steve:

Our partnership owns 10.10 acres in the Sphere of Influence of the City of Murrieta (APN 359-11-042) that is also included in the upcoming Annexation request to the City.

We are in strong support of the Golden City Specific Plan and D.E.I.R. because of its implementation of the City's General Plan, the regional infrastructure it will bring, and the good land use planning in its design. Please take this as a neighbor's support for the project.

I have met with the Golden City people, over the years, and they have done a fine job of working with their neighbors.

We are also in support of the Antelope Corridor Annexation (LAFCO 96-13-3) and look forward to having our property annexed to the City of Murrieta.

Thank you for your kind attention to these requests. With best regards.

Very truly yours,

SCOTT GROUP PARTNERSHIP

Marion Ashley

Marion V. Ashley
General Partner

RECEIVED

OCT 22 1996

City of Murrieta
City Manager's Office

CITY OF MURRIETA

MEMORANDUM

TO: MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: RONALD H. SMOTHERS, CONSULTANT PLANNER
DWIGHT FRENCH, CONSULTANT ENGINEER 

DATE: OCTOBER 28, 1996

SUBJECT: GOLDEN CITY SPECIFIC PLAN: JOHN CHAPPELL LETTER OF
OCTOBER 2, 1996

This memorandum has been prepared in response to a letter from John Chappell dated October 2, 1996, regarding the Golden City Specific Plan. This letter was not received in time to present to the Planning Commission at their October 2nd public hearing on the Golden City Specific Plan, so it is being submitted for the Council's information. Mr. Chappell represents the Chappell family trust that owns the 60 acre property around which the Golden City Specific Plan is located. Menifee/Meadowlark Road is proposed in the General Plan to pass through the Chappell property, along its westerly edge.

Mr. John Chappell had submitted several comments on the Draft Environmental Impact Report, to which responses were made and can be found in the Final EIR. The attached letter is Mr. Chappell's further comments to the previous responses. Staff asked the Applicant to provide a response to these comments, and those have been provided and are attached. Staff finds that it agrees with the Applicant's responses. Beyond this we offer the following:

1. Staff agrees that the General Plan Circulation Element streets are not predicated upon a precise alignment, but to characterize them as chalk lines on a wall is wrong. The Baxter/Keller Road connection and the Menifee/Meadowlark Road connection are critical links in the Circulation Element. Staff has always agreed that minor relocation of these connectors will not have a significant impact on the circulation for the area. The revised specific plans for Golden City and Murrieta Highlands recognizes to the maximum extent existing dedicated or reserved right of ways off site of the two specific plans and moves the major impact for the connections within the two specific plans. During the actual design phase it may be possible to further reduce the impact of Menifee/Meadowlark Road on the John Chappell property.

Golden City Ltd.

12475 Central Ave., #488
Chino, CA 91710

TEL: (909) 923-6251
FAX: (818) 968-5158

October 17, 1996

CITY OF MURRIETA

OCT 21 1996

Mr. Ron Smothers
City of Murrieta
26442 Beckman Court
Murrieta, CA 92562
(909) 698-1040 Fax: (909) 698-4509

RECEIVED
PLANNING

Dear Ron:

This is to clarify our position on our public facilities financing plan which is as follows:

Should a financing mechanism be implemented to finance infrastructure in the Golden City Public Facilities Financing Plan, NO PROPERTY OWNER WILL BE INCLUDED WITHOUT THEIR WRITTEN AUTHORIZATION.

Please advise if we can of any further assistance in clarifying our position.

Sincerely,


R. C. Kung

2. Staff's position on the Triple C Ranch Road matter is that the status of the existing road or driveway regardless of the location is a legal issue that must be dealt with at the time of development. Any rights that Mr. Chappell's property has will have to be acknowledged and addressed by the Applicant.

Staff believes that this responds adequately to Mr. Chappell's comments regarding the affects of the Golden City Specific Plan on his family's property. Staff would further assure the Council and Mr. Chappell that his interests will be regarded appropriately as this project moves into its development phases. In regard to the affects of the roadway alignments for Menifee/Meadowlark Road and Baxter/Keller Road we would suggest that a condition of approval on the Golden City Specific Plan be added as follows:

It is anticipated that prior to the City approving the precise alignment of Menifee/Meadowlark Road and Baxter/Keller Road as they cross through Golden City Specific Plan and Murrieta Highlands Specific Plan and the neighboring properties, more precise environmental and engineering reviews will occur that could relocate the locations of these roads in order to further reduce their environmental impact, impact on adjacent properties and to comply with City design standards. It is viewed that a such relocation could be as much as several hundred feet off of the current alignments.

Staff believes that this condition makes it clear that while we are establishing specific plan roadway alignments, essentially conceptual alignments, they are subject to modification at the time when more detailed environmental and engineering work will be accomplished in order for the project to gain approval for tentative tract maps.

Attachments:

1. John Chappell letter dated October 2, 1996
2. Golden City Ltd. letter dated October 22, 1996
3. Markham and Associates Response to Chappell letter, dated October 23, 1996



GALTON & HELM

ATTORNEYS

500 SOUTH GRAND AVENUE,

SUITE 1200

LOS ANGELES, CALIFORNIA 90071-2802

(213) 629-8800

Ron
file
FACSIMILE (213) 629-8800
PLEASE REFER TO FILE NO.

FACSIMILE COVER SHEET

DATE: 10-3-96

FAX NO: 909-698-4509

TO: ERNST PEREA

COMPANY: CITY OF MURIETTA

FROM: JOHN CHAPPELL

REFERENCE: Attached Letter

OUR FILE NO: 1000

TOTAL NO. OF PAGES SENT: 3

Transmitting from (213) 629-0037. If there are any problems, please call (213) 629-8800.

MESSAGE

If you have any questions, I can be reached at home at
818-286-6921

CAUTION -- CONFIDENTIAL: The document being telecopied to you may contain information protected by the attorney-client/work product privileges. It is intended only for the person to whom it is addressed. If you are not the intended recipient or an authorized agent, then this is notice to you that dissemination, distribution or copying of this document is prohibited. If this communication was received in error, please call us at once and destroy the document. Thank You.

October 2, 1996

City of Murietta
26442 Beckman Court
Murietta, CA 92562-8850

Community Development Department
Ronald H. Smothers, Consultant Planner
Nelson Miller, Senior Project Manager
Attn: Ernest Perea, Planning Department

Subject: Golden City Specific Plan/EIR

After reading miscellaneous comments and responses, and attending a meeting with R. C. Kung of Golden City at Malcom & Associates in Temecula recently, I want to report that I feel this project is of no benefit to any of the landowners within its sphere of influence since it is totally inconsistent with its surroundings. However, they are moving forward and are determined to succeed.

I would now like to continue my objections to the specific plan; please refer to my past response letter dated May 14, 1996.

- 1) Moving Menifee Road to the west side of my property as depicted on Golden City's revised site plan, Figure 10.1.1, is not acceptable.

The EIR dated September 19, 1996 responds to my comment, "the City's General Plan Circulation Element shows the roads in approximately the location shown in the current proposed Golden City Specific Plan [revised]. We all know that this G.P.C.E. is a "chalk line" on a wall map. Those chalk lines were sketched by a select few without notification or consideration to the affected property owners and must not be relied upon as ". . . because it is shown that way on the plan". Golden City engineers tried to satisfy my request, but not well enough. My comment is to retain Menifee Road along the east side of Section 26 in their property area, or if it must affect my west property, have the highway "B C" start at my north property line.

City of Murrietta
October 2, 1996
Page Two

- 2) Your response to my previously stated EIR comment #2 states, "The Triple C Ranch Road follows the alignment of the Triple C Ranch Road as shown on Parcel Map 17510-1" (July 1987). I understand this, but that parcel map simply notes "Portion of Triple C Ranch Road to be vacated." To my knowledge, this was done without public comments. However, I do have a copy of a letter my father sent to the county that objected to its closure and further stated this road had been used for 50 years; it continues to be utilized to this date, making this public domain (no signs or closures were made). One adjacent land owner to the north has an address on it and receives mail there. Also, it is shown on Thomas Brothers Maps in addition to other street maps.

Your comment further stated that Murietta "require intersections on major roadways to be further apart than 400 feet". Since that is the case, Golden City can draft a new parcel map, rededicate Triple C Ranch Road onto Antelope Road, and relocate Baxter Road/Golden City Drive to the south which would meet Murietta's engineering standards.

