

# Adobe Springs

## Specific Plan No. 21



Prepared for:

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I. Introduction/Executive Summary

A. Project Description

The Adobe Springs Specific Plan proposes residential, business park, and open space uses. With a maximum of 283 detached residential units, which will be Single-Family Detached: Traditional Homes. Traditional homes are considered single-family, detached homes, typically with an attached 2-car garage. There will be three (3) distinct architectural styles. Reference Figure I-1, *Specific Plan Land Use Plan*. Table I-1, *Specific Plan Land Use Summary*, provides a detailed description of the land uses depicted on the Specific Plan Land Use Plan.

**Table I-1  
Specific Plan Land Use Summary**

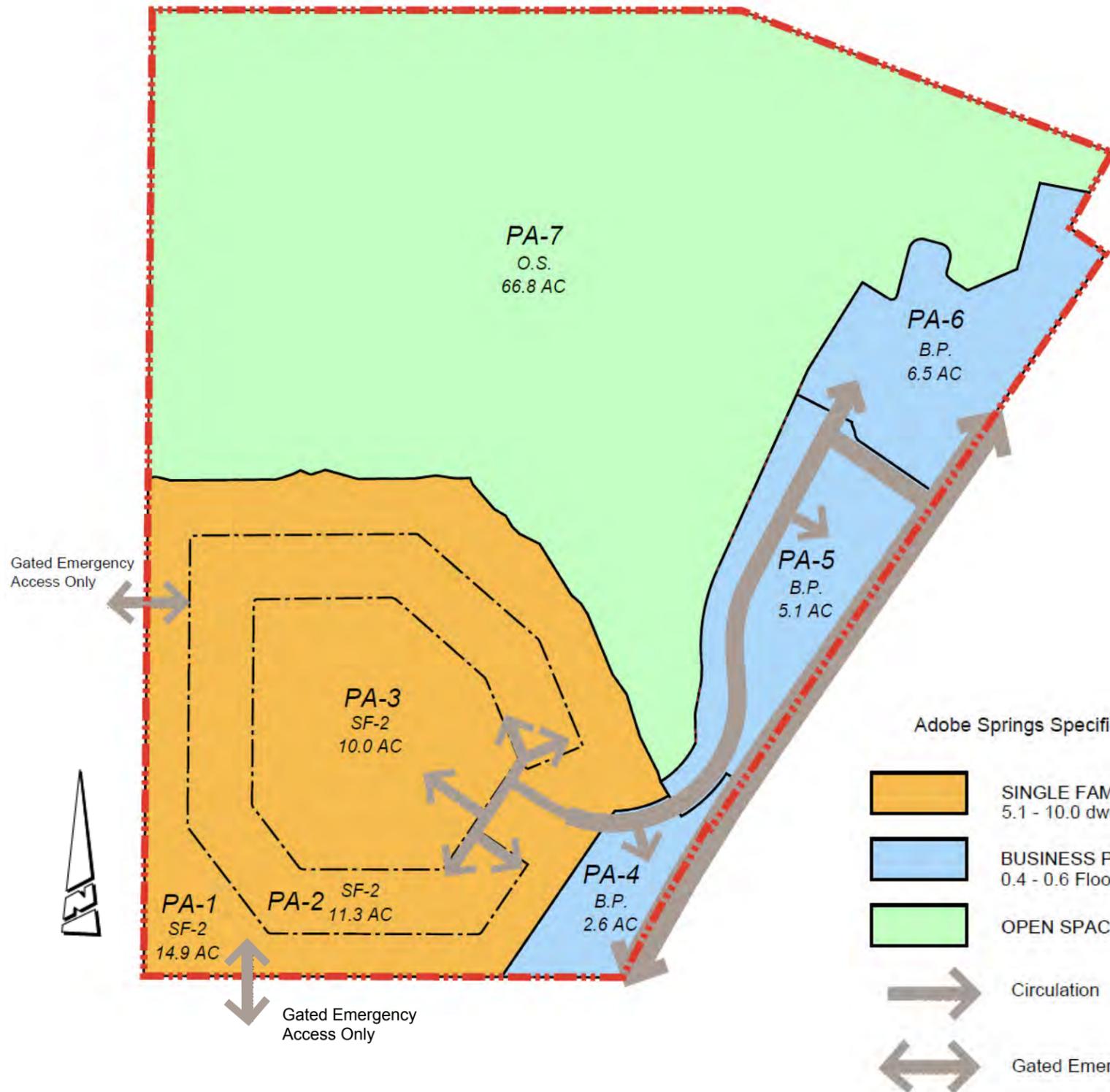
Land Use	Acres	Target Density Range	Dwelling Units Proposed	Dwelling Unit Range
<b>Residential</b>				
SF-2 Density Residential, 48' Minimum Street Frontage (Planning Area 1)	14	5.1-10.0	86	72-140
Private Open Space – Recreation (Planning Area 1)	0.90			
SF-2 Density Residential, 46' Minimum Street Frontage (Planning Area 2)	11.3	5.1-10.0	116	58-113
Private Open Space – Recreation (Planning Area 2)	0.04			
SF-2 Density Residential, 40' Minimum Street Frontage (Planning Area 3)	8.75	5.1-10.0	85	45-88
Private Open Space – Recreation (Planning Area 3)	1.25			
<b>- Residential Subtotals</b>	<b>36.2</b>	<b>-</b>	<b>283</b>	<b>185-362</b>
<b>Non-Residential</b>				
Business Park (Planning Area 4)	2.6	--	--	N/A
Business Park (Planning Area 5)	5.1	--	--	N/A
Business Park (Planning Area 6)	6.5	--	--	N/A
Open Space – Conservation (Planning Area 7)	66.8	--	--	N/A
Major Circulation	4.8	--	--	N/A
<b>- Non-Residential Subtotals</b>	<b>85.8</b>		<b>--</b>	<b>N/A</b>
<b>Project Totals</b>	<b>122</b>		<b>283</b>	<b>N/A</b>

Planning Areas 1, 2, and 3 (PA1, PA2, and PA3) are approximately 14.9 acres, 11.3 acres, and 10.0 acres, respectively, totaling approximately 36.2 acres. They are designated as Single Family Residential (SFR) development. These Planning Areas are located in the south/southwestern portion of the Specific Plan, adjacent to the existing, surrounding residential development.

Residential densities are approximately 7.9 dwelling units per acre, consistent with the City's General Plan designations of Single Family Residential 1.1 – 10.0 du/ac). Reference Figure I-1, *Specific Plan Land Use Plan*. Overall residential density within the entire Specific Plan is 2.3 dwelling units per acre (gross).

Planning Areas 4 (PA4), 5 (PA5), and 6 (PA6) are approximately 2.6 acres, 5.1 acres, and 6.5 acres, respectively, totaling approximately 14.2 acres. All three Planning Areas are designated Business Park. All three PAs are located within Compatibility Zones of the French Valley Airport Land Use Compatibility Plan. PAs 4 and 5 are located within Compatibility Zone D and PA 6 is located within Compatibility Zone C.

PA4 is located adjacent to existing and proposed single-family residential development. Development within PA4, PA5, and PA6 will be consistent with Section 16.12, *Business Park and Industrial Districts* of the Murrieta Development Code; however, uses will be modified as part of the Specific Plan to insure consistency with the Airport Compatibility Zones, as well as address appropriate land uses and buffering when adjacent to existing and proposed single-family residential development.



Land Use	Acres	Target Density Range	Dwelling Units Proposed	Dwelling Unit Range
<b>Residential</b>				
SF-2 Density Residential, 48' Minimum Street Frontage (Planning Area 1)	14	5.1-10.0	86	72-140
Private Open Space – Recreation (Planning Area 1)	0.90			
SF-2 Density Residential, 46' Minimum Street Frontage (Planning Area 2)	11.26	5.1-10.0	116	58-113
Private Open Space – Recreation (Planning Area 2)	0.04			
SF-2 Density Residential, 40' Minimum Street Frontage (Planning Area 3)	8.75	5.1-10.0	85	45-88
Private Open Space – Recreation (Planning Area 3)	1.25			
<b>- Residential Subtotals</b>	<b>36.2</b>	<b>-</b>	<b>283</b>	<b>185-362</b>
<b>Non-Residential</b>				
Business Park (Planning Area 4)	2.6	--	--	N/A
Business Park (Planning Area 5)	5.1	--	--	N/A
Business Park (Planning Area 6)	6.5	--	--	N/A
Open Space – Conservation (Planning Area 7)	66.8	--	--	N/A
Major Circulation	4.8	--	--	N/A
<b>- Non-Residential Subtotals</b>	<b>85.8</b>		<b>--</b>	<b>N/A</b>
<b>Project Totals</b>	<b>122</b>		<b>283</b>	<b>N/A</b>

**SPECIFIC PLAN LAND USE PLAN - FIGURE I-1**

Planning Area 7 (PA7) is approximately 66.8 acres and is designated as Open Space (OS). Overall, approximately 53% of the Project site will be designated as open space in the Specific Plan and will be dedicated to the Western Riverside County Regional Conservation Authority (RCA). This acreage does not include any private open space uses/acreage that will be located in the residential planning areas - PA's 1, 2, and 3.

Infrastructure and other public facilities will be sufficiently sized to accommodate the needs of the Specific Plan. An 8" sewer line will be constructed within the Project development areas to serve the residential and business park uses. A 6" force main will be installed along the western and southern boundaries of PA4 and will connect to an existing "sewer line manhole" in the Winchester and Auld Road intersection. Due to the flat grade of the Project site, the development areas of the residential and business park planning areas will utilize a combination of gravity sewer system and lift station/force main. The gravity lines will flow all wastewater to a central location along the north side of the future residential Project entry point.

The Specific Plan will tie into an existing 16" and 48" water line within Winchester Road, extended off-site and southerly of the Specific Plan boundary. An 8" looped water line will be installed within PA1, PA2 and PA3. A 12" looped water line will be installed across the western boundary of PA4 and within Street "B" to service PA 4, PA5 and PA6. There is an existing 24" reclaimed water line within Winchester Road. A 6" reclaimed water line will be installed in Street "A" and Street "B" to provide reclaimed irrigation water to the fuel modifications areas, recreation areas and Street "A" and "B" parkways.

The Specific Plan site will be graded to generally drain easterly and northerly via a proposed storm drain system. The storm-drain system then will be routed through a series of storm drainpipes and basins to clean and mitigate the flow volumes of the nuisance and storm water flows. These treated flows will be routed through a mitigation basin located within the conservation area and will ultimately be released into the Warm Springs Channel. The Warm Springs channel will continue to carry the flows westerly and southerly to the Murrieta Creek, which continues south from the City of Murrieta boundaries. The mitigation basin was included in the Joint Project Review process approved by the Western Riverside County Regional Conservation Authority (RCA) in April, 2015.

The circulation network accounts for approximately 4.8 acres of the Specific Plan and is designed to adequately facilitate both auto and truck vehicular travel throughout the Specific Plan. The following is a summary of the adjacent and on-site Project roadways:

- Winchester Road is the easterly Project boundary. Winchester Road is envisioned to provide a north/south roadway between I-15 in Temecula and SR74 in Hemet.
- Crosspatch Road is located along the northern boundary and Liberty Road is located along the westerly boundary of the Project. Both of these roads currently exist.
- On-site access is provided via Winchester Road Entry, Street "A", Street "B", and local streets.

The Specific Plan includes design elements such as land use compatibility, complementary architectural design, and a unified, pedestrian-amenitized, landscape concept that are consistently applied to assure a varied, fully integrated and attractive community.

## B. Project Summary

### 1. Context

#### a. City of Murrieta

The Specific Plan is located in the City of Murrieta, Riverside County, California. The City of Murrieta is located in southwestern Riverside County, between the Santa Ana Mountains and San Jacinto Mountains, where the I-15 and I-215 Freeways meet. This scenic area with creeks, hot springs, and rolling hills has been the site of various settlements dating back to prehistoric times, and Murrieta's downtown reflects the history of the town site that was established in 1884.

Murrieta sits below the Santa Rosa Plateau of the Santa Ana Mountains. The Hogbacks Ridge runs through the northeastern part of the City. Other mountain ranges are visible in the distance: the San Jacinto Mountains to the east, and the Santa Margarita and Agua Tibia ranges to the south.

The two main creeks and their tributaries flowing through Murrieta are Murrieta Creek in the western portion and Warm Springs Creek to the east. Open space lines these waterways. Murrieta Hot Springs Road got its name from mineral-rich springs that once attracted travelers who sought their healing properties.

According to the City's General Plan, for most of the twentieth century, Murrieta was most notable for dry farming and producing grain and other agricultural products. In the 1960s, the area was known for the breeding of fine racehorses. Approximately one-third of the land within Murrieta's City limits has been developed with residential uses. Commercial centers and business parks are located along the freeways and major streets, while industrial uses are found in the South Murrieta Business Corridor and west side of the City. Murrieta is still growing, with just over one-third of the land considered to be vacant.

As shown in Figure I-2, *Regional Map*, and Figure I-3, *Vicinity Map*, the Specific Plan is located in the City of Murrieta. Adjacent land uses consist of single-family residential development to the west and south, retail/commercial/Winchester Road to the east/northeast, and community church/vacant land to the north.

#### b. State Highway 79 (Winchester Road)

According to Exhibit 5-10, *General Plan 2035 Circulation Map*, of the City of Murrieta General Plan, this roadway is classified as a County of Riverside 6-Lane Expressway with a 184' right-of-way and 110' of pavement. This roadway is the easterly boundary of the Specific Plan.

#### c. French Valley Airport Influence Policy Area

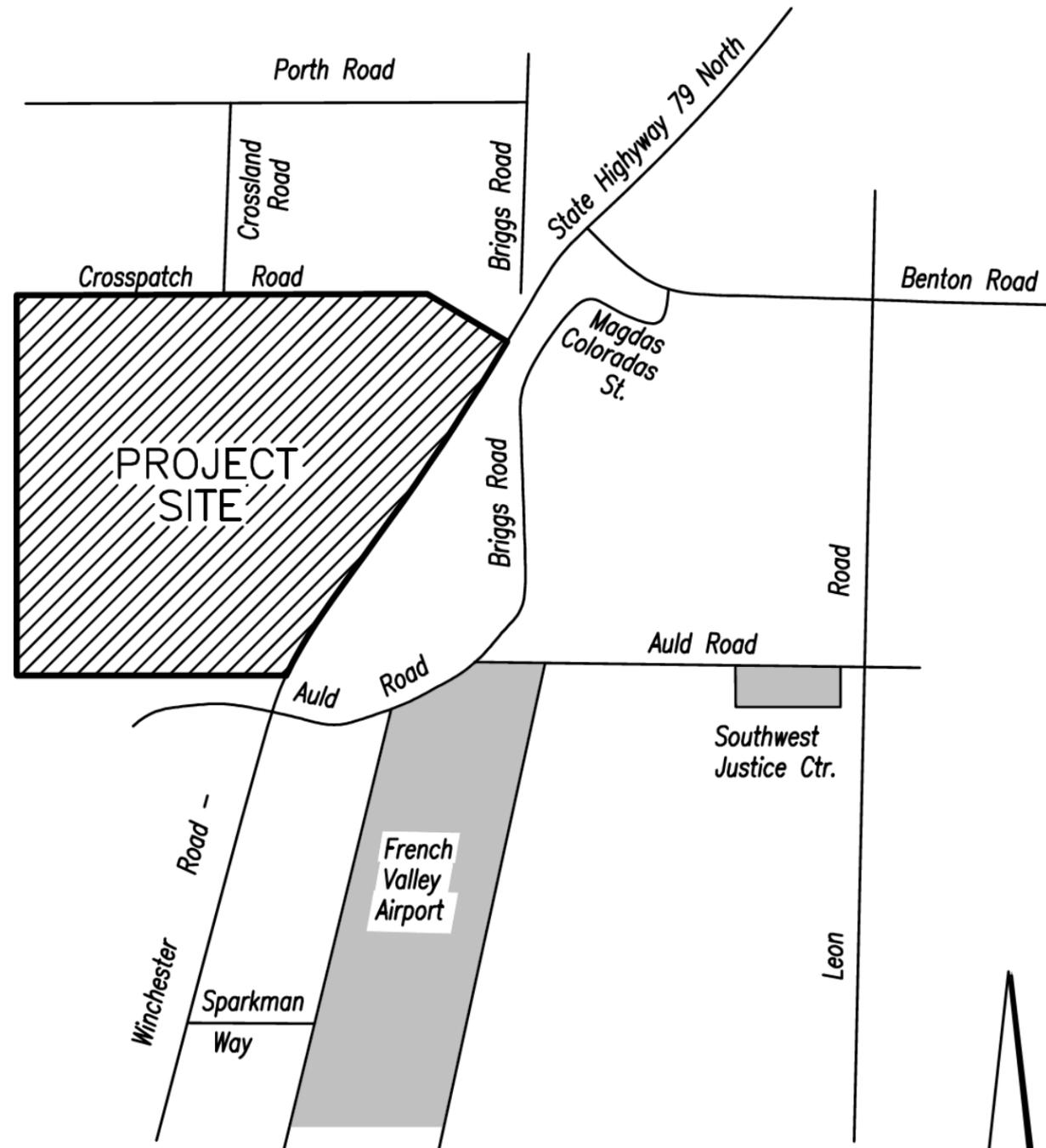
The Specific Plan is located within French Valley Airport Influence Policy Area (Airport Influence Area). There are several safety zones associated with the Airport Influence Area. Properties within these zones are subject to regulations governing such issues as development intensity, density, height of structures, and noise. The easterly portion of the Specific Plan site is located within Airport Compatibility Zones C and D of the Airport Influence Area.

d. **Surrounding Cities**

Menifee is located to the north, Temecula to the south and east, Wildomar to the west and unincorporated Riverside County to the north and east.



REGIONAL MAP - FIGURE I-2  
Page I-7



**VICINITY MAP**  
NOT TO SCALE  
SECTION 6, TOWNSHIP 6 SOUTH, RANGE 2 WEST, S.B.M.



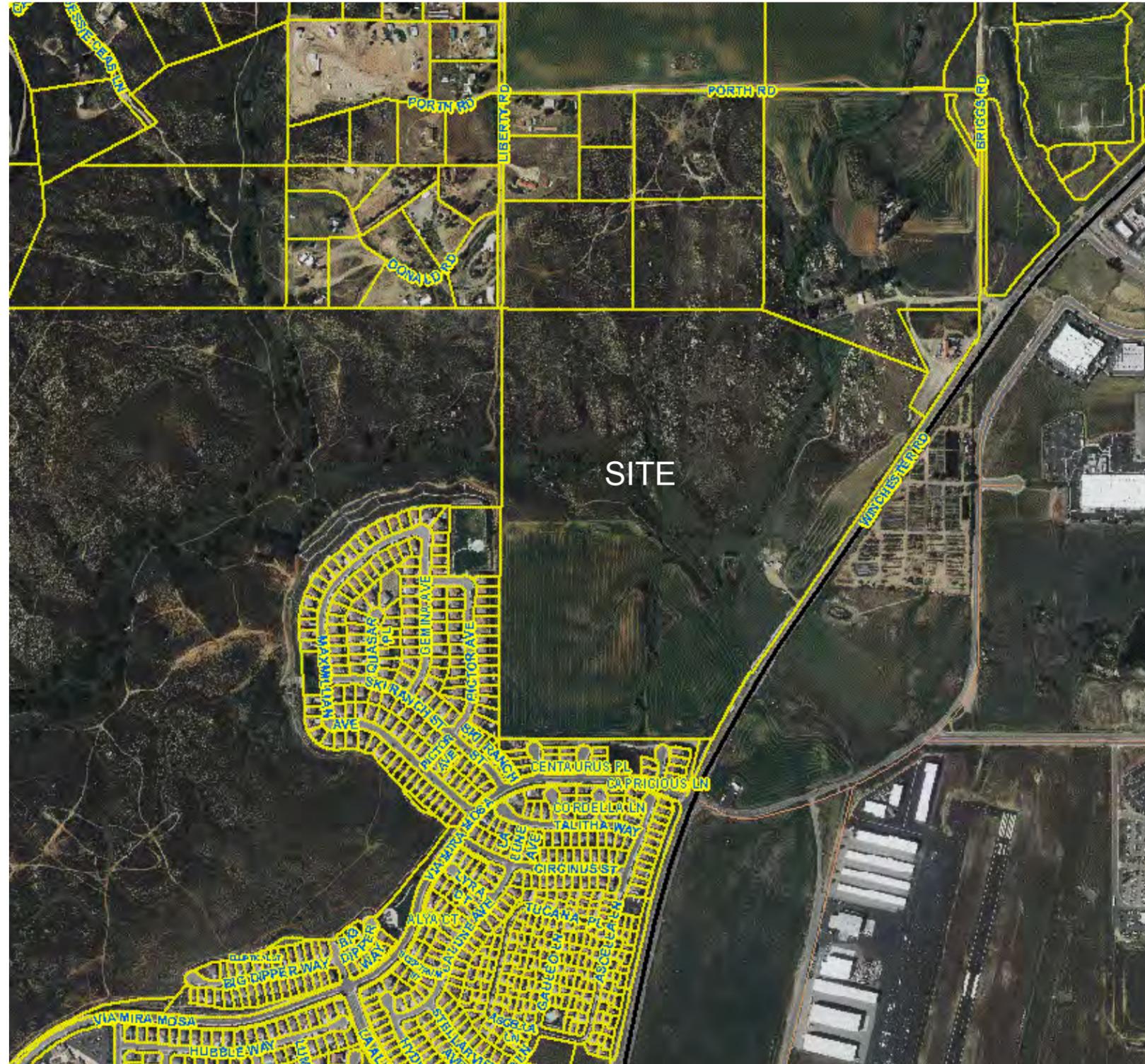
**e. Specific Plan Site**

As shown in Figure I-4, *Aerial Photograph*, the Specific Plan Area Project site is currently vacant. The site is bordered to the north by open space and residential uses to the south and west, and Winchester Road to the east. The Assessor Parcel Number (APN) for the Specific Plan Area is shown of Figure I-5, *Assessor's Parcel Number Map*.

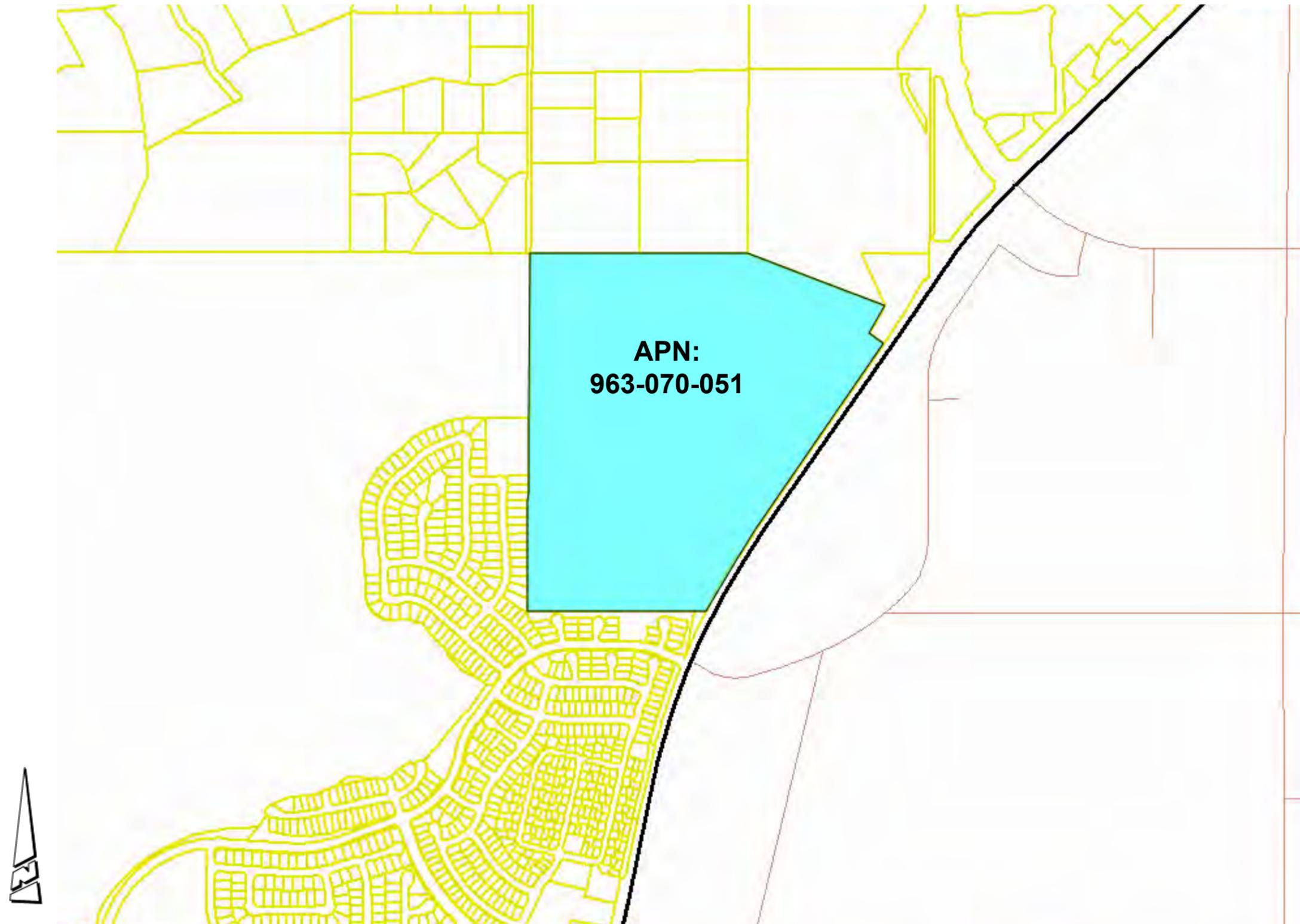
The Specific Plan site is located less than one mile east of the Hogbacks, an area of rocky hills with an elevation of approximately 1,700 feet above mean sea level (amsl). Elevation in the study area ranges from approximately 1,300 to 1,365 feet amsl. Please reference Figure I-6, *Site Relief Map*. The higher elevations within the Specific Plan site contain areas which have historically been dry farmed and rocky outcrops which were used for cattle grazing; the lower elevations consist of stream/riparian corridors. The streams, located on the Specific Plan site, are upper tributaries to Warm Springs Creek, which flows into Murrieta Creek approximately 5 miles southwest of the Specific Plan site. Murrieta Creek is tributary to the Santa Margarita River, which eventually flows into the Pacific Ocean approximately 35 river miles from the Specific Plan site.

**C. Document Purpose**

The Adobe Springs Specific Plan (Specific Plan) establishes standards and guidelines for the master-planning of the community of Adobe Springs. A specific plan is defined by government code as a tool for the systematic implementation of the general plan for all or part of the area covered by the general plan. It effectively establishes a link between implementing policies of the general plan and the individual development proposals in a defined area. To an extent, the range of issues that is contained in a specific plan is left to the discretion of the decision-making body. However, all specific plans, whether prepared by a general law city or county, must comply with §65450 - 65457 of the Government Code. These provisions require that a specific plan be consistent with the adopted general plan of the jurisdiction within which it is located. In turn, all subsequent subdivision and parcel maps, all development, all public works projects, and zoning ordinances within an area covered by a specific plan must be consistent with the specific plan.



Source: City of Murrieta GIS Data Search, 2012 Aerial





SITE RELIEF MAP - FIGURE I-6

**D. Format**

This Specific Plan document is divided into the following sections:

- I. Introduction/Executive Summary;
- II. Specific Plan;
- III. Planning Area Standards/Guidelines and Zoning Standards;
- IV. Design Guidelines; and
- V. Land Use Regulations.

The Specific Plan has been prepared pursuant to the provisions of California Government Code Section 65450, which grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan for the purpose of establishing systematic methods of implementation of the agency's General Plan. California Government Code Sections 65450 through 65454 establishes the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandate consistency with the General Plan. According to Section 65450, a Specific Plan shall include a text and a diagram or diagrams which specify all of the following details:

- The distribution, location, and extent of the uses of land within the area covered within the Specific Plan Area;
- The distribution, location, extent, and intensity of major circulation and utility services to be located within the plan area or that will be needed to service the Specific Plan Area;
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable;
- A schematic program of implementation measures indicating how public services will be financed; and
- A statement of the specific plan's relationship to the general plan.

California state law also provides for the inclusion of any other subject that, in the judgment of the local planning agency, is deemed necessary or desirable to implement the general plan, such as architectural or landscape design guidelines.

In response to government requirements, the Specific Plan has been prepared to provide the essential link to the policies of the City of Murrieta General Plan. By functioning as a regulatory document, the Specific Plan provides a means of implementing and detailing the City's General Plan. In this regard, all future development plans or other similar entitlements shall be consistent with regulations set forth in this document and applicable City regulations. The Specific Plan is designed to address site specific issues such as building setbacks and visual appearance, as well as community-wide concerns such as circulation and provisions for utilities. The Specific Plan also ensures that new development meet or exceed standards for environmental safety, infrastructure, and site planning while providing provisions for the maintenance of aesthetic quality and community identity.

**E. Discretionary Actions and Other Approvals**

The City of Murrieta is the Lead Agency for the Specific Plan, under whose authority this Specific Plan has been prepared. This City of Murrieta approval authority is as follows:

**1. City of Murrieta Planning Commission**

- Recommendation to the City Council regarding adoption of the Specific Plan by Resolution.
- Recommendation to the City Council regarding approval of Amendment No. 2014-290 to the General Plan by Resolution.
- Recommendation to the City Council regarding approval of Change of Zone No. 2014-289 by Ordinance.
- Recommendation to the City Council regarding certification of EIR No. 2014-291 by Resolution.
- Recommendation to the City Council regarding approval of TPM 36733 by Resolution.
- Recommendation to the City Council regarding approval of TTM 36779 by Resolution.
- Recommendation to the City Council regarding approval of Development Plan DP-2015-616 by Resolution.
- Recommendation to the City Council regarding Williamson Act Diminishment.

**2. City of Murrieta City Council**

- Adoption by Resolution of SP 21 (SP-2015-615).
- Adoption by Resolution of General Plan Amendment No. 2014-290.
- Adoption by Ordinance of Change of Zone No. 2014-289.
- Adoption by Resolution of EIR No. 2014-291.
- Approval of TPM 36733.
- Approval of TTM 36779.
- Approval of Development Plan DP-2015-616.
- Approval of Williamson Act Diminishment.

Subsequent actions may include final tract maps, development plan permit applications, conditional use permits, grading permits, water and sewer systems, and encroachment permits.

**3. Others**

- Airport Land Use Commission ZAP1064FV15.
- Williamson Act Diminishment.

**F. Jurisdictional Setting**

The Specific Plan Area is located within the jurisdiction of the following government agencies, departments, districts, and policy areas:

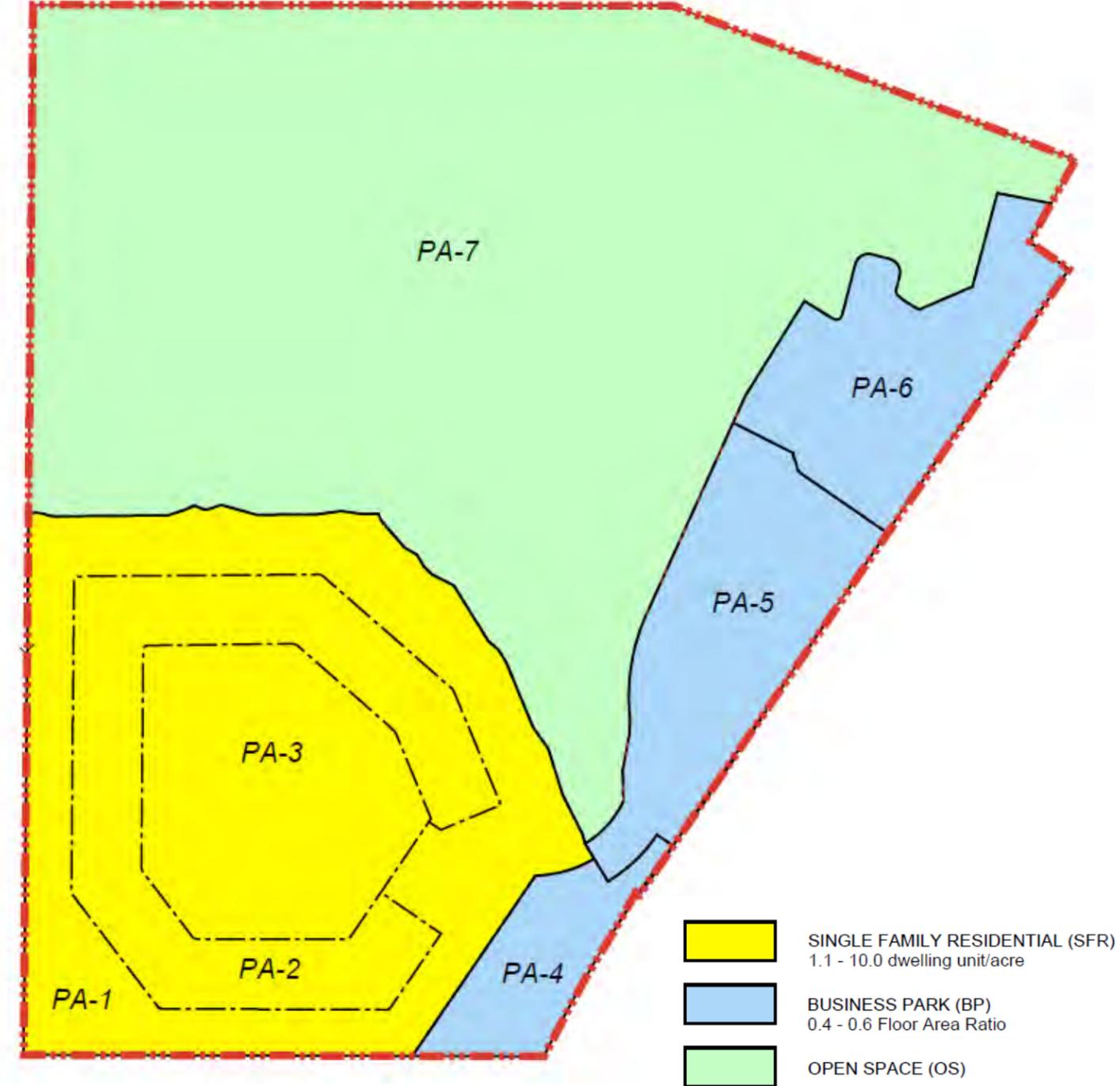
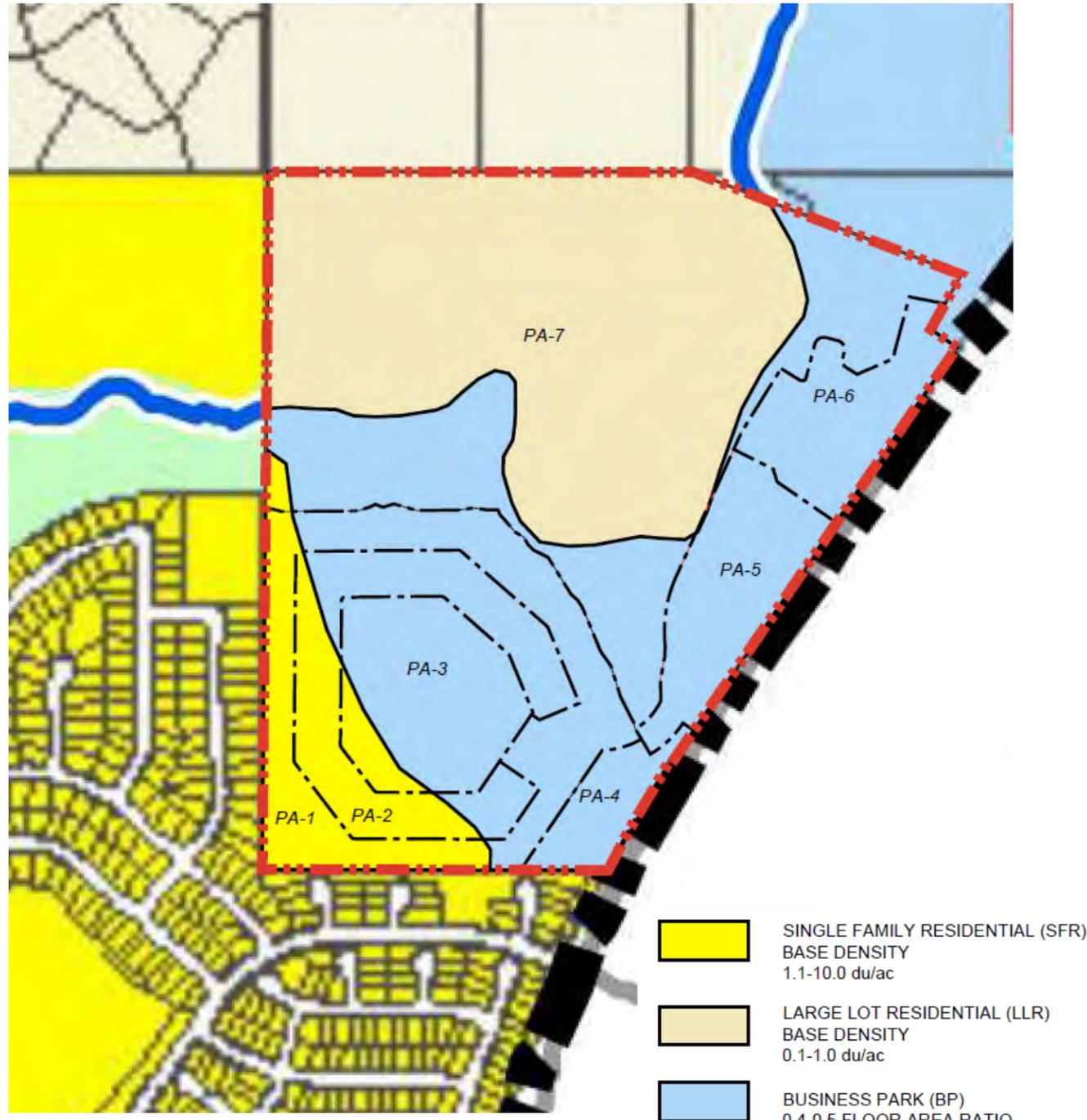
- City of Murrieta
- Murrieta Fire Protection District
- Riverside County Flood Control and Water Conservation District
- Eastern Municipal Water District
- Murrieta Valley Unified School District
- French Valley Airport Influence Policy Area

- Western Riverside County Regional Conservation Authority (Joint Project Review approved in April, 2015)

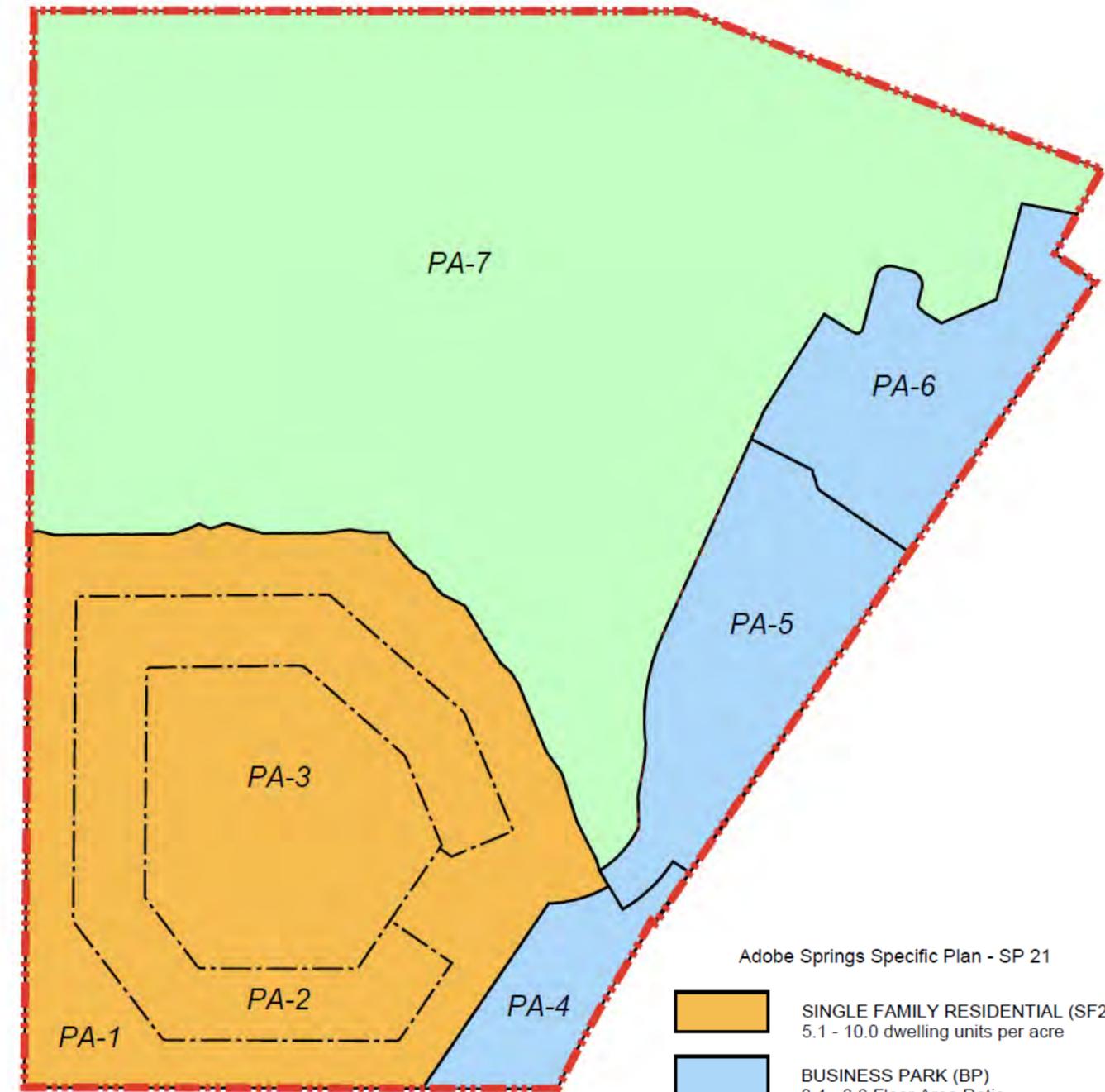
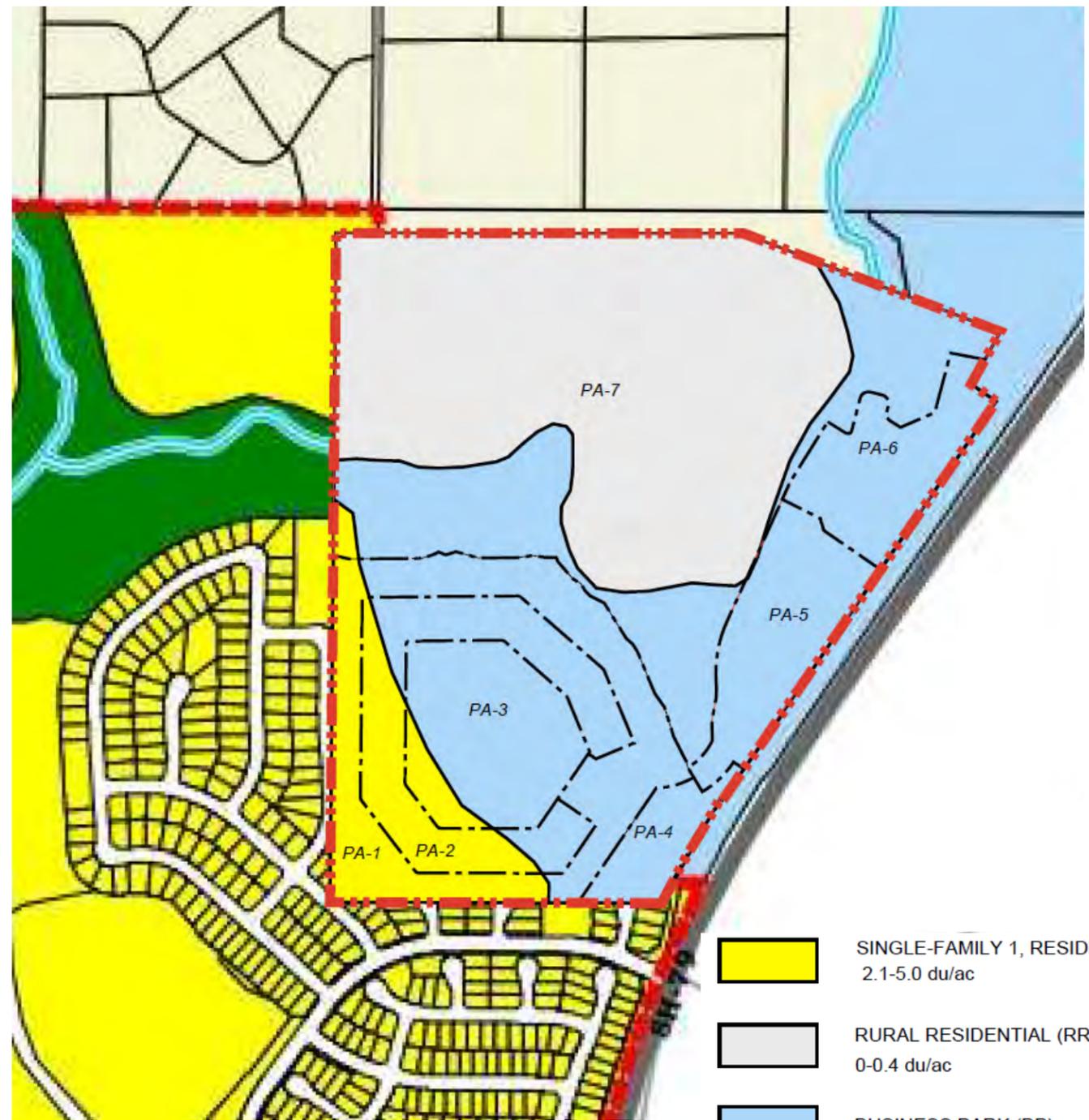
### **G. General Plan Land Use and Zoning Designations**

The Specific Plan Area is designated by the Murrieta General Plan as “Single Family Residential (SFR) and Business Park (BP).” Upon approval of the Specific Plan, land use designations will be consistent with the Specific Plan Land Use Plan, which is indicated on Figure I-1, *Specific Plan Land Use Plan*. The Specific Plan will include “Business Park”, “Single Family Residential” and “Open Space” Land Use designations. Please reference Figure I-7, *Existing and Proposed General Plan Land Use Maps*.

The Specific Plan Area is zoned “Single Family Residential, 2.1-5.0 dwelling units per acre, (SF-1)”, “Rural Residential, 0-0.4 dwelling units per acre, (RR)”, and “Business Park (BP)”. Upon approval of the Specific Plan, zoning for the entire community will become Specific Plan No. 21 and will be developed in accordance with Figure I-8, *Existing and Proposed Zoning Designations*.



**EXISTING AND PROPOSED  
GENERAL PLAN LAND USE MAPS - FIGURE I-7**



**EXISTING AND PROPOSED ZONING DESIGNATIONS - FIGURE I-8**

**H. Planning Objectives**

Many important issues were thoroughly examined and considered during the preparation of the Specific Plan. City General Plan goals and MSHCP criteria were considered during the planning process. In order to ensure the functional integrity, economic viability, environmental sensitivity, and positive aesthetic contribution of the community, specific planning and development goals for the community were established and supported by this extensive analysis. With these goals in mind, the following objectives have been established for the Specific Plan:

- Develop a master-planned community consistent with City planning objectives for business park and residential uses.
- Ensure that residential planning areas are located in proximity to services, transportation links and recreational amenities.
- Provide drainage improvements that will be consistent with the goals and objectives of the State Water Resources Control Board and MS4 permitting.
- Promote walkability and recreational uses throughout the community.
- Establish recreational facilities capable of serving Adobe Springs.
- Implement housing type diversity by providing a multiple varieties of single-family residential homes designed to be marketable within the evolving economic profile within the City of Murrieta.
- Establish a community-wide circulation system.
- Provide recreational opportunities.
- Develop guidelines for architecture, landscaping, color treatments, paving, walls, fencing, signage, and entry treatments that create a consistent community theme.
- Develop an environment that is visually attractive, efficiently and effectively organized, and includes a pleasing landscape palette that incorporates drought tolerant requirements.

**I. Financing Mechanisms**

All specific plans must contain a "program of implementation measures including regulations programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3)" pursuant to Government Code §65451(a)(4). Common strategies are to include a form of an overlay-zone or other zoning-like regulations as part of the implementation program. Implementation of public infrastructure and facilities policy is also commonly accomplished through the inclusion of a capital improvements program.

The major infrastructure costs for the Specific Plan and off-site areas will be financed through appropriate funding mechanisms acceptable to the City of Murrieta. This may include private financing; community facilities district(s); the formation of one or more assessment district(s); the application of funds from certain County, State and other agency fee programs; and/or other acceptable financing mechanism available to the City.

## II. SPECIFIC PLAN

### A. Land Use Plan

#### 1. Development Concept

The Adobe Springs Specific Plan (Specific Plan) establishes a master-planned community consisting of single-family residential, business park, and open space land uses. With a total of 283 detached residential units with three (3) distinct product types and 14.2 acres of business park, the community will serve a variety of ages, income levels, and lifestyles.

Planning Areas (PA) within the Specific Plan were formed on the basis of environmental constraints, existing uses, logical placement and neighborhood scale. Criteria considered in this process included City planning objectives, drainage systems, existing flood control facilities, existing sewer facilities, desired home types and compatibility between land uses.

Home types include:

- Single-Family Detached: Traditional

Traditional homes are considered single-family, detached homes, typically with an attached 2-car garage.

Residential densities are approximately 7.9 dwelling units per acre, consistent with the City's General Plan designations of Single Family Residential 1.1 – 10.0 du/ac). Reference Figure I-1, *Specific Plan Land Use Plan*.

Planning Areas 1, 2, and 3 (PA1, PA2, and PA3) are approximately 14.9 acres, 11.3 acres, and 10.0 acres, respectively, totaling approximately 36.2 acres. They are designated as Single Family Residential (SFR) development. These Planning Areas are located in the south/southwestern portion of the Specific Plan, adjacent to the existing residential development.

Planning Areas 4 (PA4), 5 (PA5), and 6 (PA6) are approximately 2.6 acres, 5.1 acres, and 6.5 acres, respectively, totaling approximately 14.2 acres. All three Planning Areas are designated Business Park. All three PAs are located within Compatibility Zones C and D of the French Valley Airport Land Use Compatibility Plan. PA4 is located adjacent to existing and proposed single-family residential development. Development within PA4, PA5, and PA6 will be consistent with Section 16.12, *Business Park and Industrial Districts* of the Murrieta Development Code; however, uses will be modified as part of the Specific Plan to insure consistency with the Airport Compatibility Zones, as well as address appropriate land uses and buffering when adjacent to existing and proposed single-family residential development.

Planning Area 7 (PA7) is approximately 66.8 acres and is designated as Open Space (OS). Overall, approximately 53% of the Project site will be designated as open space in the Specific Plan. This acreage does not include any potential private open space uses/acreage that will be located in the residential planning areas - PA's 1, 2, and 3.

Specific information on each of the planning areas within the Specific Plan is provided in Table II-1, *Detailed Land Use Summary*. The land uses within the community are as follows:

**a. Residential**

Residential planning areas account for 36.2 acres of the Specific Plan Land Use Plan and provide for 283 dwelling units at a net target residential density of 7.9 dwelling units per acre. Planning areas are defined as neighborhoods that provide for one residential project type and are discussed in greater detail in Section III, *Planning Area Development Standards*. In conformance with Project goals, a variety of housing styles and sizes are included, appealing to a range of future residents. The Specific Plan Land Use Plan provides a variety of residential land use densities and allows for varying housing opportunities as described below:

**Table II-1  
Detailed Land Use Summary**

PA	Land Use	Acres	Target Density du/ac	Target Dwelling Units	Units Permitted by General Plan Range
1	Single Family Residential	36.2	5.1-10.0	283	1.1-10.0
2	Business Park	14.2	--	--	
3	Open Space – (Open Space Conservation)	66.8	--	--	N/A
--	Open Space – Recreation (Private) <sup>1</sup>	--	--	--	N/A
--	Circulation	4.8	--	--	N/A
<b>Project Totals</b>		<b>122</b>	<b>7.9</b>	<b>283</b>	<b>--</b>

<sup>1</sup> 2.19 acres - included in Single-Family Residential acreages.

- **Single Family Residential (5.1-10.0 du/ac):** A total target of 283 Single Family Residential dwelling units is planned on 36.2 acres of land at an average density of 7.9 dwelling units per acre in PA1, PA2, and PA3. This density range provides for single-family detached residences. Home types within this residential density range may consist of, but not be limited to, dwelling units such as:
  - Single-Family Residential: Traditional

**b. Business Park Area**

Business park land uses will be permitted on approximately 14.2 acres. Development within PA4, PA5, and PA6 will be consistent with Section 16.12, *Business Park and Industrial Districts* of the Murrieta Development Code; however, uses will be modified as part of the Specific Plan to insure consistency with the Airport Compatibility Zones, as well as address appropriate land uses and buffering when adjacent to existing and proposed single-family residential development. The potential exists for condominium development in PAs 4 through 6. Business park condominium developments will require the submittal of Tentative Map and Development Plan Applications.

**c. Open Space – Recreation**

Planning Area 7 (PA7) is approximately 66.8 acres, and is designated Open Space (OS). PA7 is located along the northern portion of the project site. Overall, there is approximately 66.8 acres, or 53% of the Project site, designated as open space in the Specific Plan. This acreage

does not include any potential private open space uses/acreage that will be located in the residential or business park planning areas - PAs 1 through 6.

Detailed descriptions of recreational areas and open space are provided in Section III, *Planning Area Development Standards*, and Section IV, *Design Guidelines*.

### **2. Project Wide Land Use Development Standards**

To ensure the orderly and sensitive development of land uses proposed for the Specific Plan, development standards have been prepared for each planning area, which will assist in efficiently implementing the proposed development. In addition to these specific standards, Project-wide development standards also have been prepared to complement the diverse conditions within each planning area. These general standards are as follows:

1. The Specific Plan shall be developed with a maximum of 283 dwelling units on 36.2 acres, as illustrated on Figure I-1, *Specific Plan Land Use Plan*. General uses permitted include residential, open space, recreation, and business park as provided for in the Land Use Plan and in the individual Planning Area Figures (Figures III-1 through III-7). A target number of dwelling units is specified for each residential planning area.
2. Uses and development standards are in accordance with the Specific Plan Zoning Ordinance. Uses and development standards are also defined by Specific Plan objectives; the Specific Plan design guidelines; and future detailed development proposals including subdivisions, plot plans, and/or conditional use permits.
3. A minimum of fifteen percent (15%) of all single-family dwelling structures within the Specific Plan shall be required to comply with the most current version of Chapter 15.12 of the City of Murrieta Municipal Code (City of Murrieta Universal Design Residential Dwellings) pertaining to design standards for accessibility.
4. As a requirement of the California Solid Waste Reuse and Recycling Act of 1991, the Specific Plan shall provide adequate areas for collection and loading recyclable materials. The exact locations shall be determined at the Development Plan stage for the Business Park planning areas.
5. Standards regarding signage, landscaping, and other related design elements will conform to the City's Sign Ordinance and the Specific Plan. When appropriate and necessary to meet the goals of the Specific Plan, the standards contained within this document will exceed or supersede the City's Sign Ordinance requirements. In addition, a Specific Plan Zoning Ordinance for the Specific Plan will be recorded concurrently with the Specific Plan.
6. Development of the property shall be in accordance with the Specific Plan. Where there is a discrepancy between the City's Zoning, Subdivision Ordinance, and this Specific Plan, the City's Zoning and Subdivision Ordinance shall prevail.
7. Except for the Specific Plan Zoning Ordinance adopted concurrently with the Specific Plan, no portion of the Specific Plan, which purports or proposes to change, waive, or modify any ordinance or other legal requirement for the development, shall be considered to be part of the adopted Specific Plan.

8. Common areas identified in the Specific Plan (please refer to Figure II-11) shall be owned and maintained as follows:
  - A permanent residential master maintenance organization shall be established for the Specific Plan area to assume ownership and maintenance responsibility for all common open space, common slopes, water quality basins, the recreation center, and common landscaped areas.
  - A business park master maintenance organization shall be established for the Specific Plan area to assume ownership and maintenance responsibility for all common open space, common slopes, parking areas, and common landscaped areas. Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization concurrent with the approval of an implementing development or a conveyance subdivision is recorded.
  - The maintenance organization shall be established prior to, or concurrent with, the issuance of the first certificate of occupancy for the Business Park. The ownership and maintenance responsibility shall be identified for each open space lot at the time Tentative Subdivision Maps are filed.
9. Prior to issuance of a building permit for construction of any use contemplated by this Specific Plan approval, the applicant shall first obtain clearance from the City of Murrieta Planning Department verifying that all pertinent conditions of the Specific Plan approval have been satisfied for the phase of development in question.
10. A review in compliance with the California Environmental Quality Act (CEQA) shall be conducted to determine potential environmental impacts resulting from each tract, change of zone, plot plan, specific plan amendment, or any land use application required to implement the Specific Plan. If it is determined that said proposal is determined to be consistent with the Specific Plan EIR, there is the potential that no additional environmental documentation may be required. The CEQA review shall be prepared as part of the review process for these implementing projects.
11. Lots created pursuant to any subsequent tentative maps shall be in conformance with the development standards of the Specific Plan zone herein applied to the property.
12. Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures, and circulation (vehicular and pedestrian).
13. If necessary, roadways, infrastructure, and facilities may be coordinated by and paid for through an assessment or community facilities district or community service area to facilitate construction, maintenance, and management.
14. The potential exists for condominium development in PAs 4 through 6. Business park condominium developments will require the submittal of Tentative Map and Development Plan Applications.
15. Designation, dedication, and/or payment of fees for parkland/open space will be based on the final number of dwelling units and corresponding population generated by each pertinent tract within the Specific Plan (as adopted by the City of Murrieta City Council, unless otherwise amended) and will satisfy both City and State requirements for parkland. The acreage is set forth on Figure II-8, *Open Space and Recreation Plan*, Table II-2, *Open Space and Recreation Land Use Summary*, and Table II-3, *Quimby Act Required Parkland*.

16. Prior to the issuance of building permits, improvement and irrigation plans for adjacent common areas shall be submitted for Planning Department approval. Irrigation plans shall be certified by a landscape architect.
17. Landscaping within the community shall conform to Section IV, *Design Guidelines*, of this Specific Plan and be drought-tolerant, water-efficient, and conform to the regulations set forth in City's Water-Efficient Landscaping Requirements.
18. For the security and safety of future residents, the applicant and/or developer shall incorporate the following design concepts within each individual tract:
  - Circulation for pedestrians, vehicles, trash trucks, fire trucks and police patrols.
  - Lighting of streets and walkways.
  - Visibility of doors and windows from the street and between buildings, where practical.
  - Fencing heights and materials which are the developer's responsibility.
19. The following crime prevention measures shall be considered during site and building layout design, in addition to those above, for the security and safety of future residents:
  - Addresses which light automatically at night.
  - Special lighting requirements or kiosk signage for any buildings that are grouped in such a way that individual addresses are difficult to read.
  - Front doors into residences that front toward or are visible from the street and allow for easy drive-by surveillance by law enforcement personnel, where practical. Other design options may be considered by the City.
20. Development within the community shall conform to most current version of the California Building Code (CBC) and Fire Hazard Severity Zone (otherwise known as the Wildland-Urban Interface Fire Area), including, but not limited to, Title 24, Chapter 2-71, of the California Administrative Code to ensure accessibility to handicapped individuals (at permit issuance).
21. All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of the City's Subdivision and Fire Code Standards Ordinances, subject to approval by the City Fire Department.

## B. Circulation Plan

### 1. Vehicular Circulation Plan

#### a. Description

A roadway concept has been developed for the Specific Plan, as illustrated on Figure II-1, *Vehicular Circulation Plan*. The primary objective of the Circulation Plan is to meet the vehicular travel needs of the Specific Plan by providing direct and convenient access to individual planning areas through a safe and efficient network of roadways.

The Specific Plan will take its primary access off of Winchester Avenue (184' right-of-way). Street "A" is the Project entry from Winchester Road and allows access into PA6; it will have a 78' right-of-way (ROW). Street "B" is adjacent to PA's 4 and 5 and provides access into the residential portion of the site; it will have a 66' ROW.

All other Circulation Plan streets will provide circulation throughout the Specific Plan, into the various Planning Areas, via a network of on-site private streets. Streets with sidewalks on one side and no parking are anticipated to have a 32' ROW with a 4' sidewalk on one side. Streets with sidewalks on one side that include parking are 40' wide with an 8' parking lane on one side and a 4' sidewalk on the opposite side.

There will also be a 28' right-of way emergency access street on the west side of the Project and a 26' right-of way emergency access street on the south side. These shall be gated and shall only allow access for emergency vehicles..

The vehicular circulation plan includes several roadway sizes and classifications as described below, illustrated in Figure II-2a, *Roadway Cross-Sections*, and Figure II-2b, *Roadway Cross-Sections*.

- **Project Roadways:** The following roadways will be entirely funded and constructed to their full right-of-way (or half-width right-of-way) by the Owner.
  - **Winchester Road – 6-Lane Expressway (184' ROW):** Winchester Road creates the Project's eastern boundary and is designated as a 6-Lane Expressway with a maximum public ROW of one hundred eighty-four feet (184') and an eight-foot (8') meandering sidewalk. This Expressway provides east/west access between Interstate 15 and Interstate 215. During Phase I, the Project will construct Winchester Road according to the City of Murrieta Engineering Standards, per Project conditions of approval, and per Caltrans requirements at the time of construction, to include, but not be limited to, multimodal accessibility.
  - **Street "A" (78' ROW):** Street "A" provides entry into the Project from Winchester Road and allows access into PA6. Street "A" has a maximum public ROW of seventy-eight feet (78'), with fifty-six feet (56') of pavement, and an eleven-foot (11') wide parkway on both sides of the street. It is anticipated that a six-foot (6') sidewalk will be located within the eleven-foot (11') wide parkway. Street "A" will be constructed during Phase I including sidewalks and landscaping improvements on both sides of the street.
  - **Street "B" (66' ROW):** Street "B" is the continuation of Street "A" and runs adjacent to PA's 4 and 5 providing access into the residential portion of the site. Street "B" will

have a maximum public ROW of sixty-six feet (66'), with forty-eight feet (48') of pavement, a twelve-foot (12') wide parkway on the east side of the street, and a six-foot (6') wide parkway on the west side of the street. It is anticipated that a six-foot (6') sidewalk will be located on both sides of the street. A six-foot (6') wide bike lane will be provided on the west side of the street. There will be a continuous turn lane within the business park section of Street "B". Street "B" will be constructed during Phase I, including sidewalks and landscaping improvements on both sides of the street.

- On-Site Private Streets: These streets are located within the individual planning areas, and are part of the circulation network as depicted on Figure II-1, *Vehicular Circulation Plan*. There will be two (2) variations of design of these streets:
  - With sidewalk on both sides – parking on one side 40' ROW
  - With sidewalk on one side – no parking 32' ROW

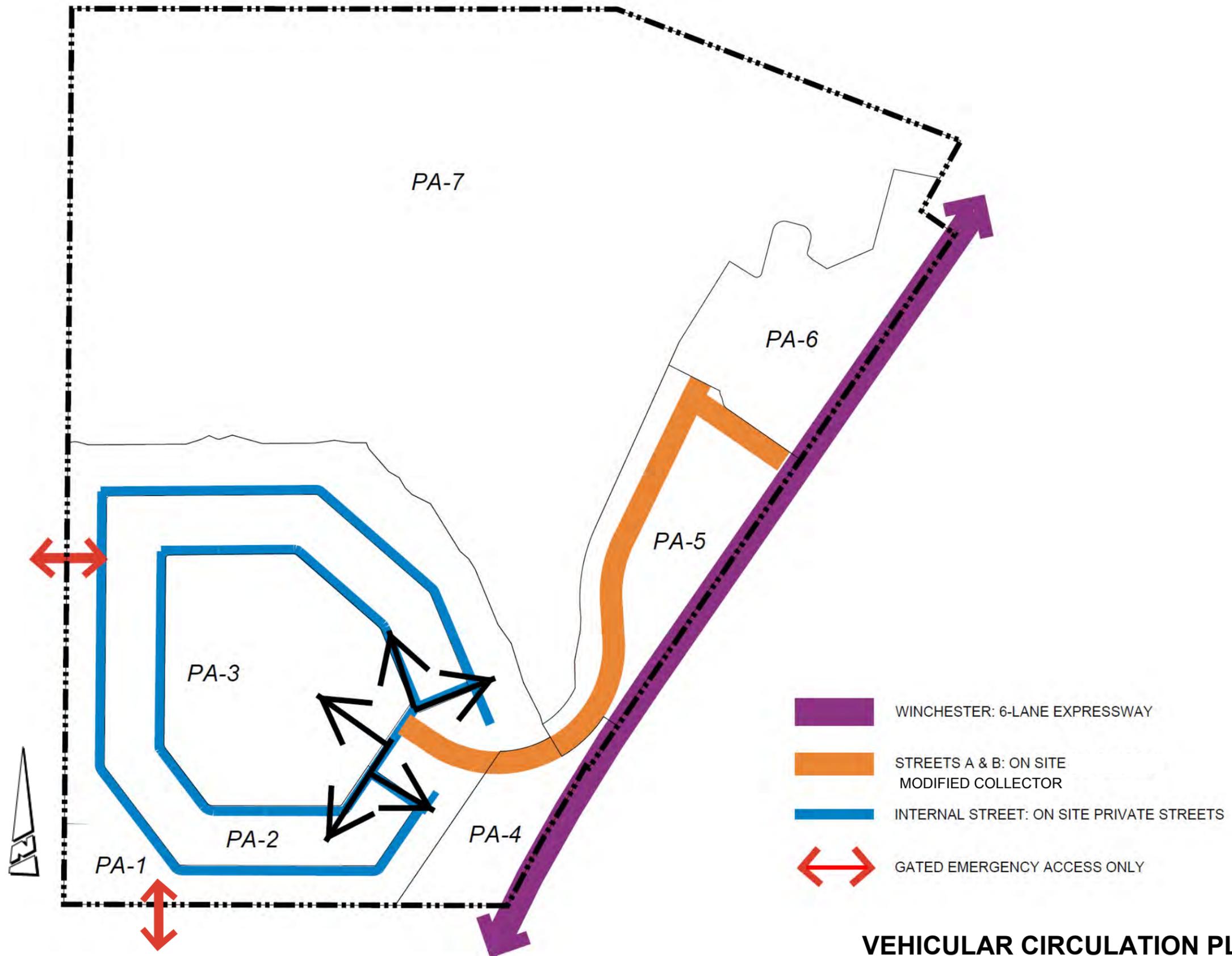
All sidewalks should be a minimum of four feet (4') wide.

- Cul-de-sacs: Cul-de-sacs, as designed within the Project, will have a maximum twenty-eight foot (28') ROW and a radius of thirty-five feet (35'), and will provide a maximum of five (5) parking spaces.

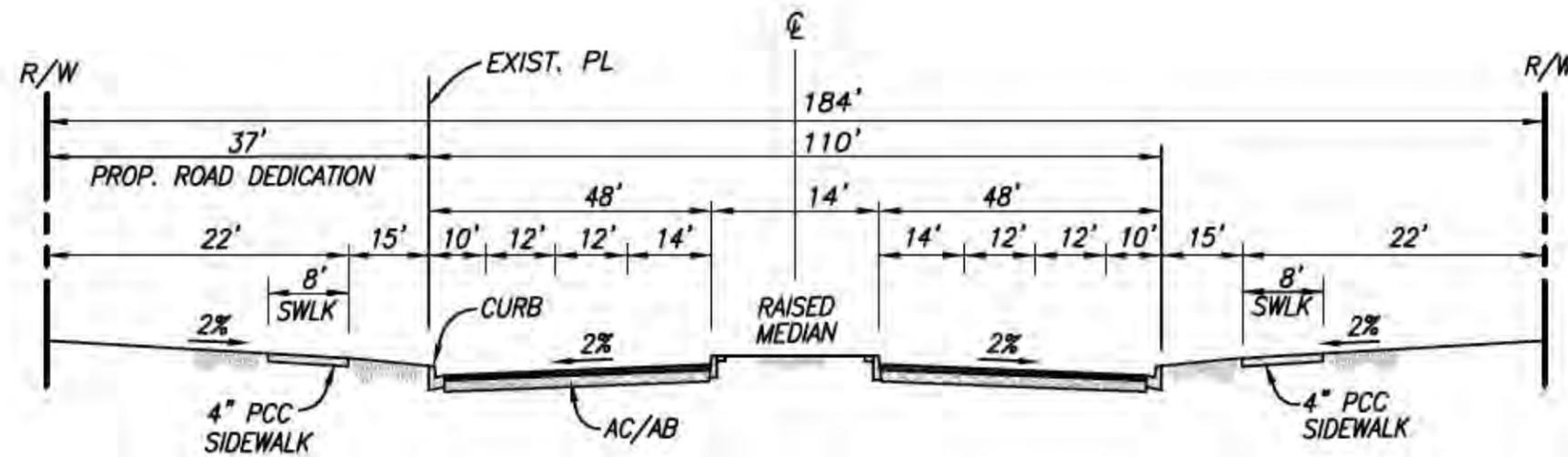
### **b. Vehicular Circulation Development Standards**

1. The Specific Plan Circulation Plan provides a traffic design that meets the needs of the community. Roadway improvements, depicted on Figure II-1, *Vehicular Circulation Plan*, will be constructed in accordance with the conceptual phasing plan depicted in Figure II-10, *Conceptual Phasing Plan*.
2. Landscape requirements shall be in accordance with the Roadway Landscape Treatments as depicted in Section IV, *Design Guidelines*. Please refer to the respective text and Figures within Section IV for details.
3. All roads within the Specific Plan boundary shall be constructed to appropriate City full- or half-width standards, and subject to approval by the City Engineer.
4. The Specific Plan shall comply with the conditions and requirements set forth by the City Engineer.
5. All typical sections shall be per the Specific Plan, or as approved by the Engineering Department.
6. All intersection spacing and/or access openings shall be as approved by the Engineering Department.
7. All access points shall conform to Engineering Department standard access spacing, depending upon the street's classification.
8. Circulation facilities will be maintained by the City of Murrieta, or by a private maintenance organization, depending on whether these facilities are public or private, respectively.

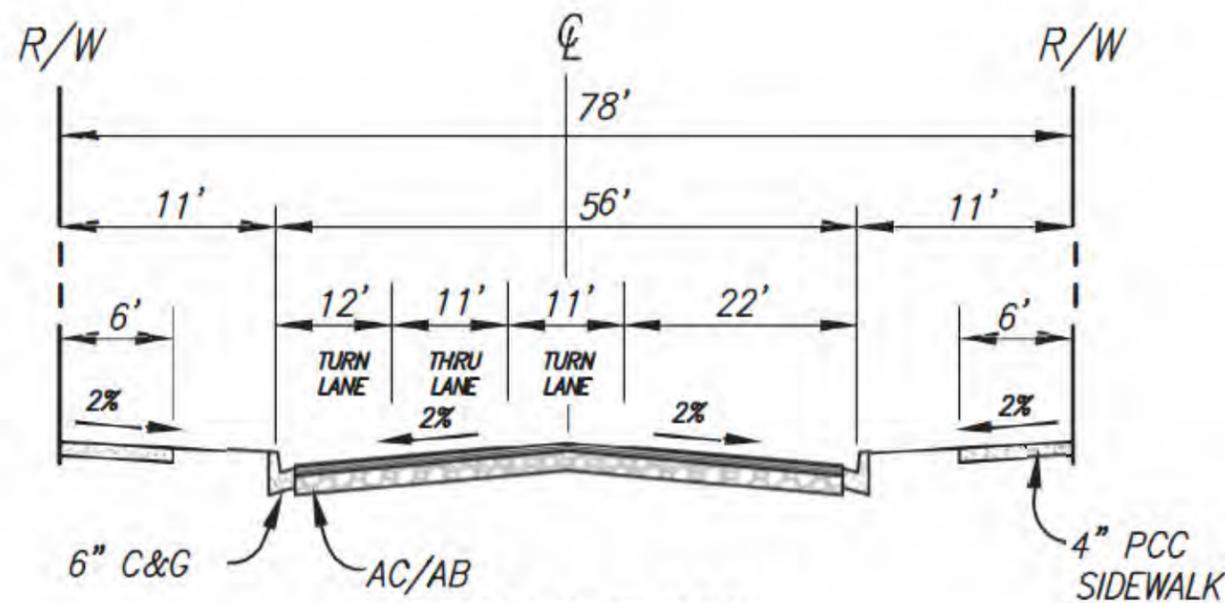
9. Any landscaping within public road rights-of-way will require approval by the Engineering Department and the Planning Department and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism.
10. No tract entry monuments or identification signs shall be permitted in the public right-of-way.
11. Transit support facilities (including bus turnouts, signage, benches, shelters, etc.) shall be located along arterial streets and local transit service routes, as required by the Riverside Transit Agency (RTA), in coordination with any and all affected agencies.



VEHICULAR CIRCULATION PLAN - FIGURE II-1

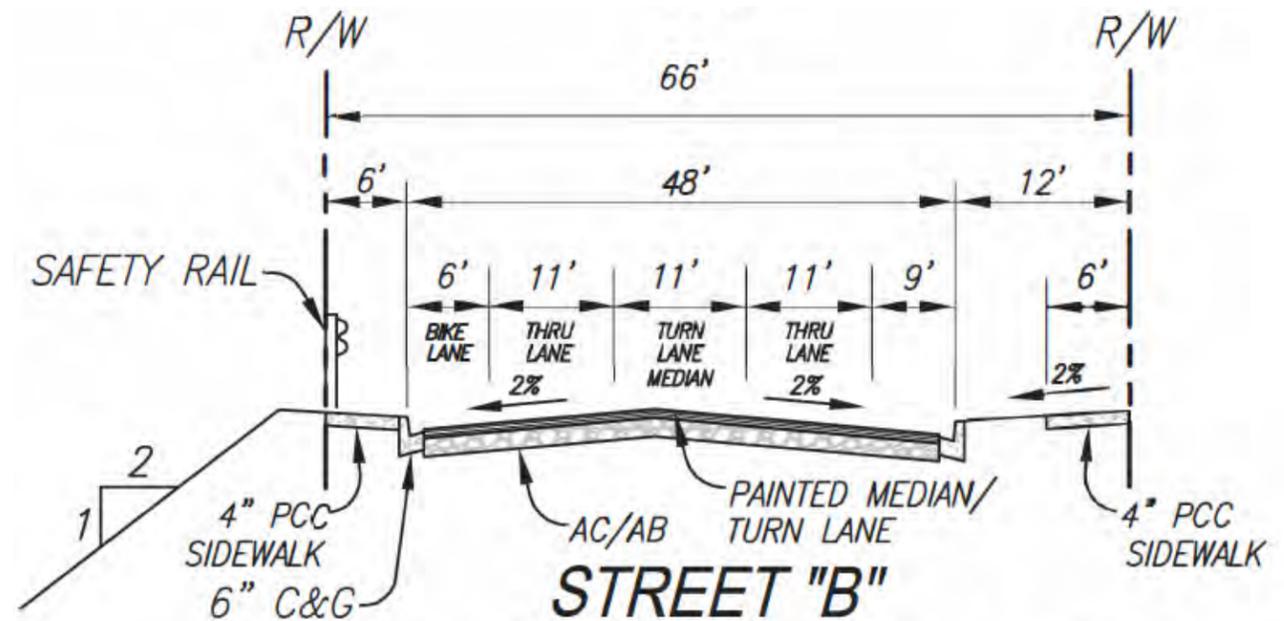


**WINCHESTER ROAD  
 ARTERIAL HIGHWAY**  
 N.T.S.



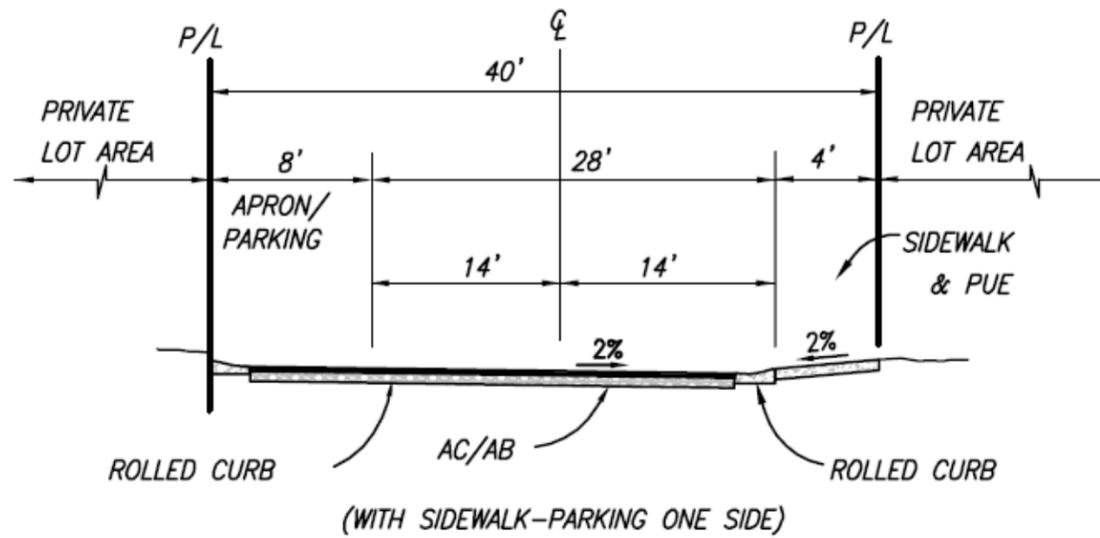
**STREET "A"  
 MODIFIED COLLECTOR STREET**

N.T.S.

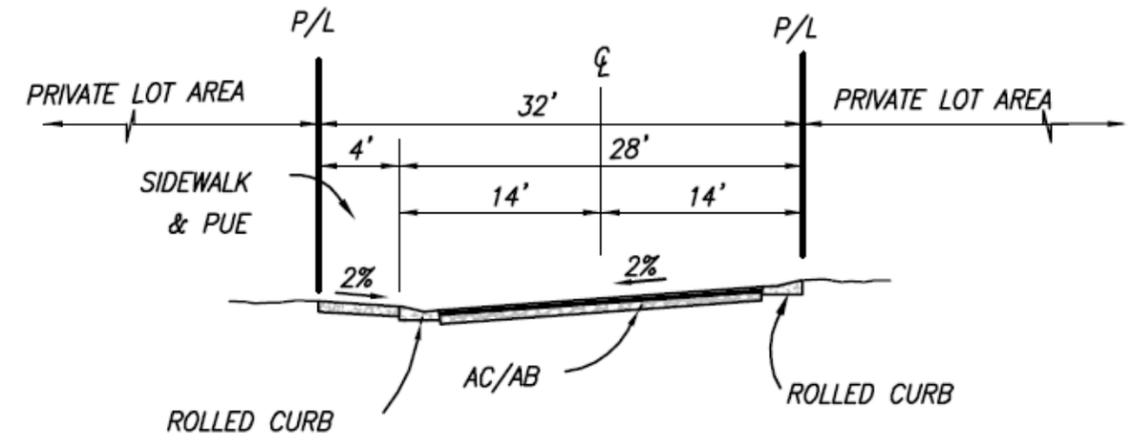


**STREET "B"  
 MODIFIED COLLECTOR STREET**

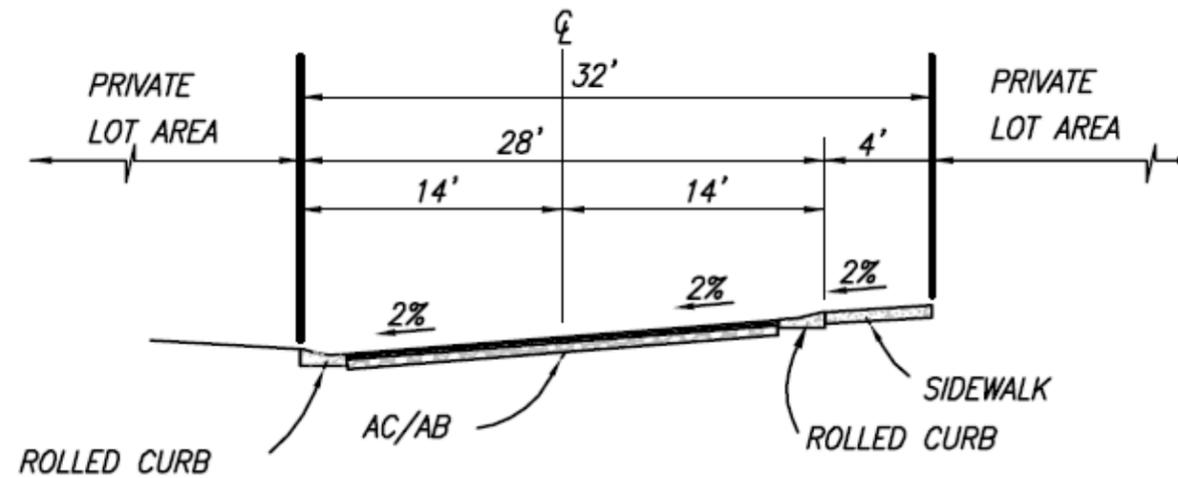
N.T.S.



(WITH SIDEWALK-PARKING ONE SIDE)  
**STREET "C", "D", "F", "G", "H", "I", "J", "K", "L" & "N"**  
**ON-SITE PRIVATE STREET**  
 N.T.S.



(WITH SIDEWALK ONE SIDE-NO PARKING)  
**STREET "D", "E" & "Q"**  
**ON-SITE PRIVATE STREET**  
 N.T.S.



(WITH SIDEWALK ONE SIDE-NO PARKING)  
**STREET "H", "G", "M" & "P"**  
**ON-SITE PRIVATE STREET**  
 N.T.S.

### 2. Non-Vehicular Circulation Plan Description

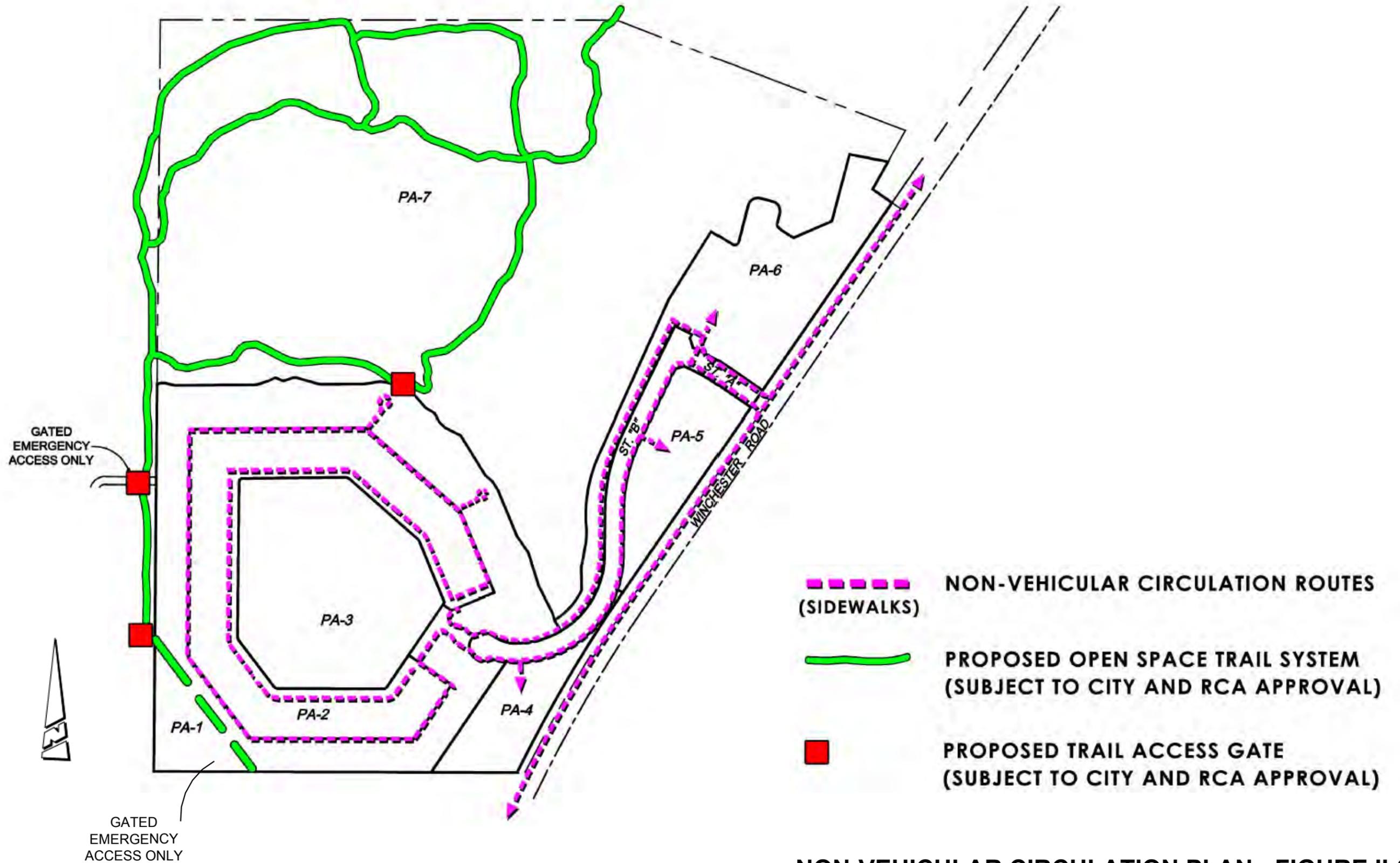
#### a. Description

As illustrated on Figure II-3, *Non-Vehicular Circulation Plan*, a comprehensive sidewalk system is planned within the Specific Plan and connects all residential neighborhoods to the recreational areas, the business park areas, and Winchester Road.

Sidewalks are provided along roadways and connect to recreational areas as well as business park planning areas. Sidewalks range from four feet (4') to six feet (6') in width and, with the exception of the Winchester Road streetscene, are generally curb separated throughout the Specific Plan. There is an eight-foot (8') wide meandering sidewalk along Winchester Road. Sidewalks consist of hard surface trail material or concrete surfaces for pedestrian use. Bicycle riding will be permitted on the local streets.

#### b. Non-Vehicular Circulation Development Standards

1. All sidewalks shall be developed pursuant to Figures II-2a and II-2b, *Roadway Cross Sections*, and Figure II-3, *Non-Vehicular Circulation Plan*.



NON-VEHICULAR CIRCULATION PLAN - FIGURE II-3

**C. Drainage Plan****1. Description**

The Specific Plan has been designed to conform to current City drainage requirements and design standards. The Specific Plan site will be graded to generally drain easterly and northerly via a proposed storm drain system. The storm-drain system then will be routed through a series of storm drain pipes and basins to clean and mitigate the flow volumes of the nuisance and storm water flows. These treated flows will be routed to a basin located in the conservation area to enhance the wetlands. Any outflow moving beyond that basin will continue into the Warm Springs Channel. The Warm Springs channel will continue to carry the flows westerly and northerly to Murrieta Creek. Rain barrels may be permitted on individual residential building envelopes and in PAs 4-6.

Refer to Figure II-4, *Master Drainage Plan*, for general information on the proposed drainage facilities, and the Project drainage report for detail and design calculations. Final engineering will be completed prior to recordation of the final map.

**2. Drainage Development Standards**

1. All drainage facilities will be designed and constructed in accordance with City of Murrieta standards and specifications.
2. The Murrieta Public Works Department will review the design of drainage facilities in conjunction with their review of the sewer and water facilities to ensure that there are no design conflicts between the proposed utilities.
3. The capital cost of all on-site facilities will be the responsibility of the applicant. Such facilities will be dedicated to City of Murrieta, RCA, a homeowner's association or property owner's association (if private system), or City Service Area for maintenance and operations.
4. All future entitlements (i.e. tentative tract maps, development plans, plot plans, etc.) within the Specific Plan area will be required to prepare a Water Quality Management Plan (WQMP) or addendum to the originally approved WQMP and a Storm Water Pollutant Prevention Plan (SWPPP) in accordance with the requirements of the National Pollutant Discharge Elimination System (NPDES) standards.
5. All projects proposing construction activities including: clearing, grading, excavation that results in the disturbance of at least one-acre total land area, or activity which is part of a larger common plan of development of one acre or greater, shall obtain the appropriate NPDES construction permit and pay the appropriate fees. All development within the specific plan boundaries shall be subject to future requirements adopted by the City to implement the NPDES program. Mitigation measures may include, but not be limited to: on-site detention; water quality basins; covered storage of all outside facilities; vegetated swales; monitoring programs; etc.