- 3) Your response to my comment #3 missed my point. The Triple C Ranch driveway entered and crossed private property on the northwest corner of Golden City's Parcel 3 where an easement was made per Parcel Map 13335. Although Parcel Map 17510-1 does not address this easement, my driveway remains there.

The specific plan (revised) ignores my ingress-egress and it is my concern that I retain access where my driveway presently intersects Triple C Ranch Road.



John Chappell, Owner
R. C. Chappell Trust

Triple C Ranch
34870 Antelope Road
Menifee, CA 92584

1703 Rose Avenue
San Marino, CA 91108
818-286-6921

Golden City Ltd.

12475 Central Ave., #488
Chino, CA 91710

TEL: (909)923-6251
FAX: (818)968-5158

October 22, 1996

Total 3 pages including this page.
via FAX

Mr. Ron Smothers
City of Murrieta
(909) 698-1040 Fax: (909) 698-4509

Re: Response to Chappell's 10/2/96 letter to Mr. Ron Smothers

Dear Ron:

After consultation with Mr. Phil Oberhansley and Mr. Larry Markham, our response to to Chappell's 10/2/96 letter is as follows:

1. Golden City is following the Menifee/Meadowlark Road alignment on City's General Plan Circulation Element. Menifee/Meadowlark Road has already been revised from the original plan to the revised plan to avoid as much as possible Chappell's property with minimum curve radius allowed by the City street standard. Chappell will be compensated at fair market value for any Chappell's property that is taken for the Menifee/Meadowlark Road right of way.
2. Golden City maintains that the approved Tract Map 17510-1 shows all of the right of ways for areas covered by the map. According to Riverside County record, the Board of Supervisors approved Tract Map 17510-1 after having received and considered five (5) letters from the public who opposed the elimination of a portion of Triple "C" Ranch Road. A copy of that board transmittal letter is attached herewith for reference.

Golden City has no knowledge of whether the eliminated portion of Triple "C" Ranch Road under Tract Map 17510-1 was used after the recordation of that Tract Map or whether it is still used today.

Golden City has no desire of moving existing Baxter Road (to be renamed to Golden City Drive under the Specific Plan) because Baxter Road was improved with DG under Tract Map 17510-1.

Golden City Ltd.

12475 Central Ave., #488
Chino, CA 91710

TEL: (909)923-6251
FAX: (818)968-5158

Mr. Ron Smothers
City of Murrieta
October 22, 1996
Page 2

3. Golden City will maintain ingress-egress access from Chappell's property to a public street at all times throughout construction and buildout of the Golden City Specific Plan. The access point may be moved slightly eastward from the current location of the 25x25x35 easement.

Please advise if you have any questions and thank you for your attention and assistance on this matter.

Sincerely,



R. C. Kung

BOARD APPROVED 1-19-82

(Please disregard Amendment #2)



BOARD TRANSMITTAL

TO: Board of Supervisors
FROM: Planning Department
DATE: December 9, 1981

SUBJECT: TRACT NO. 17510, Amended No. 1
Leimer, Romero and Leimer
46 Lots, 247 Acres.
Antelope Valley Area
Third Supervisorial District
Schedule D, R-R Zone

BACKGROUND:

Pursuant to Ordinance 460, the Planning Commission held a public hearing on September 23, 1981 to consider the adoption of the Negative Declaration for Environmental Assessment No. 15093 and Tentative Tract No. 17510.

The initial study of Environmental Assessment No. 15093 indicated possible flooding concerns, and archaeological concerns. Conditions of Approval mitigate the concerns. The Planning Commission and staff found that the project will not have a significant effect upon the environment.

Staff had received five (5) letters opposed to the elimination of a portion of Triple "C" Ranch Road. Triple "C" Ranch Road had been created under a previous parcel map. The applicants representative explained that alternate access would be achieved along Baxter Road and circulation would be maintained. Staff recommended approval of Amended No. 1 map finding it to be consistent with the General Plan and compatible with area development.

RECOMMENDATION:

The Planning Commission and Staff recommend ADOPTION of the Negative Declaration for Environmental Assessment No. 15093 and APPROVAL of Tract No. 17510, Amended No. 1 subject to the proposed conditions.

Cynthia A. Gordini, Supervising Planner

PREPARED BY:

Patricia Nemeth
PATRICIA NEMETH, A.I.C.P., DIRECTOR

CC: CLERK OF THE BOARD (8 COPIES)
COUNTY COUNCIL
PLANNING DEPT. (2 COPIES)



MILBRIDGE CORPORATION

Facsimile Cover Sheet

Attn: Mr. Roy Smith

From: R.C. Kung / Golden City

Company: City of Minnetonka

Date: 10/23/96

Tel: _____ Fax: (952) 698-4509

Re: Chappell Letter

Total 6 pages including this cover sheet

Messages:

Attached please find Mr. Larry Mankhan's response
to Chappell letter which further clarifies the issues.
Please advise if you have any questions.
Thanks

Response to Chappell letter of 10/02/96

1. Menifee Road was shown on the original GCSP in the exact scaled location as the City of Murrieta General Plan depicted it on the Circulation Element. In response to the comments to the EIR and during public comment GC redesigned the alignment to minimize the impact to all surrounding property owners. This was done with consultation and agreement of the City of Murrieta staff. Returning Menifee Road to the easterly boundary would be inconsistent with the General Plan and would require far reaching changes to several General Plan roadways which would not be acceptable to staff. Additionally, the biological impacts of constructing Menifee Road in the easterly alignment are not acceptable to the state and federal agencies that issue permits to construct. The Circulation Element was a part of the overall General Plan and as such was the subject of publicly noticed hearings at both the Planning Commission and City Council.

The geometric alignment is as tight as possible, regarding all the curve radii, and any change in this location merely causes more impacts to another property. We have attempted to minimize all offsite impacts and will continue to do so during the final design of the actual street plans. Also, I will note that GC will be required to purchase any offsite right-of-ways that are needed to construct the offsite roads at appraised fair market value.

2. The note that is referenced is shown on the tentative map and merely denotes the intent to vacate the road alignment on the final map, which is in fact the case (see attachments). A final supersedes any prior recordations of any maps on the subject property which includes any offers of dedications. The public hearing process that approved Tentative Tract Map 17510 on 12/09/81 constituted any required noticing of this action and in fact refers to the opposition to the elimination of that portion of Triple C Ranch Road and approved the map over those objections (see attachment). The only time that a road vacation requires separate notification is in the event that the subject road was created by a separately recorded offer of dedication instrument. This would require either a summary or general vacation proceeding, with noticing as required. Triple C Ranch Road was created by Parcel Map 13335 and was thus eliminated by the recordation of Tract Map 17510-1. The Thomas Bros. maps quite often show "paper" streets that do not exist and postal routes are not an issue regarding land use approvals.

The retention of the traveled way along the old Triple C alignment will be dealt with in Item 3. but I might add that in the event this traveled way does remain there exists access restriction along Antelope Road at this location and is therefore an illegal driveway even today under County auspices and is subject to closure. The comment to move GC Drive to the south once again would be

inconsistent with the Circulation Element and not acceptable to staff and would also result the need to modify the access restriction that exists along the entire length of Antelope within TM 17510-1 and would again cause problems offsite to the north and south with other abutting access points and be equally unacceptable to staff.

3. The issue of retention of Triple C Ranch Road west of Walt is solely a prescriptive right situation and is not an issue relative to this land use approval. Every effort to preserve the existing access from Triple C Ranch Road at the Chappell property boundary will be made and as has been discussed a north and south access dedication will be provided along with the potential to access Menifee Road at the appropriate intervals. Should the prescriptive easement be perfected there is nothing to preclude the existing unpaved traveled way from remaining within the project in the same form that it exists today. This assumes that the user of the traveled way is successful in obtaining access to Antelope Road as discussed previously.



BOARD APPROVED 1-19-02

(Public Ordinance Amendment #2)

BOARD TRANSMITTAL

TO: Board of Supervisors
FROM: Planning Department
DATE: December 9, 1981

SUBJECT: TRACT NO. 17510, Amended No. 1
Leimer, Rombo and Leimer
46 Lots, 247 Acres.

Amelope Valley S. 44
Third Supervisorial District
Schedule D, R-2 Zone

BACKGROUND:

Pursuant to Ordinance 287, the Planning Commission held a public hearing on September 23, 1981 to consider the adoption of the Negative Declaration for Environmental Assessment No. 15093 and Tentative Tract No. 17510.