MASTER DRAINAGE PLAN - FIGURE II-4

**D. Master Water Plan****1. Description****a. Potable Water**

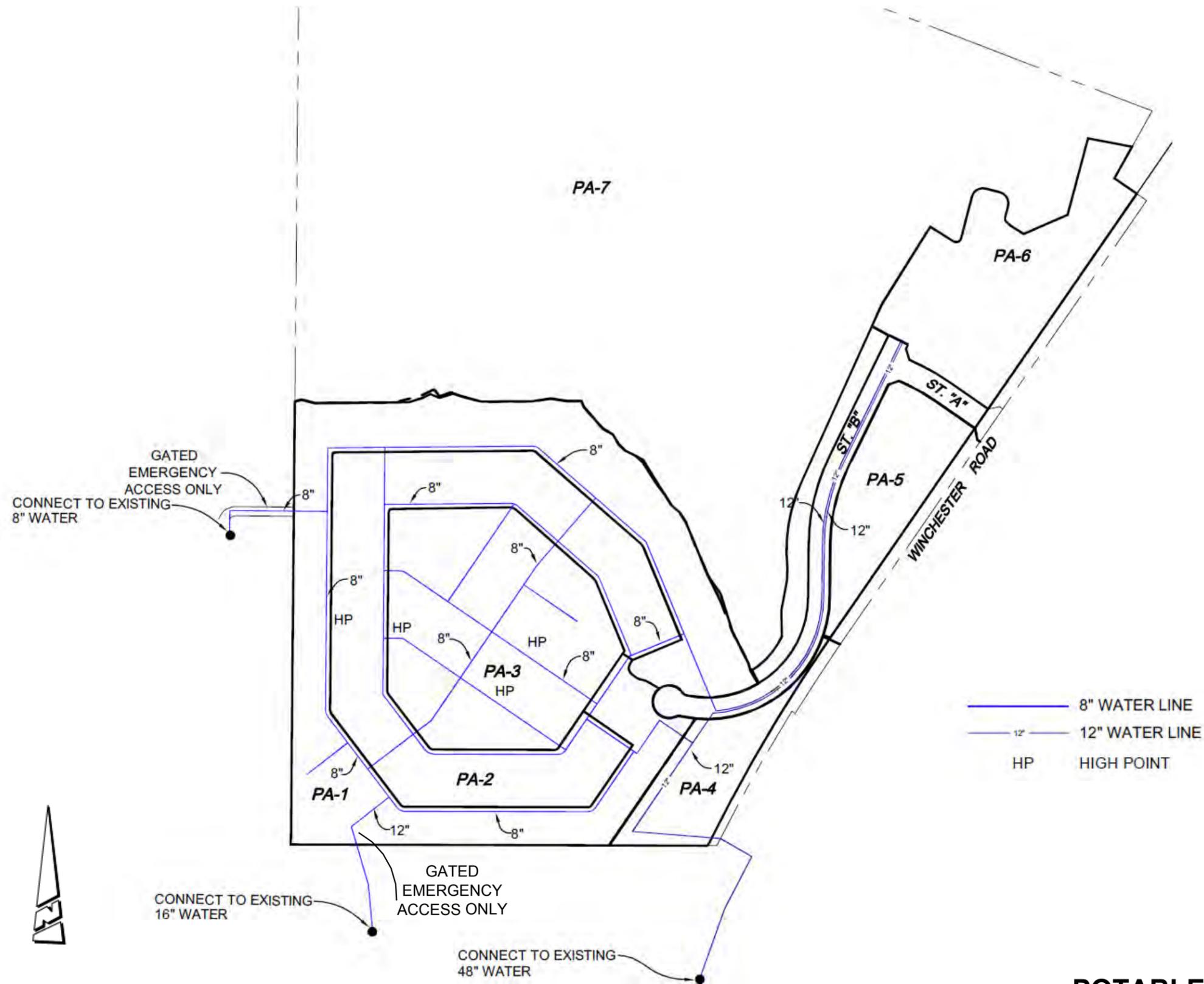
The Specific Plan will tie into a separate, existing 16" and 48" water lines within Winchester Road, extended off-site and southerly of the Specific Plan boundary. An 8" looped water line will be installed within PA1, PA2 and PA3. A 12" looped water line will be installed across the western boundary of PA4 and within Street "B" to service PA4, PA5 and PA6. Refer to Figure II-5, *Potable Water Plan*. Final engineering will be completed prior to recordation of the final map.

**b. Reclaimed Water**

There is an existing 24" reclaimed water line within Winchester Road. A 6" reclaimed water line will be installed in Street "A" and Street "B" to provide reclaimed irrigation water to the fuel modifications areas, recreation areas and Street "A" and "B" parkways. Refer to Figure II-6, *Reclaimed Water Plan*. The Specific Plan proposes that common landscaped areas are to be irrigated with reclaimed water.

**2. Water Development Standards**

1. All water facilities will be designed and constructed in accordance with Eastern Municipal Water District (EMWD), and City of Murrieta standards and specifications.
2. Potable and recycled water facilities constructed to serve the community will be dedicated to EMWD for ownership, maintenance and operation.
3. The capital costs for the onsite facilities to serve the community will be the responsibility of the owner. Onsite facilities will be built with the construction phases of the planning areas.
4. Water facilities will conform to Riverside County Health Department and the State of California Department of Public Health Standards.



POTABLE WATER PLAN - FIGURE II-5

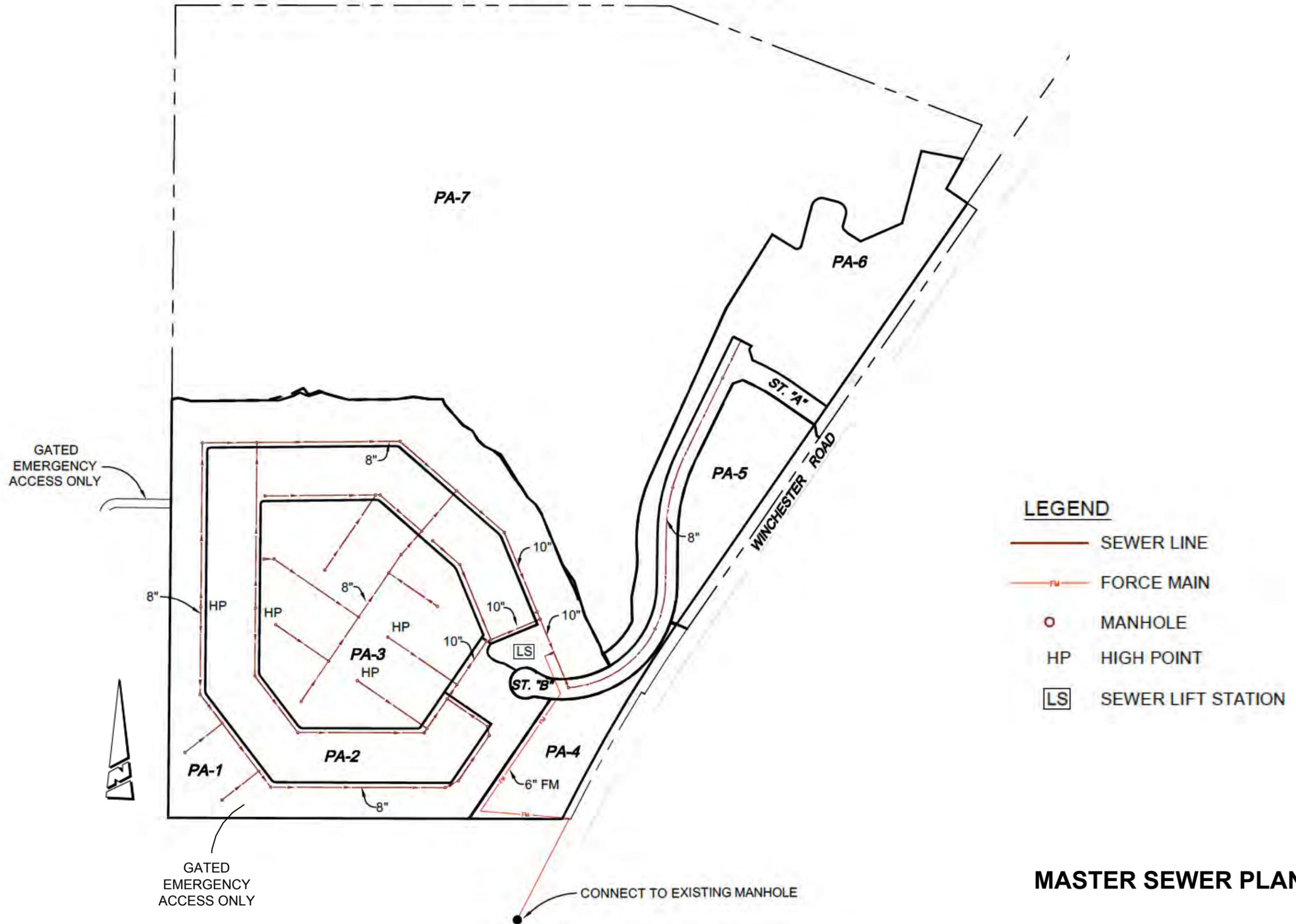


**E. Master Sewer Plan****1. Description**

Infrastructure and other public facilities will be sufficiently sized to accommodate the needs of the Specific Plan. An 8" sewer line will be constructed within the project development areas to serve the residential and business park uses. A 6" force main will be installed along the western and southern boundaries of PA4 and will connect to an existing "sewer line manhole" in the Winchester and Auld Road intersection. Due to the flat grade of the project site, the development areas of the residential and business park planning areas will utilize a combination of gravity sewer system and lift station/force main. The gravity lines will flow all wastewater to a central location along the north side of the future residential project entry point. Tentative Tract Map 36779 will contain a private lift station which will pump all wastewater via a force main connection to the existing Eastern Municipal Water District backbone sewer system. Refer to Figure II-7, *Master Sewer Plan*. Final engineering will be completed prior to recordation of the final map.

**2. Sewer Development Standards**

1. All sewer facilities will be designed and constructed in accordance with EMWD, Murrieta Community Services Department (MCSD), and applicable City standards and specifications.
2. Facilities constructed to serve the community will be dedicated to EMWD for ownership, maintenance and operation.
3. The capital costs for both onsite and offsite facilities to serve the community will be the responsibility of the owner.
4. Sewer facilities will conform to the State of California Department of Public Health and the local Utility Purveyor's standards.



MASTER SEWER PLAN - FIGURE II-7

**F. Open Space and Recreation Plan**

**1. Description**

As shown in Figure II-8, *Open Space and Recreation Plan*, the Specific Plan provides for a variety of private recreational opportunities that connect the community both physically and thematically. As summarized in Table II-2, *Open Space and Recreation Land Use Summary*, a total of 68.99 acres are dedicated to open space and recreational uses. Of this acreage, 66.8 acres will be 100% conserved as permanent open space. There are 2.19 acres of private, HOA maintained recreation uses available to project residents. It should be noted that this acreage is also based on 283 single-family units.

**Table II-2  
Open Space and Recreation Land Use Summary**

Planning Area	Land Use	Acreage
PA 7	Open Space – Conservation	66.80
PA 1, 2, 3	Open Space – Recreation (Private)	2.19
<b>TOTAL</b>		<b>68.99</b>

The City requires 5.0 acres of developed parkland per every 1,000 residents to satisfy Quimby Act requirements. The Specific Plan provides for 283 dwelling units and will therefore result in a population of approximately 864 residents. Therefore, according to the Quimby Act requirements, the Specific Plan should pay in-lieu fees for 4.25 acres, as depicted below in Table II-3, *Quimby Act Required Parkland*.

**Table II-3  
Quimby Act Required Parkland**

Type	DUs	Average House Size	Population	Assessment Factor (acre/resident)	Required Quimby Acres
Single-Family Units	283	3.0	864	5/1,000	4.25
<b>Totals:</b>	<b>283</b>		<b>864</b>		<b>4.25</b>

Detailed elements and acreage of the specific open space and recreation amenities provided within the Specific Plan are described below:

A complete description of the facilities proposed for the Open Space Recreation Area is included within Section IV, *Design Guidelines*.

**a. Open Space – Conservation**

Planning Area 7 (PA7), as shown on Figure III-7, *Planning Area 7*, is approximately 66.8 acres and is designated Open Space (OS). PA7 shall remain mostly undisturbed and undeveloped. Aside from mitigation and restoration activities approved by the Western Riverside County Regional Conservation Authority (RCA), this part of the Project site will remain in its existing, natural condition, be dedicated as open space, and serve as Multi Species Habitat Conservation Plan (MSHCP) conservation land. Passive hiking activities may be allowed within PA7, subject

to City and RCA approval. These hiking activities may be allowed on the currently existing pathways, as illustrated on Figure II-3, *Non-Vehicular Circulation Plan*.

**b. Private Recreation Areas**

There are two main (2) private recreation areas provided for the Specific Plan residents, within PA3, as depicted on Figure IV-29, *PA3 Private Recreation Area 1 Conceptual Plan* and Figure IV-30, *PA3 Private Recreation Area 2 Conceptual Plan*. These private recreation areas shall include at a minimum: shaded seating areas, a swimming pool and spa, tot lots, play structures, turf areas (irrigated using reclaimed water), and pathways.

**2. Open Space and Recreation Development Standards**

1. Where appropriate, conservation easements may be required during the Tentative Map process to preserve natural drainages. Reference Figure II-IV, *Master Drainage Plan*.
2. Owner shall pay fees pursuant to the Quimby Act, as adopted by the City of Murrieta Subdivision Ordinance.
3. All primary recreation facilities within PA3 shall be constructed by the Developer. All funding shall be the responsibility of the Developer, unless other arrangements have been made between the City and the Developer.
4. All on-site recreation amenities shall be maintained by the appropriate entity, as identified in Table II-5, *Maintenance Plan Summary*.
5. All landscaped areas within the recreational facilities shall utilize drought-tolerant, water-efficient landscaping and conform to the regulations set forth in the City's Subdivision Ordinance. Reclaimed water shall be used to irrigate the landscaped areas.
6. Landscaping within recreation and open space areas will be further governed by Section IV, *Design Guidelines* of the Specific Plan.
7. Tot lots may include architectural or mechanical shade structures that will shade all play equipment for the majority of the day.



**G. Grading Plan****1. Description**

The Specific Plan area is located less than one mile east of the Hogbacks, an area of rocky hills with an elevation of approximately 1,700 feet above mean sea level (amsl). Elevation in the Project site ranges from approximately 1,300 to 1,365 feet amsl. The higher elevations within the Specific Plan contain rocky outcrops and the lower elevations consist of stream/riparian corridors.

The proposed grading plan attempts to match the terrain of the property while at the same time providing road designs and grades that meet minimum City standards. The proposed Project elevations will range from between 1,304 and 1,342 feet above mean sea level (amsl). Proposed street slopes will vary between 0.5% and 4.5%.

As designed, it is estimated that the site will have approximately 300,000± cubic yards of cut and 300,000± cubic yards of fill, resulting in a balanced site. The Project will be constructed per the recommendation of the geotechnical engineer. Manufactured slopes will be designed in accordance with the City of Murrieta Public Works and Building and Safety Departments requirements. Areas of underground utility placements will be designed to accommodate required vertical and horizontal separations and backfill compaction standards.

Refer to Figure II-9, *Conceptual Grading Plan* for detail on the proposed grading plan.

**2. Grading Development Standards**

Grading activities shall conform to City of Murrieta Standards and shall meet the requirements of the California Building Code, the City's General Plan, and all other laws, rules and regulations governing grading in the City of Murrieta.

1. Prior to any development within any area of the Specific Plan, an overall Conceptual Grading Plan for the portion in process shall be submitted for Planning Department approval. The Grading Plan for each such area should be used as a guideline for subsequent detailed grading plans for individual stages of development within that area, and shall include preliminary pad and roadway elevations.
2. Grading-related mitigation measures outlined in the Project EIR shall be implemented in accordance with City ordinances or regulations in place at the time of the site development.
3. Unless otherwise approved by City of Murrieta, all cut and fill slopes should be constructed at inclinations of no steeper than two (2) horizontal feet to one (1) vertical foot.
4. A grading permit shall be obtained from the City of Murrieta, prior to grading.
5. Soil stabilizers shall be used to control dust as required by SCAQMD, Rule 403.
6. Erosion control practices shall be implemented during grading activities.

7. If required, the grading contractor should obtain an encroachment permit from the City of Murrieta, CALTRANS or Riverside County Flood Control and Water Conservation District (RCFC&WCD) prior to entering any right-of-ways, which belong to the City, CALTRANS, or RCFC&WCD.
8. All National Pollutant Discharge Elimination System (NPDES) stormwater and water quality regulations in place at the time of site development shall be implemented.
9. All projects proposing construction activities including: clearing, grading, or excavation that results in the disturbance of at least one acre of total land area, or activity which is part of a larger common plan of development of one acre or greater shall obtain the appropriate NPDES construction permit and pay the appropriate fees. All development within specific plan boundaries shall be subject to future requirements adopted by the County/City to implement the NPDES program.



CONCEPTUAL GRADING PLAN - FIGURE II-9

**H. Community Phasing****1. Description**

The Specific Plan has been designed for development in two (2) phases beginning in 2016 in response to market demands and according to a logical and orderly extension of roadways, public utilities, and infrastructure as depicted in Figure II-10, *Conceptual Phasing Plan*.

Below is a description of the land uses and facilities proposed for construction under each phase. A statistical summary of the community's phasing plan is provided in Table II-4, *Community Phasing Plan*.

The phasing sequence described herein is conceptual based on current market demand. Certain planning areas may be developed out of the expected sequence, provided the required infrastructure and services are available at the time of development. The City shall approve any subsequent alternative phasing scenarios. No Specific Plan Amendment will be required for changes in the phasing.

**a. Phase 1**

Phase 1 will consist of PA7, *Open Space*. PA7 will remain in its current state. Aside from mitigation and restoration activities approved by the Western Riverside County Regional Conservation Authority (RCA), this part of the Project site will remain in its existing, natural condition, be dedicated as open space, and serve as Multi Species Habitat Conservation Plan (MSHCP) conservation land. Passive hiking activities may be allowed within PA7, subject to City and RCA approval. These possible hiking activities will be allowed on the historically disturbed, existing trails, if approved by the City and RCA.

PA7 will be separated from Planning Areas 1, 5, and 6 by landscaping that will provide a buffer area, reference Figure IV-7. This landscape buffer area will be planted with materials that are contained within Table IV-1, *Plant Palette*, and will be compatible with one another in terms of species. It is anticipated that PA7 will be dedicated to the RCA on the final map.

Phase 1 will also consist of the residential development within Planning Areas 1, 2 and 3. Full-width street improvements will be made to Street "A" and Street "B", including all proposed landscaping. Half-width street improvements will be made to Winchester Road or funding/bonding for said improvements will be provided. In addition, in-tract residential streets will be constructed in development phases to serve the lots constructed in this Phase. Water and sewer infrastructure will be constructed to serve the business park and homes. Storm drain improvements will also be provided to ensure that Water Quality Management Plan standards are met.

**b. Phase 2**

Phase 2 will consist of business park development of Planning Areas 4, 5 and 6. In addition, driveways will be constructed to serve the business park uses constructed in this Phase.

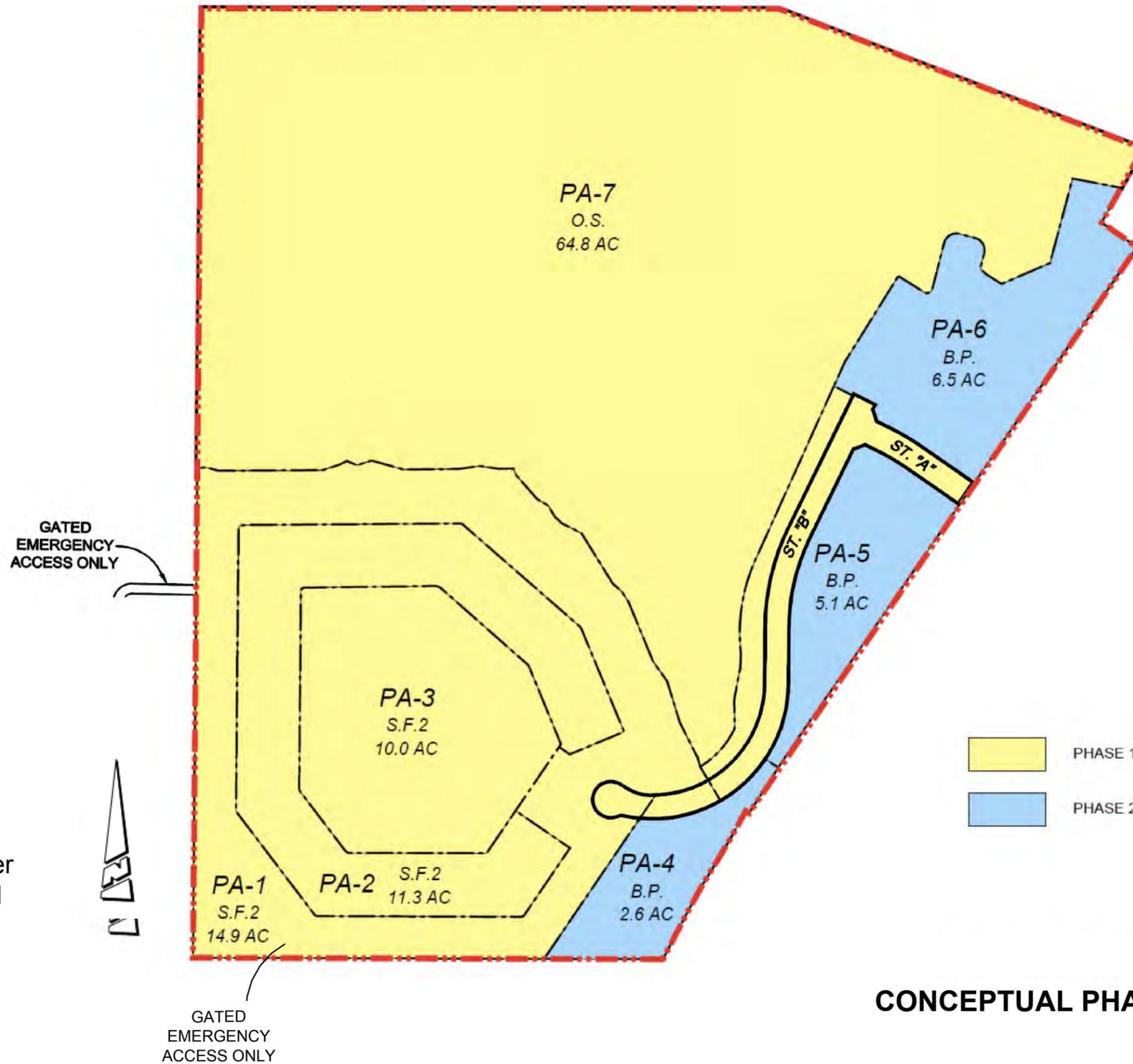
**Table II-4  
Community Phasing Plan**

Land Use	Planning Area	Target Acres	Target Dwelling Units
<b>Phase 1</b>			
<b>Open Space</b> - shall remain undisturbed and undeveloped Single Family Residential - residential development, full-width street improvements will be made to Street "A" and Street "B", half-width street improvements will be made to Winchester Road, local streets will be constructed in development phases to serve the lots constructed in this Phase. Right-of-way and other landscaping will be installed concurrent with adjacent development in this Phase.	1, 2, 3, and 7	36.2 (SFR), and 66.8 (Open Space)	283
<b>Phase 2</b>			
<b>Business Park</b> - business park development, driveways will be constructed to serve the business park uses constructed in this Phase. Right-of-way and other landscaping will be installed concurrent with adjacent development in this Phase.	4, 5, 6	14.2	N/A

**2. Community Phasing Development Standards**

1. Prior to the recordation of a final subdivision map, final improvement plans for the respective landscaped areas shall be submitted to the City Planning Department for approval. The improvement plans should include:
  - Final Grading Plans
  - Final Drainage Plans
  - Irrigation Plans (certified by a landscape architect)
  - Fence Plans
  - Special Treatment/Buffer Area Treatment Plans
  - Walls and Fencing Plan
  - Landscape Plans (with seed mixes for mulching, staking methods, and locations, type, size, and quantity of plant materials)
2. Development of each phase shall include development of internal common open space areas, trails and applicable infrastructure.
3. Construction of the development, including recordation of final subdivision maps, may be done progressively in stages, provided vehicular access, facilities, and infrastructure are constructed to adequately service the dwelling units or as needed for public health and safety in each stage of development and further provided that such phase of

development conforms substantially with the intent and purpose of the Specific Plan Phasing Program.



Note: Right-of-way and other landscaping will be installed concurrent with adjacent development in Phase 1.

CONCEPTUAL PHASING PLAN - FIGURE II-10

I. Maintenance Plan

Successful operation of maintenance districts and associations are important to maintain quality within the Specific Plan. It is anticipated that the City of Murrieta will assume maintenance responsibilities for public roadways and parkways. Other common community facilities may be divided among a residential homeowners' association, a business park property owners' association, and/or similar maintenance mechanisms. The open space conservation area (PA7) will be maintained by the Riverside County Regional Conservation Authority (RCA). Refer to Figure II-11, *Maintenance Plan*. Table II-5, *Maintenance Plan Summary*, summarizes maintenance responsibilities.

**Table II-5  
Maintenance Plan Summary**

Facility	Construction	Ownership	Maintenance
<b>Improved Landscape Areas and Amenities</b>			
Public Roads	O	CM	CM
Private Local Roads	O	HOA	HOA
Open Space Conservation Area (PA7)	N/A	RCA	RCA
Residential Recreation Areas	O	HOA	HOA
<b>Street and Other Improvements</b>			
Public Streets and Sidewalks	O	CM	CM
Private Streets and Sidewalks	O	HOA	HOA
Project Monumentation	O	POA/HOA	POA/HOA
Community Walls	O	POA/HOA	POA/HOA
Full View Fencing	O	POA/HOA	POA/HOA
Street Lighting	O	MCSD/POA/ HOA	MCSD/POA/ HOA
Mailbox Structures	O	USPS/HOA	USPS/HOA

CM – City of Murrieta

HOA – Homeowners’ Association

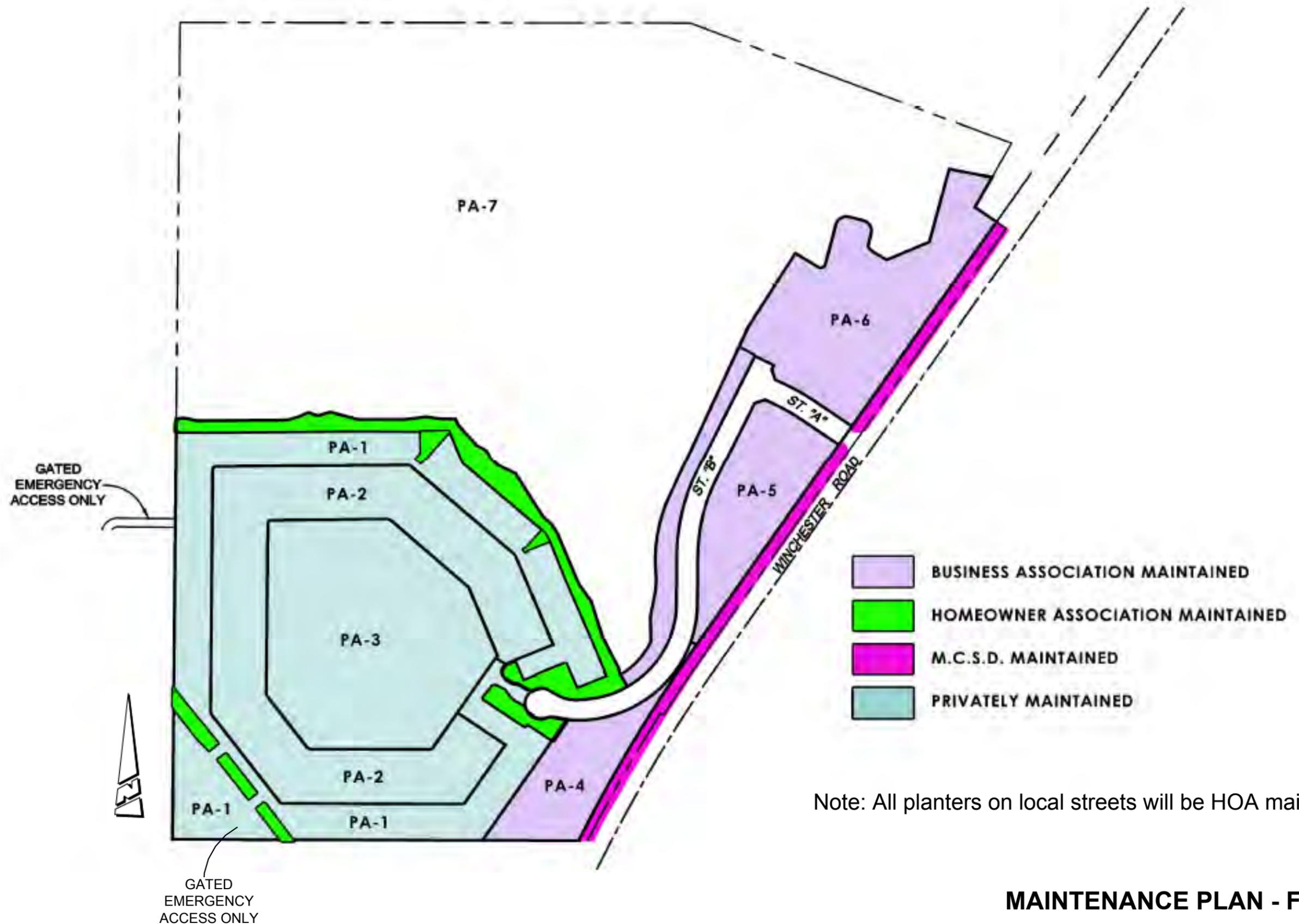
MCSD – City of Murrieta Community Services Department

O – Owner

POA – Property Owners’ Association

RCA - Western Riverside County Regional Conservation Authority

USPS – United States Postal Service



MAINTENANCE PLAN - FIGURE II-11

**III. Planning Area Standards/Guidelines and Zoning Standards**

Planning Areas within the Adobe Springs Specific Plan (Specific Plan) were formed on the basis of existing development, existing and proposed roadways, environmental constraints, logical placement of development based on the prior mentioned items, development phasing, and neighborhood/pedestrian scale. Criteria considered in this process included drainage systems, open space conservation, fuel modification, roadway circulation patterns, desired home types, and compatibility between land uses.

The Planning Area figures for this section (Figures III-1 through III-7) were derived from Figure I-1, *Specific Plan Land Use Plan*. These figures are conceptual in nature, and are intended to highlight many of the key features of the community that are outlined within this Specific Plan.

Many of the references within this Section refer to Section IV, *Design Guidelines*. Section IV, *Design Guidelines* of this Specific Plan have been created to establish the pattern and character of development within the Specific Plan. Architecture and landscape architecture are the key topics presented in the *Design Guidelines* section.

In addition, a Specific Plan Zoning Ordinance has been prepared and is contained in Section V, *Land Use Regulations*, of this Specific Plan. The zoning provisions establish permitted uses, conditionally permitted, uses, and restricted uses, as well as general development standards, and shall be used in conjunction with the specific Planning Standards for each respective Planning Area, described below.

Planning Areas 1, 2, and 3 (PA1, PA2, and PA3) allow for residential uses. One housing type, single-family detached, traditional, is allowed in the Specific Plan. Traditional homes are considered single-family, detached homes, typically with an attached 2-car garage. To provide flexibility within the Specific Plan, and to create interest in the residential neighborhoods, three (3) architectural styles are provided. Residential home types are further defined in the Design Guidelines section of this document. A total of 283 homes will be allowed within three (3) planning areas.

Planning Areas 4 (PA4), 5 (PA5), and 6 (PA6) allow for business park uses. The business park planning areas are located within Compatibility Zones of the French Valley Airport Land Use Compatibility Plan. Development will be consistent with Section 16.12, *Business Park and Industrial Districts* of the Murrieta Development Code; however, uses will be modified as part of the Specific Plan to insure consistency with the Airport Compatibility Zones, as well as address appropriate land uses and buffering when adjacent to existing and proposed single-family residential development.

Planning Area 7 (PA7) is designated as Open Space (OS). This open space, which will be for conservation, does not include any potential private open space uses/acreage that will be located in the residential planning areas - PA's 1, 2, and 3.

## A. Planning Area 1: SF-2 Density Residential

### 1. Descriptive Summary

Planning Area 1 (PA1), as shown on Figure III-1, *Planning Area 1*, provides for the development of approximately 14.9 acres, with a target of 86 dwelling units (density range of 72 to 140 units) at a target Planning Area density of 5.7 du/ac. Planning Area 1 is located in the southwestern portion of the Specific Plan, and is the outer-most of the three (3) residential planning areas.

Primary and secondary vehicular access to PA1 will be provided from Street “B” and internal streets. Sidewalks along these streets provide primary pedestrian access to and from PA1. These sidewalks will be part of a comprehensive sidewalk system that will connect all Planning Areas within the Specific Plan. Gated, emergency only accesses are provided to both the west and the south of PA1, connecting to Pictor Avenue and Moonbrooke Lane, respectively.

PA1 will be developed within Phase 1 of the Project.

### 2. Planning Standards

- a. Vehicular roadways shall be planned as required by Section II text and as illustrated in Figure II-1, *Vehicular Circulation Plan*. The City of Murrieta shall approve all internal local and private roadways at the tentative map and/or Development Plan stage of development.
- b. Roadway landscape treatments and parkway configurations along Street “A” are shown in Figure IV-12a, *Main Entry Road Streetscape Street “A”*. Street “A” provides entry into the Project from Winchester Road and allows access into PA6. Street “A” has a maximum public ROW of seventy-eight feet (78’), with fifty-six feet (56’) of pavement, and an eleven-foot (11’) wide parkway on both sides of the street. It is anticipated that a six-foot (6’) sidewalk will be located within the eleven-foot (11’) wide parkway. Street “A” will be constructed during Phase I including sidewalks and landscaping improvements on both sides of the street.
- c. Roadway landscape treatments and parkway configurations along Street “B” are shown in Figure IV-12b, *Main Entry Road Streetscape Street “B”*. Street “B” will have a maximum public ROW of sixty-six feet (66’), with forty-eight feet (48’) of pavement, a twelve-foot (12’) wide parkway on the east side of the street, and a six-foot (6’) wide parkway on the west side of the street. It is anticipated that a six-foot (6’) sidewalk will be located on both sides of the street. A six-foot (6’) wide bike lane will be provided on the west side of the street. There will be a continuous turn lane within the business park section of Street “B”. Street “B” will be constructed during Phase I, including sidewalks and landscaping improvements on both sides of the street.
- d. Roadway and parkway configurations along internal streets should be constructed as illustrated by Section II text and as shown in Figure II-2b, *Roadway Cross Sections*.
- e. Roadway landscape treatments and cul-de-sac configurations planned along internal streets are shown in Figure IV-14, *Cul-de-sac Streetscape*. Cul-de-sacs, as designed within the Project, will have a minimum radius of thirty-five feet (35’), and will provide a maximum of five (5) parking spaces. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette.

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- f. The off-site emergency access street sections will show either a twenty-six (26') or twenty-eight foot (28') wide section, depending on the location, and will provide secondary, gated emergency only access for the Project. The off-site emergency accesses will be constructed during Phase I, including landscaping improvements. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette. Please reference Figure IV-15, *Off-Site Emergency Accesses*.
- g. Residential Entry Monumentation will be approximately seven feet (7') in height and eight feet (8') across and will feature decorative, tubular steel gates, (these gates will have the option of being operational), and a twelve-foot (12') high decorative, non-operational gate house. A pedestrian gate shall be included as well. Enhanced paving and a decorative urn with recirculating water may be added to elevate the aesthetic of this entry. Refer to Figure IV-10, *Residential Entry Monumentation*.
- h. Instances where PA1 abuts PA4 are depicted on Figure IV-16, *SF-2 Density Residential (PA1) – Business Park (PA4) Edge Condition*. PA1 will be typically separated from PA4 by a minimum six-foot (6') high masonry sound/screen wall and landscaping. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette.
- i. Instances where PA1 abuts PA7 are depicted Figure IV-17, *SF-2 Density Residential (PA1) – Fuel Modification and OS (PA7) Edge Condition*. PA1 will be typically separated from PA7 by a slope, and/or retaining wall(s), a five-foot (5') high masonry wall for firebreak, a five-foot, six-inch (5'6") view fence, and a thirty-foot (30') wide, irrigated landscaped fuel modification zone. An additional approximately twenty-foot (20') wide grading buffer zone will be provided between the fuel modification zone and the approved RCA fence line. Landscaping shall include shrubs and groundcover in accordance with the plant palette.
- j. Instances where PA1 abuts the off-site park on the west side of the Project are depicted on Figure IV-18, *SF-2 Density Residential (PA1) – Off-Site Park Edge Condition*. PA1 will be typically separated from the off-site park by an existing perimeter wall, an off-site slope, and/or retaining wall(s), a thirty-foot (30') Southern California Edison (SCE) easement, and landscaping. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette.
- k. Instances where PA1 abuts adjacent, off-site residences are depicted Figure IV-19, *SF-2 Density Residential (PA1) – Off-site Residential Edge Condition*. PA1 will be typically separated from the off-site residences by an existing perimeter wall, a slope, and/or retaining wall(s), a thirty-foot (30') Southern California Edison (SCE) easement, and landscaping. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette.
- l. Instances where PA1 abuts the off-site SCE easement and open space are depicted Figure IV-20, *SF-2 Density Residential (PA1) – Off-site SCE Easement and Open Space Edge Condition*. PA1 will be typically separated from the off-site easement by a slope, and/or retaining wall(s), an existing perimeter wall and landscaping.
- m. PA1 will provide two (2) view areas that overlook the open space in PA7. These view areas will also function as fuel modification maintenance areas. The view areas should include, at a minimum, benches and a concrete or decomposed granite walkway. These view areas are depicted on Figure IV-27, *PA1 Fuel Modification Maintenance Access and View Area Conceptual Plan*.
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view areas are depicted on Figure IV-27, *PA1 Fuel Modification Maintenance Access and View Area Conceptual Plan*.

- n. A Southern California Edison (SCE) transmission line is located within a 30' wide SCE easement that traverses the southwestern corner of the Specific Plan. This easement will be planted per SCE requirements, which may include, but not be limited to, decomposed granite pathway, and small planting areas (shrubs and groundcover). Refer to Figure IV-28, *PA1 SCE Easement*.
- o. Walls and fencing shall be constructed as required by Section IV text and as delineated in Figure IV-32, *Conceptual Wall and Fence Plan*, and Figures IV-33a & b, *Wall and Fence Elevations*.
- p. Construction of block walls is not encouraged along streets unless needed to control noise attenuation, as mandated by the Project's Noise Study. Theme or view fencing and architectural frontage shall be encouraged along these areas, when possible. Landscaping should be enhanced in areas where block walls are constructed in a manner depicted on Figure IV-33a, *Wall and Fence Elevations*.
- q. Water quality basins or swales shall be designed as required by the Project WQMP.
- r. Lighting should conform to the Section IV text. For examples, refer to Figure IV-31, *Lighting Fixtures*.
- s. Mailboxes should be representative, in terms of scale, detailing and enchantments, consistent with Section IV text and the example depicted on Figure IV-35, *Typical Mailbox Example*.
- t. Street trees shall be planted per Table IV-1, *Plant Palette*, and as depicted on Figure IV-7, *Conceptual Landscape and Street Tree Plan*.
- u. Refer to Section II, *Specific Plan*, for the following standards that may apply community-wide:
  - II.A: Land Use Plan
  - II.B: Circulation Plan
  - II.C: Drainage Plan
  - II.D: Water Plan
  - II.E: Sewer Plan
  - II.F: Open Space and Recreation Plan
  - II.G: Grading Plan
  - II.H: Project Phasing Plan
  - II.I: Maintenance Plan
- v. Refer to Section IV, *Design Guidelines*, for other related design criteria.

3. Zoning Standards

Table III-1, Zoning Standards 48' Frontage Single-Family Residential Homes	
Development Standards	
Designation/ Use	Single-Family Detached: Traditional 48'x79' Building Envelope
Planning Area	1 & 2
Building Envelope Dimensions	
Minimum Width	48'
Minimum Frontage on cul-de-sac	30'
Setbacks	
Minimum Front Yard – to main structure	10'
Minimum Corner Side Yard	10'
Minimum Interior Side Yard	5'
Minimum Rear Yard	10'
Garage Setbacks	18'
Side-in Garage Setbacks	10'
Other	
Maximum Structural Height	30'
Encroachments (fireplaces, AC units, media centers)	24"
Off Street Parking Requirements per DU	2

Table III-2, Zoning Standards 46' Frontage Single-Family Residential Homes	
Development Standards	
Designation/ Use	Single-Family Detached: Traditional 46'x69' Building Envelope
Planning Area	1 & 2
Building Envelope Dimensions	
Minimum Width	46'
Minimum Frontage on cul-de-sac	30'
Setbacks	
Minimum Front Yard – to main structure	8'
Minimum Corner Side Yard	10'
Minimum Interior Side Yard	5'
Minimum Rear Yard	10'
Garage Setbacks	5'
Side-in Garage Setbacks	n/a
Other	
Maximum Structural Height	30'
Encroachments (fireplaces, AC units, media centers)	24"
Off Street Parking Requirements per DU	2

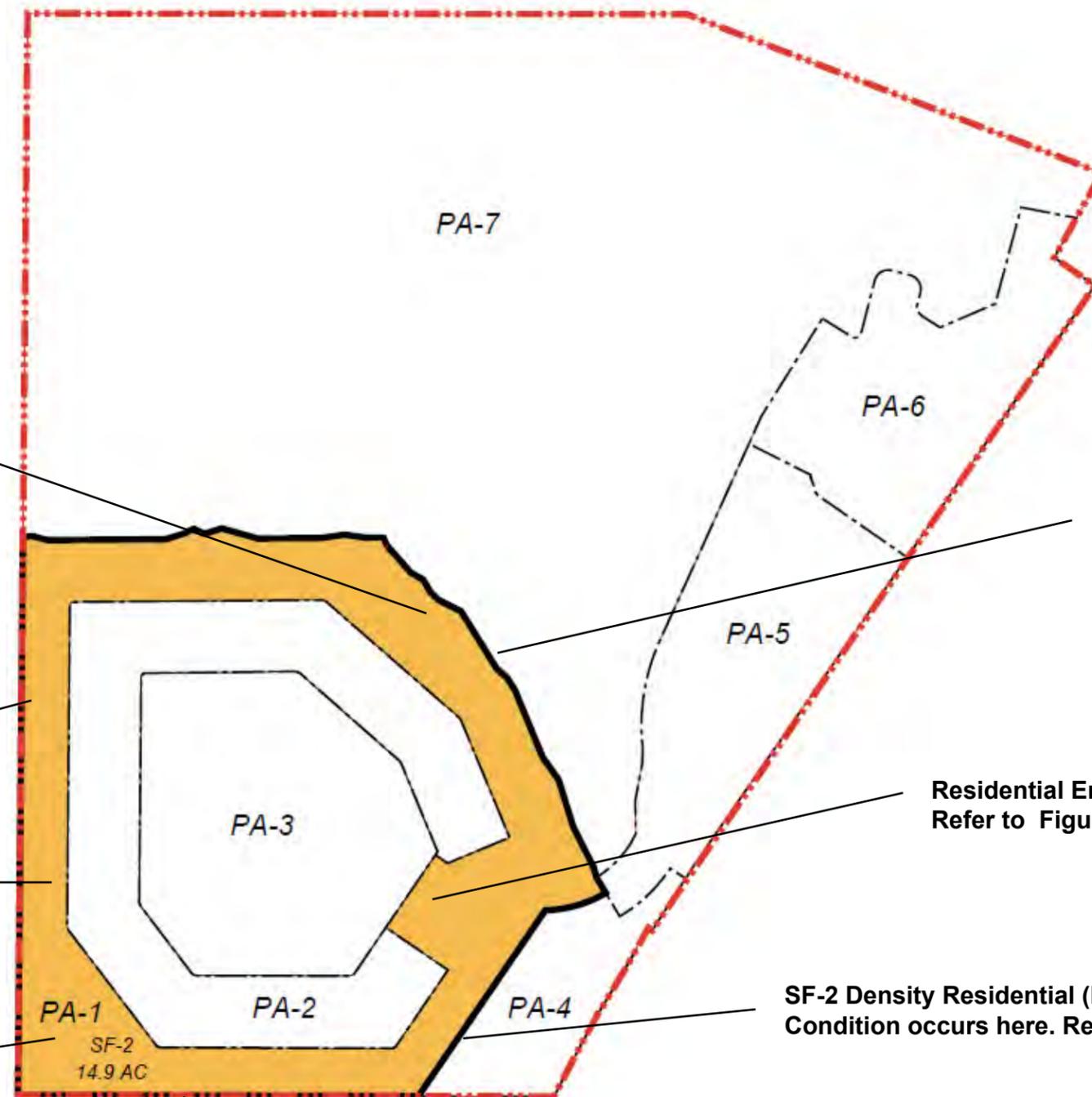
APPLICABLE ROADWAY FIGURES

Figure IV-12b - Main Entry Road Streetscape Street "B"

Figure IV-13 - Local Street with Sidewalk – Parking on One Side – Streetscape

Figure IV-14 - Cul-de-sac Streetscape

Figure IV-15 - Off-Site Emergency Only Access



PA1 Fuel Modification Maintenance Access and View Areas occurs here. Refer to Figure IV-27

SF-2 Density Residential (PA1) – Fuel Modification and OS (PA7) Edge Condition occurs here. Refer to Figure IV-17

SF-2 Density Residential (PA1) – Off-site Park Edge Condition occurs here. Refer to Figure IV-18

Residential Entry Monumentation occurs here. Refer to Figure IV-10

SF-2 Density Residential (PA1) – Off-site Residential Edge Condition occurs here. Refer to Figure IV-19

SF-2 Density Residential (PA1) – Business Park (PA4) Edge Condition occurs here. Refer to Figure IV-16

PA1 SCE Easement occurs here. Refer to Figure IV-28

SF-2 Density Residential (PA1) – Off-site SCE Easement Edge Condition occurs here. Refer to Figure IV-20

## B. Planning Area 2: SF-2 Density Residential

### 1. Descriptive Summary

Planning Area 2 (PA2), as shown on Figure III-2, *Planning Area 2*, provides for the development of approximately 11.3 acres with a target of 116 dwelling units (density range of 58 to 113 units) at a target Planning Area density of 10.3 du/ac. PA2 is located in the southwestern portion of the Specific Plan, and is situated between PA1 and PA3.

Primary and secondary vehicular access to PA1 will be provided from Street “B” and internal streets. Sidewalks along these streets provide primary pedestrian access to and from PA1. These sidewalks will be part of a comprehensive sidewalk system that will connect all Planning Areas within the Specific Plan. Gated, emergency only accesses are provided to both the west and the south of PA1, connecting to Pictor Avenue and Moonbrooke Lane, respectively.

PA2 will be developed within Phase 1 of the Project.