The initial study of Environmental Assessment No. 15093 indicated possible flooding concerns, and archaeological concerns. Conditions of Approval mitigate the concerns. The Planning Commission and staff found that the project will not have a significant effect upon the environment.

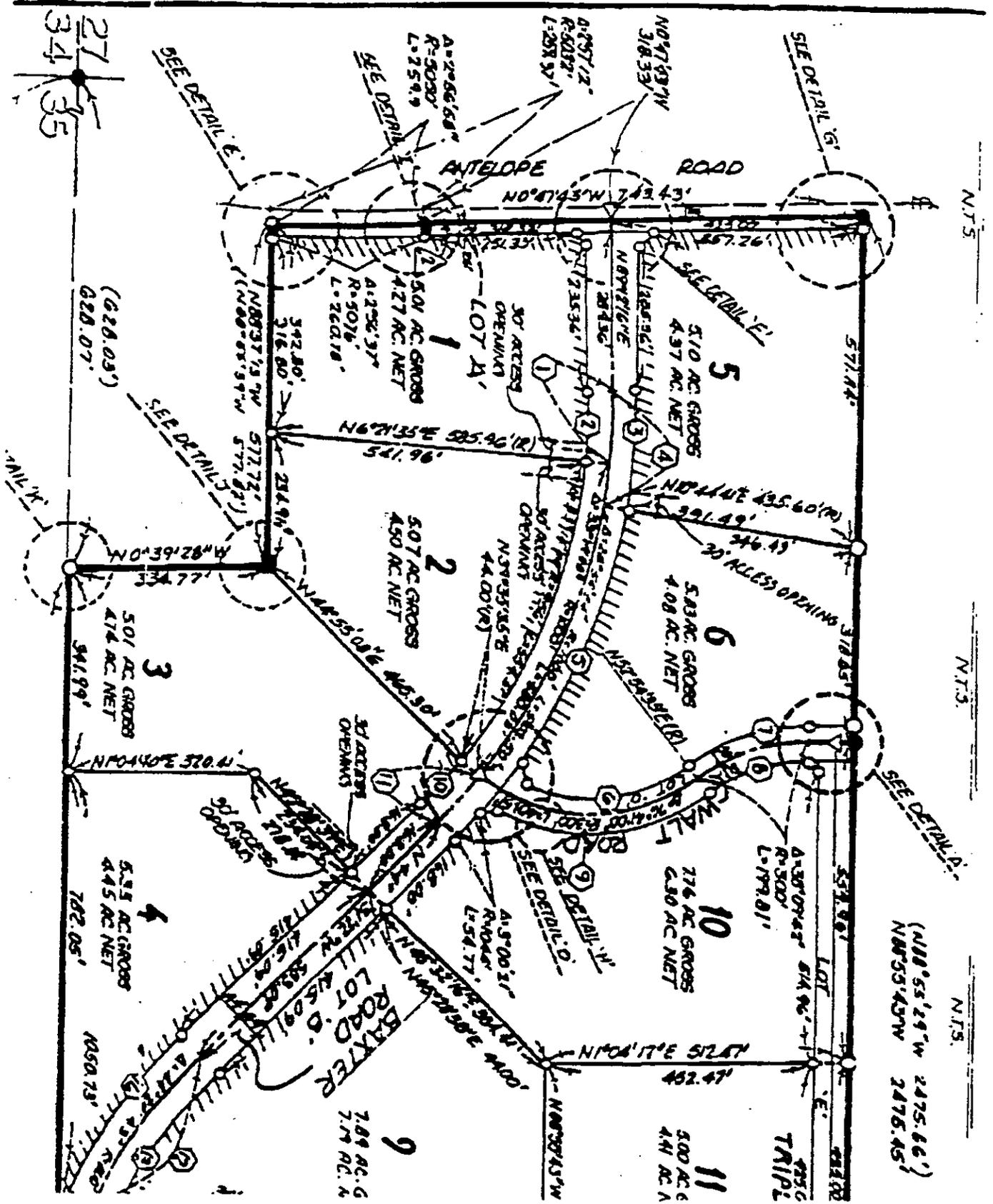
Staff had received five (5) letters opposed to the elimination of a portion of Triple "C" Ranch Road. Triple "C" Ranch Road had been created under a previous parcel map. The applicants representative explained that alternate access would be achieved along Baxter Road and circulation would be maintained. Staff recommended approval of Amended No. 1 map finding it to be consistent with the General Plan and compatible with area development.

RECOMMENDATION:

The Planning Commission and Staff recommend ADOPTION of the Negative Declaration for Environmental Assessment No. 15093 and APPROVAL of Tract No. 17510, Amended No. 1 subject to the proposed conditions.

Prepared by: *[Signature]*
PATRICIA HANFORD, A.L.C.A. DIRECTOR

CC - CLERK OF THE BOARD 10 COPIES
COUNTY COUNCIL
PLANNING DEPT. 10 COPIES



CALIFORNIA
HISTORICAL
RESOURCES
INFORMATION
SYSTEM



Eastern Information Center
Department of Anthropology
University of California
Riverside, CA 92521-0417

Phone (909) 787-5700
Fax (909) 787-5405

November 1, 1996

TO: LAFCO
3403 Tenth Street, Suite 620
Riverside, CA 92501-3676

RE: Archaeological Resources Within Proposed Golden City Development

I write as the Coordinator of the Eastern Information Center (EIC) of the California Historical Resources Information System (CHRIS) to express my concern that potentially significant archaeological resources could be affected adversely by the proposed Golden City development. According to records housed at the EIC a number of archaeological sites exist within the development area. Previous archaeological studies in the locality have ranged from simple inventory survey and site recordation to restricted collection of surface artifacts and limited excavation to explore the depth, content, and structure of buried archaeological deposits. However, it is quite unclear as to whether these investigations have collectively generated sufficient data to determine the importance of the subject archaeological resources under criteria set forth in Appendix K of the California Environmental Quality Act (CEQA [as amended]). Any such determinations should be made in consultation with the State Office of Historic Preservation (OHP).

Given the irreplaceable nature of archaeological resources, the threat of their physical destruction posed by continued urban development and expansion (a particularly acute problem in southern California), and the vital importance of cultural heritage preservation to local communities, the state, and the nation, I recommend the following actions be taken prior to approval of the Golden City development. First, previous studies of archaeological resources in the development area should undergo comprehensive evaluation by a qualified archaeologist to assess both the objectives and adequacy of each investigation. Apart from providing a detailed review of the research conducted, this evaluation should specifically address the extent to which CEQA requirements were satisfied and sufficient information generated for determinations of archaeological importance under CEQA criteria. Second, OHP consultation should be obtained with respect to the adequacy of previous studies, results of the comprehensive evaluation, and as far as possible future resource management efforts. Third, and finally, all archaeological materials already recovered from the subject sites and those that may be acquired in the course of subsequent investigations as well as actual land development should be brought together into a single collection and housed in an approved curatorial facility.

Thank you for your consideration of the questions and issues raised above. Please feel free to contact me if I can be of further assistance.

Sincerely,

M. C. Hall
Coordinator

cc: Dr. Robert Wheeler
President of the Board
Elsinore-Murrieta-Anza Resource Conservation District

CITY OF MURRIETA

NOV - 4 1996

RECEIVED
CITY COUNCIL

c: Council



T.A. Freeman

P.O. Box 113 • Sun City • California • 92586-0113 -
• UPS/Fed.Ex. only: 30605 Curzulla Road • Menlo Park Valley • California • 92584 •



Phone: (909) 926-3123

Fax: (909) 926-3123

October 23, 1996

Elsinore-Murrieta-Anza Resource Conservation District
24280 Washington Avenue
Murrieta, CA 92562

Attn: Dr. Robert Wheeler, President of the Board

Re: Archaeological resources within the proposed Golden City development.

Dear Dr. Wheeler:

Thank you for requesting my comments regarding the above-mentioned project. Hopefully, this brief overview will answer some question you might have. As you may already be aware, several archaeological studies have been conducted on or near the subject property. None, however, have been either extensive or conclusive. Perhaps the first of these studies was an initial survey performed by Ivan Eastvold (1976) who recorded a number of surface features relating to prehistoric human activity. That survey uncovered the presence of pictographs, cupule boulders, and a scattering of stone tools. Eastvold's initial site record of Riv-1074 indicates that these features were spread out over a relatively large area.