### 2. Planning Standards

- a. Vehicular roadways shall be constructed as required by Section II text and as illustrated in Figure II-1, *Vehicular Circulation Plan*. The City of Murrieta shall approve all internal local and private roadways at the tentative map and/or Development Plan stage of development.
- b. Roadway landscape treatments and parkway configurations along Street “A” are shown in Figure IV-12a, *Main Entry Road Streetscape Street “A”*. Street “A” provides entry into the Project from Winchester Road and allows access into PA6. Street “A” has a maximum public ROW of seventy-eight feet (78’), with fifty-six feet (56’) of pavement, and an eleven-foot (11’) wide parkway on both sides of the street. It is anticipated that a six-foot (6’) sidewalk will be located within the eleven-foot (11’) wide parkway. Street “A” will be constructed during Phase I including sidewalks and landscaping improvements on both sides of the street.
- c. Roadway landscape treatments and parkway configurations along Street “B” are shown in Figure IV-12b, *Main Entry Road Streetscape Street “B”*. Street “B” will have a maximum public ROW of sixty-six feet (66’), with forty-eight feet (48’) of pavement, a twelve-foot (12’) wide parkway on the east side of the street, and a six-foot (6’) wide parkway on the west side of the street. It is anticipated that a six-foot (6’) sidewalk will be located on both sides of the street. A six-foot (6’) wide bike lane will be provided on the west side of the street. There will be a continuous turn lane within the business park section of Street “B”. Street “B” will be constructed during Phase I, including sidewalks and landscaping improvements on both sides of the street.
- d. Roadway and parkway configurations along internal streets shall be planned as required by Section II text and as shown in Figure II-2b, *Roadway Cross Sections*.
- e. The off-site emergency access street sections will show either a twenty-six (26’) or twenty-eight foot (28’) wide section, depending on the location, and will provide secondary, gated emergency only access for the Project. The off-site emergency accesses will be constructed during Phase I, including landscaping improvements. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette. Please reference Figure IV-15, *Off-Site Emergency Accesses*.

improvements. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette. Please reference Figure IV-15, *Off-Site Emergency Access*.

- f. Residential Entry Monumentation will be approximately seven feet (7') in height and eight feet (8') across and will feature decorative, tubular steel gates, (these gates will have the option of being operational), and a twelve-foot (12') high decorative, non-operational gate house. A pedestrian gate shall be included as well. Enhanced paving and a decorative urn with recirculating water may be added to elevate the aesthetic of this entry. Refer to Figure IV-10, *Residential Entry Monumentation*.
- g. Walls and fencing shall be constructed as required by Section IV text and as delineated in Figure IV-32, *Conceptual Wall and Fence Plan*, and Figures IV-33a & b, *Wall and Fence Elevations*.
- h. Construction of block walls is not encouraged along streets unless needed to control noise attenuation, as mandated by the Project's Noise Study. Theme or view fencing and architectural frontage shall be encouraged along these areas, when possible. Landscaping should be enhanced in areas where block walls are constructed in a manner depicted on Figure IV-33a, *Wall and Fence Elevations*.
- i. Water quality basins or swales shall be designed as required by the Project WQMP.
- j. Lighting should conform to the Section IV text. For examples, refer to Figure IV-31, *Lighting Fixtures*.
- k. Mailboxes should be representative, in terms of scale, detailing and enchantments, consistent with Section IV text and the example depicted on Figure IV-35, *Typical Mailbox Example*.
- l. Street trees shall be planted per Table IV-1, *Plant Palette*, and as depicted on Figure IV-7, *Conceptual Landscape and Street Tree Plan*.
- m. Refer to Section II, *Specific Plan*, for the following standards that apply community-wide:
  - II.A: Land Use Plan
  - II.B: Circulation Plan
  - II.C: Drainage Plan
  - II.D: Water Plan
  - II.E: Sewer Plan
  - II.F: Open Space and Recreation Plan
  - II.G: Grading Plan
  - II.H: Project Phasing Plan
  - II.I: Maintenance Plan
- n. Refer to Section IV, *Design Guidelines*, for other related design criteria.

3. Zoning Standards

Table III-1, Zoning Standards 48' Frontage Single-Family Residential Homes	
Development Standards	
Designation/ Use	Single-Family Detached: Traditional 48'x79' Building Envelope
Planning Area	1 & 2
Building Envelope Dimensions	
Minimum Width	48'
Minimum Frontage on cul-de-sac	30'
Setbacks	
Minimum Front Yard – to main structure	10'
Minimum Corner Side Yard	10'
Minimum Interior Side Yard	5'
Minimum Rear Yard	10'
Garage Setbacks	18'
Side-in Garage Setbacks	10'
Other	
Maximum Structural Height	30'
Encroachments (fireplaces, AC units, media centers)	24"
Off Street Parking Requirements per DU	2

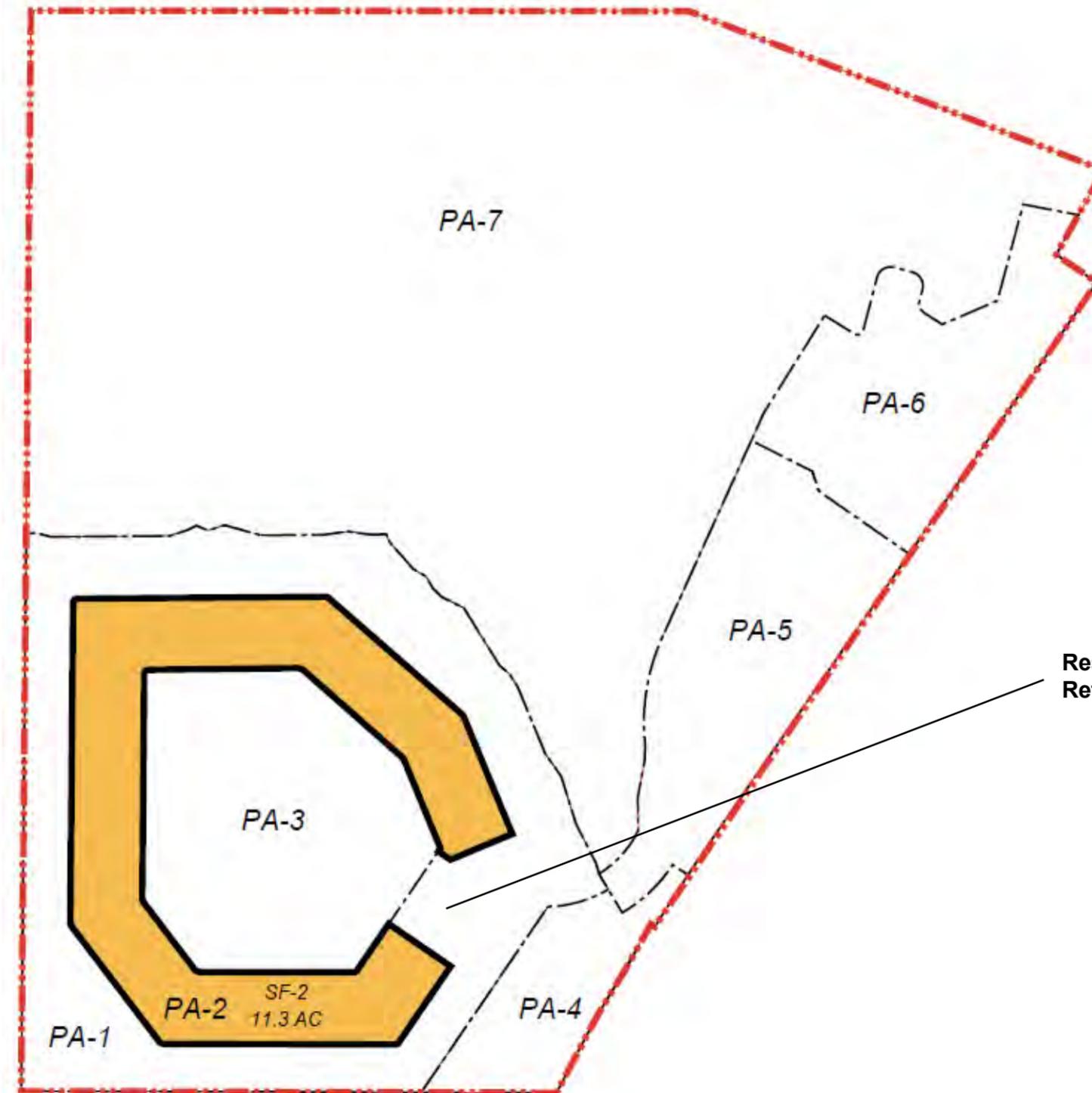
Table III-2, Zoning Standards 46' Frontage Single-Family Residential Homes	
Development Standards	
Designation/ Use	Single-Family Detached: Traditional 46'x69' Building Envelope
Planning Area	1 & 2
Building Envelope Dimensions	
Minimum Width	46'
Minimum Frontage on cul-de-sac	30'
Setbacks	
Minimum Front Yard – to main structure	8'
Minimum Corner Side Yard	10'
Minimum Interior Side Yard	5'
Minimum Rear Yard	10'
Garage Setbacks	5'
Side-in Garage Setbacks	n/a
Other	
Maximum Structural Height	30'
Encroachments (fireplaces, AC units, media centers)	24"
Off Street Parking Requirements per DU	2

APPLICABLE ROADWAY FIGURES

Figure IV-12b - Main Entry Road Streetscape Street "B"

Figure IV-13 - Local Street with Sidewalk – Parking on One Side – Streetscape

Figure IV-15 - Off-Site Emergency Only Access



Residential Entry Monumentation occurs here.  
Refer to Figure IV-10

## C. Planning Area 3: SF-2 Density Residential

### 1. Descriptive Summary

Planning Area 3 (PA3), as shown on Figure III-3, *Planning Area 3*, provides for the development of approximately 10 acres with a target of 85 dwelling units (density range of 45 to 88 units) at a target Planning Area density of 8.5 du/ac. Planning Area 3 is located in the southwestern portion of the Specific Plan, is adjacent to PA2, and is surrounded by both PA1 and PA2.

Primary and secondary vehicular access to PA1 will be provided from Street "B" and internal streets. Sidewalks along these streets provide primary pedestrian access to and from PA1. These sidewalks will be part of a comprehensive sidewalk system that will connect all Planning Areas within the Specific Plan. Gated, emergency only accesses are provided to both the west and the south of PA1, connecting to Pictor Avenue and Moonbrooke Lane, respectively.

Two (2) private recreation areas shall be provided for the residents within PA3, as depicted on Figure IV-29, *PA3 Private Recreation Area 1 Conceptual Plan* and Figure IV-30, *PA3 Private Recreation Area 2 Conceptual Plan*. These private recreation areas will include at a minimum shaded seating areas, a swimming pool and spa, and pathways.

PA3 will be developed within Phase 1 of the Project.

### 2. Planning Standards

- a. Vehicular roadways shall be constructed as required by Section II text and as illustrated in Figure II-1, *Vehicular Circulation Plan*. The City of Murrieta shall approve all internal local and private roadways at the tentative map and/or Development Plan stage of development.
- b. Two (2) private recreations area shall be provided in PA2. Please reference Figure IV-27, *PA3 Private Recreation Area 1 Conceptual Plan* and Figure IV-28, *PA3 Private Recreation Area 2 Conceptual Plan*. Private Recreation Area 1 will include, at a minimum, shaded seating areas, a swimming pool and spa, pool clubhouse with restrooms, tot lot, and turf area (irrigated with reclaimed water). Private Recreation Area 2 will include, at a minimum, shaded seating areas and BBQ facilities, concrete pathways, turf areas (irrigated with reclaimed water), and play structure/equipment.
- c. Residential Entry Monumentation will be approximately seven feet (7') in height and eight feet (8') across and will feature decorative, tubular steel gates, (these gates will have the option of being operational), and a twelve-foot (12') high decorative, non-operational gate house. A pedestrian gate shall be included as well. Enhanced paving and a decorative urn with recirculating water may be added to elevate the aesthetic of this entry. Refer to Figure IV-10, *Residential Entry Monumentation*.
- d. Roadway landscape treatments and parkway configurations along Street "A" are shown in Figure IV-12a, *Main Entry Road Streetscape Street "A"*. Street "A" provides entry into the Project from Winchester Road and allows access into PA6. Street "A" has a maximum public ROW of seventy-eight feet (78'), with fifty-six feet (56') of pavement, and an eleven-foot (11') wide parkway on both sides of the street. It is anticipated that a six-foot (6') sidewalk will be located within the eleven-foot (11') wide parkway. Street "A" will be constructed during Phase I including sidewalks and landscaping improvements on both sides of the street.

- e. Roadway landscape treatments and parkway configurations along Street “B” are shown in Figure IV-12b, *Main Entry Road Streetscape Street “B”*. Street “B” will have a maximum public ROW of sixty-six feet (66’), with forty-eight feet (48’) of pavement, a twelve-foot (12’) wide parkway on the east side of the street, and a six-foot (6’) wide parkway on the west side of the street. It is anticipated that a six-foot (6’) sidewalk will be located on both sides of the street. A six-foot (6’) wide bike lane will be provided on the west side of the street. There will be a continuous turn lane within the business park section of Street “B”. Street “B” will be constructed during Phase I, including sidewalks and landscaping improvements on both sides of the street.
- f. Roadway and parkway configurations along internal streets should be planned as required by Section II text and are shown in Figure II-2b, *Roadway Cross Sections*.
- g. The off-site emergency access street sections will show either a twenty-six (26’) or twenty-eight foot (28’) wide section, depending on the location, and will provide secondary, gated emergency only access for the Project. The off-site emergency accesses will be constructed during Phase I, including landscaping improvements. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette. Please reference Figure IV-15, *Off-Site Emergency Accesses*.
- h. Walls and fencing shall be constructed as required by Section IV text and as delineated in Figure IV-32, *Conceptual Wall and Fence Plan*, and Figures IV-33a & b, *Wall and Fence Elevations*.
- i. Construction of block walls is not encouraged along streets unless needed to control noise attenuation, as mandated by the Project’s Noise Study. Theme or view fencing and architectural frontage should be encouraged along these areas, when possible. Landscaping should be enhanced in areas where block walls are constructed in a manner depicted on Figure IV-33a, *Wall and Fence Elevations*.
- j. Water quality basins or swales shall be designed as required by the Project WQMP.
- k. Lighting should conform to the Section IV text. For examples, refer to Figure IV-31, *Lighting Fixtures*.
- l. Mailboxes should be representative, in terms of scale, detailing and enchantments, consistent with Section IV text and the example depicted on Figure IV-35, *Typical Mailbox Example*.
- m. Street trees shall be planted per Table IV-1, *Plant Palette*, and as depicted on Figure IV-7, *Conceptual Landscape and Street Tree Plan*.
- n. Refer to Section II, *Specific Plan*, for the following standards that apply community-wide:
 

II.A: Land Use Plan	II.F: Open Space and Recreation Plan
II.B: Circulation Plan	II.G: Grading Plan
II.C: Drainage Plan	II.H: Project Phasing Plan
II.D: Water Plan	II.I: Maintenance Plan
II.E: Sewer Plan	
- o. Refer to Section IV, *Design Guidelines*, for other related design criteria.

3. Zoning Standards

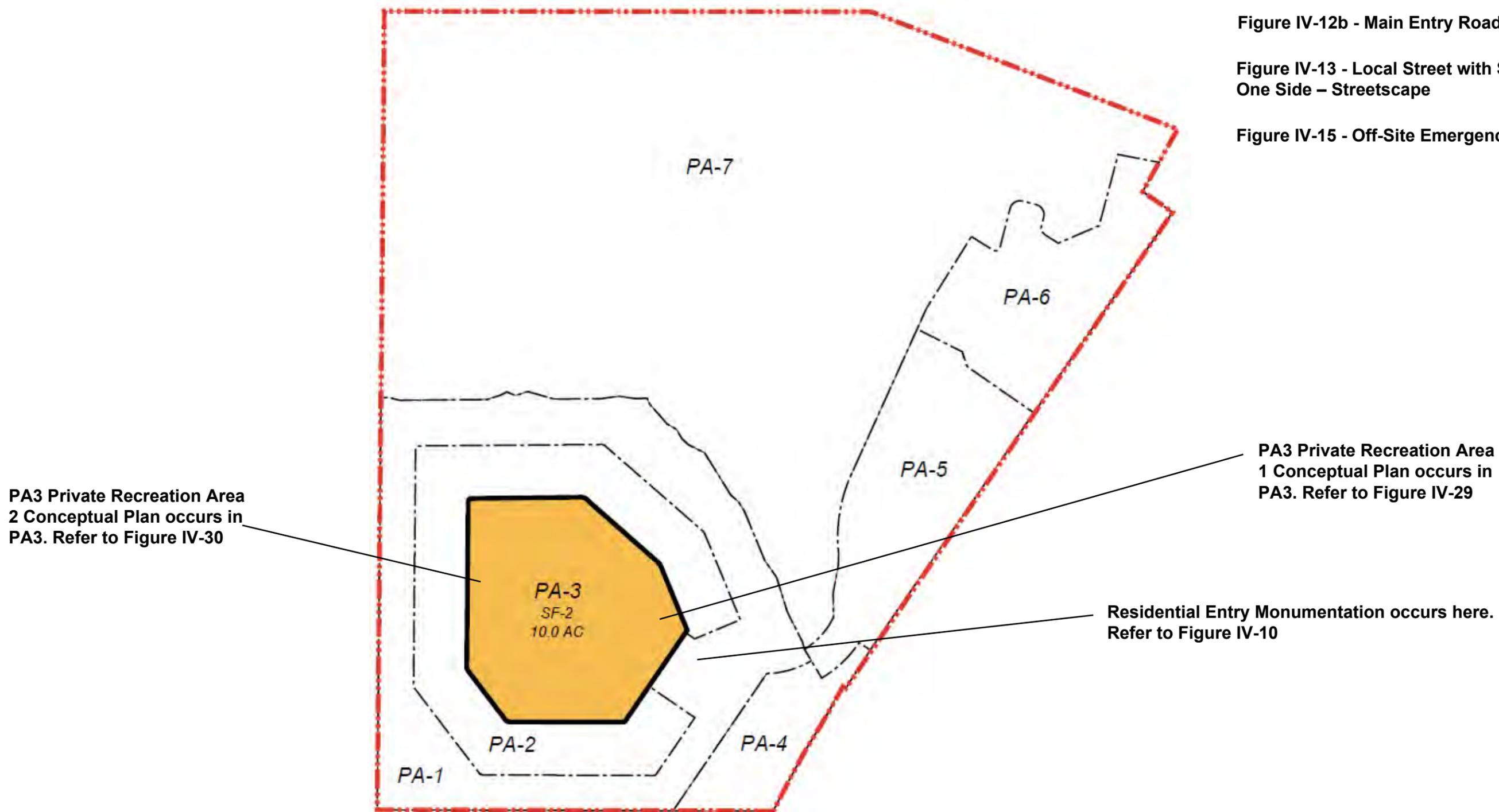
<b>Table III-3, Zoning Standards 40' Single-Family Residential</b>	
<b>Development Standards</b>	
Designation/ Use	Single-Family Detached: Traditional 40'x69' Building Envelope
Planning Area	3
<b>Building Envelope Dimensions</b>	
Minimum Width	40'
Minimum Frontage on cul-de-sac	n/a
<b>Setbacks</b>	
Minimum Front Yard – to main structure	8'
Minimum Corner Side Yard	8'
Minimum Interior Side Yard	4'
Minimum Rear Yard	10'
Garage Setbacks	5'
Side-in Garage Setbacks	n/a
<b>Other</b>	
Maximum Structural Height	30'
Encroachments (fireplaces, AC units, media centers)	n/a
Off Street Parking Requirements per DU	2

APPLICABLE ROADWAY FIGURES

Figure IV-12b - Main Entry Road Streetscape Street "B"

Figure IV-13 - Local Street with Sidewalk – Parking on One Side – Streetscape

Figure IV-15 - Off-Site Emergency Only Access



## D. Planning Area 4: Business Park

### 1. Descriptive Summary

Planning Area 4 (PA4), as shown on Figure III-4, *Planning Area 4*, provides for the development of approximately 2.6 acres of business park uses. PA4 is located in the southern portion of the Specific Plan, at the southeastern corner of the property adjacent to Winchester Road.

PA4 is located within Compatibility Zone D of the French Valley Airport Land Use Compatibility Plan and is adjacent to existing and proposed single-family residential development. Development within PA4 will be consistent with Section 16.12, *Business Park and Industrial Districts* of the Murrieta Development Code; however, uses will be modified in Section V, *Land Use Regulations*, of the Specific Plan to insure consistency with the Airport Compatibility Zones, as well as address appropriate land uses and buffering.

Primary vehicular access to PA4 will be provided from Street "B". Sidewalks along this Street provide primary pedestrian access to and from PA4. These sidewalks will be part of a comprehensive sidewalk system that will connect all Planning Areas within the Specific Plan.

PA4 will be developed within Phase 2 of the Project.

### 2. Planning Standards

- a. Vehicular roadways shall be constructed as required by Section II text and as illustrated in Figure II-1, *Vehicular Circulation Plan*. The City of Murrieta shall approve all internal local and private roadways at the tentative map and/or Development Plan stage of development.
- b. A comprehensive site plan will be required with the first business park application that illustrates all proposed buildings, driveways, landscaped areas and parking.
- c. Details of business park elevations, pedestrian plazas, streetscenes, entries, architectural elements, massing, and articulation should be provided as required by Section IV text and as illustrated on Figures IV-6a-f, *Business Park*.
- d. Outdoor seating areas should be provided as required by Section IV text (Section D.2.e) and as illustrated in Figure IV-6d, *Outdoor Seating Area Examples*.
- e. Business Park Entry Monumentation identifies the entrances to the business parks from Streets "A" and "B", as shown on Figure III-4, *Planning Area 4*. The Business Park Entry Monumentation reflects the same character and materials utilized in the other Entry Monumentation, as depicted in Figure IV-9, *Business Park Entry Monumentation*. This Business Park Entry Monumentation will be approximately five-feet (5') in height with rock pilasters, twenty-one feet and nine-inches (21' 9") across, and will also utilize raised bronze lettering and wood rail fence accent. Multi-trunk specimen tree(s) shall also be provided.
- f. Roadway landscape treatments and parkway configurations planned along Winchester Road shall be planned as required by Section IV text and as are shown in Figure IV-11, *Winchester Road Streetscape* and Figure IV-24, *Business Park (PAs 4, 5, & 6) - Winchester Road Edge Condition*. During Phase I, the Project will construct Winchester Road according to the City of Murrieta Engineering Standards, per Project conditions of

approval, and per Caltrans requirements at the time of construction, to include, but not be limited to, multimodal accessibility.

- g. Roadway landscape treatments and parkway configurations along Street “A” are shown in Figure IV-12a, *Main Entry Road Streetscape Street “A”*. Street “A” provides entry into the Project from Winchester Road and allows access into PA6. Street “A” has a maximum public ROW of seventy-eight feet (78’), with fifty-six feet (56’) of pavement, and an eleven-foot (11’) wide parkway on both sides of the street. It is anticipated that a six-foot (6’) sidewalk will be located within the eleven-foot (11’) wide parkway. Street “A” will be constructed during Phase I including sidewalks and landscaping improvements on both sides of the street.
- h. Roadway landscape treatments and parkway configurations along Street “B” are shown in Figure IV-12b, *Main Entry Road Streetscape Street “B”*. Street “B” will have a maximum public ROW of sixty-six feet (66’), with forty-eight feet (48’) of pavement, a twelve-foot (12’) wide parkway on the east side of the street, and a six-foot (6’) wide parkway on the west side of the street. It is anticipated that a six-foot (6’) sidewalk will be located on both sides of the street. A six-foot (6’) wide bike lane will be provided on the west side of the street. There will be a continuous turn lane within the business park section of Street “B”. Street “B” will be constructed during Phase I, including sidewalks and landscaping improvements on both sides of the street.
- i. Instances where PA1 abuts PA4 are depicted on Figure IV-16, *SF-2 Density Residential (PA1) – Business Park (PA4) Edge Condition*. PA1 will be typically separated from PA4 by a minimum six-foot (6’) high masonry sound/screen wall and landscaping. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette. Careful attention will be paid to this edge condition, both at the mapping stage and Development Plan stage to ensure that this is a compatible interface.
- j. Instances where PA4 abuts the adjacent, off-site residences are depicted Figure IV-21, *Business Park (PA4) – Off-site Residential Edge Condition*. PA4 will be typically separated from the off-site residences by an existing perimeter wall, a slope and/or retaining wall(s), a thirty-foot (30’) Southern California Edison (SCE) easement, and landscaping. SCE is responsible for maintaining their easement. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette.
- k. Instances where PAs 4 & 5 abut water quality basins are depicted in Figure IV-22, *Business Park (PAs 4 & 5) – Typical Basin Edge Condition*. PAs 4 & 5 will be typically separated from water quality basins by a twenty-foot (20’) wide, ten-foot (10’) high slope, and/or retaining wall(s), five-foot, six-inch (5’6”) high view fence, if required for safety, and landscaping. Landscaping shall include trees, shrubs, and groundcover in accordance with the plant palette.
- l. Walls and fencing shall be constructed as required by Section IV text and as delineated in Figure IV-32, *Conceptual Wall and Fence Plan*, and Figures IV-33a & b, *Wall and Fence Elevations*.
- m. Construction of block walls is not encouraged along streets unless needed to control noise attenuation, as mandated by the Project’s Noise Study. Theme or view fencing and architectural frontage shall be encouraged along these areas, when possible. Landscaping should be enhanced in areas where block walls are constructed in a manner depicted on Figure IV-33a, *Wall and Fence Elevations*.

Landscaping should be enhanced in areas where block walls are constructed in a manner depicted on Figure IV-33a, *Wall and Fence Elevations*.

- n. Water quality basins or swales shall be designed as required by the Project WQMP.
- o. Lighting should conform to the Section IV text. For examples, refer to Figure IV-31, *Lighting Fixtures*.
- p. Mailboxes should be representative, in terms of scale, detailing and enchantments, consistent with Section IV text and the example depicted on Figure IV-35, *Typical Mailbox Example*.
- q. Street trees shall be planted per Table IV-1, *Plant Palette*, and as depicted on Figure IV-7, *Conceptual Landscape and Street Tree Plan*.
- r. Refer to Section II, *Specific Plan*, for the following standards that apply community-wide:
  - II.A: Land Use Plan
  - II.B: Circulation Plan
  - II.C: Drainage Plan
  - II.D: Water Plan
  - II.E: Sewer Plan
  - II.F: Open Space and Recreation Plan
  - II.G: Grading Plan
  - II.H: Project Phasing Plan
  - II.I: Maintenance Plan
- s. Refer to Section IV, *Design Guidelines*, for other related design criteria.

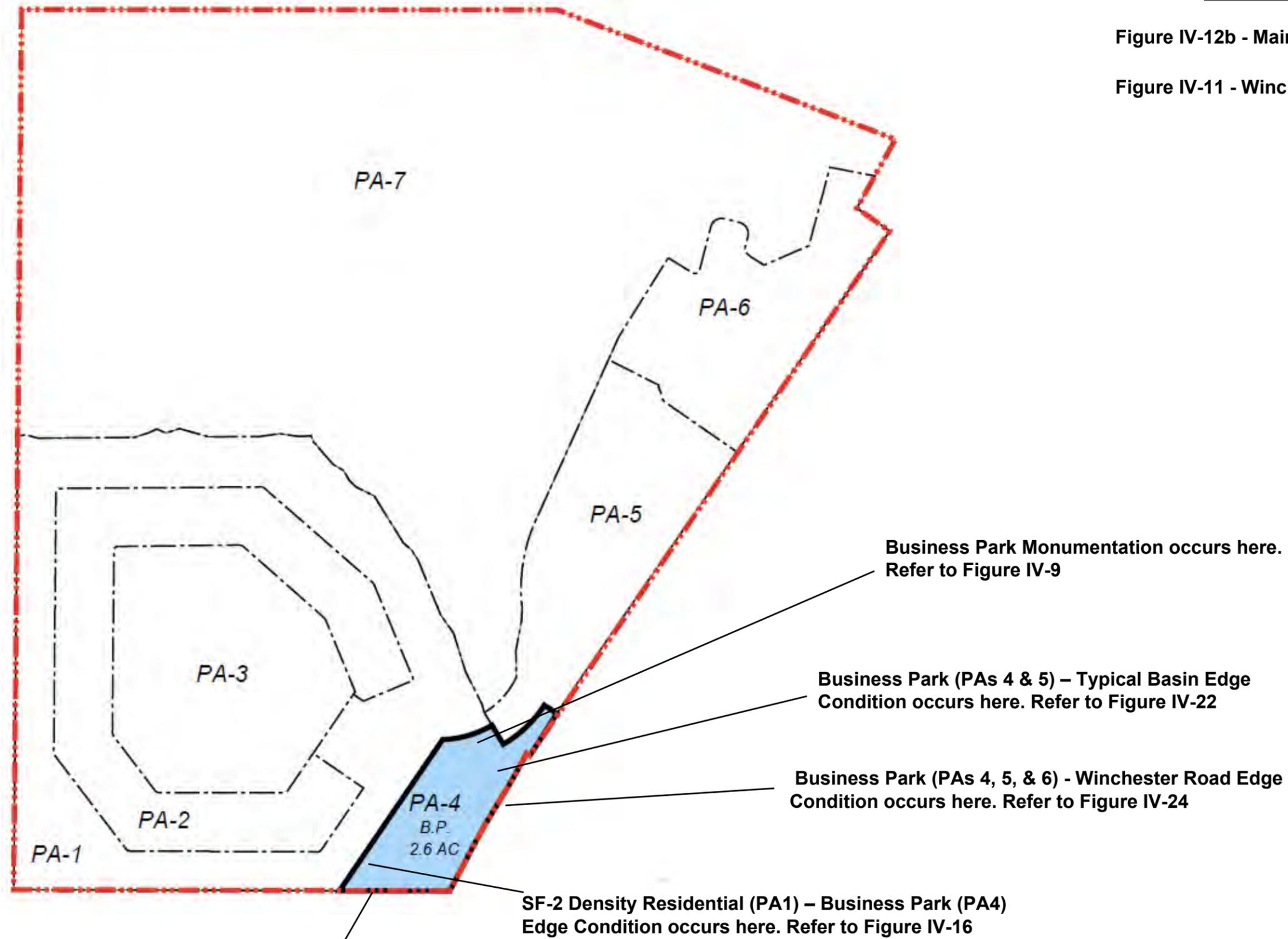
3. Zoning Standards

Table III-4, Zoning Standards PA4, PA5 & PA6 – Business Park			
Development Feature	PA4	PA5	PA6
Minimum Parcel Size	10,000 square feet	10,000 square feet	10,000 square feet
Minimum Parcel Width	75' (minimum average)	75' (minimum average)	75' (minimum average)
<b>Setbacks Required</b>			
Street (interior)	25'		
Interior (side/rear)	10'		
Interior (adjacent to residential zoned properties)	20' minimum or equal to the building height		
Street adjacent to Winchester Road	0'		
Accessory Structures	Same as main structure		
From Residential Areas	75'	N/A	N/A
Maximum Height Limit	50'		
Minimum On-site Landscaping per Parcel <sup>(1) (2)</sup>	10%		
(1) See Chapter 16.28 of the Murrieta Development Code, Landscaping Standards and Water Efficient Landscaping (2) No landscaping buffer is required adjacent to Winchester ROW which includes 37' of landscape area			

APPLICABLE ROADWAY FIGURES

Figure IV-12b - Main Entry Road Streetscape Street "B"

Figure IV-11 - Winchester Road Streetscape



## E. Planning Area 5: Business Park

### 1. Descriptive Summary

Planning Area 5 (PA5), as shown on Figure III-5, *Planning Area 5*, provides for the development of 5.1 acres of business park uses. PA5 is located in the eastern portion of the Specific Plan, adjacent to Winchester Road.

PA5 is located within Compatibility Zone D of the French Valley Airport Land Use Compatibility Plan. Development within PA5 will be consistent with Section 16.12, *Business Park and Industrial Districts* of the Murrieta Development Code; however, uses will be modified in Section V, *Land Use Regulations*, of the Specific Plan to insure consistency with the Airport Compatibility Zones.

Primary vehicular access to PA5 will be provided from Street "B". Sidewalks along this Street provide primary pedestrian access to and from PA5. These sidewalks will be part of a comprehensive sidewalk system that will connect all Planning Areas within the Specific Plan.

PA5 will be developed within Phase 2 of the Project.

### 2. Planning Standards

- a. Vehicular roadways shall be constructed as required by Section II text and as illustrated in Figure II-1, *Vehicular Circulation Plan*. The City of Murrieta shall approve all internal local and private roadways at the tentative map and/or Development Plan stage of development.
- b. A comprehensive site plan will be required with the first business park application that illustrates all proposed buildings, driveways, landscaped areas and parking.
- c. Details of business park elevations, pedestrian plazas, streetscenes, entries, architectural elements, massing, and articulation will be provided as required by Section IV text and as illustrated on Figures IV-6a-f, *Business Park*.
- d. Outdoor seating areas will be provided as required by Section IV text and as illustrated in Figure IV-6d, *Outdoor Seating Area Examples*.
- e. Major Entry Monumentation materials shall include landscaping, adobe veneer walls with rock pilasters and wood rail fences as depicted in Figure IV-8, *Major Entry Monumentation*. The Major Entry Monumentation wall will approximately six-feet (6') in height with seven-foot (7') high rock pilasters and will be fifty-five feet (55') across with raised bronze lettering. There will also be a four-foot (4') tall wood rail fence accent with smaller rock pilasters. Boulders and rock cobble, as well as decorative urns with recirculating water will be added to enhance this entry. Lastly, enhanced paving may be provided at the entry.
- f. Business Park Entry Monumentation, as depicted in Figure IV-9, *Business Park Entry Monumentation*, identifies the entrances to the business parks from Streets "A" and "B". The Business Park Entry Monumentation reflects the same character and materials utilized in the other Entry Monumentation. This Business Park Entry Monumentation will be approximately five-feet (5') in height with rock pilasters, twenty-one feet and nine-

inches (21' 9") across, and will also utilize raised bronze lettering and wood rail fence accent. Multi-trunk specimen tree(s) shall also be provided.

- g. Roadway landscape treatments and parkway configurations planned along Winchester Road shall be constructed as required by Section IV text and as are shown in Figure IV-11, *Winchester Road Streetscape* and Figure IV-24, *Business Park (PAs 4, 5, & 6) - Winchester Road Edge Condition*. During Phase I, the Project will construct Winchester Road according to the City of Murrieta Engineering Standards, per Project conditions of approval, and per Caltrans requirements at the time of construction, to include, but not be limited to, multimodal accessibility.
- h. Roadway landscape treatments and parkway configurations along Street "A" are shown in Figure IV-12a, *Main Entry Road Streetscape Street "A"*. Street "A" provides entry into the Project from Winchester Road and allows access into PA6. Street "A" has a maximum public ROW of seventy-eight feet (78'), with fifty-six feet (56') of pavement, and an eleven-foot (11') wide parkway on both sides of the street. It is anticipated that a six-foot (6') sidewalk will be located within the eleven-foot (11') wide parkway. Street "A" will be constructed during Phase I including sidewalks and landscaping improvements on both sides of the street.
- i. Roadway landscape treatments and parkway configurations along Street "B" are shown in Figure IV-12b, *Main Entry Road Streetscape Street "B"*. Street "B" will have a maximum public ROW of sixty-six feet (66'), with forty-eight feet (48') of pavement, a twelve-foot (12') wide parkway on the east side of the street, and a six-foot (6') wide parkway on the west side of the street. It is anticipated that a six-foot (6') sidewalk will be located on both sides of the street. A six-foot (6') wide bike lane will be provided on the west side of the street. There will be a continuous turn lane within the business park section of Street "B". Street "B" will be constructed during Phase I, including sidewalks and landscaping improvements on both sides of the street.
- j. Instances where PAs 4 & 5 abut water quality basins are depicted in Figure IV-22, *Business Park (PAs 4 & 5) – Typical Basin Edge Condition*. PAs 4 & 5 will be typically separated from water quality basins by a twenty-foot (20') wide, ten-foot (10') high slope, and/or retaining wall(s), five-foot, six-inch (5'6") high view fence, if required for safety, and landscaping. Landscaping shall include trees, shrubs, and groundcover in accordance with the plant palette.
- k. Instances where PA5 abuts PA7 are depicted in Figure IV-25, *Business Park (PA5) – OS (PA7) Edge Condition*. PA5 will be typically separated from PA7 by a slope, and/or retaining wall(s), and a forty-foot (40') wide landscaped fuel modification zone slope, and/or retaining wall(s). A five-foot (5') grading buffer zone will be will be provided between the fuel modification zone and the approved RCA fence line. Landscaping shall be irrigated, and shall include trees, shrubs, and groundcover in accordance with the plant palette.
- l. Walls and fencing shall be constructed as required by Section IV text and as delineated in Figure IV-32, *Conceptual Wall and Fence Plan*, and Figures IV-33a & b, *Wall and Fence Elevations*.
- m. Construction of block walls is not encouraged along streets unless needed to control noise attenuation, as mandated by the Project's Noise Study. Theme or view fencing and architectural frontage should be encouraged along these areas, when possible.

Landscaping shall be enhanced in areas where block walls are constructed in a manner depicted on Figure IV-33a, *Wall and Fence Elevations*.

- n. Water quality basins or swales shall be designed as required by the Project WQMP.
- o. Lighting should conform to the Section IV text. For examples, refer to Figure IV-31, *Lighting Fixtures*.
- p. Mailboxes should be representative, in terms of scale, detailing and enchantments, consistent with Section IV text and the example depicted on Figure IV-35, *Typical Mailbox Example*.
- q. Street trees shall be planted per Table IV-1, *Plant Palette*, and as depicted on Figure IV-7, *Conceptual Landscape and Street Tree Plan*.
- r. Refer to Section II, *Specific Plan*, for the following standards that apply community-wide:
  - II.A: Land Use Plan
  - II.B: Circulation Plan
  - II.C: Drainage Plan
  - II.D: Water Plan
  - II.E: Sewer Plan
  - II.F: Open Space and Recreation Plan
  - II.G: Grading Plan
  - II.H: Project Phasing Plan
  - II.I: Maintenance Plan
- s. Refer to Section IV, *Design Guidelines*, for other related design criteria.

**3. Zoning Standards**

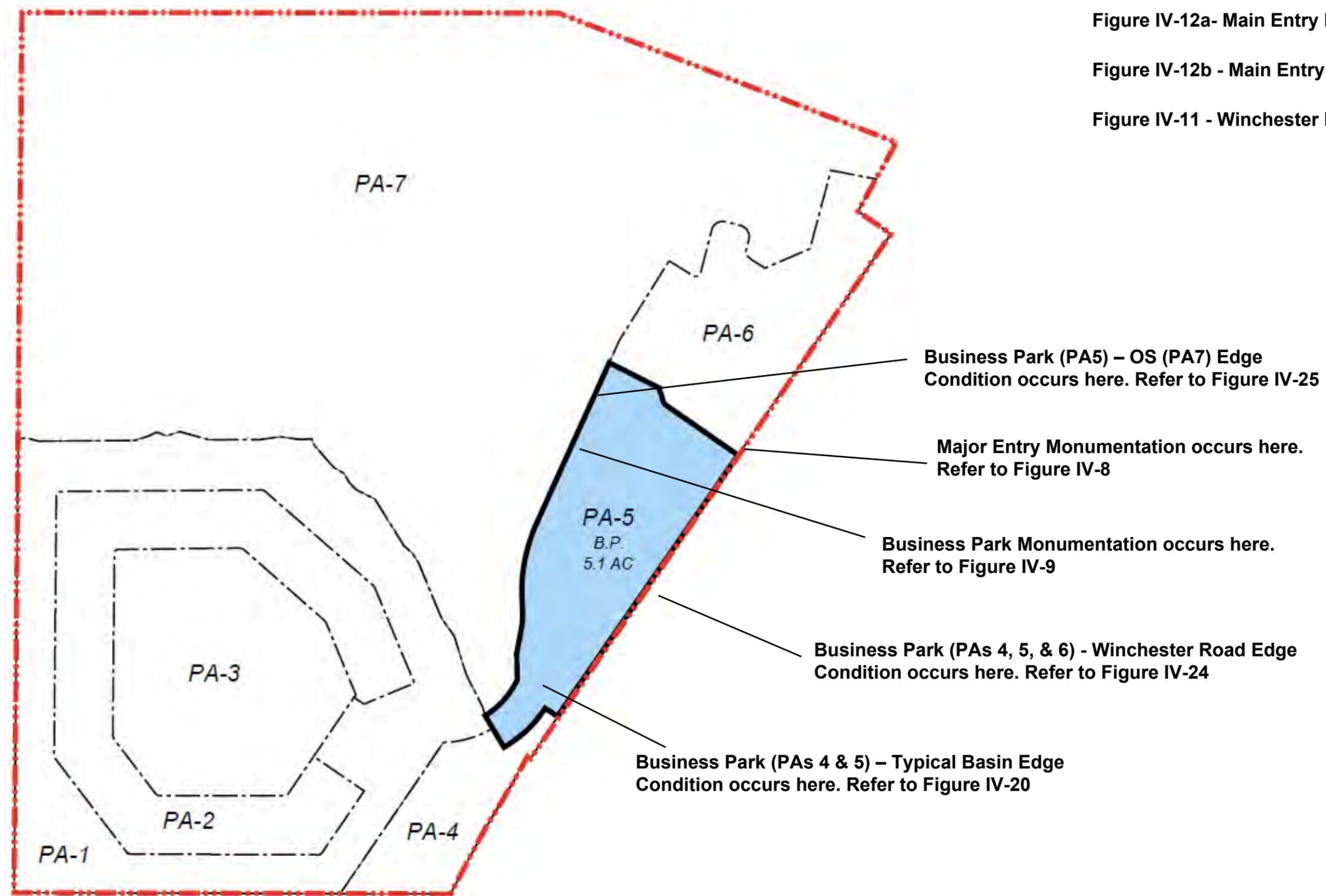
<b>Table III-4, Zoning Standards PA4, PA5 &amp; PA6 – Business Park Residential BUSINESS PARK</b>			
<b>Development Feature</b>	<b>PA4</b>	<b>PA5</b>	<b>PA6</b>
Minimum Parcel Size	10,000 square feet	10,000 square feet	10,000 square feet
Minimum Parcel Width	75' (minimum average)	75' (minimum average)	75' (minimum average)
<b>Setbacks Required</b>			
Street (interior)	25'		
Interior (side/rear)	10'		
Interior (adjacent to residential zoned properties)	20' minimum or equal to the building height		
Street adjacent to Winchester Road	0'		
Accessory Structures	Same as main structure		
From Residential Areas	75'	N/A	N/A
Maximum Height Limit	50'		
Minimum On-site Landscaping per Parcel <sup>(1) (2)</sup>	10%		
(1) See Chapter 16.28 of the Murrieta Development Code, Landscaping Standards and Water Efficient Landscaping (2) No landscaping buffer is required adjacent to Winchester ROW which includes 37' of landscape area			

APPLICABLE ROADWAY FIGURES

Figure IV-12a- Main Entry Road Streetscape Street "A"

Figure IV-12b - Main Entry Road Streetscape Street "B"

Figure IV-11 - Winchester Road Streetscape



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## F. Planning Area 6: Business Park

### 1. Descriptive Summary

Planning Area 6 (PA6), as shown on Figure III-6, *Planning Area 6*, provides for the development of 6.5 acres of business park uses. PA6 is located in the northwestern portion of the Specific Plan, adjacent to Winchester Road.

PA6 is located within Compatibility Zone D of the French Valley Airport Land Use Compatibility Plan. Development within PA6 will be consistent with Section 16.12, *Business Park and Industrial Districts* of the Murrieta Development Code; however, uses will be modified as part of the Specific Plan to insure consistency with the Airport Compatibility Zones.

Primary vehicular access to PA6 will be provided from Street "A". Sidewalks along this Street provide primary pedestrian access to and from PA6. These sidewalks will be part of a comprehensive sidewalk system that will connect all Planning Areas within the Specific Plan.

PA6 will be developed within Phase 2 of the Project.

### 2. Planning Standards

- a. Vehicular roadways shall be **constructed** as required by Section II text and as illustrated in Figure II-1, Vehicular Circulation Plan. The City of Murrieta shall approve all internal local and private roadways at the tentative map and/or Development Plan stage of development.
- b. A comprehensive site plan will be required with the first business park application that illustrates all proposed buildings, driveways, landscaped areas and parking.
- c. Details of business park elevations, pedestrian plazas, streetscenes, entries, architectural elements, massing, and articulation will be provided as required by Section IV text and as illustrated on Figures IV-6a-f, *Business Park*.
- d. Outdoor seating areas will be provided as required by Section IV text and as illustrated in Figure IV-6d, *Outdoor Seating Area Examples*.
- e. Major Entry Monumentation materials shall include landscaping, adobe veneer walls with rock pilasters and wood rail fences as depicted in Figure IV-8, *Major Entry Monumentation*. The Major Entry Monumentation wall will approximately six-feet (6') in height with seven-foot (7') high rock pilasters and will be fifty-five feet (55') across with raised bronze lettering. There will also be a four-foot (4') tall wood rail fence accent with smaller rock pilasters. Boulders and rock cobble, as well as decorative urns with recirculating water may be added to enhance this entry. Lastly, enhanced paving will be provided at the entry.
- f. Business Park Entry Monumentation identifies the entrances to the business parks from Streets "A" and "B". The Business Park Entry Monumentation reflects the same character and materials utilized in the other Entry Monumentation, as depicted in Figure IV-9, *Business Park Entry Monumentation*. This Business Park Entry Monumentation will be approximately five-feet (5') in height with rock pilasters, twenty-one feet and nine-inches (21' 9") across, and will also utilize raised bronze lettering and wood rail fence accent. Multi-trunk specimen tree(s) shall also be provided.