Other researchers visited the region and recorded numerous cultural resources adjacent to Riv-1074 (Morin, Hildebrand, Waldron, and Petrus 1976; Belligio and Giansanti 1978). James McManus, Staff Archaeologist for the Archaeological Research Unit of the University of California, Riverside, conducted a more detailed survey in 1978. McManus concluded that the bulk of Riv-1074, including specialized activity areas, covered perhaps 100 acres--with the largest of these activity areas probably representing a village complex. Additionally, he recommended that the site should be delineated and preserved as a valuable cultural resource. In the event that preservation was not feasible, he suggested that a program of data recovery be implemented to mitigate any adverse impacts. The data recovery should be directed towards the entire deposit--regardless of parcel boundaries--in order to discourage an undesirable piece-meal mode of data recovery.

Early in 1981, Jean A. Salpas (now Salpas-Keller) conducted the only known subsurface investigation of sites Riv-1074 and nearby Riv-1075. Her study, performed at the request of property owners Leimer, Leimer, and Romero, served as both a data gathering and "mitigation program." Besides 1074 and 1075, her field review included Riv-1364, 1365, 1375, 1376, 1377, and 1802. According to Salpas (1981), with the exception of 1074 and 1075, most of these sites are small, specialized activity areas containing milling features, chipping waste, and/or few artifacts of consequence. Thus, the final mitigation program conducted at these sites constituted photography and plotting their relative locations on a scale topographic map. Salpas' subsurface data recovery program at sites 1074 and 1075 (later recorded as Riv-2210 and 2220) consisted of the excavation of

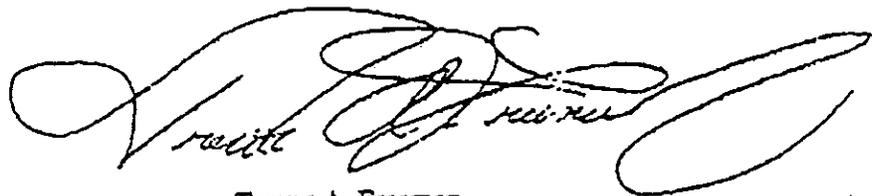
10 three-foot square test units. She indicated that the units excavated constituted "final" mitigative measures.

In 1992 Dr. Christopher Drover provided a written evaluation of Salpas' work to Mr. Michael Dodson of Real Estate Research. Drover indicated that although Salpas' efforts "included a comprehensive surface collection," her subsurface studies were inadequate. Only 10 test units were excavated in a site area that Drover estimates as covering 39.7 acres (contrary to Salpas' estimated 100 acre site area). Drover recommended that in addition to the work already performed, 20 to 40 1 x 1 meter square units should be excavated in Salpas' Locus 3 if the area is impacted by development. Again in 1995 Drover was asked to provide a review of the pertinent data to Mr. R.C. Kung of Golden City Ltd. This latest analysis of Salpas' study is practically verbatim to Drover's 1992 report; adding no new insights. It should be noted that all the available data regarding these studies can be found at the Eastern Information Center, a division of the Dept. of Anthropology, University of California, Riverside.

According to the California Environmental Quality Act as it pertains to cultural resources, there are several criteria used to determine the significance of an archaeological site. Perhaps the most important of these is whether or not the resource in question has the ability to yield information (raw material) that is scientifically useful in addressing various yet reasonable research questions. As far as I am aware there is no other way to accurately determine the significance of any prehistoric cultural resource without first determining its size and its contents. I agree with Drover that the initial subsurface investigation is lacking. Unfortunately, the number of units dug so far falls considerably short of what is normally required and accepted in a standard test excavation program of similar size and scope, much less final mitigation. Additionally, I believe that prior surface studies have not provided enough data with regard to the aerial extent of these sites. This is perhaps the most pressing question that has yet to be fully resolved. To date no researcher has been able to accurately report on the actual size of these deposits or their locations. There is no mention of transit and stadia being used for surface collection or mapping purposes. This alone could pose considerable problems for planners should final mitigation include areas of preservation as well as grading.

Based on the paucity of currently available data regarding archaeological deposits situated on the subject property, I do not believe that the mandates of Appendix K of CEQA legislation have been met (Cal. Adms. Code Section 15000 et seq.).

Respectfully submitted,

A large, stylized handwritten signature in black ink, appearing to read "Trevor A. Freeman".

Trevor A. Freeman
Staff Archaeologist, Archaeological Associates

14

**CITY OF MURRIETA
CITY COUNCIL REPORT**

DATE: MARCH 4, 1996

TO: HONORABLE MAYOR AND CITY COUNCIL

FROM: ERNEST PEREA, PRINCIPAL PLANNER *EP*

VIA: BUD GRAY, PROJECT PLANNER *BG*

SUBJECT: GOLDEN CITY PUBLIC FACILITIES FINANCING PLAN SPM-5,
(92-158) AND ENVIRONMENTAL FINDINGS

RECOMMENDATION

The Planning Commission recommends that the City Council:

1. Find that the information contained in the Final Environmental Impact Report (FEIR) for the Golden City Specific Plan certified on November 12, 1996 together with the Statement of Overriding Considerations and the CEQA findings is adequate to describe the impacts of this project; and
2. Adopt a resolution making the environmental findings and approve the Golden City Public Facilities Financing Plan, subject to the conditions of approval contained in the resolution.

BACKGROUND

The Golden City Public Facilities Financing Plan proposes to construct all of the public facilities necessary to implement the Golden City Specific Plan which was approved by the City Council on November 12, 1996.

The PFFP describes the public facilities and the phasing of development together with the potential financing methods that the developer intends to propose to finance the project. The public facilities listed in the PFFP are the major "backbone" facilities needed to serve the development. The on site "subdivision" improvements such as local residential streets and local drainage systems are not contained in this document because these improvements are standard requirements of each tract map.

The developer proposes to build the streets, detention basins, neighborhood parks, fire station, trunk sewer facilities, trunk water and storage facilities, and provide a school site and mitigation fees, subject to possible reimbursement from other developers for any facilities beyond his fair

share. The total estimated costs of these public facilities is approximately \$17.4 million. The actual control over the timely installation of these improvements is through the normal development process. When applications for development are submitted, the staff will condition the approval of such applications with the appropriate public facility improvements obtained from the PFFP necessary to serve the project. Other actions that may be required have to do with financing these "backbone" facilities through the formation of assessment districts, Mello-Roos Districts, etc.

The Planning Commission held a public hearing on the PFFP on February 19, 1997 and its recommendation is contained in the attached staff report. The Commission added Condition 15 to make clear that the school mitigation agreement with the Menifee Union Elementary District is agreeable to both parties by deleting contradictory language in the PFFP that appeared to limit the school mitigation fee to the applicable State mandated school fee in place at the time. The Commission also corrected the student generation rate for the Menifee Union School District discussed under Performance Standards on page 66 of the PFFP. The Planning Commission also modified the language of Condition 12 to make clear that if the staff and the applicant disagree on the final language in the PFFP after Council approval that any substantive change to the adopted PFFP language would require a new public hearing.

For a complete staff analysis of the Golden City Public Facilities Financing Plan, please see the attached Planning Commission Staff Report.

FISCAL IMPACT

The previous Fiscal Impact Report for the Golden City Specific Plan prepared by the applicant contained certain revenue assumptions that resulted in a deficit to the City during the first four years and a cumulative positive benefit at build out in 2011. This fiscal impact report was received by the City Council on November 12, 1996.

EXHIBITS:

1. City Council Resolution making the environmental findings and approving the Golden City Public Facilities Financing Plan.
2. Planning Commission Staff Report dated February 19, 1997.
3. Golden City Public Facilities Financing Plan.
4. Golden City Final EIR
5. Golden City Specific Plan CEQA findings and Statement of Overriding Considerations.