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- g. Roadway landscape treatments and parkway configurations planned along Winchester Road shall be planned as required by Section IV text and as are shown in Figure IV-11, *Winchester Road Streetscape* and Figure IV-24, *Business Park (PAs 4, 5, & 6) - Winchester Road Edge Condition*. During Phase I, the Project will construct Winchester Road according to the City of Murrieta Engineering Standards, per Project conditions of approval, and per Caltrans requirements at the time of construction, to include, but not be limited to, multimodal accessibility.
- h. Roadway landscape treatments and parkway configurations along Street “A” are shown in Figure IV-12a, *Main Entry Road Streetscape Street “A”*. Street “A” provides entry into the Project from Winchester Road and allows access into PA6. Street “A” has a maximum public ROW of seventy-eight feet (78’), with fifty-six feet (56’) of pavement, and an eleven-foot (11’) wide parkway on both sides of the street. It is anticipated that a six-foot (6’) sidewalk will be located within the eleven-foot (11’) wide parkway. Street “A” will be constructed during Phase I including sidewalks and landscaping improvements on both sides of the street.
- i. Roadway landscape treatments and parkway configurations along Street “B” are shown in Figure IV-12b, *Main Entry Road Streetscape Street “B”*. Street “B” will have a maximum public ROW of sixty-six feet (66’), with forty-eight feet (48’) of pavement, a twelve-foot (12’) wide parkway on the east side of the street, and a six-foot (6’) wide parkway on the west side of the street. It is anticipated that a six-foot (6’) sidewalk will be located on both sides of the street. A six-foot (6’) wide bike lane will be provided on the west side of the street. There will be a continuous turn lane within the business park section of Street “B”. Street “B” will be constructed during Phase I, including sidewalks and landscaping improvements on both sides of the street.
- j. Instances where PA6 abuts off-site are depicted in Figure IV-23, *Business Park (PA6) – Off-site Edge Condition*. PA6 will be typically separated from off-site by an existing perimeter wall and a ten-foot (10’) wide landscaping planter. Landscaping shall include trees, shrubs, and groundcover in accordance with the plant palette.
- k. Instances where PA6 abuts PA7 are depicted Figure IV-26, *Business Park (PA6) – OS (PA7) Edge Condition*. PA6 will be typically separated from PA7 by a slope, and/or retaining wall(s), and a thirty-foot (30’) wide fuel modification zone, which consists of landscaping and the parking lot. A five-foot (5’) grading buffer zone will be provided between the fuel modification zone and the approved RCA fence line. Landscaping shall be irrigated, and shall include trees, shrubs, and groundcover in accordance with the plant palette.
- l. Walls and fencing shall be constructed as required by Section IV text and as delineated in Figure IV-30, *Conceptual Wall and Fence Plan*, and Figures IV-33 a & b, *Wall and Fence Elevations*.
- m. Construction of block walls is not encouraged along streets unless needed to control noise attenuation, as mandated by the Project’s Noise Study. Theme or view fencing and architectural frontage should be encouraged along these areas, when possible. Landscaping shall be enhanced in areas where block walls are constructed in a manner depicted on Figure IV-33a, *Wall and Fence Elevations*.
- n. Water quality basins or swales shall be designed as required by the Project WQMP.

- o. Lighting should conform to the Section IV text. For examples, refer to Figure IV-31, *Lighting Fixtures*.
- p. Mailboxes should be representative, in terms of scale, detailing and enchantments, consistent with Section IV text and the example depicted on Figure IV-35, *Typical Mailbox Example*.
- q. Street trees shall be planted per Table IV-1, *Plant Palette*, and as depicted on Figure IV-7, *Conceptual Landscape and Street Tree Plan*.
- r. Refer to Section II, *Specific Plan*, for the following standards that apply community-wide:
  - II.A: Land Use Plan
  - II.B: Circulation Plan
  - II.C: Drainage Plan
  - II.D: Water Plan
  - II.E: Sewer Plan
  - II.F: Open Space and Recreation Plan
  - II.G: Grading Plan
  - II.H: Project Phasing Plan
  - II.I: Maintenance Plan
- s. Refer to Section IV, *Design Guidelines*, for other related design criteria.

3. Zoning Standards

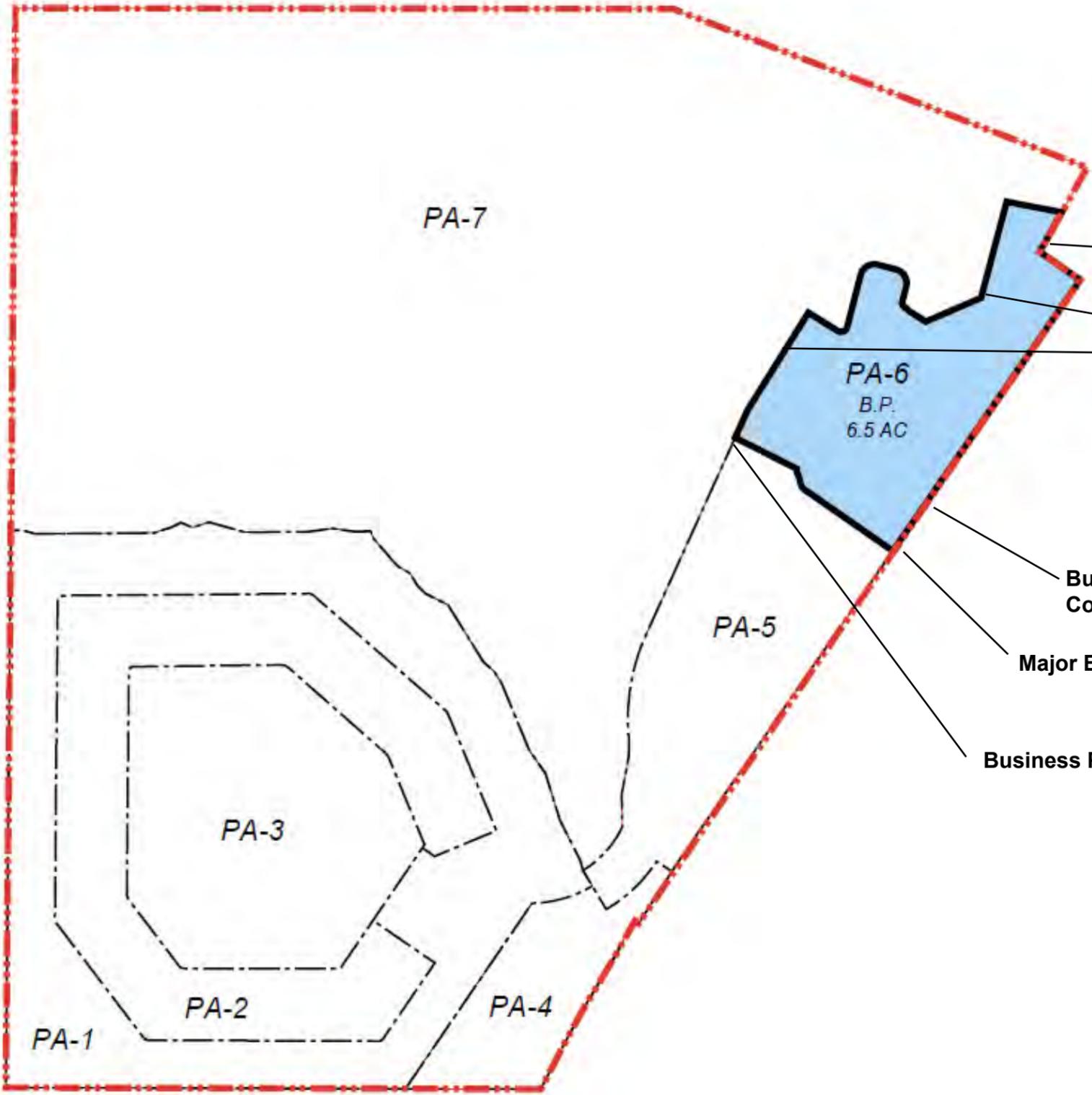
<b>Table III-4, Zoning Standards PA4, PA5 &amp; PA6 – Business Park Residential BUSINESS PARK</b>			
<b>Development Feature</b>	<b>PA4</b>	<b>PA5</b>	<b>PA6</b>
Minimum Parcel Size	10,000 square feet	10,000 square feet	10,000 square feet
Minimum Parcel Width	75' (minimum average)	75' (minimum average)	75' (minimum average)
<b>Setbacks Required</b>			
Street <b>(interior)</b>	25'		
Interior <b>(side/rear)</b>	10'		
Interior (adjacent to residential zoned properties)	20' minimum or equal to the building height		
<b>Street adjacent to Winchester Road</b>	<b>0'</b>		
Accessory Structures	Same as main structure		
From Residential Areas	75'	N/A	N/A
Maximum Height Limit	50'		
Minimum On-site Landscaping per Parcel <sup>(1) (2)</sup>	10%		
(1) See Chapter 16.28 of the Murrieta Development Code, Landscaping Standards and Water Efficient Landscaping (2) No landscaping buffer is required adjacent to Winchester ROW which includes 37' of landscape area			

APPLICABLE ROADWAY FIGURES

Figure IV-12a- Main Entry Road Streetscape Street "A"

Figure IV-12b - Main Entry Road Streetscape Street "B"

Figure IV-11 - Winchester Road Streetscape



Business Park (PA6) – Off-site Edge Condition occurs here. Refer to Figure IV-23

Business Park (PA6) – OS (PA7) Edge Condition occurs here. Refer to Figure IV-26

Business Park (PAs 4, 5, & 6) - Winchester Road Edge Condition occurs here. Refer to Figure IV-24

Major Entry Monumentation occurs here. Refer to Figure IV-8

Business Park Monumentation occurs here. Refer to Figure IV-9

## G. Planning Area 7: Open Space

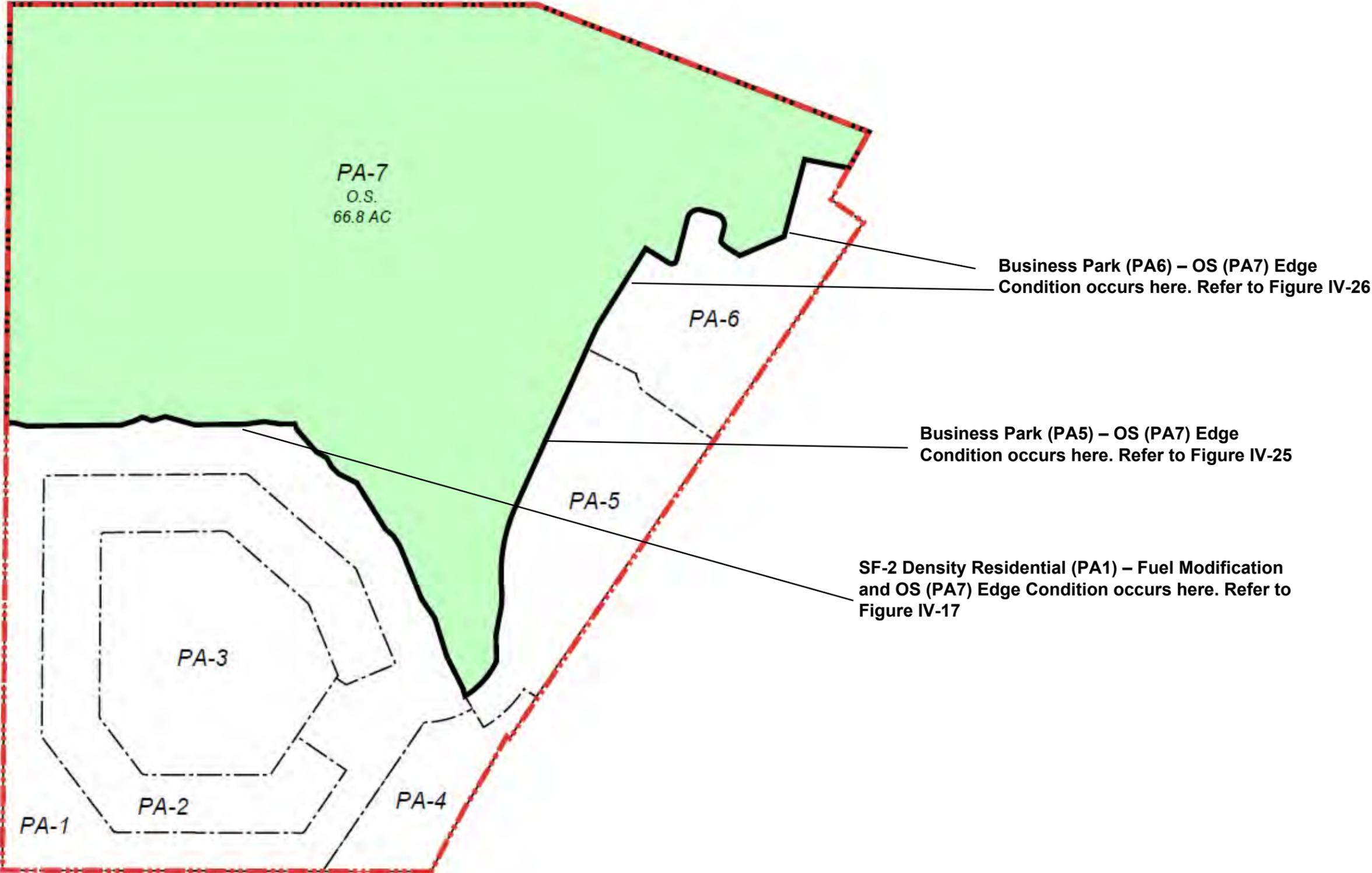
### 1. Descriptive Summary

Planning Area 7 (PA7), as shown on Figure III-7, *Planning Area 7*, is approximately 66.8 acres and is designated Open Space (OS). PA7 will remain undisturbed and undeveloped, with the exception of possible hiking trails. Aside from mitigation and restoration activities approved by the Western Riverside County Regional Conservation Authority (RCA), this part of the Project site will remain in its existing, natural condition, be dedicated as open space, and serve as Multi Species Habitat Conservation Plan (MSHCP) conservation land. Passive hiking activities may be allowed within PA7, subject to City and RCA approval. These possible hiking activities will be allowed on the historically disturbed, existing trails, if approved.

PA7 will be separated from Planning Areas 1, 5, and 6 by landscaping that will provide a buffer area reference Figure IV-7. This landscape buffer area will be planted with materials that are contained within Table IV-1, *Plant Palette*, and will be compatible with one another in terms of species.

### 2. Planning Standards

- a. Instances where PA1 abuts PA7 are depicted Figure IV-17, *SF-2 Density Residential (PA1) – Fuel Modification and OS (PA7) Edge Condition*. PA1 will be typically separated from PA7 by a slope, and/or retaining wall(s), a five-foot (5') high masonry wall for firebreak, a five-foot, six-inch (5'6") view fence, and a thirty-foot (30') wide, irrigated landscaped fuel modification zone. An additional approximate twenty-foot (20') wide grading buffer zone will be provided between the fuel modification zone and the approved RCA fence line. Landscaping should include shrubs and groundcover in accordance with the plant palette.
- b. Instances where PA5 abuts PA7 are depicted in Figure IV-25, *Business Park (PA5) – OS (PA7) Edge Condition*. PA5 will be typically separated from PA7 by a slope, and/or retaining wall(s), and a forty-foot (40') wide fuel modification zone, and/or retaining wall(s). A five-foot (5') grading buffer zone will be provided between the fuel modification zone and the approved RCA fence line. Landscaping shall be irrigated, and **shall** include trees, shrubs, and groundcover in accordance with the plant palette.
- c. Instances where PA6 abuts PA7 are depicted in Figure IV-26, *Business Park (PA6) – OS (PA7) Edge Condition*. PA6 will be typically separated from PA7 by a slope, and/or retaining wall(s), and a thirty-foot (30') wide fuel modification zone, and/or retaining wall(s). A five-foot (5') grading buffer zone will be provided between the fuel modification zone and the approved RCA fence line. Landscaping shall be irrigated, and **shall** include trees, shrubs, and groundcover in accordance with the plant palette.
- d. Refer to Section II, *Specific Plan*, for the following standards that apply community-wide:
  - II.A: Land Use Plan
  - II.F: Open Space and Recreation Plan
- e. Refer to Section IV, *Design Guidelines*, for other related design criteria.



PLANNING AREA 7 - FIGURE III-7

## IV. Design Guidelines

### A. Purpose and Intent

These Design Guidelines (Guidelines) are intended to establish the pattern and character of development within the Adobe Springs Specific Plan (Specific Plan) in order to form an aesthetically cohesive environment. Specifically, the objectives for the Guidelines are:

- Provide clear direction to decision makers regarding the theming, and intent of the Specific Plan, thus reducing the possibility of confusing interpretation and subjective decisions related to the Specific Plan implementation.
- Address residential, business park product design, as well as residential, business park, and open space landscape design, and elements such as, walls, fencing, monumentation, and parks.
- Establish a consistent design expression among site planning, architectural and landscape architectural components, while allowing reasonable flexibility in design.
- Create a cohesive residential neighborhood, rather than a series of adjacent subdivisions.
- Reinforce the Specific Plan's overall theme with a selection of three (3) specific architectural styles, climate/regionally appropriate landscaping and the utilization of reclaimed water where appropriate.
- Establish a strong sense of community with shared community spaces, pedestrian linkages, a hierarchy of monumentation, and quality architectural designs.
- Provide continuity and compatibility with surrounding uses through site planning, buffering, building design, street design, landscaping and other design elements that will endure for the life of the community.
- Provide for housing products that are responsive to local needs and market demands.

The Guidelines provided within Section IV, *Design Guidelines*, of the Specific Plan are intended as a living document. They may be subject to modification over time so as to allow for response to unanticipated conditions, such as changes in trends, community desires, and the marketplace. Interpretations will be left to the discretion of the City Planner, with an understanding that the "intent," rather than the "letter," of these Guidelines shall be the goal for implementation. The final desire is to create a high quality community without an overly rigid adherence to the guidelines contained herein.

### B. Introduction

These Guidelines are comprised of elements that define the design concept, physical character, and theme of the Specific Plan. The principal components of this section are Architectural Design Guidelines and Landscaping Design Guidelines.

The *Architectural Design Guidelines* are intended to provide a basis for decisions regarding the structural environment to be built, and include standards for site planning, layout, and development. These Guidelines also show the relationship of buildings to one another, as well as surrounding land uses. A high-quality living and working environment is influenced by site planning, architectural theme and details, building mass and scale, materials and color, and articulations. By defining these elements, assurance is provided that the homes and buildings constructed in the Specific Plan will have a distinctive identity, and be high quality.

The *Landscaping Design Guidelines* are comprised of the key components such as a hierarchy of monumentation, streetscapes, edge conditions between on-site and off-site land uses, community walls and fences, recreational areas, and pedestrian linkages. These Guidelines also present general requirements relating to the plant palette. This palette will ensure that plants are drought tolerant, and will be compatible with and complementary to, the overall design theme. The *Landscaping Design Guidelines* set forth minimum standards for the percentage and spacing of shade trees in certain areas of the Specific Plan.

#### 1. Community Theme

The Specific Plan will harmoniously embrace the existing ambiance of the surrounding area, as well as support the Project name – Adobe Springs. Architecture, open space, landscape, and streetscape elements will come together to establish and reinforce a sense of informal elegance and to promote a high level of desirability, attractiveness, and enduring value throughout the development.

In concert with the architecture, the landscape treatments will play an important role in the environment. The landscape will strive to achieve an environment unique to the Specific Plan, but one that is a logical extension of the surrounding area.

Community fencing will be designed to further enhance the character of the area without interrupting the continuity of the development. This will be achieved through the use of treatments such as stone, wood rail, and masonry. Monumentation will be designed as a thematic element, acting as a hierarchy of signposts that integrate natural landscape elements with the built environment. These structural elements will reinforce the use of a family of sympathetic materials. Streetscape elements, including light poles and fixtures, and bollards will be selected to ensure a consistent theme throughout the Community.

## C. Residential Architectural Design Guidelines

This section sets forth Guidelines for the residential architectural component of the Specific Plan. In conjunction with the Landscape Design Guidelines, these Residential Architectural Design Guidelines are intended to guide the development of a cohesive and attractive community. This section establishes site planning guidelines; in addition, this section identifies the key architectural styles and architectural “elements” that should be considered in all residential development. It is the intent of these guidelines to establish a consistent architectural expression that reflects the community theme while allowing for flexibility in design.

Developers, builders, engineers, architects, landscape architects, and other design professionals should utilize the guidelines in order to maintain design continuity throughout the community. Because of the evolving nature of architectural styles, the community’s identity will be expressed primarily through landscape, hardscape, and community elements such as entry monumentation. Architecture allows individual developers to utilize styles that are consistent with and complimentary to these features.

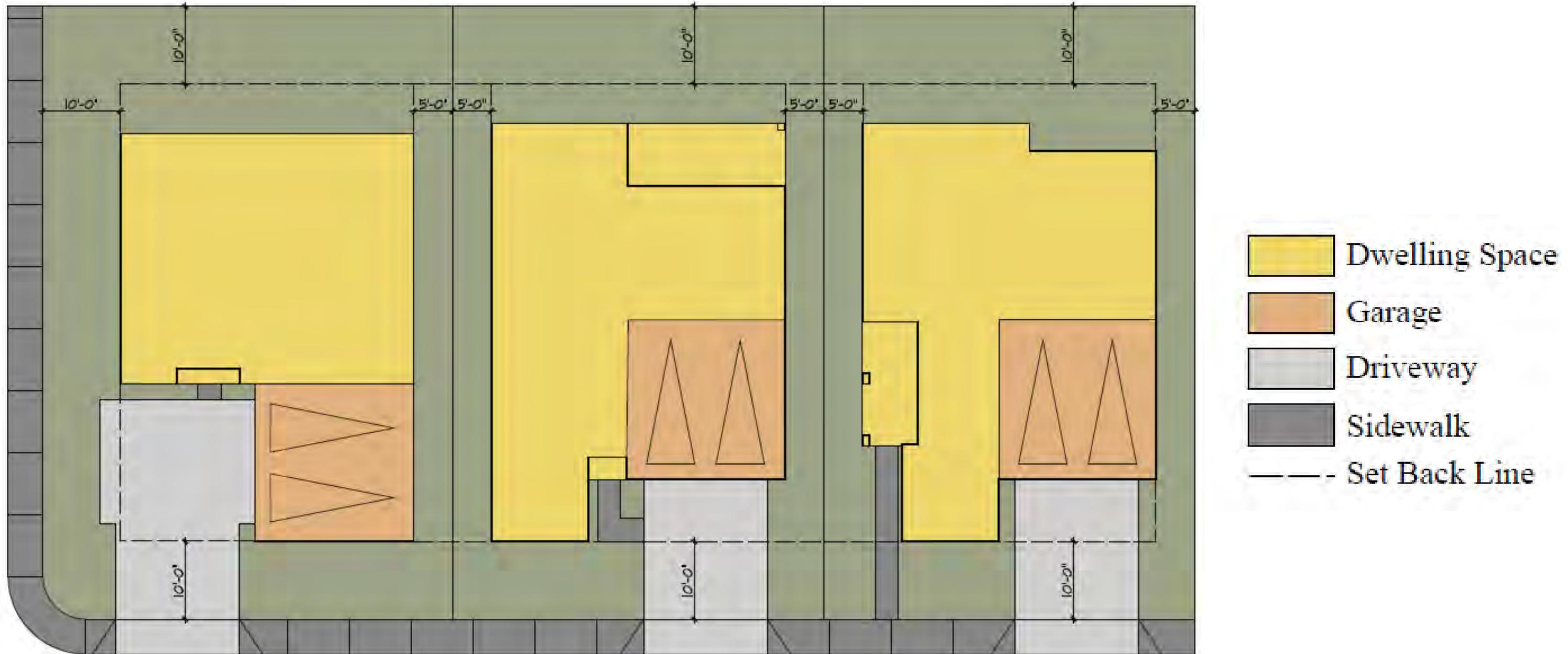
The primary goal of these Guidelines is to develop residential structures (and recreational structures) that exhibit excellent design. The Specific Plan also strives to provide a variety of architectural themes and styles that create a consistent community theme, supporting the Project name, “Adobe Springs.” The architectural themes and styles add to the character of the neighborhoods by creating visual interest. Architectural variety shall be created by combining building materials, colors, and textures in conjunction with architectural features (e.g. roofs, windows, doors, façades, trim) rather than by designing buildings that vary greatly in architectural style.

### 1. Site Planning Design Guidelines

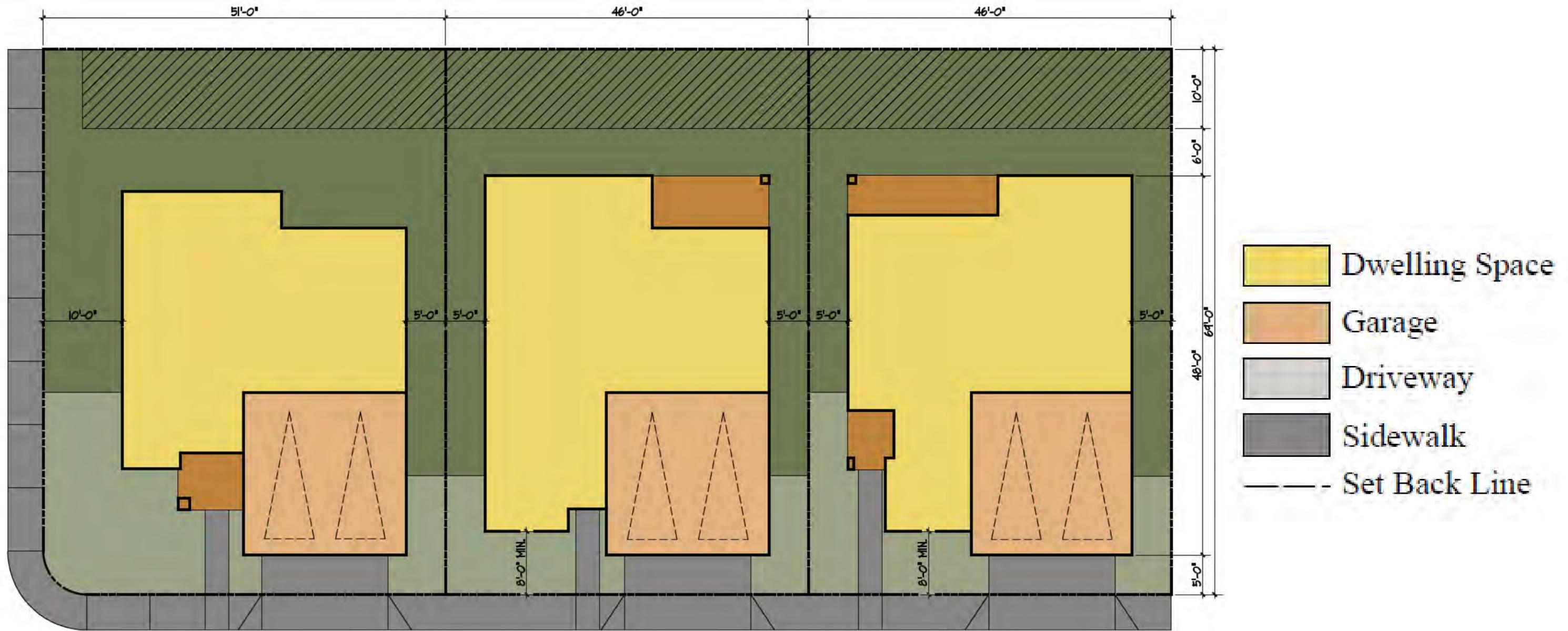
Design of residential sites within the Specific Plan is an essential component of the land use plan. Specific standards and criteria are provided for each residential development type to address setbacks, pad sizes, building envelope coverage, and encroachments. Figures Figure IV-1a, *Single-Family Detached: Traditional (48’ Minimum Street Frontage)*, Figure IV-1b, *Single-Family Detached: Traditional (46’ Minimum Street Frontage)* and Figure IV-1c, *Single-Family Detached: Traditional (40’ Minimum Street Frontage)* illustrate these concepts and offers information regarding placement of residences within the community. These figures contain the details of the typical building envelope with a corresponding table that lists specific development standards for that building envelope.

#### a. Single-Family Detached: Traditional

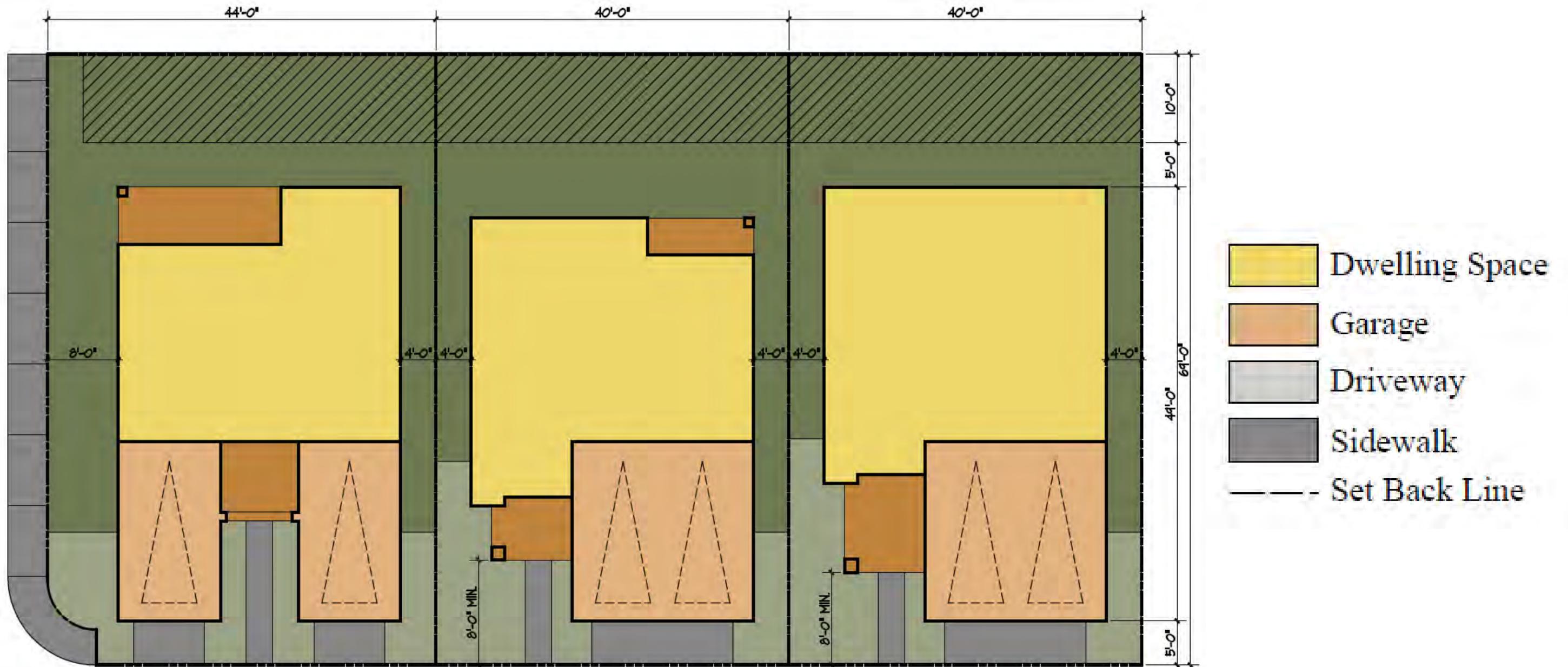
Single-family detached homes are allowed within all three Planning Areas. Homes within these Planning Areas should be developed in accordance to the standards provided on Figure IV-1a, Figure IV-1b, and Figure IV-1c.



**SINGLE-FAMILY DETACHED, TRADITIONAL  
(48' MINIMUM STREET FRONTAGE)- FIGURE IV-1a**



**SINGLE-FAMILY DETACHED, TRADITIONAL  
(46' MINIMUM STREET FRONTAGE)- FIGURE IV-1b**



**SINGLE-FAMILY DETACHED, TRADITIONAL  
(40' MINIMUM STREET FRONTAGE)- FIGURE IV-1c**

### 2. Architectural Styles

The architectural styles of the residential homes within the Specific Plan are intended to complement and reinforce the community theme. As described above, a variety of architectural styles is pivotal to creating a high-quality community. The Specific Plan will feature three unique architectural styles that will include: Tuscan, Spanish Colonial, and Monterey.

Developers, builders, engineers, architects, landscape architects, and other design professionals will be required to use the guidelines in order to maintain design continuity, create an identifiable image, and develop a cohesive community. The following descriptions and referenced graphics provide an overview of the general architectural styles desired for the Specific Plan.

It should be emphasized that individual character and interpretation are encouraged and it is not the intent that all of the following represented design components be incorporated into the design proposals. These examples are only conceptual in nature and do not necessarily depict the actual final design. Finalized floor plans and elevations for the houses are required to be submitted for review by the City using the standards contained within the Specific Plan prior to the issuance of building permits.

#### a. Tuscan Architectural Style

The Tuscan component is a more formal and ornate adaptation of the Mediterranean vernacular, with details derived from the houses and villas of the Italian region of Tuscany. Details common to the Tuscan style are listed below:

- Stone and/or brick veneer as accent elements
- Low pitched roofs with overhangs
- 'S' tile roofs
- Decorative window treatments and surrounds
- Use of tower elements and/or asymmetrical massing

Examples of how the Tuscan architectural style will be applied to the single-family residential homes within the Specific Plan are provided on Figure IV-2, *Tuscan Architectural Style*. The visual graphic examples on Figure IV-2, *Tuscan Architectural Style*, along with accompanying examples throughout the text in this Section, should be provided in the Tuscan residential development constructed in the Specific Plan.

Section. 3. (a-i) of this Specific Plan (Residential Criteria) discusses building mass and scale, building materials and colors, windows and doors, porches and balconies, columns and posts, garages, rear and side articulation/facade treatment, and roof materials and colors in an overall sense as it pertains to the residential development within the Specific Plan. These criteria will also apply to the Tuscan architectural style.

However, additional criteria, specific to the Tuscan architectural style are listed below, and are contained on Figure IV-2, *Tuscan Architectural Style*. These elements should be utilized for this style, and it will be imperative to implement these properly on subsequent plans to achieve the greatest design possible.

### 1. Windows

- Multi-divisioned single hung or sliding windows with decorative plaster trim
- Provide offsetting planes at second floor rooms to add interest to front elevations
- Accent shutters on front elevations



### 2. Doors

- Solid wood, composite, or fiberglass, some with vertical panels
- Entry door elements may include stone or brick veneer surrounds



### 3. Porches and Balconies

- Some covered porches may be used to add interest to the streetscene
- Some entry courtyards with plaster site walls and metal or wood gates may be used
- Balconies shall include metal or wood railings and plaster trim accents



### 4. Roofs

- Main hip structure with intersecting gables or hips
- Moderate pitches from 4:12 to 5:12
- Rakes should be 3" minimum
- Eaves should include 12" to 16" minimum deep overhangs
- Eaves may include exposed rafter tails
- Concrete tile roofing
- Colors will complement the house



### 5. Garages

- Will be consistent and complement the architectural style with complementary colors
- Garages may be recessed and include decorative trim and/or plaster or wood corbels
- Garage carriage lights shall be wall mounted and should be appropriate to the style
- Roll up garage doors with optional windows appropriate to the style
- Garage walls may include stone or brick veneer in select areas





### TUSCAN ARCHITECTURAL STYLE

- 1 Stone and/or brick veneer as accent elements
- 2 Low pitched roofs with overhangs
- 3 'S' tile roofs
- 4 Decorative window treatments and surrounds
- 5 Use of tower elements and/or asymmetrical massing

### HISTORY and CHARACTER

Historical antecedents in Tuscany. The Tuscan style adapts old world elements to southern California. Characteristics include: old world elements which exude permanence, simple clear massing with tower elements, and judicious use of details authentic to the style. Features comprise stone or brick walls as accents, buttressed wall elements, 'S' tile roofs, and recessed windows with shutters in limited key locations.



### b. Spanish Colonial Architectural Style

Spanish Colonial is an adaptation of Mission Revival enriched with additional Latin American details and elements. The style attained widespread popularity after its use in the Panama-California Exposition of 1915. The simple courtyards of the Spanish Colonial heritage with hanging pots, a flowering garden and sprawling shade trees are utilized as foreground design elements. Further architectural distinction is established through the use of tile roofs, stucco walls, heavily textured wooden doors and highlighted ornamental ironwork. Other details common to the Spanish Colonial style are listed below:

- Low pitched roofs with plaster eaves or exposed rafter tails
- 'S' tile roofs
- Arches used at main entrance and focal point windows on front elevations
- Façade normally asymmetrical
- Exterior plaster walls
- Decorative window grilles, shutters, and/or awnings at key locations
- Balconies with iron railings

Examples of how the Spanish Colonial architectural style will be applied to the single-family residential homes within the Specific Plan are provided on Figure IV-3, *Spanish Colonial Architectural Style*. The visual graphic examples on Figure IV-3, *Spanish Colonial Architectural Style*, along with accompanying examples throughout the text in this Section, should be provided on the Spanish Colonial residential development constructed in the Specific Plan.

Section 3. (a-i) of this Specific Plan (Residential Criteria) discusses building mass and scale, building materials and colors, windows and doors, porches and balconies, columns and posts, garages, rear and side articulation/facade treatment, and roof materials and colors in an overall sense as it pertains to the residential development within the Specific Plan. These criteria will also apply to the Spanish Colonial architectural style.

However, additional criteria, specific to the Spanish Colonial architectural style are listed below, and are contained Figure IV-3 *Spanish Colonial Architectural Style*. These elements should be utilized for this style, and it will be imperative to implement these properly on subsequent plans to achieve the greatest design possible.

#### 1. Windows

- Multi-divisioned single-hung, arched or sliding windows with decorative plaster trim
- Provide offsetting planes at second floor rooms to add interest to front elevations
- Accent shutters on front elevations



### 2. Doors

- Solid wood, composite, or fiberglass, some with vertical panels
- Colors shall be complementary to the style



### 3. Porches and Balconies

- Some porches may be used to add interest to the street scene
- Some entry courtyards with plaster side walls and metal gates may be used
- Balconies shall include metal or wood railings and plaster trim accents



### 4. Roofs

- Main hip structure with intersecting gables or hips
- Moderate pitches from 3:12 to 4:12
- Clipped rakes
- Eaves should include 8" minimum overhang
- Eaves can be enclosed plaster cornice, exposed rafter tails, or standard wood fascia
- Concrete tile roofing
- Colors will complement the house



### 5. Garages

- Will be consistent and complement the architectural style with complementary colors
- Garages may be recessed and include decorative trim and/or corbels
- Garage carriage lights shall be wall mounted and **should be** appropriate to the style
- Roll up doors with optional windows appropriate to the style





**SPANISH COLONIAL ARCHITECTURAL STYLE**

- 1 Low pitched roofs with plaster eaves or exposed rafter tails
- 2 'S' tile roofs
- 3 Arches used at main entrance and focal point windows on front elevations
- 4 Façade normally asymmetrical
- 5 Exterior plaster walls
- 6 Decorative window grilles, shutters, and/or awnings at key locations
- 7 Balconies with iron railings

**HISTORY and CHARACTER**

Spanish Colonial architecture is most common in the southwestern states, particularly California, Arizona, and Texas. Domestic buildings of Spanish precedent built before 1920 are generally free adaptations in the Mission Style. It was not until the Panama-California Exposition, held in San Diego in 1915, that precise imitation or more elaborate Spanish prototypes received wide attention. The exposition designers wanted to go beyond the then prevalent Mission interpretations and emphasize the richness of Spanish precedents found throughout Latin America.

Inspired by the wide publicity given the exposition, other fashionable architects soon began to look directly to Spain for source material. There they found a still longer and richer sequence of architectural traditions which became melded into a style that they continued to call the Spanish Colonial Revival. This style includes exterior plaster walls, low pitched roofs with plaster eaves or exposed rafter tails, 's' tile roofs, asymmetrical façade and use of courtyards to create outdoor rooms where lot size permits.



### c. Monterey Architectural Style

The Monterey style is a revival of the Spanish Colonial houses of northern California that blends adobe construction with traditionally English shapes to create architecture that is typically characterized by simple house forms, relatively low-pitched hip or gable roofs, and wide overhangs. Shutters, balconies, verandas, and porches are indicative of the style and the first and second may have different cladding materials, with wood siding above and a stucco or brick veneer base below. Walls convey a thick appearance with recessed door and window openings set back into smooth wall planes. The use of arches, courtyards, patios, and colonnades enhance the theme. Monterey style houses always have a second-story balcony that is usually cantilevered and covered by the principle roof, and traditionally are not located above the living space. Details common to the Monterey style are listed below:

- Simple wood posts and beams with exposed wood corbels or rafters at front elevations and as accents
- Low-pitched gable-ended roofs
- Shingle, flat, or barrel concrete tile roofing
- Windows paired with real or false shutters
- Accents materials include stucco, brick, siding, and wood

Examples of how the Monterey architectural style will be applied to the single-family residential homes within the Specific Plan are provided on Figure IV-4, *Monterey Architectural Style*. The visual graphic examples on Figure IV-4, *Monterey Architectural Style*, along with accompanying examples throughout the text in this Section, should be provided on the Monterey residential development constructed in the Specific Plan.

Section 3. (a-i) of this Specific Plan (Residential Criteria) discusses building mass and scale, building materials and colors, windows and doors, porches and balconies, columns and posts, garages, rear and side articulation/facade treatment, and roof materials and colors in an overall sense as it pertains to the residential development within the Specific Plan. These criteria will also apply to the Monterey architectural style.

However, additional criteria, specific to the Monterey architectural style are listed below, and are contained Figure IV-4, *Monterey Architectural Style*. These elements should be utilized for this style, and it will be imperative to implement these properly on subsequent plans to achieve the greatest design possible.

#### 1. Windows

- Vertical multi-divisioned with wood or plaster trim
- Accent shutters on front elevations



### 2. Doors

- Paneled wood, or fiberglass, with decorative trim
- Colors shall be complementary to the style



### 3. Porches and Balconies

- Balconies are a common feature of this style and include wood columns and wood or metal railings



### 4. Roofs

- Main gable with shed roof over balcony
- Moderate pitches from 4:12 to 6:12
- Flat tile, barrel or 'S' tile concrete roofing
- 12" to 18" overhangs
- Colors will complement the house



### 5. Garages

- Will be consistent and complement the architectural style with complementary colors
- Garage carriage lights shall be wall mounted and should be appropriate to the style
- Roll up doors with optional windows appropriate to the style
- Hardware to complement lighting fixtures and architectural style





### MONTEREY ARCHITECTURAL STYLE

- 1 Simple wood posts and beams with exposed wood corbels or rafters at front elevations and as accents
- 2 Low-pitched gable-ended roofs
- 3 Shingle, flat, or barrel concrete tile roofing
- 4 Windows paired with real or false shutters
- 5 Accents materials include stucco, brick, siding, and wood

### HISTORY and CHARACTER

The MONTEREY STYLE is a revival of the Spanish Colonial houses of northern California, blending adobe construction with traditionally English shapes.

The Monterey style of architecture is typically characterized by simple house forms, relatively low-pitched hip or gable roofs, and wide overhangs. Shutters, balconies, verandas and porches are indicative of the Monterey style. The first and second stories may have different cladding materials, with wood siding above and stucco or brick veneer base below. Walls convey a thick appearance with recessed door and window openings set back into smooth wall planes. The use of arches, courtyards, patios and colonnades enhance the theme. Monterey style houses always have a second-story balcony that is usually cantilevered and covered by the principle roof. Second story balconies traditionally are not located above the living space. Roofs are usually tiled or shingled and the finish is generally smooth stucco, occasionally with wood siding as an accent. Multi-paned windows and large-scale chimneys are also often present on Monterey-style houses.



### 3. Residential Criteria

Residential criteria are discussed below. Corresponding graphic representations are provided within the text below

#### a. Building Mass and Scale

Building mass and scale are two of the primary design components used to establish appealing communities and personable neighborhoods. Controlling the mass of a building through design articulation of the building façades, rooflines, and vertical and horizontal planes effectively reduces the visual mass of a building. Mass and scale are important design considerations during the development of a friendly street aesthetic and pedestrian scale architecture, which will be used throughout the Specific Plan. Attention to architectural styles will help to provide variation in the mass and scale of buildings.

1. The development of one-story edging along neighborhood streets and at street corners shall be designed to allow the residence to step back from the street.
2. A single-story edging within a two-story building helps to lessen the appearance of the building mass.
3. Units located at street corners shall have partial single story edging, which improves the appearance of the front and side yards.



#### b. Building Materials and Colors

Building materials and colors are important elements when used to achieve a true representation of a specific architectural style. The use of building materials and colors play a key role in developing community character and ambiance. The character and personality of a residential neighborhood is significantly affected by the composition of the materials and colors of the homes within it. Consideration will be given to selecting a variety of complimentary color and material palettes along any given street. A scheme of color values on all exterior elements shall be distinct from one house to the next, with deeper tones encouraged to promote variations. The selected architectural styles for the Specific Plan allow for a diversity of colors and materials.