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Farrell

Exhibit 1

CITY COUNCIL RESOLUTION NO. 97-486

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA MAKING ENVIRONMENTAL FINDINGS PURSUANT TO SECTION 15168 OF THE CEQA GUIDELINES AND APPROVING THE GOLDEN CITY PUBLIC FACILITIES FINANCING PLAN AND ATTACHING CONDITIONS OF APPROVAL THERETO

WHEREAS, the City of Murrieta General Plan has established the Master Plan Overlay and the land use designation of Master Plan Overlay with Single Family Residential 1 and Businesspark and Multiple Use 2; and,

WHEREAS, the Golden City Specific Plan is consistent with the General Plan and was adopted by the City Council on November 12, 1996; and

WHEREAS, the Final Environmental Impact Report for the Golden City Specific Plan was certified on November 12, 1996 by the City Council, including a Statement of Overriding Considerations and CEQA findings and was prepared in accordance with CEQA Guidelines to address the environmental effects of the project; and,

WHEREAS, the Golden City Public Facilities Financing Plan is within the scope of the Final Environmental Impact Report certified by the City Council on November 12, 1996 for the approval of the Golden City Specific Plan; and

WHEREAS, the Final EIR adequately describes the Golden City Public Facilities Financing Plan including the public improvements necessary to serve the project; and

WHEREAS, the City Council has considered testimony presented by the public, the Community Development Department, Planning Commission and other interested public agencies and the general public with respect to the Golden City Public Facilities Financing Plan and environmental documents at a public hearing held on March 4, 1997.

NOW, THEREFORE, the City Council of the City of Murrieta DOES HEREBY RESOLVE as follows:

SECTION 1. Pursuant to the California CEQA Guidelines for the implementation of the California Environmental Quality Act, the City Council has reviewed the previously certified Golden City Final Environmental Impact Report and considered the information contained therein prior to approval of the Golden City Public Facilities Financing Plan.

SECTION 2. That the City Council finds that the Golden City Public Facilities Financing Plan

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is within the scope of the previously certified Golden City Final Environmental Impact Report approved by the City Council on November 12, 1996 and that Final EIR adequately describes the Public Facilities Financing Plan for the purposes of CEQA.

SECTION 3. That the City Council approves the Golden City Public Facilities Financing Plan as amended by the Conditions of Approval contained herein.

SECTION 4. The City Clerk shall certify the adoption of this Resolution.

DRAFT

PASSED, APPROVED AND EFFECTIVE this 18th day of March, 1997.

Attest:



CITY CLERK

MAYOR

STATE OF CALIFORNIA:

} SS

COUNTY OF RIVERSIDE:

I, A. Kay Vinson, City Clerk of the City of Murrieta, California, **DO HEREBY CERTIFY** that the Resolution 97486 was duly and regularly adopted by the City Council of the City of Murrieta, California, at a meeting thereof held on the 18th day of March, 1997 by the following vote:

AYES: Enochs, Walsh, Washington and G. Smith

NOES: van Haaster

ABSENT: None

ABSTAIN: None

(Seal)

Murrieta City Clerk

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Murrieta, California, this 18th day of March, 1997.

City Clerk

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GOLDEN CITY PUBLIC FACILITIES FINANCING PLAN
CONDITIONS OF APPROVAL

1. The final formatting, wording, organization and printing of the Golden City PFFP shall be carried out by the Director of Community Development. The Director shall edit the PFFP report to reword language that needs editing or corrected or is in some way inconsistent with City policy or add language that is needed to support the intent of the City Council, the PFFP Guidelines, the approved Golden City Specific Plan and Final EIR, the General Plan and other relevant policies and procedures of the City of Murrieta. The cost of the final formatting, wording, organization and printing shall be borne by the applicant.
2. The reimbursement for any public facility costs incurred by the applicant or subsequent owners shall be subject to City Council approval after documentation is submitted and reviewed by the City Manager for compliance with city policy and procedures. No commitment is made or implied by the City of Murrieta for reimbursement or fee credit of any public facility costs or fees collected by the City of Murrieta.
3. The determination of credit for the construction of public improvements that will be subject to reimbursement from other fees and exactions shall rest solely with the City Council. No commitment is made or implied that there will be any credit against other fees or exactions for the construction of any public improvements.
4. The developer shall pay all costs for the public facilities listed in the PFFP document and any future amendments to such document adopted by the City Council.
5. No commitment is made or implied by the City of Murrieta to establish public financing districts to pay for the costs of public facilities to serve this project. Such districts will only be considered by the City Council after thorough engineering and financial studies are prepared and reviewed by the City Manager and presented to the City Council for consideration.
6. The developer shall pay all applicable citywide fees in effect at the time of issuance of building permits.
7. The developer shall dedicate and improve all public facilities described in Tables 2 through 18 listed in the Golden City Public Facilities Financing Plan.
8. The public facilities listed in Tables 2 through 15 shall be installed in accordance with the phasing shown in the Golden City PFFP to the satisfaction of the Director of Community Development.
9. All public facility requirements contained in this PFFP shall be installed in a timely

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manner as indicated in the PFFP and the developer shall maintain adequate levels of service to serve the residents and owners within or in proximity to the project. At any time that the City Manager determines that existing or proposed development within the project area is causing or could cause a decline in the level of service below acceptable standards, the City Manager shall prepare a report to the City Council with recommendations for corrective action.

10. The developer shall conform to the public improvements standards in effect at the time of an approval of the tentative maps(s), plot plans, parcel maps, or other such permits.
11. Wherever in the PFFP the word shall is used relating to an action that must be taken by the City of Murrieta it shall be interpreted to mean subject to the approval of the City Council.
12. The applicant shall comply with the mitigation measures contained within the Final EIR for the Golden City Specific Plan certified by the City Council on November 12, 1996.
13. The applicant shall provide securities adequate to guarantee the design and installation of the PFFP street, sewer, water and drainage improvements for each parcel created by any financing/sales parcel map creating parcels of less than 40 acres. These securities may take any of the following forms or combination of forms; cash, improvement bonds, letters of credit, instruments of credit, the formation of a special assessment district or the formation of a community facilities district. This is to insure the City of Murrieta that there is public access, sewer, water, and flood protection to each parcel.
14. The paragraph related to schools entitled Financing located on page 66 of the PFFP shall be deleted.
15. The student generation rate and number of estimated elementary students for the Menifee Union Elementary District discussed on page 66 of the PFFP shall be corrected to .54 students per household for a total of 374 elementary students.

These conditions shall be integrated into the text of the PFFP together with the other editing referred to in #1 above.

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CITY OF MURRIETA



STAFF REPORT PLANNING DEPARTMENT

CASE: Golden City Public Facility Financing Plan

REQUEST: To approve the Golden City Public Facilities Financing Plan.

APPLICANT: Golden City Ltd.

MEETING DATE: February 19, 1997

LOCATION: East of the I-215 Freeway and south of Scott Road.

CASE PLANNER: Bud Gray, Project Planner

RECOMMENDATION: Approve the Public Facilities Financing Plan With Conditions.

STAFF RECOMMENDATION:

The Planning Commission recommends that the City Council:

1. Consider the information contained in the Final Environmental Impact Report (FEIR) for the Golden City Specific Plan certified on November 12, 1996 together with the Statement of Overriding Considerations and the CEQA findings for Golden City prior to reaching a decision on the project; and
2. Adopt a resolution certifying that the environmental documents for the project have been prepared in accordance with the California Environmental Quality Act (CEQA), CEQA Guidelines, and the Environmental Review Procedures of the City of Murrieta; and
3. Find that this Public Facilities Financing Plan is within the scope of the Final EIR certified on November 12, 1996; and the program EIR for this project adequately describes the environmental effects of the PFFP for purposes of CEQA; and
4. Adopt a resolution approving the Golden City Public Facilities Financing Plan with conditions.

BACKGROUND INFORMATION:

- A. **GENERAL PLAN:** The property is designated Single Family Residential 1 (2.1 - 5 du/ac), Businesspark, and Multiple Use with Master Plan Overlay.
- B. **SITE CHARACTERISTICS:** This site is 248 acres, and is located east of I-215, north of existing Baxter Road.
- C. **ENVIRONMENTAL DETERMINATION:** A finding that the Golden City Specific Plan EIR (which was certified by the City Council on November 12, 1996) describes the environmental effects of the project in accordance with Section 15168 of the California Environmental Quality Act Guidelines is contained in the attached resolution.
- D. **PREVIOUS APPROVALS/SPECIAL CIRCUMSTANCES:** The applicant received City Council approval of the Golden City Specific Plan on November 12, 1996.

PROJECT DESCRIPTION:

The Golden City Public Facilities Plan (PFFP) is intended to implement the Specific Plan which consists of a maximum of 692 dwelling units, 48 acres of Multiple Use, 129 acres of residential,

58 acres of parks and open space and a 10 acre elementary school site.

The purpose of the PFFP is to provide a coordinated plan for the financing and construction of public facilities and services by the applicant to serve the development. The legal basis for requiring a Public Facilities Financing Plan is provided for in Section 65451 of the Government Code.

Since the land use and development element of the Specific Plan has been approved by the City Council, the only remaining component to complete the overall development plan for the property is the Public Facilities Financing Plan.

SUMMARY OF THE GOLDEN CITY PUBLIC FACILITY FINANCING PLAN:

The PFFP describes the required public facilities needed to develop the property together with the phasing and estimated costs. This is a guide to be used by the City in determining when certain public facilities will be required of the developer to facilitate the actual subdivision and development of the property. The applicant proposes to provide the needed public facilities, i.e. roads, drainage, parks, fire station, sewer, water and schools through a combination of private financing and assessment district financing. The assumptions and timeframes used in the PFFP are best estimates and will change over time. Future actions needed to implement this project may involve City sponsored assessment districts and/or Mello Roos Community Facilities Districts. The applicant estimates that the total cost of backbone public facilities will cost approximately \$17,450,760.

This report also discusses proposed phasing of the project (four phases) and describes financing alternatives that the applicant intends to bring forward to the City Council following annexation of the property. The following discussion summarizes the key elements of the PFFP.

1. TRANSPORTATION FACILITIES:

The off site road improvements consist of widening Antelope Road from north of the project southerly to Clinton Keith Road, building ramps and installing signals at Clinton Keith Road and I-215, and installing the signal at Baxter Road and Antelope Road.

Off site Circulation Element road improvements (the roads to be built or widened to provide access to the project) will be built in the later phases of the project and coordinated with the project development to maintain access to each phase.

The selection of the specific off site roads to be improved was based on the City's traffic model which identified the roads that will be needed to serve this area when the Specific Plans are completed. This traffic model is an estimate based on today's assumptions and will need to be updated and refined on a periodic basis.

This model identified each of the five Specific Plans percentage contribution to the increase in traffic and the cost of the off site road facilities needed to serve the area. Golden City's obligation amounted to approximately \$3.7 million and the PFFP identifies an equivalent dollar amount of off site road improvements that will be constructed by the applicant (See Figure 29 and Tables 3 and 4). Since this figure is equal to the impact on the circulation system at a future point in time (2005), updates to the traffic study will be needed periodically to refine the specifics.

The on-site Circulation Element roads are Baxter Road, Menifee Road and Golden City Drive. Antelope Road abuts the project on the west side. Baxter Road and Menifee Road are Arterial Roads (76'/100' RW) and Golden City Drive and Keller Road are Secondary Roads (64'/88'RW). Antelope Road is a Major Road (76'/100'RW).

With respect to on-site (the roads to be built within the project boundaries), the applicant proposes to dedicate, grade and install two outside lanes of the main streets including cross drainage facilities. The developer intends to file a financing parcel map in accordance with the conditions of approval of the Specific Plan to create superblocks connected by these roads which will later be subdivided by individual tract builders who will construct the middle portion of these streets and install the sidewalks and street lights. The estimated costs of the on-site roads and signals is \$2.0 million (See Figure 27 and Tables 3 and 4).

The PFFP proposes that the City Council create a Road and Bridge District for this area to provide a mechanism to collect transportation facility fees from future development as a means to finance regional road facilities and provide a financing mechanism to reimburse developers for any expenditures above their identified impact. The Public Works Director agrees that such a district is needed to help pay for future freeway bridges and interchange improvements at I-215 and Linnel and I-215 and Keller Road. Any road dedications and improvements that the developer builds above those needed to serve his project would be eligible for future reimbursement if funds are available from a Road and Bridge District or other similar fee system. If the City does not set up an areawide fee program, each project will be required to build whatever facilities are necessary and wait for reimbursement from future developers.

The feasibility of annexing this project to the Southwest Road and Bridge Thoroughfare District or forming a new Road and Bridge District to serve this area will be determined by the City Council after appropriate studies have been conducted by the Director of Public Works. There are road alignment, engineering costs and environmental issues that will need to be addressed. For example, the existing Southwest Road and Bridge Thoroughfare District is structured to pay for bridges and interchanges where major streets cross freeways. It is not set up to pay for Circulation Element streets that serve individual projects, except for Murrieta Hot Springs Road between I-15 and I-215. All of these issues will need to be addressed by the City Council before development occurs in this area.

There is an overlap between the Murrieta Highlands and Golden City PFFP in that both documents show the traffic signal at Antelope Road and Keller Road and construction on Antelope Road between the Golden City project and Keller Road. If the Murrieta Highlands project constructs this signal, then the Golden City project will need to add an equivalent project from the North Murrieta Traffic Study.

2. DRAINAGE FACILITIES:

All of Golden City drains into the Warm Springs Creek basin. The applicant is proposing to construct storm drains and on site detention facilities to restrict the peak flow of drainage during rainy periods at an estimated cost of \$419,500 (See Table 5). In addition, the applicant will pay drainage fees which are currently \$677 per acre for the Warm Springs basin. The estimated regional drainage fees for flood control are about \$167,896 (248 acres X \$677).

3. FIRE PROTECTION FACILITIES:

The Golden City project is not within the acceptable response time standard of 5 minutes for 90% of emergency calls as established by the General Plan and the Fire District. According to the Fire Chief, the response time from Station #2 to Golden City is 6 minutes and 09 seconds. Thus, Chief Allen believes a new fire station needs to be constructed on the Golden City's project to serve this project and others in the area. Although the Fire Chief believes that some development could be allowed before a new fire station is built, this is at some risk to future homeowners. This fire station is needed by several projects and no one property owner will be responsible for the full cost.

The proposed fire station site is located within the Golden City project boundary at Golden City Drive and Antelope Road. If the Golden City project lags behind the Murrieta Highlands project, the City Council has conditioned the Murrieta Highlands project to build a fire station within the Golden City project or on an alternative site within .25 miles of the Golden City project.

The payment of the \$400 fire mitigation fee for residential units and \$.25 per square foot from projects in the area would not be adequate to build a new fire station until approximately 2,500 new homes are built. The Fire Chief is recommending that a fire district assessment district be established to provide the "front end" funding to build, equip and staff a new fire station until enough new development is built to provide the tax revenue and fire mitigation fees to pay back the bond. This district should be established before the project is started so that the tax rate can be established with a majority vote of the participating property owners.

The construction of a new fire station is estimated to cost approximately \$955,000 including land (See Table 6). Golden City proposes to provide the site, facility, equipment and operating funding in a manner acceptable to the Fire Chief. Any funding beyond Golden City's fair share

would be eligible for reimbursement as future development occurs.

The Fire Chief is recommending that Golden City be required to acquire a site no later than the construction of 400 building permits in the service area of the new fire station. Also, the Chief is recommending that language be added to state that no building permits beyond 500 within the service area of the fire station shall be issued unless the new fire station (Station #6) is operational, regardless of the reasons.

PARKS AND OPEN SPACE:

The project proponent is proposing to dedicate and improve one neighborhood park of 9 acres. There are 47 acres of open space proposed. The costs for maintaining the parks and open space is proposed to be paid for by the Community Services District, which could be a problem given the passage of Proposition 218 last November. A taxing mechanism will need to be established by the property owner and the Community Services District to pay for the ongoing maintenance of the parks, open space, detention basins, street lights and street median landscaping.

Existing ordinances require the dedication and improvement of 5 acres per 1,000 population or 5 X 1.881 for 9.4 acres of improved parkland. The estimated cost of the neighborhood park is \$720,000 (See Table 2, page 30).

5. WATER AND SEWER:

The water, sewer and reclaimed water improvements will be provided by the applicant in accordance with the Eastern Municipal Water District Standards. The district's plan of services, as amended, establishes the needed facilities and the method of paying for these facilities. A new sewer trunk line will need to be built to the Sun City sewer treatment facility to serve this project. The estimated costs of the off site sewer lines is \$1.85 million and the on site sewer trunks are estimated at \$875,000 (Table 7).

The water facilities needed to serve the project include extension of major water lines from Leon Road and the construction of a 4.2 million gallon water tank on the Murrieta Hills site. The estimated cost of off site facilities is \$3.4 million and the on site costs are \$708,600 (See Table 8).

6. SCHOOL FACILITIES:

Full buildout of 692 dwelling units will generate 547 students; 311 for grades kindergarten through fifth; 111 students for grades sixth through eighth and 125 students for grades ninth through twelfth. The elementary school district is the Menifee Union School District and the high school is the Perris High School District.

The PFFP reserves a 10 acre elementary school site and proposes to provide school mitigation as required by state law. The applicant will be required to provide a copy of their agreement with the school districts before any tentative subdivision map is approved by the City.