1. Colors shall be as authentic to the style as possible when compared to the traditional color palette of the selected style.
2. Consideration shall also be given to colors available in the contemporary market. In general, acceptable materials and colors include:
  - Earth-toned colors.

- Colors that appear indigenous to the environment.
  - Materials should also be indigenous in appearance to the environment, such as stone or stucco.
3. Material breaks, transitions, and termination shall produce complementary and clear definitions of separation, while maintaining a prescribed color and materials theme. This is especially important in changing from stucco and/or siding to masonry veneers. Reference Figure IV-5, *Material Breaks and Transitions*.
  4. To avoid a monotonous appearance on contiguous lots, colors and materials should be chosen to encourage visual interest and differentiation.





Material Break - stucco / stone



Material Break - siding / stucco



Transition - siding / brick



Material Break - stucco / stone



Transition - stucco / siding

All of these figures demonstrate the appropriate placing of different building materials on the structure and provide detailed examples as to the locations where differing materials adjoin one another.

### c. Windows and Doors

Window and door details are architectural components that carry a strong visual impact through their placement and design. The proportion of the windows and doors to the wall massing varies according to the architectural style chosen.

1. Entrances shall be clearly defined and inviting.
2. Window glass may be inset from the exterior wall surface and/or provided with dimensional trim to provide a sense of depth.
3. The placement of windows is especially important, and the privacy of adjacent residences should be considered when locating windows.
4. Window frames, mullions, awnings, and door frames are encouraged and should be color coordinated with the rest of a building. Architectural projections and recesses, such as pop-out windows and doors, shutters, and ornamental features, may be used to achieve articulation and shadowing effects.
5. Front entries shall be articulated through the potential individual use of roof elements, porches, columns, arches or other architectural features.
6. Window details create an opportunity to provide contrasting trim colors. Multi-lite windows, clerestories, paned/side-lite doors, and shutters are encouraged where appropriate to the architectural style of the home.



### d. Porches and Balconies

Porches and balconies integrate indoor and outdoor living spaces, allow for elevated garden locations that provide light and air to the interior, and provide shelter. Porches and balconies break up large wall masses and reduce the scale of the house at the street and sidewalk edge. Along neighborhood streets, front porches add an element of personal scale and ambiance, where neighbors can socialize.

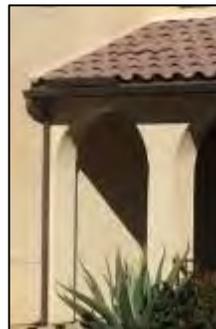
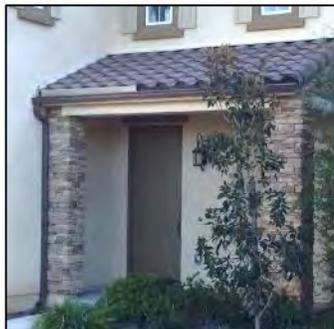
1. The use of front porches is encouraged along residential streets. This is an important design feature that shall be in proportion to the particular architectural style utilized.
2. A porch rail may be included to define the space and add architectural detail to the porch and the front elevation of the house. Railing shall be provided in accordance with the authenticity of the particular architectural style.



### e. Columns and Posts

Columns and posts are important design components in many of the suggested architectural styles for the Specific Plan. Columns and posts are often signature elements of a particular architectural style.

1. These elements may be incorporated as structural and aesthetic design elements and shall be dimensioned appropriately so that a solid and durable image is conveyed.
2. The scale and dimension of these elements will vary depending upon the architectural style, and shall reflect the selected style when they are introduced in the design proposals.



### f. Garages

The Specific Plan requires that garages do not detract from the overall appearance of the residence. To achieve an attractive street scene, particular attention shall be given to the design, placement, and orientation of garages. Every effort is expected to minimize the impact of the garage on the residential neighborhood.

1. The following methods may be utilized, to include, but not be limited to:
  - Side loaded or swing-in orientations.
  - Garage setbacks greater than the front yard living area setback.
  - Splitting garages on the opposite sides of the residence.
  - Tandem garages for third cars.
  - Garage door design considerations that include recessed doors, creative panel design, windows, and color.
2. Garage doors are a major visual element and shall be simple in design.

3. Garage door design may reflect a slightly recessed door and individual bays should be provided, which are offset and separated from one another.
4. Two car garage configurations can be divided into one/one configurations.
5. Accent colors shall be used to compliment the architecture and provide visual variety along the streetscape.
6. Where provided, garage door windows should correspond to the window forms of the house.
7. Landscape vines and tree wells could be introduced to soften the visual impact of the garage door and accent the garage façade.



### **g. Rear and Side Articulation/Facade Treatment**

The design consideration and treatment of the rear and side facades of houses, particularly those facing onto community streets, parks, and open spaces, is an important element in the success of a community's visual character and environment.

1. For interior and side yards, it is desirable to create the appearance of increased building separation whenever possible. In many cases, side yard slopes result in both vertical and horizontal separation that is sufficient to mitigate this concern. Where side yard slopes do not exist, one or more of the following solutions may include, but not be limited to:
  - Side elevations may be varied by stepping back the second-story at the side yard.
  - By providing single-story elements in the side-yard, such as a breezeway, porch, or single-story room off to the side of the structure that is only one-story in height,
  - Reducing the roof height over an interior volume will increase variety and light penetration to the side yards.
2. All rear elevations are required to have enhancements to avoid the repetitious effect and avoid a monotonous visual appearance. Possible solutions to this issue are outlined below:
  - The overall look of an extensive row of residences may be modified by enhancing elevation window trim and placement. Giving variety to the windows on the facades gives variety to the overall streetscape.
  - It is required to vary roof conditions from one building to the next through use of varied roof pitches and forms, different architectural styles
  - Two-story homes that back to major roads shall have visible elements such as window trims, varied stucco applications, shutters and other enhanced details.
3. All residential buildings that face an adjacent street shall have articulated elevations. Articulation may be achieved with features appropriate to the architectural style of the building. Examples of additive elements include dormer windows, porches, bay windows, balconies and similar features.

4. In addition, two story homes shall include a mix of both one- and two-story edging as a part of their architectural design. For each floor plan, varying elevations shall be provided to create visual interest and a varied neighborhood street scene. Where similar floor plans of the same unit are located on adjoining lots, one shall be different in elevation from the other of the same plan.



### **h. Roof Materials and Colors**

The roofline of a house is a significant component of a house's composition when used to define a particular architectural style. It is important to choose the appropriate roof pitch, characteristics, and materials that are consistent and true to the selected architectural style.

1. A roof's composition shall allow for a clean interface with the house and its façade.
2. The two elements should not be overbearing nor give the appearance of being disjointed or cut-up.
3. Varying roof pitches on the same house shall be avoided unless they are integral to the architectural style or extending over porches and balconies.
4. Roof materials and colors selected for an architectural style should reflect the elements that are typically used in that style. Roof colors should be soft and warm rather than bright and bold, thus avoiding an overpowering visual intrusion to the community's appearance and character.
5. Roof colors shall vary from one house to the next adjacent house.



### **i. Accessory Structures**

1. Accessory structures (cabañas, storage sheds, etc.) shall have roofs of similar and/or compatible materials as primary/major structure.
2. It is not intended that guest houses or secondary dwelling units will be permitted within the Specific Plan.
3. There is no minimum roof pitch required for accessory structures.

4. The design of accessory structures shall be compatible with the main structure through the use of architecture, fence connections and/or landscaping.
5. Solar panels, if used, shall be integrated into the roof design as an unobtrusive element. Panels are to be parallel to the roof plane and should be clear, bronze, or smoke colored plastic or glass. Support solar equipment should be enclosed and screened from view.
6. If possible, satellite dishes, and other similar roof-mounted mechanical equipment should be located away from front elevation street views.
7. Skylights can be incorporated into the roof design to provide natural light and passive solar energy. Frame color should blend with the surrounding roof color.

**D. Business Park Architectural Guidelines**

This section sets forth Guidelines for the business park architectural components of the Specific Plan. In conjunction with the Landscape Design Guidelines, the Architectural Design Guidelines are intended to guide the development of a cohesive and attractive business park. This section establishes site planning guidelines; in addition, this section identifies the key architectural “elements” that should be considered in all business park development.

Developers, builders, engineers, architects, landscape architects, and other design professionals should utilize the Guidelines. The primary goal of the Specific Plan is to develop business park structures that exhibit excellent design.

**1. Site Planning Design Guidelines**

These Site Planning Design Guidelines for the business park are not intended to restrict taste or preference but are designed to avoid harsh contrasts and to foster harmony of development. The following site planning Guidelines are included within this section: streetscene, building plotting concepts, vehicular circulation/parking, pedestrian circulation, and common space elements. Reference Figures IV-6a-f, *Business Park*.

**a. Streetscene**

The following concepts should be incorporated into the business park areas:

1. The distance along the face of the building should be varied to provide visual interest.
2. Awnings should be encouraged to promote interest and a human scale.
3. Loading zones should be site planned to avoid exposure to adjacent streets, highways and residential uses.
4. Incorporating walls and fences can also be used to help screen areas.
5. Exterior storage areas and trash enclosures should be planned in such a manner to minimize the exposure of such elements to sensitive adjacent uses. See D.1.h, below for greater details.
6. Parking areas should be planned in such a manner to allow for landscaping or low, decorative walls or a combination thereof. Where possible, buildings should be designed to separate service and delivery circulation from parking areas.



## **b. Building Plotting Concepts**

Due to the high visibility and overall number of vehicular traffic, buildings should be oriented to take best advantage of visibility from Winchester Road. At a minimum, buildings located within the business park area should address a street or main drive lane, a required pedestrian path, a vertical landmark element, a small plaza or other focal point, such as a fountain, seating area, public art, etc.

Building masses should be articulated to avoid long straight building façades. Examples of ways to articulate business park buildings are:

1. Buildings should be designed to create smooth transitions in scale through the use of low and mid-rise building forms or through the use of terraced elevations.
2. Arcades and trellises can be used to connect buildings and enclose courtyards.
3. Vertical mass at residential edges, such as in PA4, should be minimized.

The business park portion of the Project will be designed as a complementary addition to the overall theme established throughout the community. This is discussed in further detail below in Section D.2.

The plotting of buildings should take into account shade elements and maximize shade created by surrounding buildings. In addition, any development shall comply with the requirements set forth in Section IV.E.2, *Shade Standards*.



## **c. Vehicular Circulation/Parking**

Vehicular Entry areas provide a focal element of the development by providing distinguishing characteristics, including, but not limited to: enhanced landscaping, monumentation, and textured paving. Through incorporation of these elements, a sense of arrival at a unique place is firmly established. Positive public image features, such as water fountains, sculptural art, or dramatic landscape elements, i.e. tree masses, will be located at key focal points and will serve to enrich the character of the business park. The exact number and locations of these items will be determined when a Development Plan is submitted for a use within the business park.

1. When planning the interior vehicular circulation and parking, a hierarchy should be developed to help with traffic flow; however, priority should be given to the pedestrian in the ultimate design.

2. Adequate areas for maneuvering, loading, and emergency vehicle access shall be accommodated on site.
3. Landscape screening should be provided for both aesthetic and functional (i.e., noise, odors) purposes.
4. Parking aisles should be oriented perpendicular to complexes to allow for easy pedestrian walkways to access buildings.
5. Parking lot areas should be comprised of a series of smaller, connected lots, separated by additional landscaping.
6. Low freestanding walls incorporating simple, tasteful signage with pilasters, balustrades, finials and other embellishments are desirable around and within the parking areas to provide an aesthetic and screening purpose.
7. Parking areas will be located to provide convenient access to business park areas and minimize impacts to residential areas.



### d. Pedestrian Circulation

Different uses shall be interconnected by a strong pedestrian circulation system and interconnected by paseos, walkways and sidewalks, hardscape, and landscape. Parking should not dominate the experience along any designated pedestrian path.

1. Pedestrian access to and from PAs 4, 5, and 6 are provided by sidewalks located along Streets "A" and "B" and Winchester Avenue.
2. Exact locations of sidewalks shall be determined at the Development Plan stage of development.
3. Pedestrian access should be provided from any potential transit stops.



**e. Common Space Elements**

Site furnishings and details that enrich the appearance of the business park areas and provide respites for employees shall be provided. As an example, seating areas should incorporate umbrellas or other shade opportunities. Other acceptable examples of detailing include the incorporation of many of the following elements: the use of pottery, tree grates, detailed lighting fixtures, and/or decorative embellishments. Accent colored canopies and unique business identification signs are also desirable. Outdoor seating areas are discussed in detail in Section D.2.e, *Outdoor Seating Areas*.

In addition, the following common space elements should be integrated whenever feasible:

1. Prominent and/or unique architectural elements should be positioned as the focal points in the development.
2. One and two-story building massing should occur. False second-story elements can be incorporated to provide for variation in building massing and reinforce the enclosure of public spaces and plazas.
3. Consideration should be given to locating the upper floor facades behind the setback from the first floor facade to provide relief in the building plane and provide for outdoor covered walkways, balconies, etc.
4. Accent materials such as stone and brick, accent colors, door and window details, and other architectural enhancements should occur along the first floor/pedestrian level along publicly visible facades.
5. Variations in massing should include changes in height and horizontal plane.
6. Pedestrian friendly spaces and scale shall be incorporated. Outdoor seating areas, as discussed in D.2.e. below shall be provided.
7. Awnings should be encouraged to promote interest and a human scale.

8. Covered trellises, or shaded arcades, pergolas, porticos or overhanging eaves attractively connect varied masses and create a more comfortable experience along internal pedestrian routes.
9. Major building entries shall be emphasized with special massing and/or architectural treatment.
10. Large flat wall planes and the use of repetitive elements should be avoided.
11. The use of natural materials (stone, slate, etc.) should be incorporated to provide texture and scale to wall surfaces.
12. Glass curtain wall construction and reflective glass are discouraged.
13. Building facades should not be monotonous or have a flat, shadow-less appearance on any facade highly visible from a street or main gathering area.
14. Structures, landscape, and hardscape should be designed to create views into the business park center establishing a sense of arrival.
15. Primary pedestrian entries should be clearly expressed or recessed by a sheltering element such as an awning, arcade, porch, pergola or portico.



## 2. Business Park Architectural Style and Criteria

The business park portion of the Specific Plan shall have its distinctive architectural theme apart from the residential component. A palette of materials and colors will provide character and identity for the business park area. The following site planning architectural style and criteria are included within this section: materials and colors, roof forms, windows and doors, columns, outdoor seating areas, outdoor lighting, walls and fencing, service, loading, and equipment areas, refuse containers and storage. Reference Figures IV-6a-f, *Business Park*.

### a. Materials and Colors

A modest palette of materials and colors will provide character and identity for the business park area. The natural or manufactured materials and colors used should reflect the general theme established in the prior phases of the Specific Plan. The following Guidelines should be implemented:

1. Primary building colors should use a combination of earth tones and light colors; bright colors shall be used sparingly, and only as accents.
2. Varied shades of colors should be utilized to break up facades and should ideally feature darker-toned colors and materials at the base.
3. Accent colors and materials are acceptable if they are a complementary contrast with the surroundings and are used for creating interest.
4. It is anticipated that concrete will be the primary building material. Traditional materials, including stone, brick, precast concrete, metal, block, and stucco, may be used creatively to provide a sense of permanence, as long as their applications are aesthetically complementary to the overall architectural theme.
5. The use of natural materials and textures as architectural accents is encouraged.
6. High-quality and visually complementary manufactured materials also can be used for practical purposes (aesthetics, durability) and shall be of integral color of that specific material.



### b. Roof Forms

The following Guidelines should be implemented within the business park portion of the Specific Plan, as they pertain to roof forms and materials:

1. Designs should create interesting building masses by varying rooflines where possible.
2. Flat roofs with parapet walls are the most common roof form; however, other roof forms may be permitted if the desired aesthetic affect is achieved.
3. Mechanical equipment on roofs shall be screened with materials consistent with those of the building.



### c. Windows and Doors

The entry on the ground floor is a key element in creating a successful pedestrian environment. The following Guidelines should be implemented as they pertain to windows and doors:

1. Windows and doors are encouraged to be recessed from the front façade to emphasize the mass and integrity of the wall and to create a dramatic shadow line.
2. Consideration should be taken to relate interior building design to pedestrian spaces. This can be accomplished through the location of windows and doorways, as well as overhangs and landscaping.
3. Front doors and entrances to buildings should be clearly defined and articulated by awnings, overhangs, and canopies and shall be easily recognizable from pedestrian and vehicular vantage points.



### d. Columns

The following Guidelines should be implemented, as they pertain to columns:

1. Columns incorporated as a structural or aesthetic design element should convey a solid, durable image as expressed through bold forms.
2. Columns may be used as a freestanding form or as a support for pedestrian links.
3. Columns should be made of materials such as simple square posts, square or round stucco, concrete, or freestanding plaster archways at entrance gates.
4. Exposed pipe columns and thin posts, such as metal pipe columns may be used if it is demonstrated that it is consistent with the architectural style.



### e. Outdoor Seating Areas

Outdoor seating areas serve to enhance the overall character of the business park area and provide opportunities for employees to enjoy break time. The following Guidelines should be implemented, as they pertain to outdoor seating areas:

1. Outdoor seating areas should be used to draw attention to distinctive features such as entrances, public art, a fountain, or plantings.
2. Building entries and windows should look onto outdoor seating areas to enhance activity and security.
3. Outdoor seating, tables and umbrellas, public art, water features, landscaping, gazebos, or other features are encouraged in outdoor seating areas.



### f. Outdoor Lighting

Lighting fixtures and standards can define the quality appearance of developments and help identify focal areas, as well as provide necessary security for employees and pedestrians. The City mandates that each Project's lighting conform to the Palomar lighting requirements as established in the City's Municipal Code Section 16.18.110 (Mount Palomar Lighting Standards). In addition, the following Guidelines should be implemented, as they pertain to lighting:

1. All outdoor lighting (including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading, and similar areas) shall be focused, directed, and arranged to prevent glare and illumination on streets or adjoining property.
2. Particular emphasis should be made when there is an interface between residential and non-residential uses, such as in PA4. There should be a balance between safety, aesthetics and function.
3. Energy conservation, safety, and security should be emphasized during the designing and siting of Project lighting. Low intensity, energy conserving night-lighting is preferred.
4. Light fixtures and standards should be coordinated along public rights-of-way.
5. Light standards should blend architecturally with buildings, pedestrian areas, other hardscape elements, and street furniture.

6. Parking lot lighting shall provide adequate illumination for the safety of visitors while minimizing glare into adjacent property and uses.
7. Service area lighting shall be contained within the service yard boundaries and enclosure walls.
8. No light spillover shall occur outside the service area.
9. No freestanding lighting fixtures shall exceed 30 feet in height.



### **g. Walls and Fencing**

The following Guidelines should be implemented, as they pertain to walls and fencing:

1. Low walls, incorporating simple, signage with pilasters, balustrades, finials and other embellishments should be provided. These may be provided in areas to include, but not be limited to: parking areas, edge conditions and other appropriate areas.
2. Walls, except for walls used to enclose trash enclosures, should not be more than ten (10) feet in height. They should be constructed of light colored stucco, concrete, or masonry.
3. There is no limit on the heights of retaining walls. The following should apply:
  - The heights of walls closest to major Project circulation roadways should be minimized to the greatest extent feasible.
  - Retaining walls higher than 8' shall be constructed to allow planting.
  - All planting shall be designed to completely cover retaining walls (see example below).
  - The option always exists to build a combination of slopes and retaining walls, as long as the desired aesthetic is achieved.



4. Fences should be used only as part of gated areas or as an extension of walls.
5. Chain-link fencing or chain link fencing with barbed wire shall be prohibited throughout the development, unless required by the RCA within Planning Area 7.

### **h. Service, Loading, and Equipment Areas**

The following Guidelines should be implemented, as they pertain to service, loading and equipment areas in order to ensure that these functional site items are integrated with a sense and respect of the surrounding aesthetic:

1. Storage for supplies, merchandise, and similar materials shall be prohibited on the roofs of any buildings.
2. Merchandise, material, and equipment are not permitted to be stored to a height greater than any adjacent wall, fence, or building.
3. Service, loading, and storage areas should be separated from pedestrian and private automobile circulation.
4. Service areas, loading docks, and equipment areas should be screened from views either by locating these uses within a building or by screening them with landscaping, walls, fences, or other architectural treatments.
5. For screening of loading, service, and/or storage areas to be effective, a minimum height of six feet is recommended. Aesthetic treatments may include, but not be limited to a mixture of: pilasters, wall caps, plantings and trellises (depending on wall height function and location).



6. External facilities and equipment must be enclosed and screened with landscaping to minimize adverse views from adjoining streets, buildings, or open space.
7. The method of screening should be architecturally integrated with the adjacent building in terms of materials, colors, shape, and proportion.
8. Outdoor storage areas shall be located to the rear or sides of a building, away from the main building entrance, or related high visibility areas.

### **i. Refuse Containers and Storage**

The following Guidelines should be implemented, as they pertain to refuse containers and storage in order to ensure that these functional site items are also integrated with a sense and respect of the surrounding aesthetic and acknowledgement of the potential olfactory conflicts that may arise:

1. Trash enclosures shall be located away from residential uses to minimize nuisance to adjacent properties.
2. Refuse enclosures and equipment should be easily accessed by service vehicles with enclosures and equipment located within a building's facade or within a screened enclosure.
3. The enclosure's design should reflect the architectural style of adjacent buildings and use similar, high-quality materials.
4. Trash/recycling containers should be large enough, placed frequently throughout the site, and collected frequently enough to handle the refuse generated by the Project.
5. Chain link fencing and gates with wood slats are not allowed.
6. Where feasible, a pedestrian entrance to the trash enclosure shall be provided so that large access doors do not have to be opened.

7. Enclosures shall have a concrete apron onto which trash/recycling containers will be rolled for collection.
8. Enclosures shall be surrounded by planting areas on three sides with a vine along each wall, and shall have solid roof covers.
9. Enclosures shall be designed per the most current California Administrative Code to ensure accessibility to handicapped individuals, including an exterior accessible path of travel.





Examples: Scale/Massing/Articulation/Colors & Materials

**BUSINESS PARK - FIGURE IV-6a**



Examples: Parking Lots/Vehicular Circulation

BUSINESS PARK - FIGURE IV-6b



Examples: Project and Business Entries /Colors and Materials

BUSINESS PARK - FIGURE IV-6c



Examples: Pedestrian Circulation/Common Space Areas

**BUSINESS PARK - FIGURE IV-6d**



Examples: Landscaping and Walls

BUSINESS PARK - FIGURE IV-6e



Examples: Trash/Loading Areas

BUSINESS PARK - FIGURE IV-6f

**E. Landscape Design Guidelines****1. Community Design Theme**

The Landscape Design Guidelines for the Specific Plan create a consistent community theme, supporting the Project name, “Adobe Springs.” The Landscape Design Guidelines are intended to promote a sense of identity that links together the various residential, recreational, and business park land uses proposed for development within the Specific Plan. As demonstrated by Figure IV-7, *Conceptual Landscape and Street Tree Plan*, careful thought has been given to integrate the structural and aesthetic elements of a balanced community through the cohesion established by a comprehensive landscape design. Thematic elements shall assist in establishing the overall design theme for the Specific Plan. These major thematic elements include:

- Monumentation
- Streetscapes
- Edge Conditions
- Parks and Recreation
- Walls and Fences
- General Landscaping Requirements
- Plant Palette

These thematic elements will occur throughout the community and establish a common design vocabulary. Although architecture may change throughout the life of the community, landscaping materials will remain consistent and continue to mature. General design guidelines and design criteria for the community theme elements are contained in the sections that follow.

**2. Shade Standards**

In developed communities, hardscape elements (walks, drives, streets, pedestrian support amenities, and various facilities) can produce a general rise in the normal temperature range commonly referred to as a heat island effect. This heat island effect can be mitigated through increasing the area of site shading. Shade coverage areas are provided for through the use of approved canopy tree plantings. Various tree species, while providing aesthetically pleasing views and a sense of place, also combat the heat island effect by providing shade coverage across parking lots, roads, walkways, and large facility hardscape areas. The amount of mitigated impact the heat island produces can be directly affected by the number of canopy trees planted within the community. Shade percentage will be achieved in accordance with the City’s Zoning Ordinance. It is anticipated that the Specific Plan will meet, and often exceed these minimum shading requirements.



**TREE LEGEND**

- 
**WINCHESTER STREET TREE**  
*Quercus virginiana* (Southern Live Oak)  
*Schinus molle* (Calif. Pepper)
- 
**MAIN ENTRY THEME TREES**  
*Olea europaea* "Wilsonii" (Fruitless Olive)  
*Schinus molle* (Calif. Pepper)
- 
**MAIN ENTRY FOCAL TREES**  
*Schinus molle* (Calif. Pepper)  
*Quercus agrifolia* (Coast Live Oak)
- 
**OPEN SPACE AND SLOPE TREES**  
*Acacia stenophylla* (Shoestring Acacia)  
*Arbutus* "Marina" (Marina Arbutus)  
*Brachyciton populneus* (Bottle Tree)  
*Chitalpa tashkentensis* (Chitalpa)  
*Geijera parviflora* (Australian Willow)  
*Platanus racemosa* (California Sycamore)
- 
**RESIDENTIAL STREET TREES**  
*Chitalpa tashkentensis* (Chitalpa)  
*Magnolia* g. 'St. Mary's' (Southern Magnolia)  
*Lagerstroemia indica* (Crape Myrtle)  
*Ligustrum lucidum* (Glossy Privet)  
*Raphiolepis* "Majestic Beauty" (India Hawthorn)  
*Pyrus calleryana* "Chanticleer" (Chanticleer Pear)

**Note:**  
All common landscape areas to be watered with reclaimed water.

**Note:**  
Refer to Plant Palette for complete plant list.

### 3. Monumentation

To identify the Specific Plan, and the residential and business park areas within the community, a hierarchy of monumentation is provided, as described in the following text and exhibits. It is the intent of these monuments to identify the Specific Plan, and to further contribute to a consistent theme within the overall design concept. Careful consideration has been given to the design of community entry, which is then carried out throughout the Specific Plan. The design intent is to create distinctive visual entrances into the Project and to provide an entry statement that supports the Project name, “Adobe Springs.”

The following monumentation complements and reinforces the general landscape theme, and establishes the character of the Specific Plan. The hierarchy of monumentation consists of Major, Business Park, and Residential. All of the monuments are comprised of a blending of similar hardscape materials, signage, and landscaping. Logos, type styles, and color schemes should be consistent throughout the Specific Plan, identifying it as a distinct community within the City of Murrieta. The plant palette has been closely coordinated with all of the plans and figures to assure that final implementation will resemble that depicted in the Specific Plan. For locations of all entry monumentation, please see Figures III-1 through III-6, and Section IV Monumentation Figures referenced below. In addition, Figure IV-32, *Conceptual Wall and Fence Plan*, is a comprehensive plan showing locations for all proposed monumentation.

#### a. Major Entry Monumentation

The design theme for the entry in this development is consistent with the natural setting. A uniform choice of materials for the entry will also provide a sense of design continuity. The signage in the community is intended to meet functional needs such as informational, way finding, and identification while also supplementing architectural, landscape, and urban design features in establishing a cohesive and textured Project design theme. The signage program will establish consistency and diversity.

Major Entry Monumentation materials shall include landscaping, adobe or faux adobe veneer walls with rock pilasters and wood rail fences. The Major Entry Monumentation wall will approximately six-feet (6') in height with seven-foot (7') high rock pilasters and will be fifty-five feet (55') across with raised bronze lettering. There will also be a four-foot (4') tall wood rail fence accent with smaller rock pilasters. Boulders and rock cobble, as well as decorative urns with recirculating water will be added to enhance this entry. Lastly, enhanced paving may be provided at the entry. Please reference Figure IV-8, *Major Entry Monumentation*.

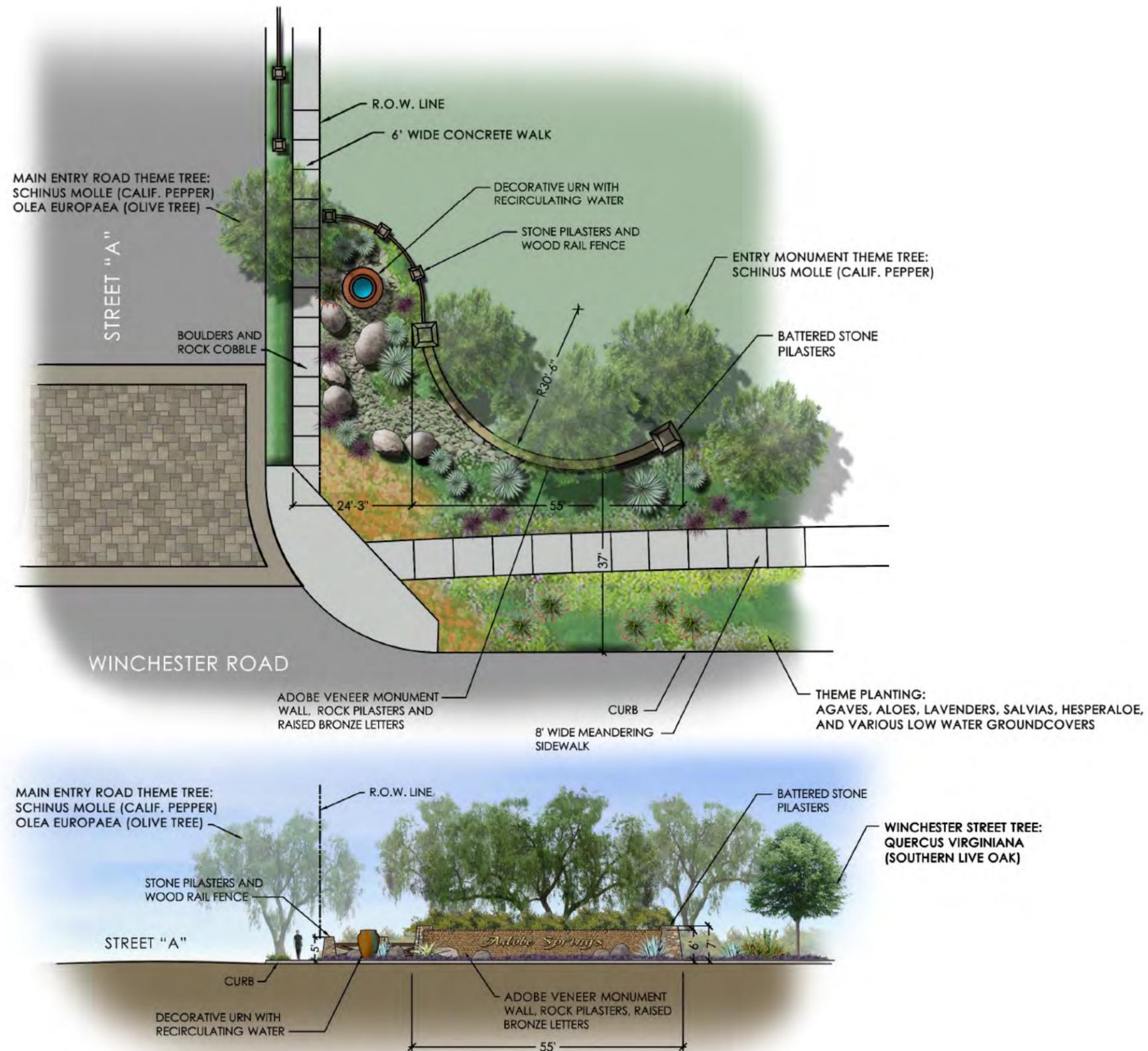
#### b. Business Park Entry Monumentation

Business Park Entry Monumentation identifies the entrances to the business parks from Streets “A” and “B”. The Business Park Entry Monumentation reflects the same character and materials utilized in the other Entry Monumentation. This Business Park Entry Monumentation will be approximately five-feet (5') in height with rock pilasters, twenty-one feet and nine-inches (21' 9") across, and will also utilize raised bronze lettering and wood rail fence accent. Multi-trunk specimen tree(s) may also be provided. Please reference Figure IV-9, *Business Park Entry Monumentation*.

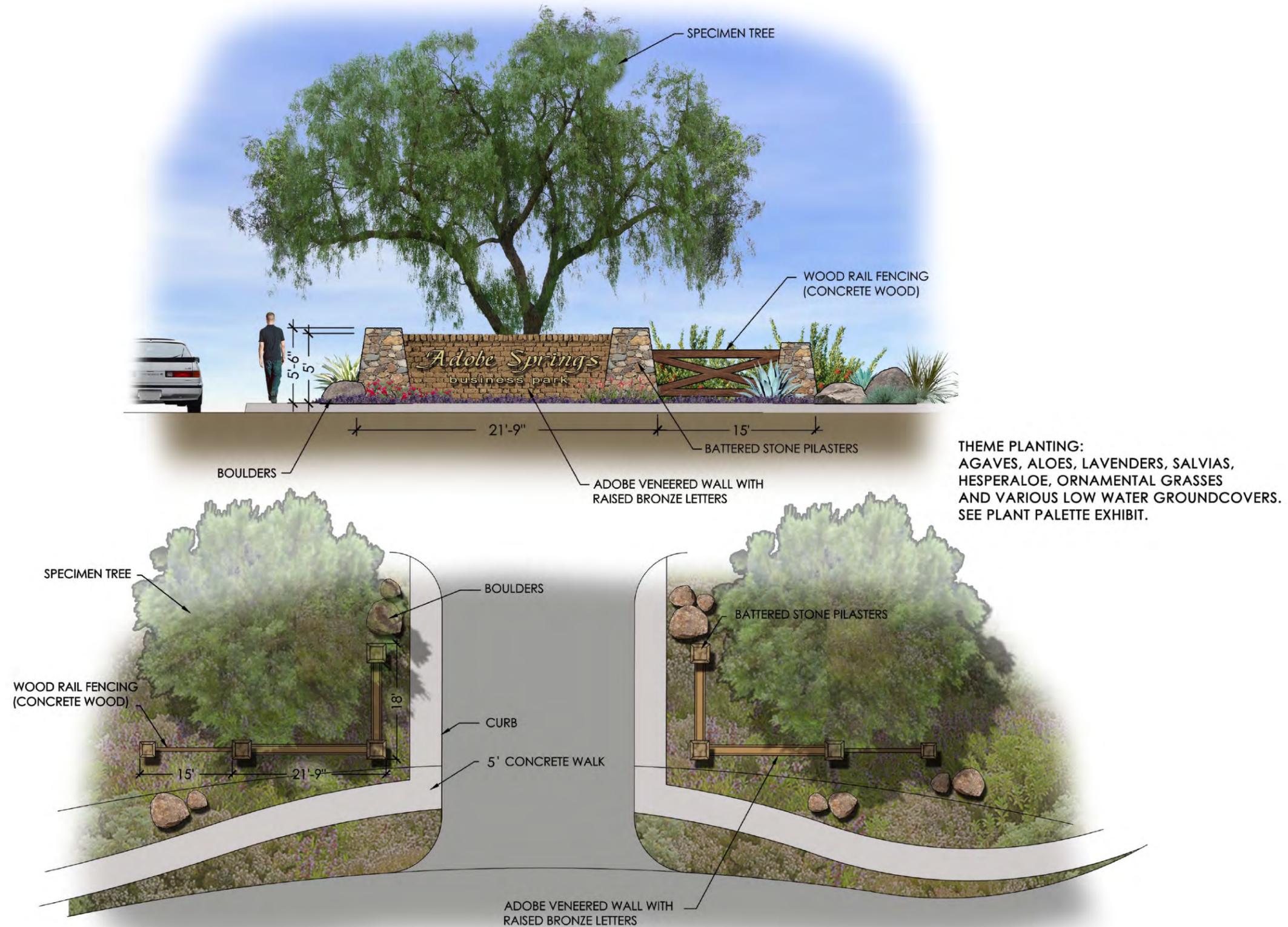
#### c. Residential Entry Monumentation

Residential Entry Monumentation identifies the entrance into the residential portion of the Specific Plan. This entry will reflect the same character and materials utilized in the Business

Park Entry and Major Entry Monumentation. This Residential Entry Monumentation will be approximately seven feet (7') in height and eight feet (8') across and will feature decorative, tubular steel gates, (these gates will have the option of being operational), and a twelve-foot (12') high decorative, non-operational gate house. A pedestrian gate shall be included as well. Enhanced paving and a decorative urn with recirculating water may be added to elevate the aesthetic of this entry. Please reference Figure IV-10, *Residential Entry Monumentation*.



MAJOR ENTRY MONUMENTATION - FIGURE IV-8



Note: Wood rail fencing may be either wood, wood simulated pvc, or concrete wood

**BUSINESS PARK MONUMENTATION - FIGURE IV-9**



Note: Wood rail fencing may be either wood, wood simulated pvc, concrete wood, or equivalent

RESIDENTIAL ENTRY MONUMENTATION - FIGURE IV-10

#### 4. Streetscape Landscaping

Streetscape landscaping within the Specific Plan will respond to the surrounding natural environment in which it occurs. Street tree selection will be sensitive to the local climate the surrounding natural environment and overall design theme of the community, enhancing the appearance of business park and residential areas with distinct aesthetic accents.

The roads within Specific Plan form a hierarchy in their layout. Their landscape character and setbacks reinforce hierarchy, with greater setbacks and landscaped medians on larger roads and slightly narrower setbacks on smaller roads, such as collector roads. The dimensions of the various road classifications within the Specific Plan are depicted in Figure II-1, *Vehicular Circulation Plan*.

##### a. Winchester Road Streetscape

Winchester Road creates the Project's eastern boundary and is designated as a 6-Lane Expressway with a maximum public ROW of one hundred eighty-four feet (184') and an eight-foot (8') meandering sidewalk. This Expressway provides east/west access between Interstate 15 and Interstate 215. During Phase I, the Project will construct Winchester Road according to the City of Murrieta Engineering Standards, per Project conditions of approval, and per Caltrans requirements at the time of construction, to include, but not be limited to, multimodal accessibility. Please reference Figure IV-11, *Winchester Road*.

##### b. Main Entry Road Streetscape (Streets "A" and "B")

Roadway landscape treatments and parkway configurations along Street "A" are shown in Figure IV-12a, *Main Entry Road Streetscape Street "A"*. Street "A" provides entry into the Project from Winchester Road and allows access into PA6. Street "A" has a maximum public ROW of seventy-eight feet (78'), with fifty-six feet (56') of pavement, and an eleven-foot (11') wide parkway on both sides of the street. It is anticipated that a six-foot (6') sidewalk will be located within the eleven-foot (11') wide parkway. Street "A" will be constructed during Phase I including sidewalks and landscaping improvements on both sides of the street.

Roadway landscape treatments and parkway configurations along Street "B" are shown in Figure IV-12b, *Main Entry Road Streetscape Street "B"*. Street "B" will have a maximum public ROW of sixty-six feet (66'), with forty-eight feet (48') of pavement, a twelve-foot (12') wide parkway on the east side of the street, and a six-foot (6') wide parkway on the west side of the street. It is anticipated that a six-foot (6') sidewalk will be located on both sides of the street. A six-foot (6') wide bike lane will be provided on the west side of the street. There will be a continuous turn lane within the business park section of Street "B". Street "B" will be constructed during Phase I, including sidewalks and landscaping improvements on both sides of the street.

##### c. Local Street with Sidewalk – Parking on One Side Streetscape

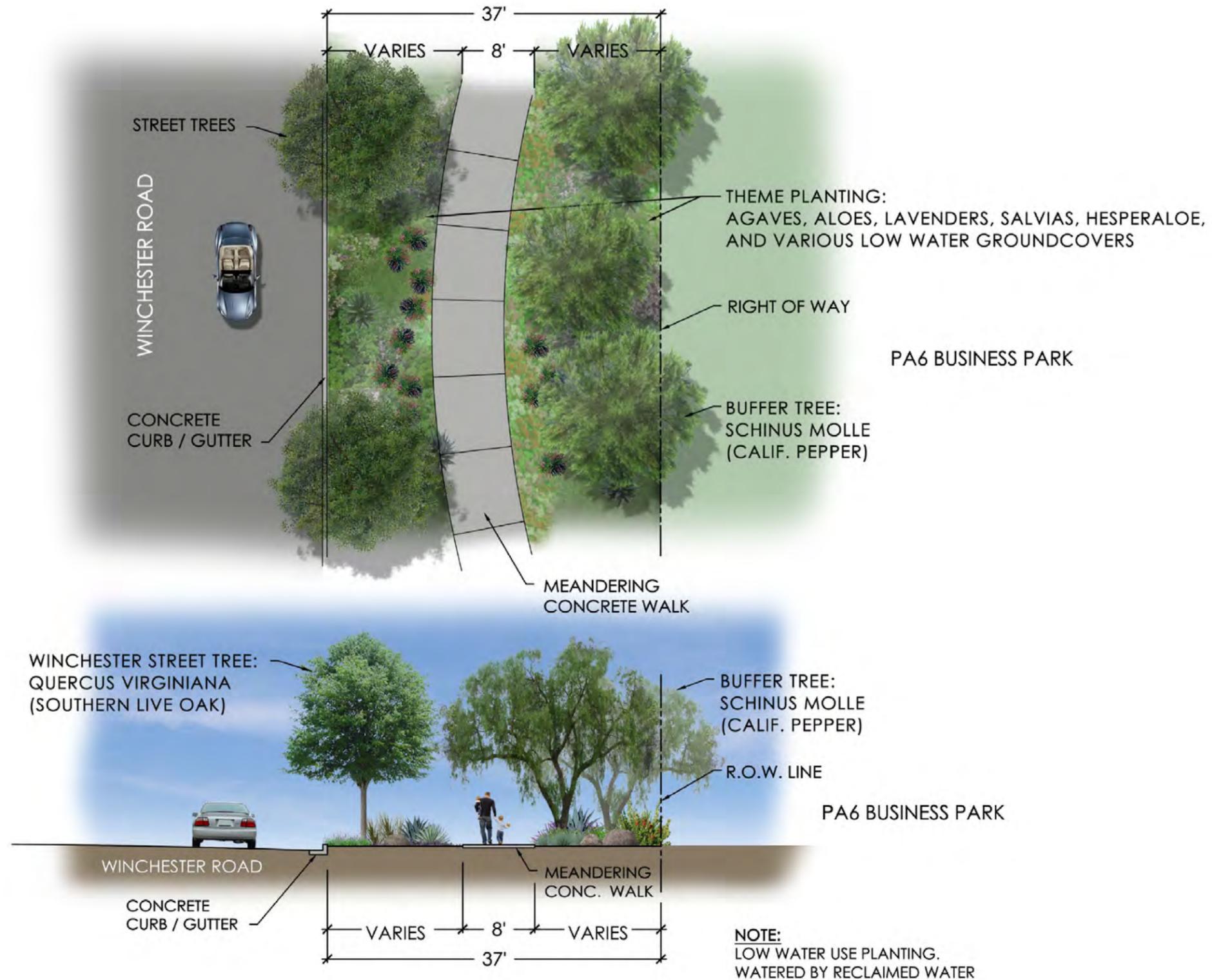
The street section, which occurs in various locations of the residential portion of the Specific Plan, shows a forty-foot (40') wide section. Landscaping should include trees, shrubs and groundcover in accordance with the plant palette. A five-foot (5') by five-foot (5') wide tree pop-out shall be provided on the parking side of the street. This will allow for an enhanced street scene, shading and traffic calming within the residential neighborhoods. Please reference Figure IV-13, *Local Street with Sidewalk – Parking on One Side Streetscape*.

**d. Cul-de-sac Streetscape**

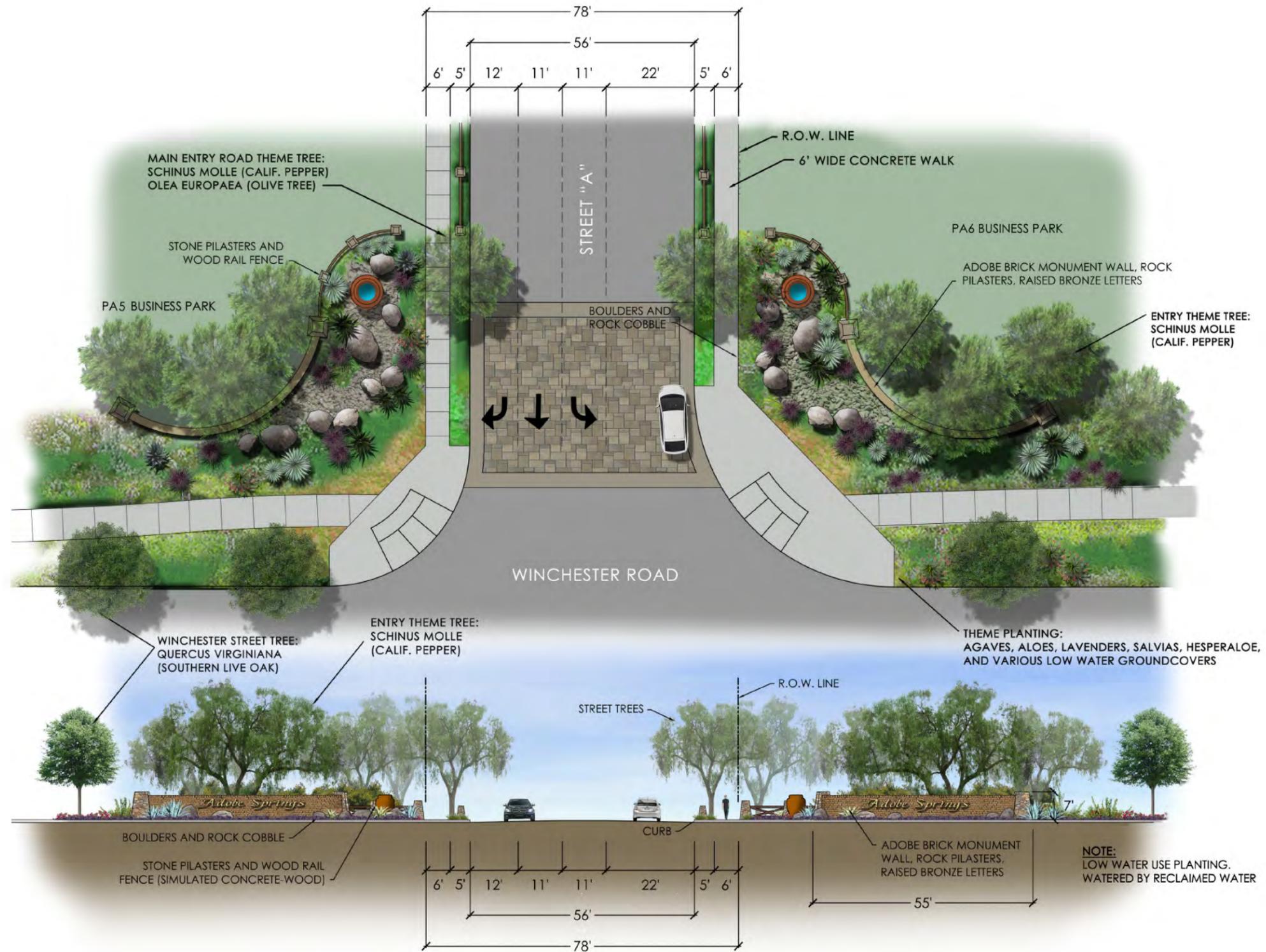
Cul-de-sacs, as designed within the Project, will have a maximum radius of thirty-five feet (35'), and will provide a maximum of five (5) parking spaces. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette. Please reference Figure IV-14, *Cul-de-sac Streetscape*.