The Menifee Union School District is requesting a mitigation agreement prior to approval of the Public Facilities Financing Plan, based on their Five Year Facilities and Mitigation Plan. A similar request was made to the City Council for the Murrieta Highlands project. According to the Menifee Union School District the existing state fees are inadequate to fund new schools. The Menifee Union School District has filed a lawsuit against the City of Murrieta for rezoning approximately 1,000 acres of land in this area which includes the Golden City project.

The estimated cost of the elementary school site is \$1.3 million (See Table 6). No cost estimate is provided for an elementary school facility, but a general estimate is in the \$5,000,000 range. The capacity of an elementary school is normally 600 students and this project will generate approximately 311 elementary students or about one-half of an elementary school.

The proposed elementary school site will not have access until Phase III of the project is constructed. There is no indication in the PFFP where school capacity exists for the initial school population in the project. This will need to be addressed by the applicant and the school district.

7. TOTAL COSTS:

The backbone infrastructure costs are estimated by the developer by phase are listed in Tables 9 to 18. No verification of these estimates has been conducted by city staff and they are the developers estimate.

Phase 1 - On Site	\$4,365,200;	Off Site \$4,927,660;	Subtotal - \$9,292,860
Phase 2 - On Site	\$1,280,200;	Off Site \$ 0 ;	Subtotal - \$1,280,200
Phase 3 - On Site	\$2,371,300;	Off Site \$ 531,000;	Subtotal - \$2,902,300
Phase 4 - On Site	\$ 440,600;	Off Site \$3,534,800;	Subtotal - \$3,975,400
	<hr/>		
	\$8,457,300	\$8,993,460	\$17,450,760

The applicant is proposing to pay the above costs for the needed public facilities to serve the project. The only additional items not included in the above numbers are school facilities, which will be subject to negotiations between the developer and the two school districts.

8. ENVIRONMENTAL:

The Golden City Final EIR was certified by the City Council on November 12, 1996, which concluded that cumulative long-term air quality, cumulative noise, landform alteration/aesthetics/visual and light and glare impacts could not be mitigated to a level of insignificance. The appropriate CEQA findings were made and adopted by the City Council, therefore, this PFFP is covered by the previously certified Golden City Final EIR.

9. TEXT MODIFICATIONS:

The PFFP document contains three parts - (1) an Executive Summary, (2) explanatory text, and (3) phasing tables and figures. Staff is generally satisfied with the content of the Executive Summary and the phasing tables, however the text needs some additional editing and corrections.

The conditions of approval contain a condition directing staff to edit the final text of the PFFP, reorganize the document to read clearly and concisely, and integrate the conditions of approval into the document. Some typical sections of text that will need to be edited include:

- Page 7 - Add language to the fifth paragraph concerning financing parcel maps to require street improvements, utilities, and drainage facilities with financing parcel maps.
- Page 8 - Delete the wording in the last paragraph as follows: "or within the immediate area (.25) miles,".
- Page 9 - Add language to the third paragraph regarding operational expenses as follows: "The property owner will need to propose a taxing mechanism that is permitted by Proposition 218 to pay for park and open space maintenance, fire protection facilities and operations, street lighting and median landscaping."
- Page 10 - Add a paragraph to state that, " If there is a sale of the property to individual builders, the developer shall inform the City of Murrieta who will carry out the responsibilities of the developer as set forth in the PFFP.
- Page 11 - Add goal, "To provide for the coordinated and orderly development of the project."
- Page 12 - Correct the location of the project in the first paragraph and in the third paragraph.
- Page 21 - Add street names to Figures 7,9, 11, 27, 31, and 34. Make figures and tables consistent, for example, Figure 10 and 11 regarding park location.
- Page 26 - Add statement under phasing, "The DEVELOPER shall coordinate the development of the project in an orderly, sequential manner in accordance with the phasing shown on Figure 9."
- Page 33 - Correct location of project on Figure 12.
- Page 34 - Correct designation of streets in paragraph a. and b. to be consistent with the Circulation Element. Make cross sections in Figure 13 through 21

- consistent with Circulation Element.
- Page 46 - Delete Highlands Parkway from Figure 24 and add Golden City Drive.
 - Page 52 - Add project RR4B to Table 3 (See Figure 29). boundary.
 - Page 56 - Add note that these are NMTR streets to Figure 29.
 - Page 61 - Identify location of Santa Ana River Watershed and Santa Margarita River Watershed on Figure 30.
 - Page 62 - Add statement as follows: "Stream flows from outlets will not exceed 20 c.f.s." (Reference in draft EIR is page IV-84).
 - Page 64 - Add location of project D2D to Figure 31.
 - Page 66 - Correct size of elementary school site on page 66 or page 20.
 - Page 82 - The totals for GSCP Estimated Costs on Table 9 should be corrected.
 - Page 88 - The off-site total on Table 15 should be corrected.
 - Appendix - Delete conditions of approval for Murrieta Highlands and add conditions of approval for Golden City.

CONCLUSION:

If the Golden City project is implemented with the installation of the public facilities listed in the PFFP, which total some \$17.5 million, the project will meet the requirements of the City by providing the infrastructure to serve the project and maintain acceptable levels of service. Periodic monitoring will be needed to make sure the PFFP is implemented as planned. At any time levels of service, as defined by the responsible public agency, fall below acceptable standards, the deficiency will be brought to the City Council for appropriate corrective action.

The reimbursement amounts requested by the developer from the City and Eastern Municipal Water District total some \$4,302,195 for on site facilities and off site facilities. These reimbursements are solely the developer's request and have not been agreed to by staff. No position should be taken on these proposed reimbursements listed in the PFFP at this time and the PFFP does not commit the City to reimburse any developer until funding sources and procedures are properly established by the City Council.

The applicant intends to file a "financing parcel map" to create legal parcels for conveyance to individual builders. A "financing parcel map" is not defined in State law or the Subdivision Ordinance, but the general practice is to create separate lots within a large scale project in order to obtain a construction loan from a lender on the lots created without tying up the entire property as collateral. Staff has added a condition to this PFFP to ensure that the developer assumes the responsibility for coordinating the implementation of the project and provides the improvement plans and bonding to guarantee the construction of the basic infrastructure if a "financing parcel map" is filed.

FISCAL IMPACT:

The Fiscal Impact Report for the Murrieta Highlands and Golden City projects was presented to the Planning Commission and City Council in 1995/1996. The report estimates there will be a negative cumulative impact of \$373,000 on the city during the first four years. During the fifth year the fiscal impact turns positive and the cumulative negative impact turns to a net positive at the end of the seventh year of development. At the conclusion of the projects buildout in 2011 there is an estimated \$2,848,000 net cumulative positive fiscal benefit to the City. The key variable to the fiscal impact is the rate of market absorption of the commercial and industrial land. Staff is recommending that the fiscal impact report be updated on an annual basis during the first five years of the project so that the actual costs to the City for services is closely monitored by the City Council.

Attachments:

1. Golden City Specific Plan CEQA Findings and Statement of Overriding Considerations (11/12/96).
2. Golden City PFFP
3. Golden City Final EIR.
4. Conditions of Approval

GOLDEN CITY PUBLIC FACILITIES FINANCING PLAN
CONDITIONS OF APPROVAL

1. The final formatting, wording, organization and printing of the Golden City PFFP shall be carried out by the Director of Community Development. The Director shall edit the PFFP report to reword language that needs editing or corrected or is in some way inconsistent with City policy or add language that is needed to support the intent of the City Council, the PFFP Guidelines, the approved Golden City Specific Plan and Final EIR, the General Plan and other relevant policies and procedures of the City of Murrieta. The cost of the final formatting, wording, organization and printing shall be borne by the applicant.
2. The reimbursement for any public facility costs incurred by the applicant or subsequent owners shall be subject to City Council approval after documentation is submitted and reviewed by the City Manager for compliance with city policy and procedures. No commitment is made or implied by the City of Murrieta for reimbursement or fee credit of any public facility costs or fees collected by the City of Murrieta.
3. The determination of credit for the construction of public improvements that will be subject to reimbursement from other fees and exactions shall rest solely with the City Council. No commitment is made or implied that there will be any credit against other fees or exactions for the construction of any public improvements.
4. The developer shall pay all costs for the public facilities listed in the PFFP document and any future amendments to such document adopted by the City Council.
5. No commitment is made or implied by the City of Murrieta to establish public financing districts to pay for the costs of public facilities to serve this project. Such districts will only be considered by the City Council after thorough engineering and financial studies are prepared and reviewed by the City Manager and presented to the City Council for consideration.
6. The developer shall pay all applicable citywide fees in effect at the time of issuance of building permits.
7. The developer shall dedicate and improve all public facilities described in Tables 2 through 18 listed in the Golden City Public Facilities Financing Plan.
8. The public facilities listed in Tables 2 through 15 shall be installed in accordance with the phasing shown in the Golden City PFFP to the satisfaction of the Director of Community Development.
9. All public facility requirements contained in this PFFP shall be installed in a timely manner as indicated in the PFFP and the developer shall maintain adequate levels of service to serve the residents and owners within or in proximity to the project. At any

time that the City Manager determines that existing or proposed development within the project area is causing or could cause a decline in the level of service below acceptable standards, the City Manager shall prepare a report to the City Council with recommendations for corrective action. This condition refers to roads, drainage, parks, fire protection and police service.