**e. Off-Site Emergency Access**

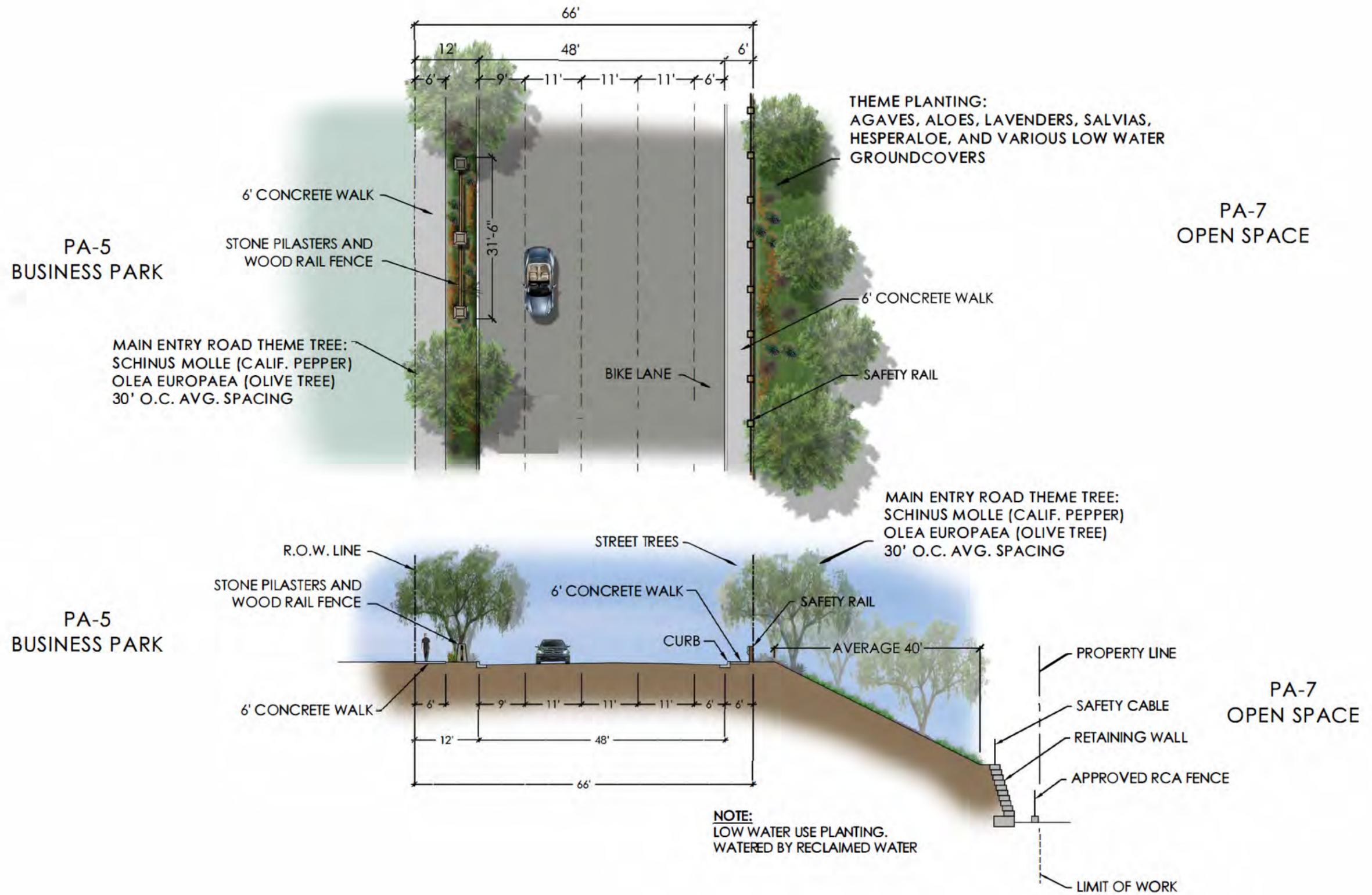
These street sections will show either a twenty-six (26') or twenty-eight foot (28') wide section, depending on the location, and will provide secondary, gated emergency only access for the Project. The off-site emergency accesses will be constructed during Phase I, including landscaping improvements. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette. Please reference Figure IV-15, *Off-Site Emergency Accesses*.



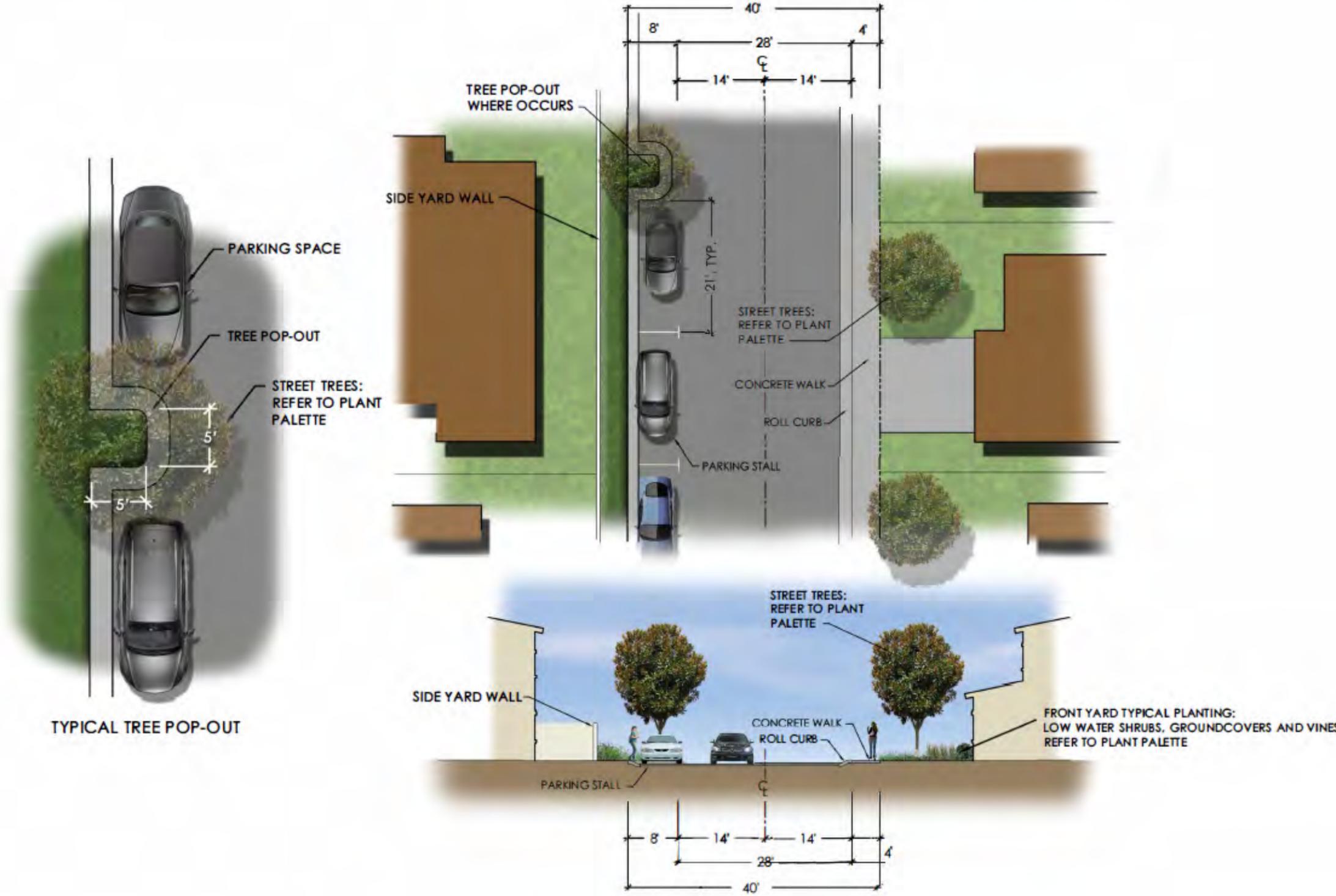
WINCHESTER ROAD STREETScape - FIGURE IV-11



MAIN ENTRY ROAD STREETScape (STREET "A")- FIGURE IV-12a

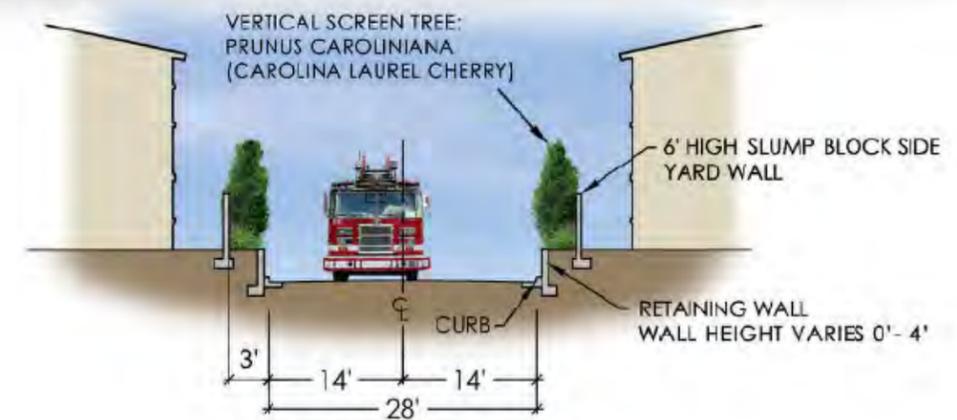
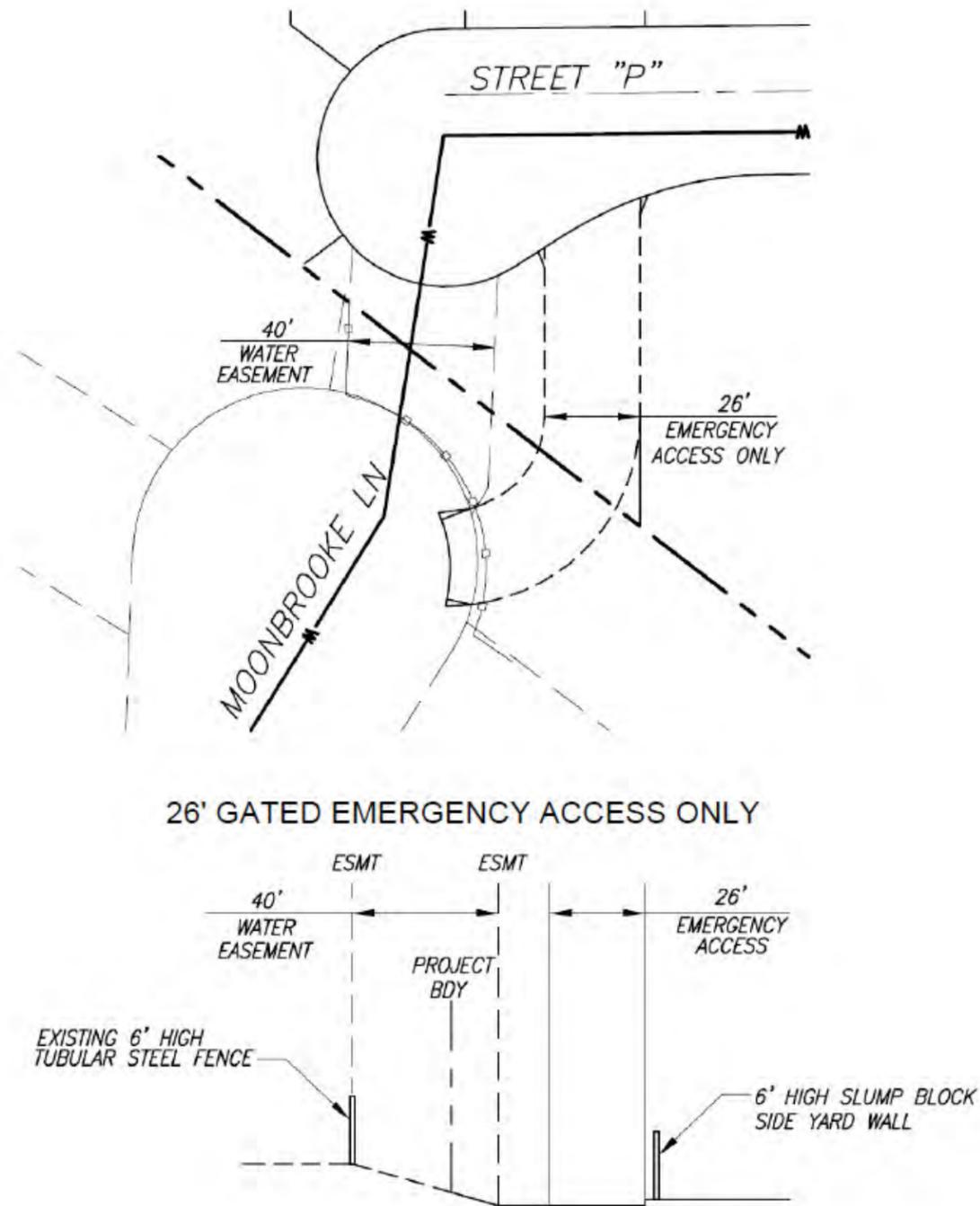


MAIN ENTRY ROAD STREETScape (STREET "B")- FIGURE IV-12b



**LOCAL STREET WITH SIDEWALK - PARKING ON ONE SIDE STREETScape - FIGURE IV-13**





Note: Width varies. 26' for emergency access in the southerly portion of PA1 and 28' for northerly emergency access in PA1.

OFF SITE EMERGENCY ACCESSSES - FIGURE IV-15

**f. SF-2 Density Residential (PA1) – Business Park (PA4) Edge Condition**

Instances where PA1 abuts PA4 are depicted Figure IV-16, *SF-2 Density Residential (PA1) – Business Park (PA4) Edge Condition*. PA1 will be typically separated from PA4 by a minimum six-foot (6') high masonry sound/screen wall and landscaping. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette. Careful attention will be paid to this edge condition, both at the mapping stage and Development Plan stage to ensure that this is a compatible interface.

**g. SF-2 Density Residential (PA1) – Fuel Modification and OS (PA7) Edge Condition**

Instances where PA1 abuts PA7 are depicted Figure IV-17, *SF-2 Density Residential (PA1) – Fuel Modification and OS (PA7) Edge Condition*. PA1 will be typically separated from PA7 by a slope, and/or retaining wall(s), a five-foot (5') high masonry wall for firebreak, a five-foot, six-inch (5'6") view fence, and a thirty-foot (30') wide, irrigated landscaped fuel modification zone. An additional twenty-foot (20') wide grading buffer zone will be provided between the fuel modification zone and the approved RCA fence line. Landscaping shall include shrubs and groundcover in accordance with the plant palette.

**h. SF-2 Density Residential (PA1) – Off-site Park Edge Condition**

Instances where PA1 abuts the off-site park on the west side of the Project are depicted Figure IV-18, *SF-2 Density Residential (PA1) – Off-Site Park Edge Condition*. PA1 will be typically separated from the off-site park by an existing perimeter wall, an off-site slope, a thirty-foot (30') wide Southern California Edison (SCE) easement, and landscaping. SCE is responsible for maintaining their easement. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette.

**i. SF-2 Density Residential (PA1) – Off-site Residential Edge Condition**

Instances where PA1 abuts the adjacent, off-site residences are depicted Figure IV-19, *SF-2 Density Residential (PA1) – Off-site Residential Edge Condition*. PA1 will be typically separated from the off-site residences by an existing perimeter wall, a slope and/or retaining wall(s), a thirty-foot (30') Southern California Edison (SCE) easement, and landscaping. SCE is responsible for maintaining their easement. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette.

**j. SF-2 Density Residential (PA1) – Off-site SCE Easement and Open Space Edge Condition**

Instances where PA1 abuts the off-site SCE easement and open space are depicted Figure IV-20, *SF-2 Density Residential (PA1) – Off-site SCE Easement and Open Space Edge Condition*. PA1 will be typically separated from the off-site easement by an existing twenty-foot (20') wide, ten-foot (10') high slope and/or retaining wall(s), an existing perimeter wall and landscaping. SCE is responsible for maintaining their easement. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette.

**k. Business Park (PA4) – Off-site Residential Edge Condition**

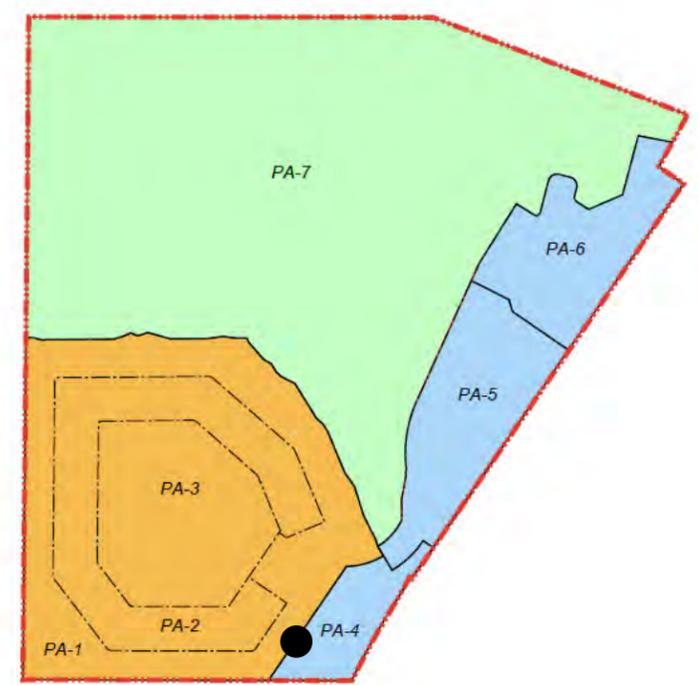
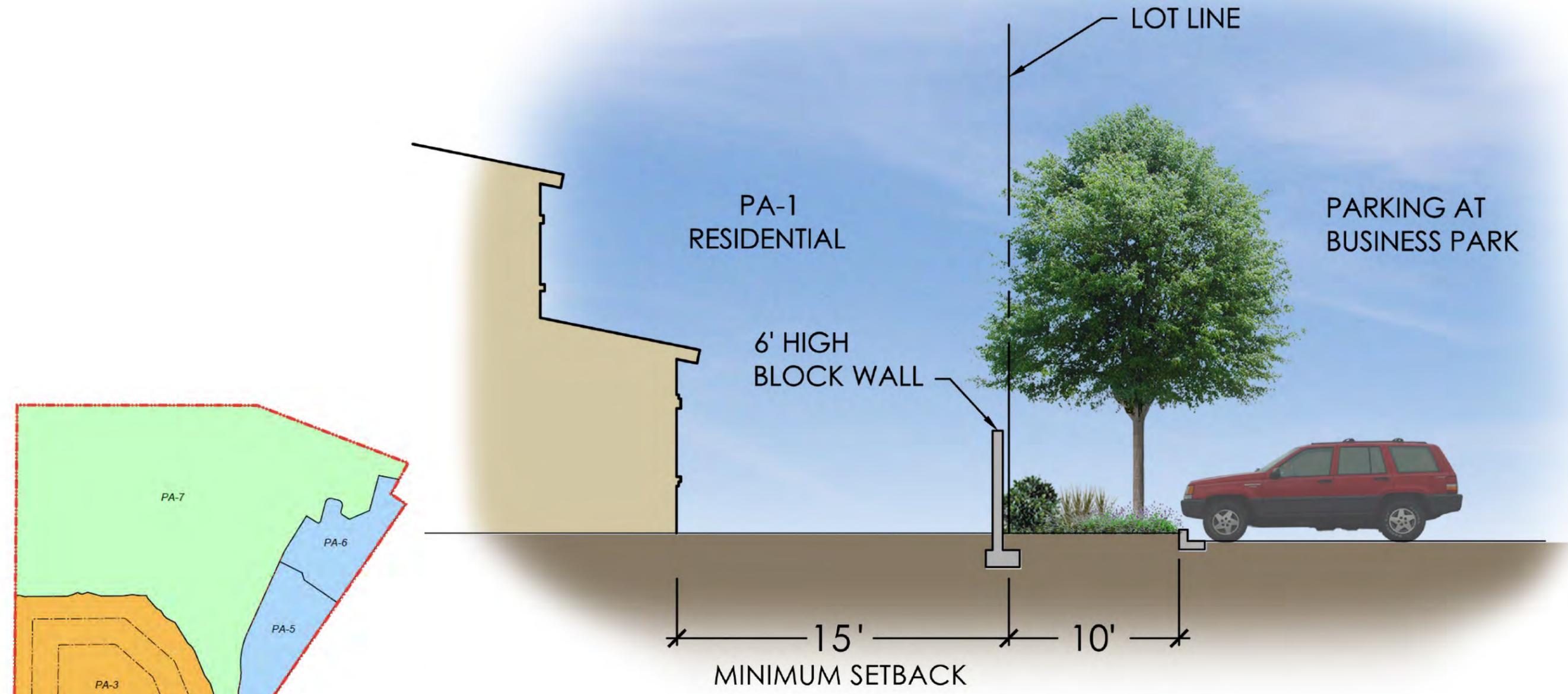
Instances where PA4 abuts the adjacent, off-site residences are depicted Figure IV-21, *Business Park (PA4) – Off-site Residential Edge Condition*. PA4 will be typically separated from

the off-site residences by an existing perimeter wall, a slope and/or retaining wall(s), a thirty-foot (30') Southern California Edison (SCE) easement, and landscaping. SCE is responsible for maintaining their easement. Landscaping shall include trees, shrubs and groundcover in accordance with the plant palette.

### **I. Business Park (PAs 4 & 5) – Typical Basin Edge Condition**

Instances where PAs 4 & 5 abut water quality basins are depicted in Figure IV-22, *Business Park (PAs 4 & 5) – Typical Basin Edge Condition*. PAs 4 & 5 will be typically separated from water quality basins by a twenty-foot (20') wide, ten-foot (10') high slope, and/or retaining wall(s), five-foot, six-inch (5'6") high view fence, if required for safety, and landscaping. Landscaping shall include trees, shrubs, and groundcover in accordance with the plant palette.

Note: Six-foot (6') high block wall is a minimum height for this edge condition. May need to be higher for proper screening.

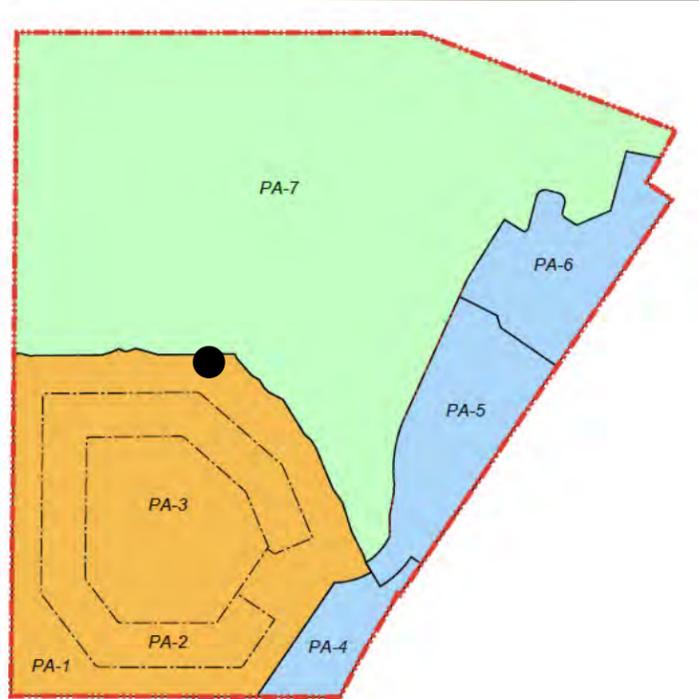
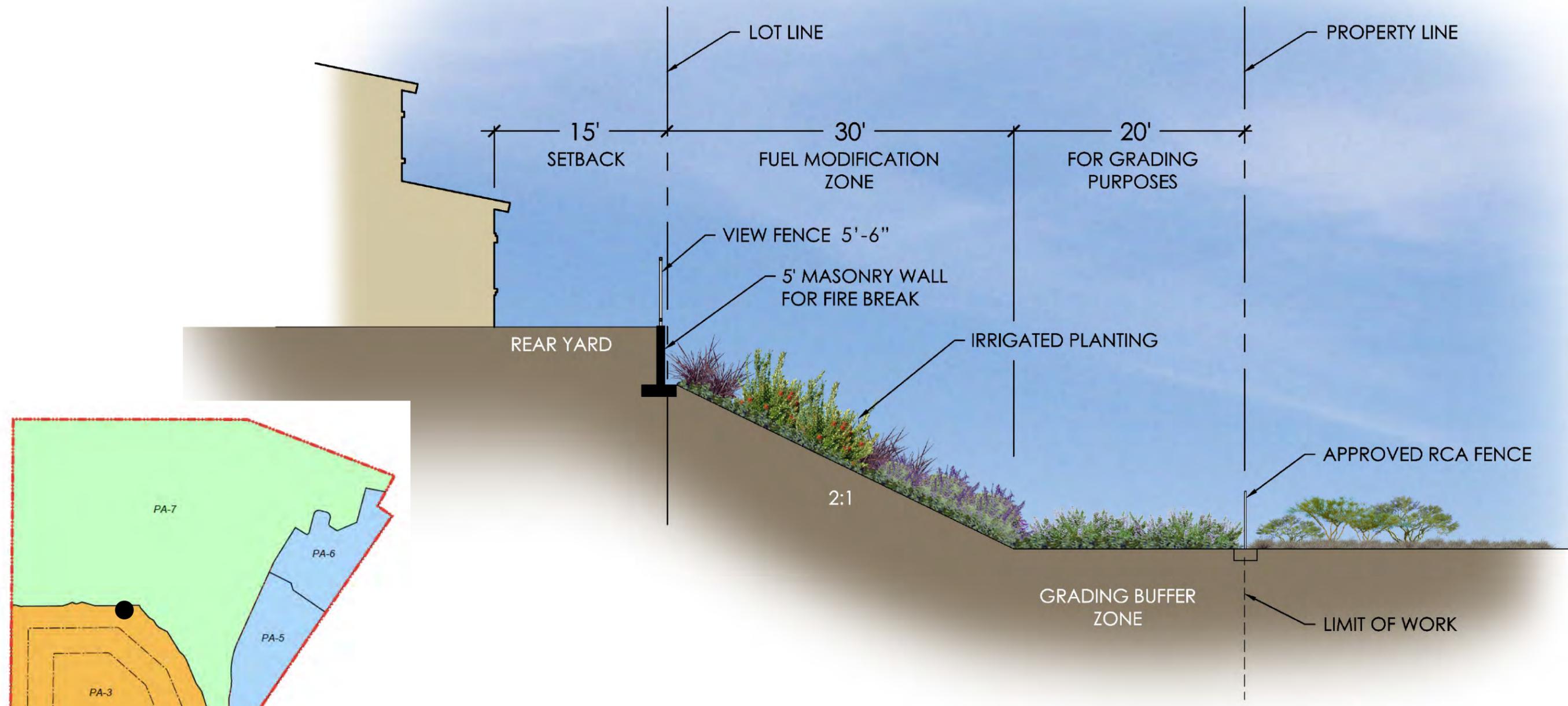


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**SF-2 DENSITY RESIDENTIAL (PA1) - BUSINESS PARK (PA4)  
EDGE CONDITION - FIGURE IV-16**

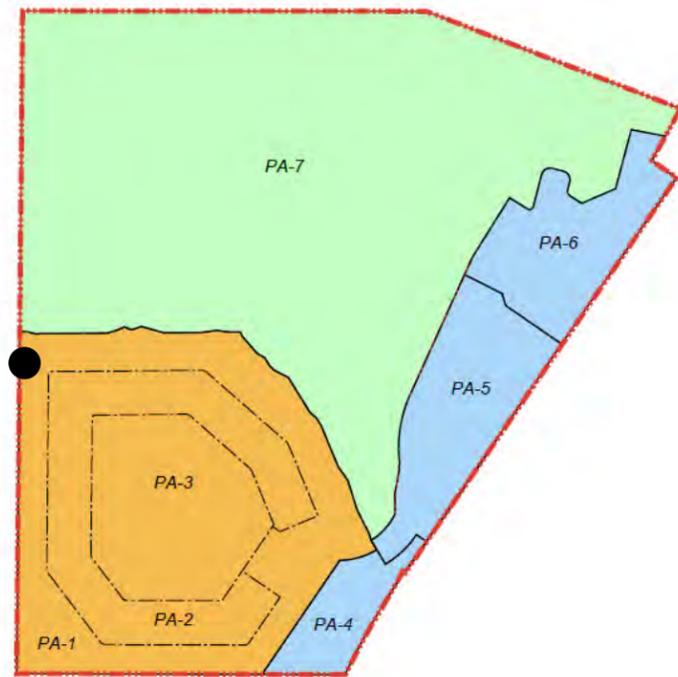
PA-1 RESIDENTIAL

PA-7 OPEN SPACE

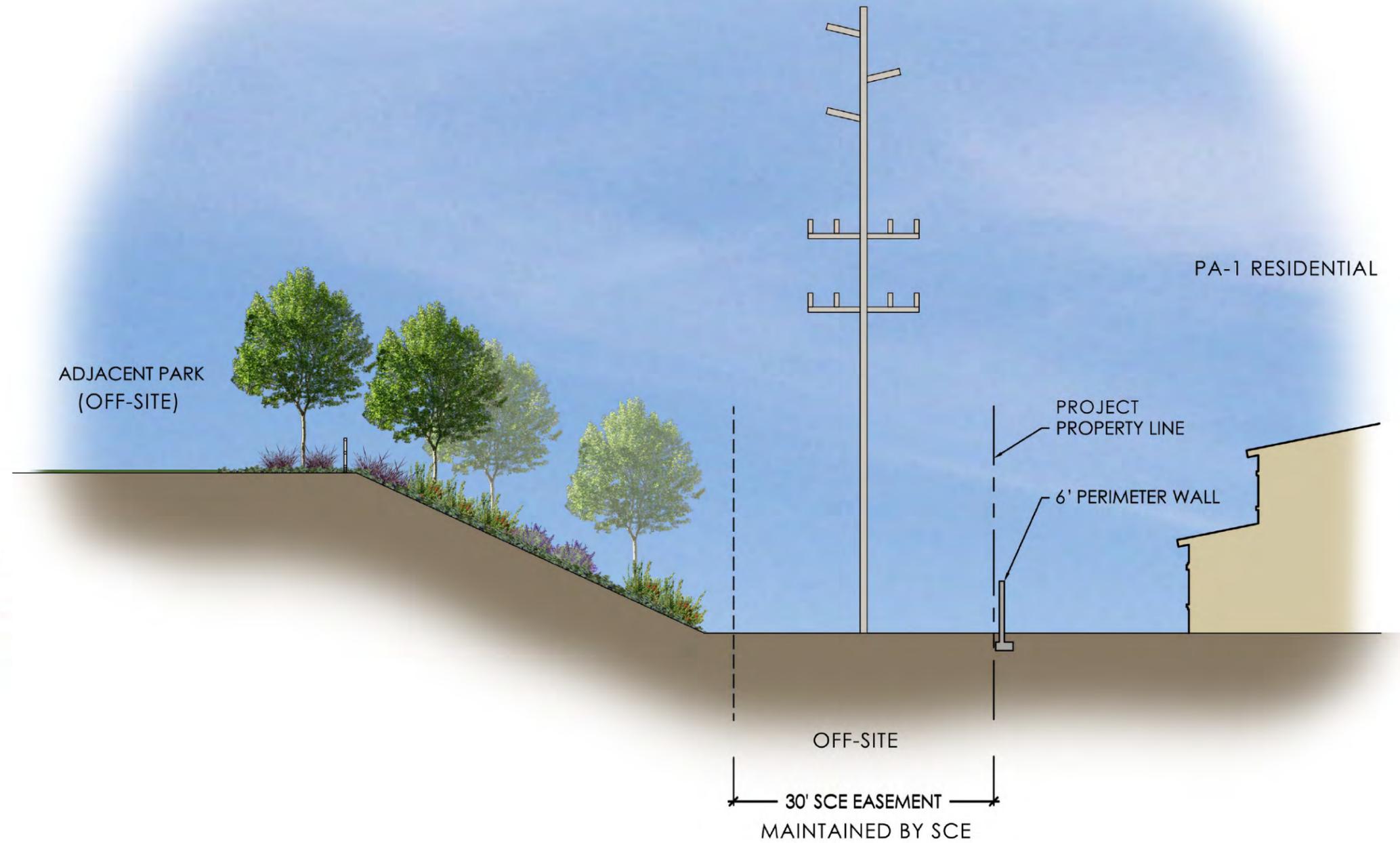


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**SF-2 DENSITY RESIDENTIAL (PA1) - FUEL MODIFICATION AND OPEN SPACE (PA7) EDGE CONDITION - FIGURE IV-17**

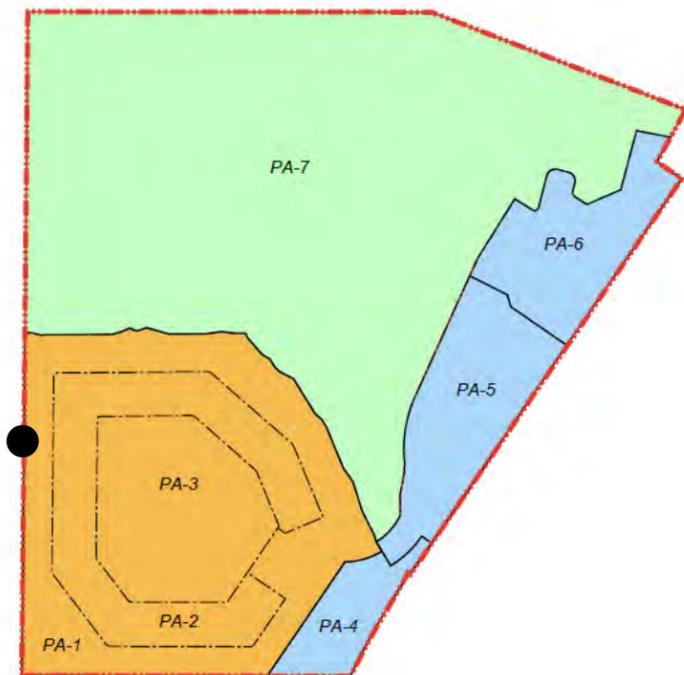


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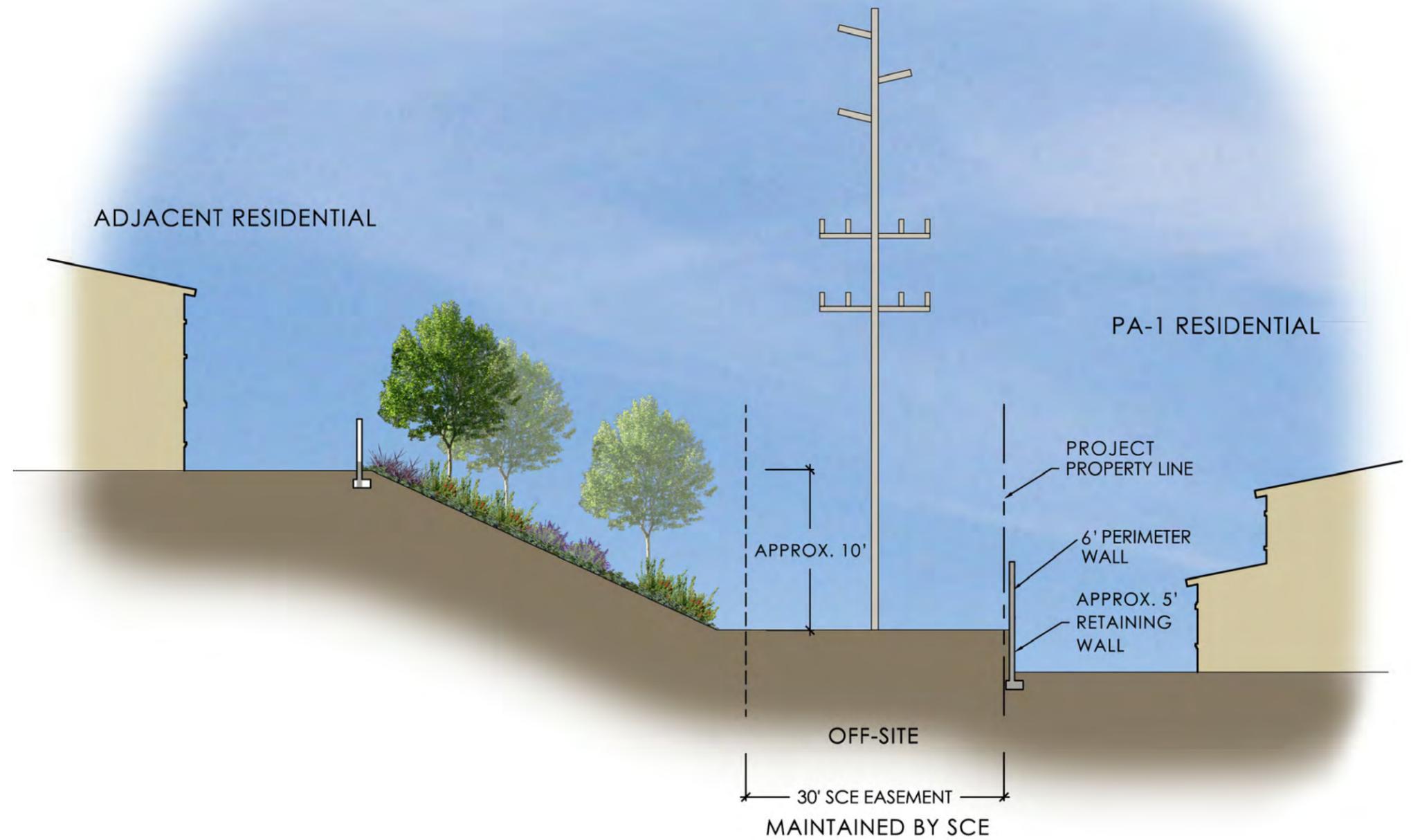


SF-2 DENSITY RESIDENTIAL (PA1) - OFF-SITE PARK

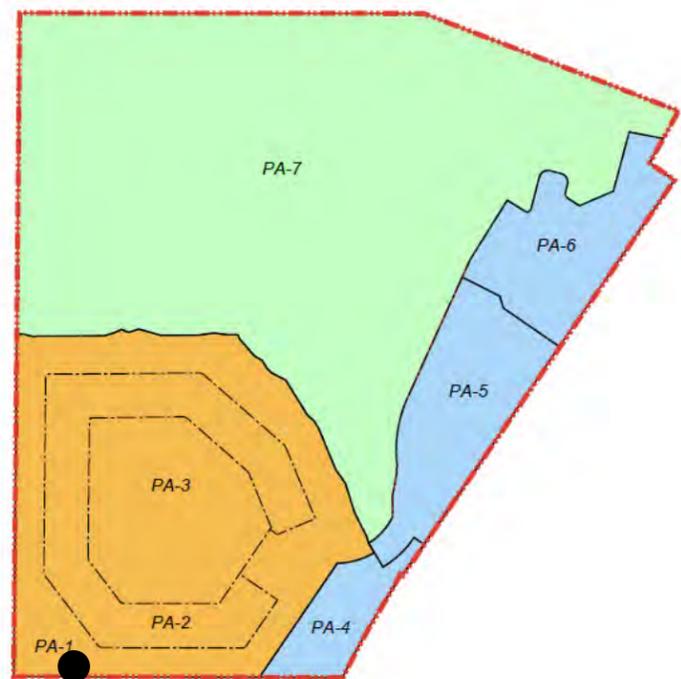
EDGE CONDITION - FIGURE IV-18



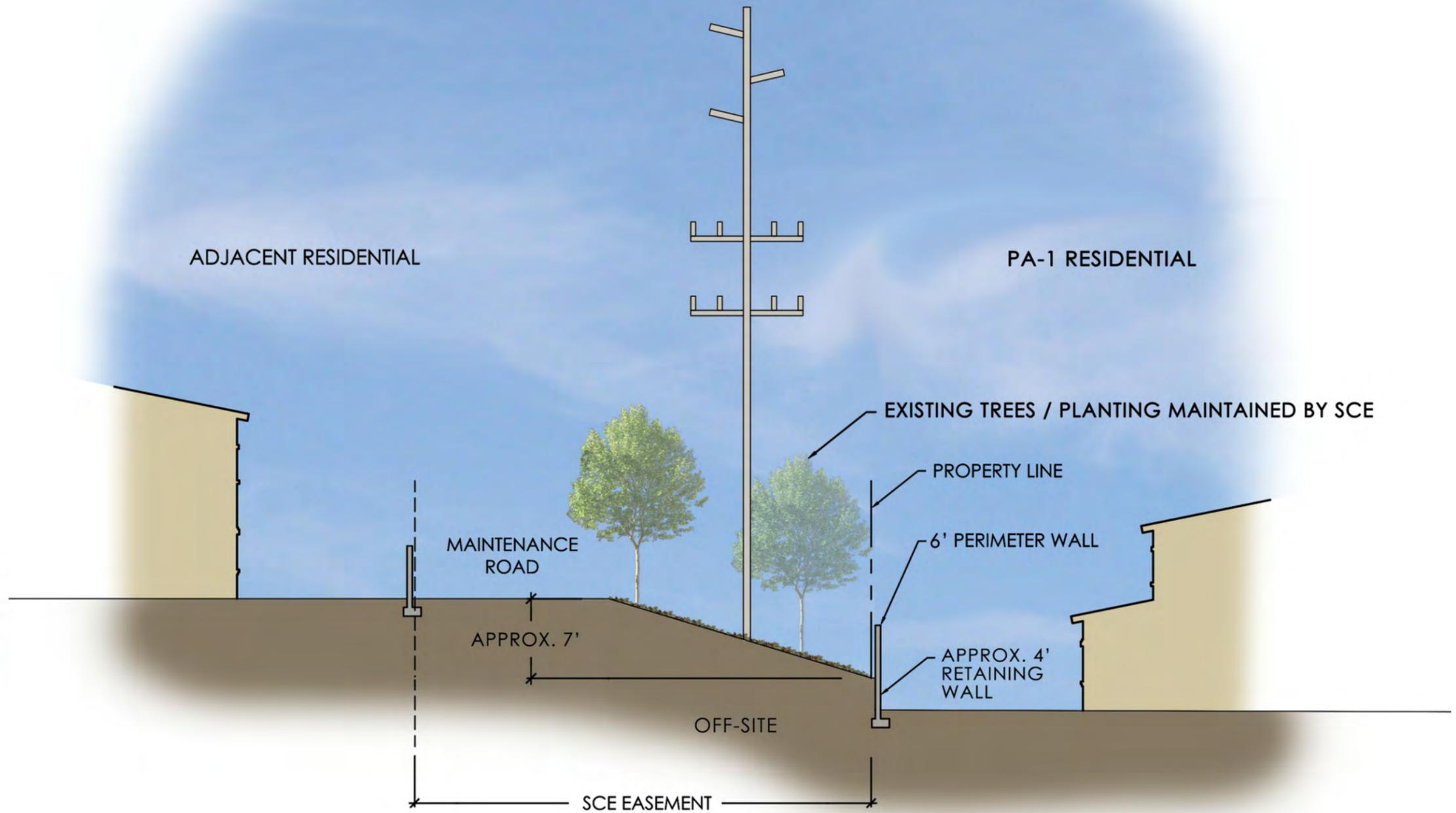
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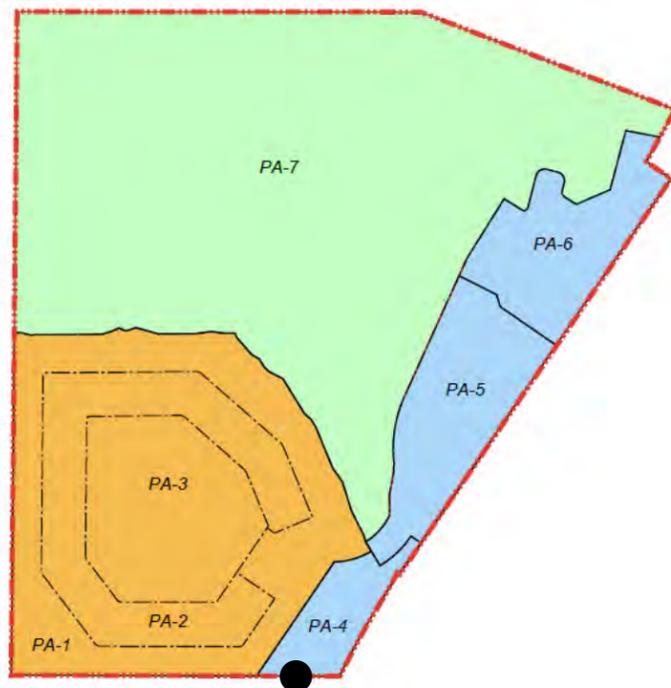
**SF-2 DENSITY RESIDENTIAL (PA1) - OFF-SITE RESIDENTIAL  
EDGE CONDITION - FIGURE IV-19**