10. The developer shall conform to the public improvements standards in effect at the time of an approval of the tentative maps(s), plot plans, parcel maps, or other such permits.
11. Wherever in the PFFP the word shall is used relating to an action that must be taken by the City of Murrieta it shall be interpreted to mean subject to the approval of the City Council.
12. The applicant shall have the right to review the final Golden City PFFP document after the Director of Community Development has revised the document to incorporate any modifications resulting from the Planning Commission recommendation and the City Council approval. The applicant shall have the right to request reconsideration by the City Council to resolve any issues arising from revisions to the original intent and purpose of the PFFP as proposed by the applicant. The City Council shall only reconsider the PFFP intent and purpose. If the change to the PFFP involves anything other than minor editorial changes, the City Council shall direct staff to advertise a public hearing.
13. The applicant shall comply with the mitigation measures contained within the Final EIR for the Golden City Specific Plan certified by the City Council on November 12, 1996.
14. The applicant shall provide improvement plans and security to guarantee the installation of streets, sewer, water, and drainage facilities to each parcel created for financing purposes. This is to assure the City that there is public access, sewer, water, and flood protection to each parcel.
15. The paragraph related to schools entitled Financing located on page 66 of the PFFP shall be deleted.
16. The student generation rate and number of estimated elementary students for the Menifee Union Elementary District discussed on page 66 of the PFFP shall be corrected to .54 students per household for a total of 374 elementary students.

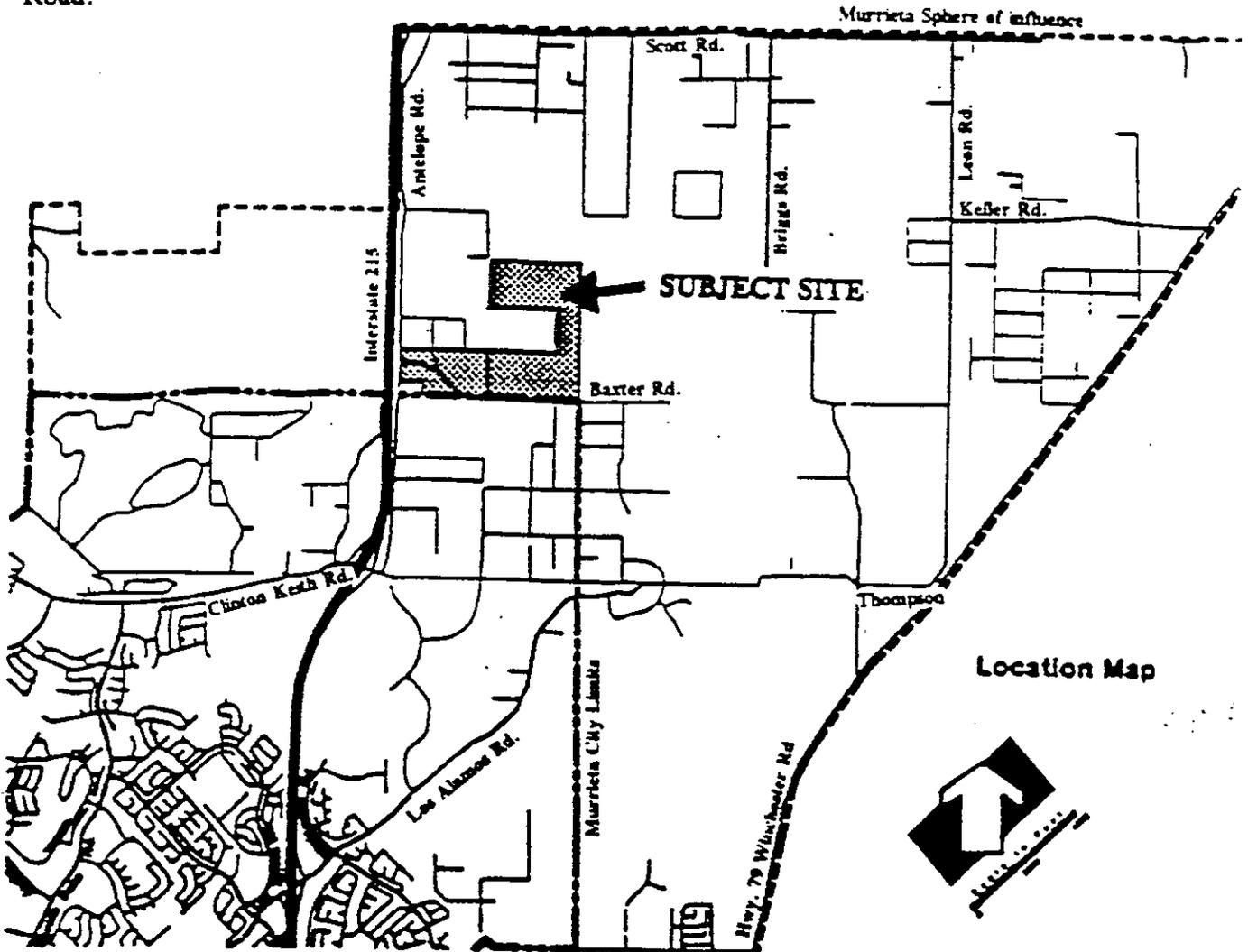
These conditions shall be integrated into the text of the PFFP together with the other editing referred to in #1 above.

**CITY OF MURRIETA
NOTICE OF PUBLIC HEARINGS
AND ENVIRONMENTAL DETERMINATION**

NOTICE IS HEREBY GIVEN that public hearings will be held before the Planning Commission on February 19, 1997, at 6:00 p.m., and before the City Council on March 4, 1997 at 7:00 p.m. at City Hall, 26442 Beckman Court, Murrieta, CA 92562, relative to the following matter:

PROJECT NAME: Golden City Public Facilities Financing Plan

PROJECT LOCATION: City of Murrieta, Riverside County, East of I-215 & South of Scott Road.



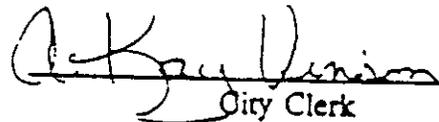
PROJECT DESCRIPTION: Golden City Public Facilities Financing Plan: This project is a plan for the provision of public facilities to serve the Golden City Specific Plan; which is a development of 692 dwelling units with commercial and industrial businesspark uses. The purpose of the Public Facilities Financing Plan is to identify the public facilities needed to serve the project and provide the guidelines for phasing and financing proposals for the development.

The Public Facilities Financing Plan is required by the City Council for large scale projects to ensure that there are adequate levels of service in the area and to protect the general public from additional costs to service the project.

Environmental Finding: The City has determined that the Golden City Final Environmental Impact Report certified by the City Council for the Golden City Specific Plan on November 12, 1996 adequately describes this project's effects on the environment in fulfillment of the requirements of the California Environmental Quality Act. A copy of the Golden City Final EIR and the Public Facilities Financing Plan are available for review at City Hall.

Any person may either submit written comments to the Planning Commission or the City Council before the hearings or may appear before the Planning Commission or the City Council at the time of the hearing and be heard in support of, or opposition to the matter. If you challenge the project in court you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission Secretary or the City Clerk at, or prior to the public hearing. The proposed project may be reviewed at the Planning Department, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and on alternating Fridays from 8:00 a.m. to 5:00 p.m.

City of Murrieta
26442 Beckman Court
Murrieta, CA 92562
Attn: City Clerk


City Clerk