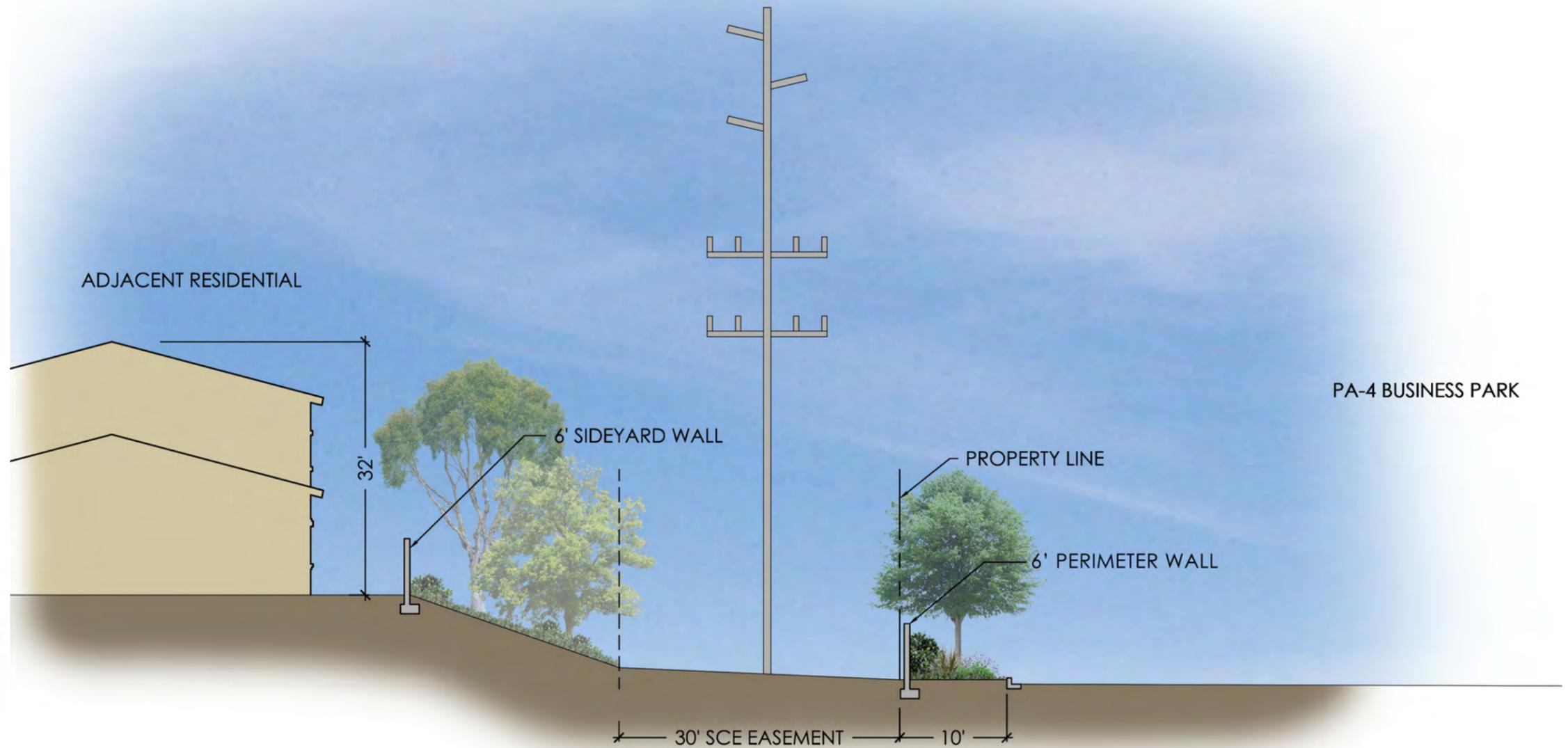
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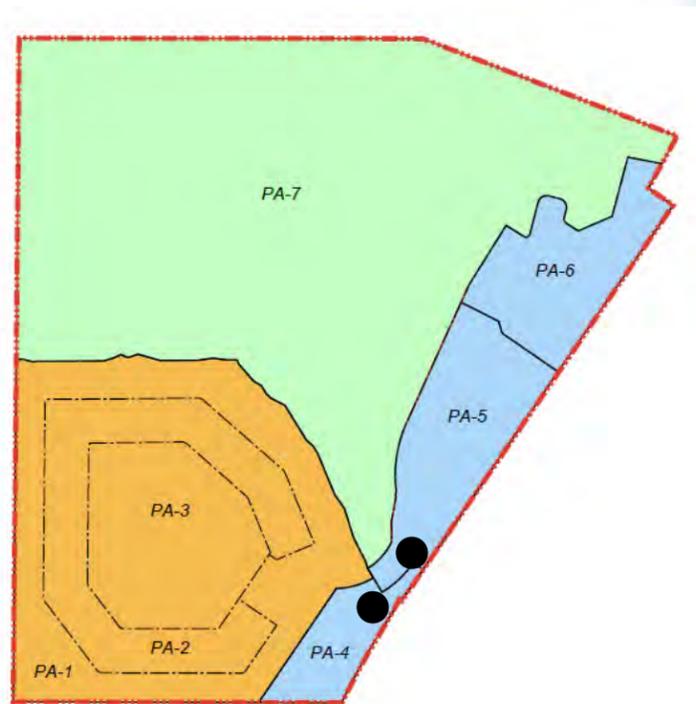
**SF-2 DENSITY RESIDENTIAL (PA1) - OFF-SITE SCE EASEMENT AND OPEN SPACE EDGE CONDITION - FIGURE IV-20**



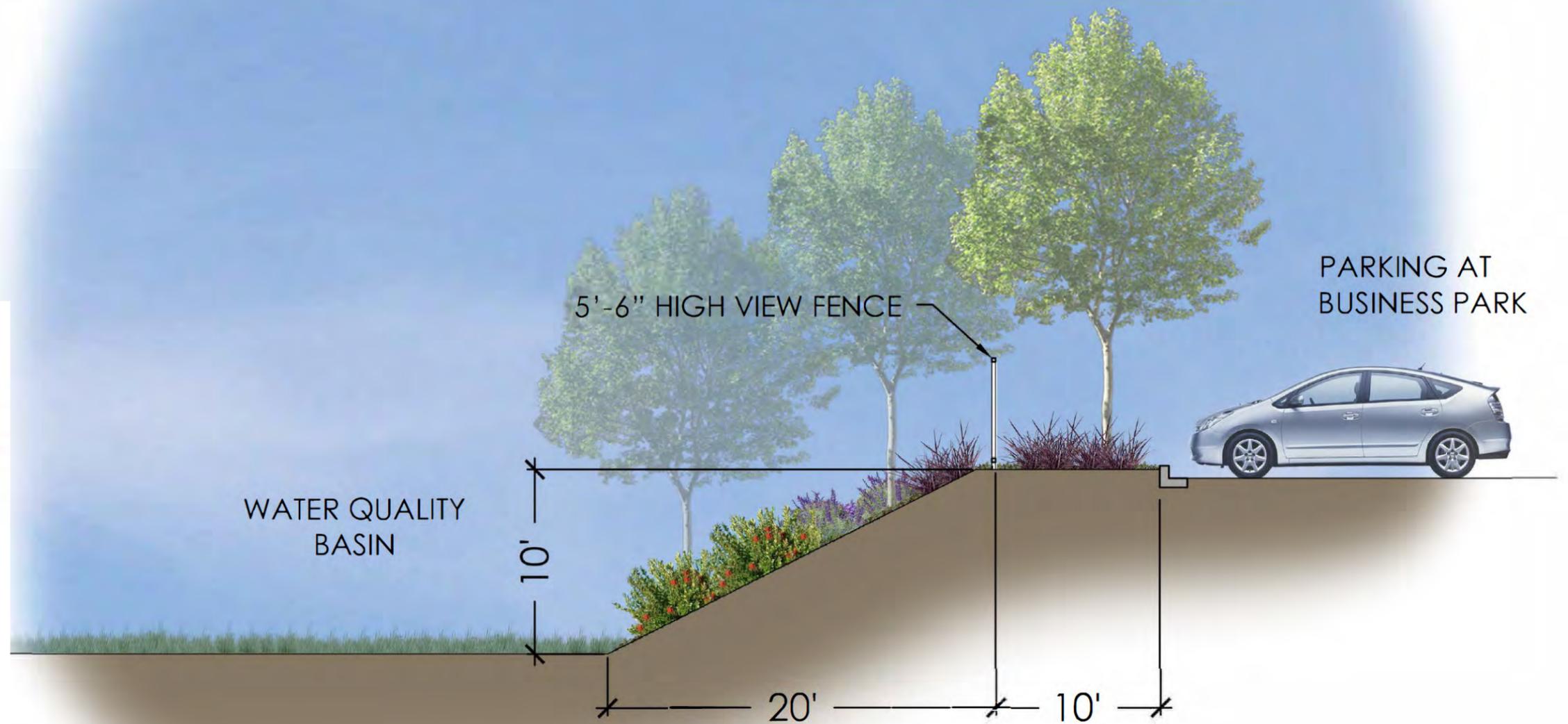
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**BUSINESS PARK (PA4) - OFF-SITE RESIDENTIAL  
EDGE CONDITION - FIGURE IV-21**



● Occurs Here



Note: Water quality basins shall be fenced

**BUSINESS PARK (PAs 4 & 5) - TYPICAL  
BASIN EDGE CONDITION - FIGURE IV-22**

**m. Business Park (PA6) – Off-site Edge Condition**

Instances where PA6 abuts off-site are depicted in Figure IV-23, *Business Park (PA6) – Off-site Edge Condition*. PA6 will be typically separated from off-site by an existing perimeter wall and a ten-foot (10') wide landscaping planter. Landscaping shall include trees, shrubs, and groundcover in accordance with the plant palette.

**n. Business Park (PAs 4, 5, and 6) – Winchester Road Edge Condition**

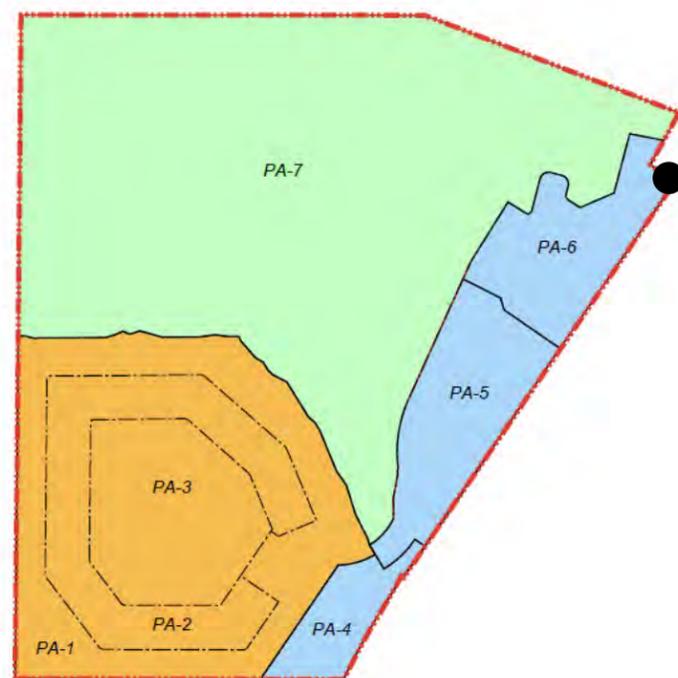
Instances where PAs 4, 5, and 6 abut Winchester Road are depicted in Figure IV-24, *Business Park (PAs 4, 5, & 6) – Winchester Road Edge Condition*. PAs 4, 5, and 6 will be typically separated from Winchester Road by a thirty-seven foot (37') wide landscaped buffer, which includes an eight-foot (8') wide meandering sidewalk. Landscaping shall include trees, shrubs, and groundcover, planted on both sides of the meandering sidewalk, in accordance with the plant palette.

**o. Business Park (PA 5) – OS (PA7) Edge Condition**

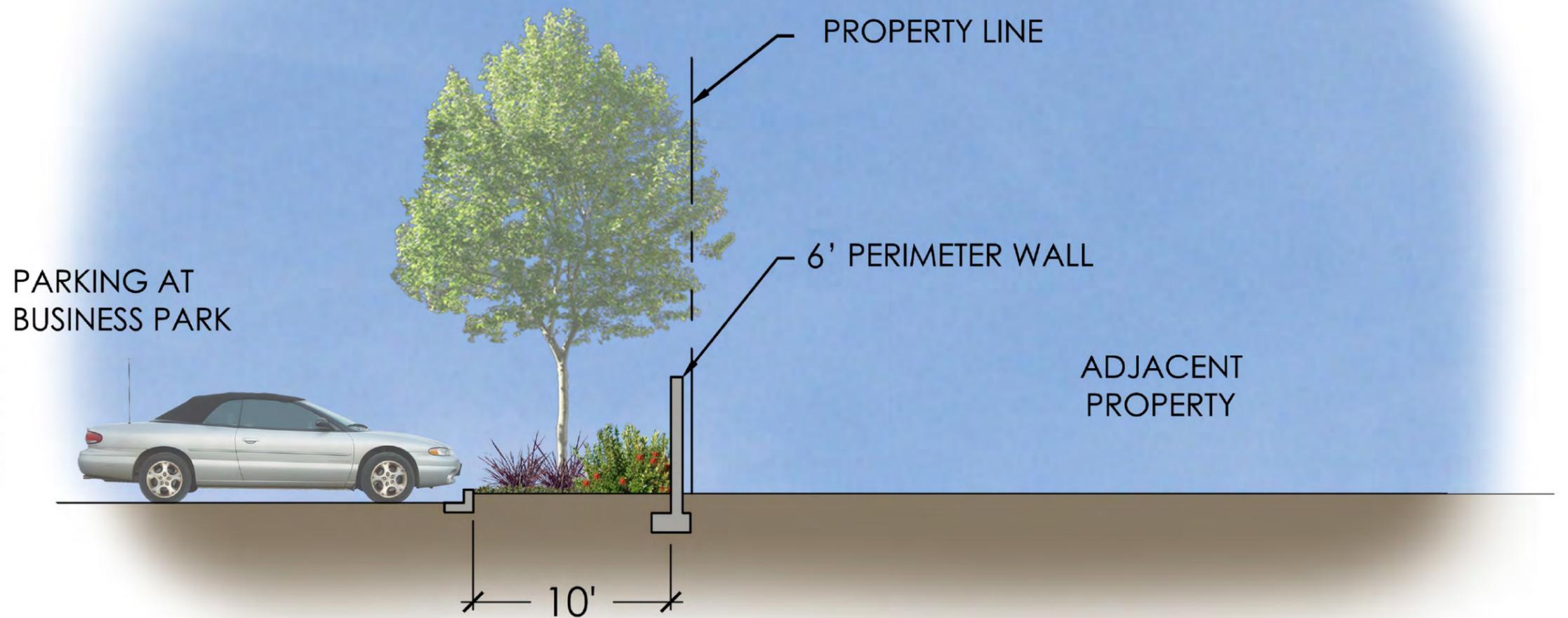
Instances where PA 5 abuts PA7 are depicted Figure IV-25, *Business Park (PA5) – OS (PA7) Edge Condition*. PA6 will be typically separated from PA7 by a slope and/or retaining wall(s), and a thirty-foot (30') wide landscaped fuel modification zone slope, and/or retaining wall(s). A five-foot (5') grading buffer zone will be grading buffer zone will be provided between the fuel modification zone and the approved RCA fence line. Landscaping shall be irrigated, and shall include trees, shrubs, and groundcover in accordance with the plant palette.

**p. Business Park (PA6) – OS (PA7) Edge Condition**

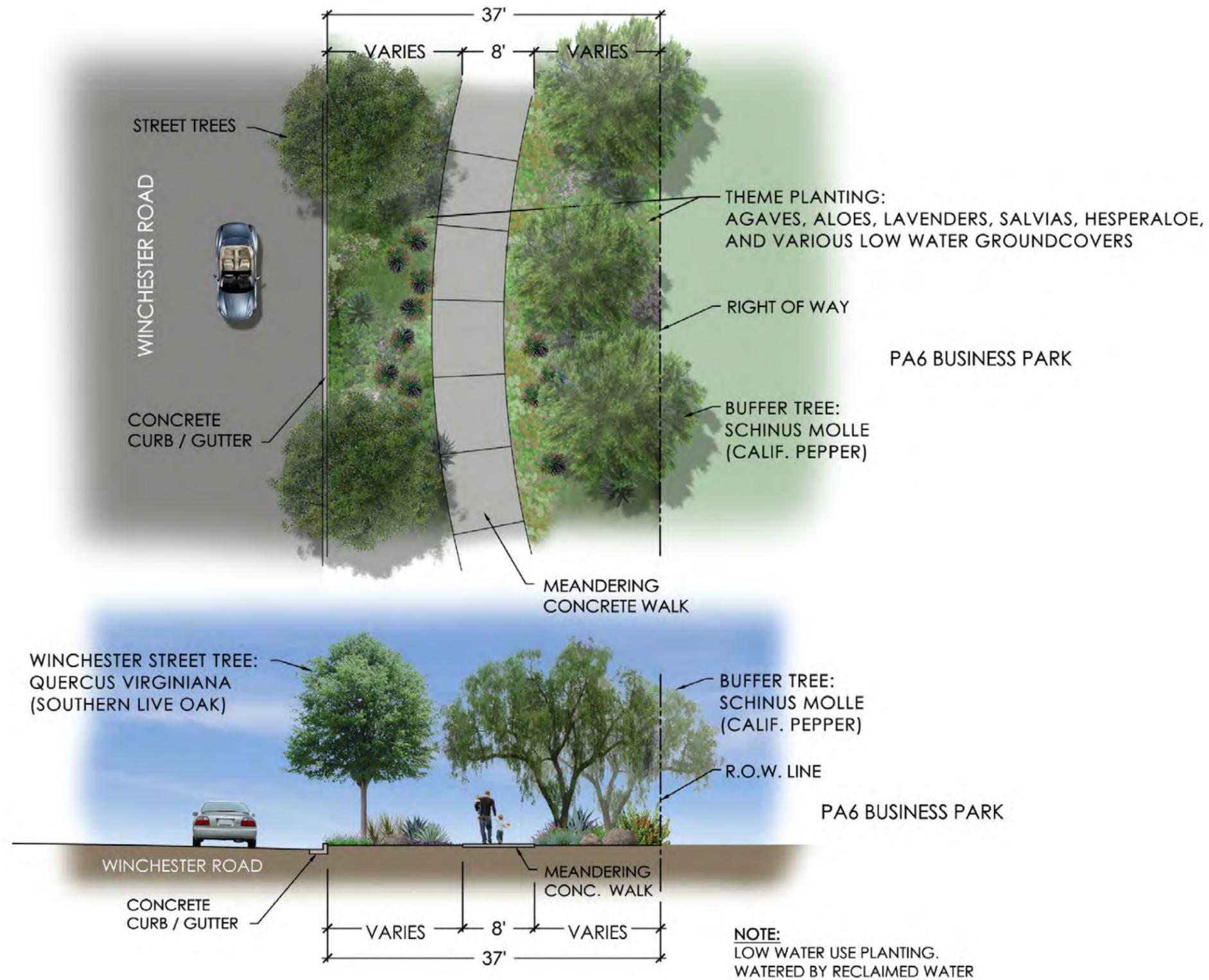
Instances where PA6 abuts PA7 are depicted Figure IV-26, *Business Park (PA6) – OS (PA7) Edge Condition*. PA6 will be typically separated from PA7 by a slope, and/or retaining wall(s), and a thirty-foot (30') wide fuel modification zone, which consists of landscaping and the parking lot. A five-foot (5') grading buffer zone will be grading buffer zone will be provided between the fuel modification zone and the approved RCA fence line. Landscaping shall be irrigated, and shall include trees, shrubs, and groundcover in accordance with the plant palette.



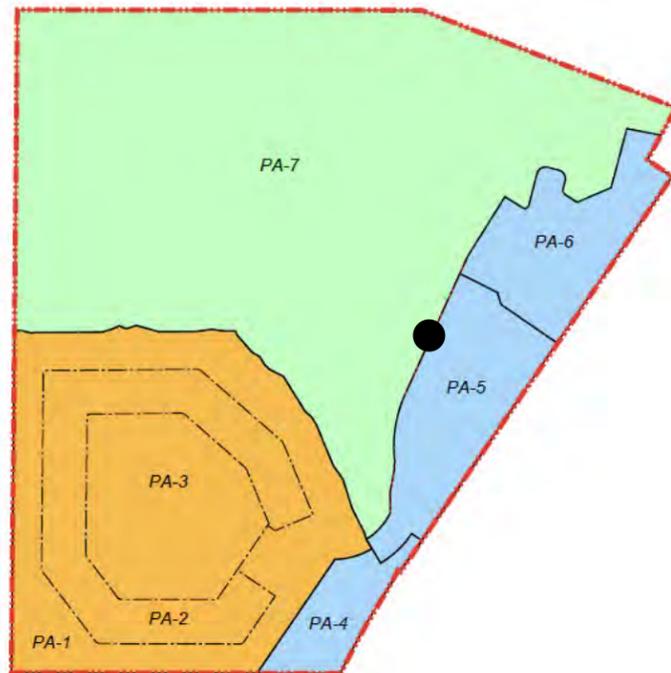
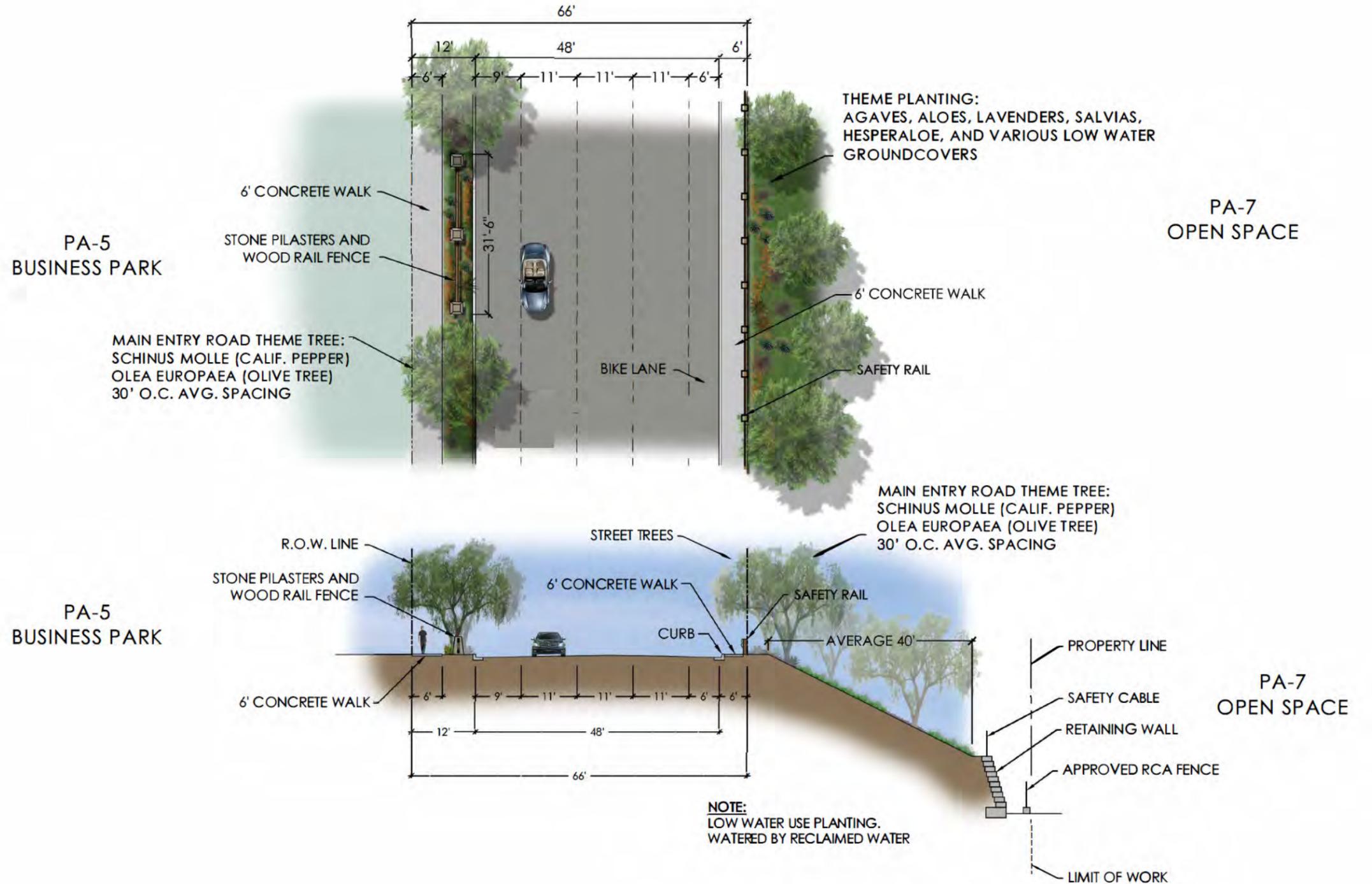
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**BUSINESS PARK (PA6) - OFF-SITE  
EDGE CONDITION - FIGURE IV-23**

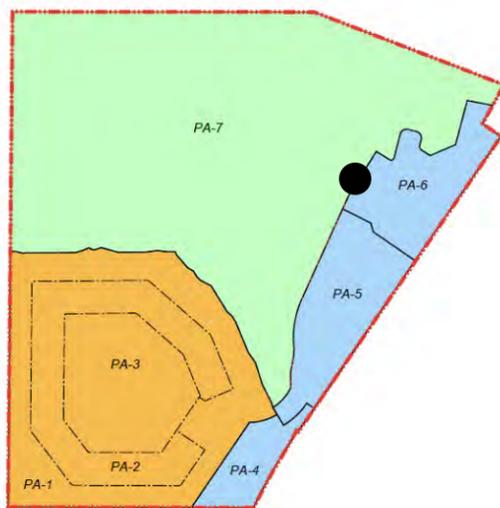
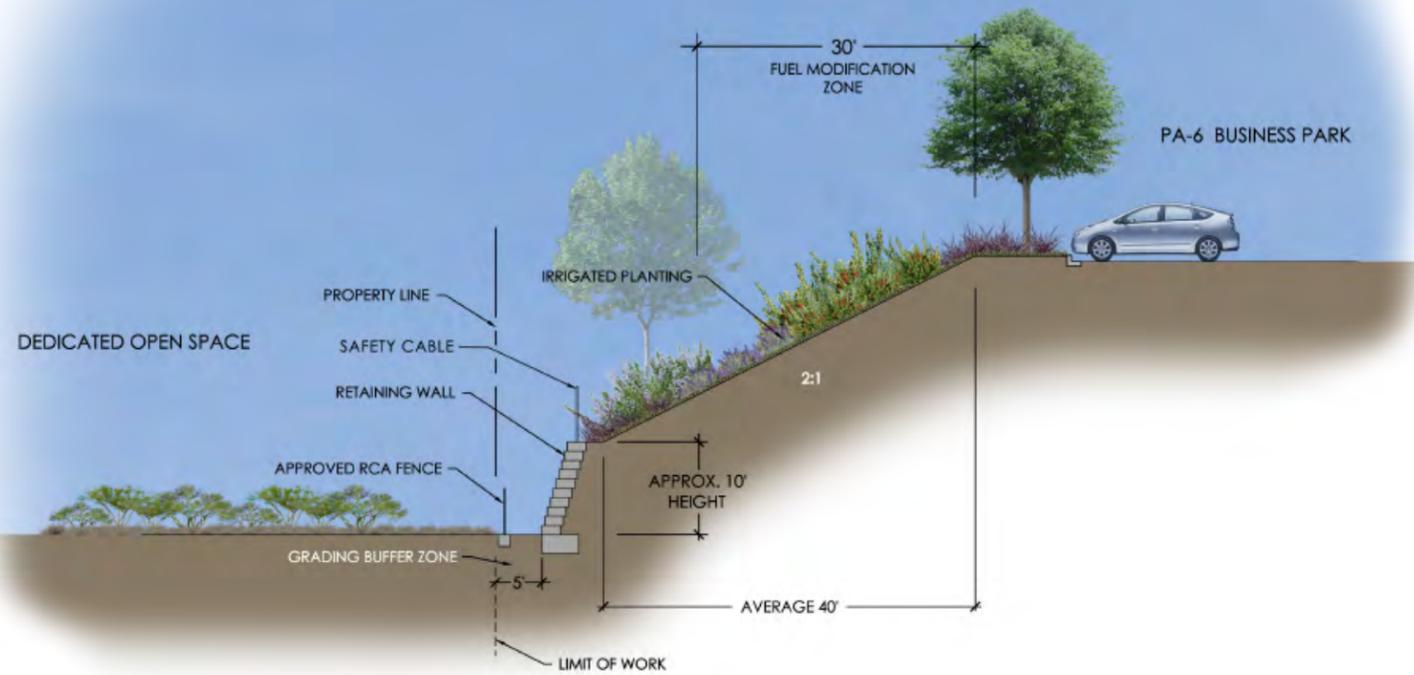


**BUSINESS PARK (PAs 4, 5, & 6) - WINCHESTER ROAD EDGE CONDITION - FIGURE IV-24**

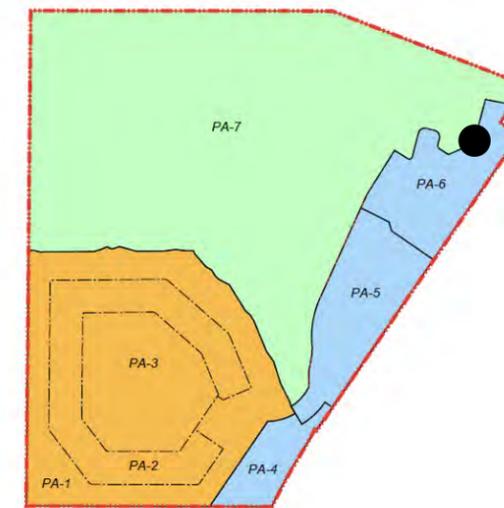
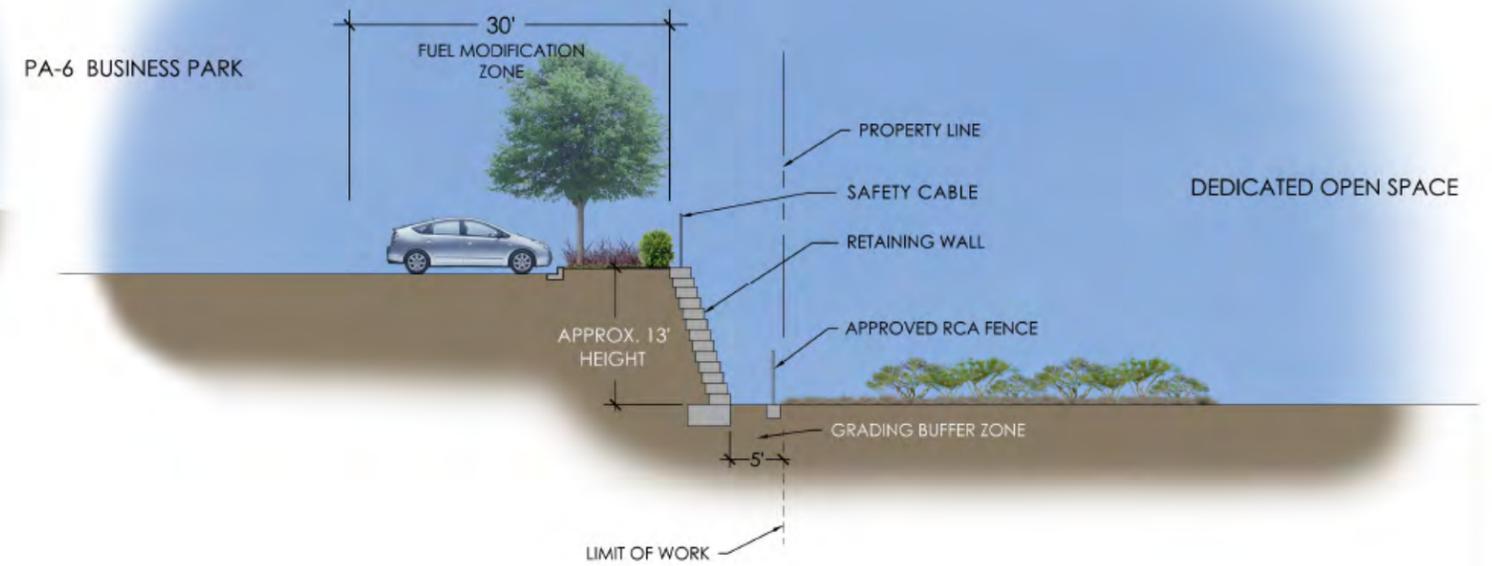


● Occurs Here

**BUSINESS PARK (PA5) - OPEN SPACE (PA7)  
EDGE CONDITION - FIGURE IV-25**



● Occurs Here



● Occurs Here

**BUSINESS PARK (PA6) - OPEN SPACE (PA7)  
EDGE CONDITION - FIGURE IV-26**

## 5. Recreational Amenities

A variety of recreational opportunities will be afforded within the Specific Plan. Community lifestyle needs have been anticipated with the provision of two (2) private recreation facilities in PA3 and a pedestrian sidewalk network that connects to three (3) view areas in PA1. These areas described in detail below.

### a. PA1 Fuel Modification Maintenance Access and View Areas

PA1 will provide two (2) view areas that overlook the open space in PA7. These view areas will also function as fuel modification access areas. The view areas shall include, at a minimum, benches and a concrete or decomposed granite walkway. These view areas are depicted on Figure IV-27, *PA1 Fuel Modification Maintenance Access and View Areas*.

### b. PA1 Southern California Edison (SCE) Easement

A Southern California Edison (SCE) transmission line is located within a 30' wide SCE easement that traverses the southwestern corner of the Specific Plan. This easement will be planted per SCE requirements, which may include, but not be limited to, decomposed granite pathway, and small planting areas (shrubs and groundcover). Refer to Figure IV-28, *PA1 SCE Easement*.

### c. PA3 Private Recreation Area 1

The PA3 private recreation area 1 shall be provided for the residents within the Specific Plan. This private recreation area should include, at a minimum, shaded seating areas, a swimming pool and spa, pool clubhouse with restrooms, tot lot, and turf area (irrigated with reclaimed water). A conceptual site plan for these amenities is depicted on Figure IV-29, *PA3 Private Recreation Area 1 Conceptual Plan*.

### d. PA3 Private Recreation Area 2

The PA3 private recreation area 2 shall also be provided for the residents within the Specific Plan. These private recreation areas should include, at a minimum, shaded seating areas and BBQ facilities, concrete pathways, turf areas (irrigated with reclaimed water), and play structure/equipment. A conceptual site plan for these amenities is depicted on Figure IV-30, *PA3 Private Recreation Area 2 Conceptual Plan*.

### e. PA7 Open Space Conservation

PA7 is approximately 66.8 acres and is designated Open Space (OS). PA7 will remain mostly undisturbed and undeveloped. Aside from mitigation and restoration activities approved by the Western Riverside County Regional Conservation Authority (RCA), this part of the Project site will remain in its existing, natural condition, be dedicated as open space, and serve as Multi Species Habitat Conservation Plan (MSHCP) conservation land. Passive hiking activities may be allowed within PA7, subject to City and RCA approval. These possible hiking activities will be allowed on the historically disturbed, existing trails, if approved.

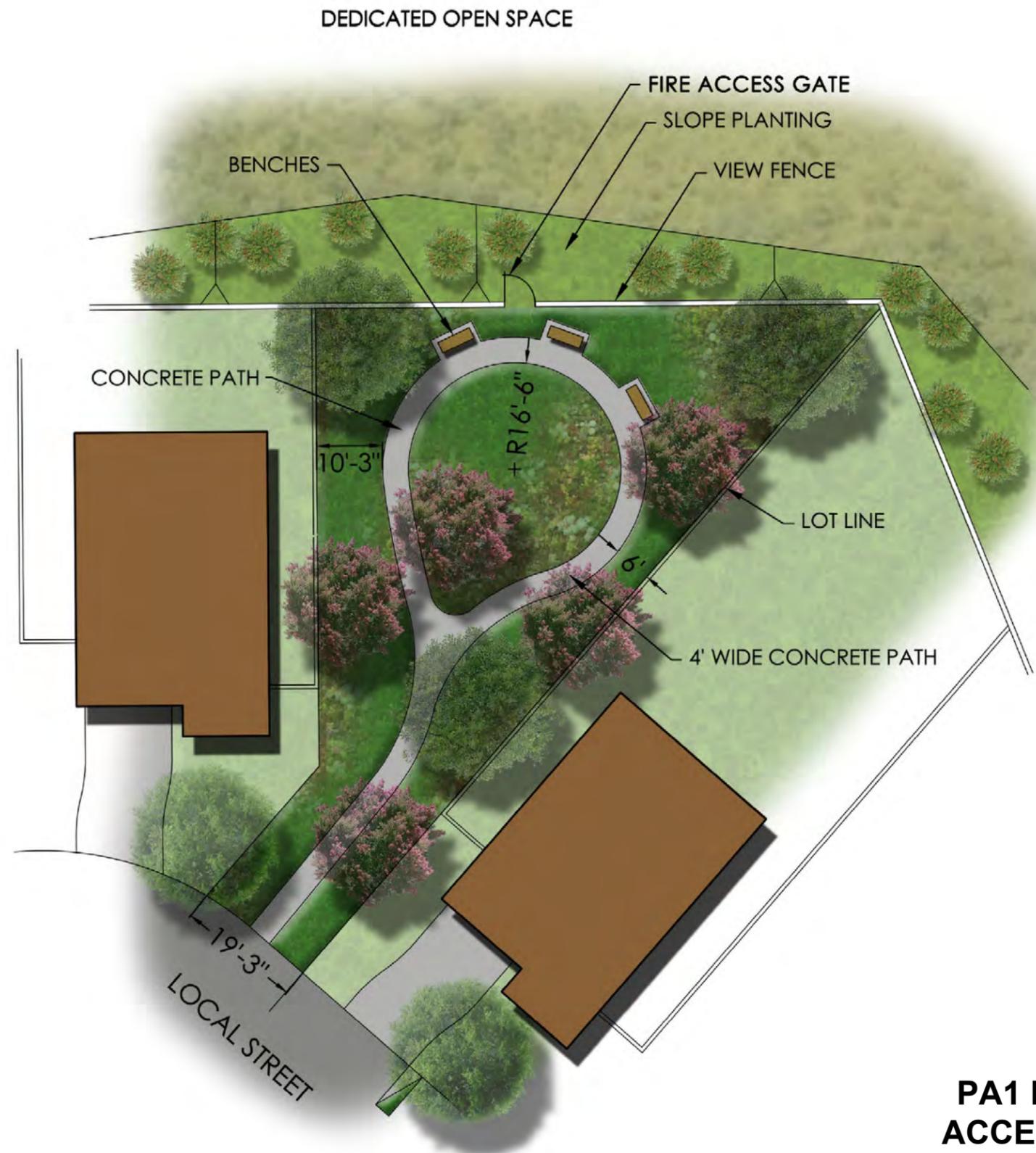
### f. Sidewalks

As illustrated on Figure II-3, *Non-Vehicular Circulation Plan*, a comprehensive sidewalk system is planned within the Specific Plan and connects all residential neighborhoods to the recreational areas, business park areas, and Winchester Road.

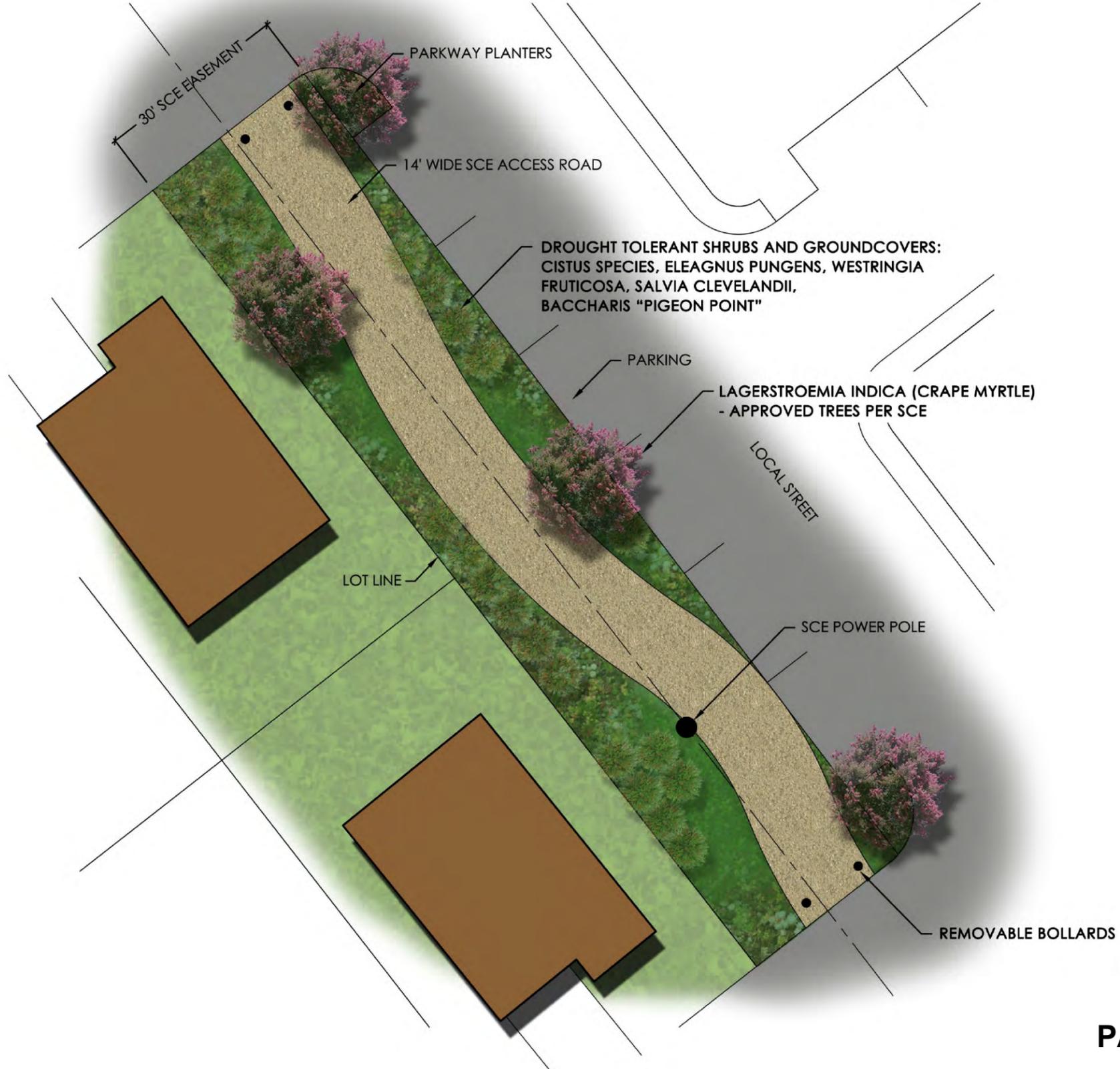
Sidewalks are provided along roadways and connect to recreational areas as well as business park planning areas. Sidewalks range from four (4') to six (6') feet in width and are generally curb separated throughout the Specific Plan. There is an eight-foot (8') wide meandering sidewalk along Winchester Road. Sidewalks consist of hard surface trail material or concrete surfaces for pedestrian use.

Sidewalks along streets A and B shall be lighted at nighttime by a combination of varying heights of lighting fixtures as depicted on Figure IV-31, *Lighting Fixture Examples*. Lighting fixtures shall be subject to the following criteria:

1. Heights of fixtures should be appropriate for the setting (i.e., lower height light standards in light sensitive areas such as adjacent to open space);
2. Lighting shall be pointed away from light sensitive areas;
3. Lighting shall be located per City Police Department standards for illumination; and
4. Lighting should be located at roadway decision points (the intersection of two roadways) along walkways.



PA1 FUEL MODIFICATION MAINTENANCE ACCESS AND VIEW AREAS - FIGURE IV-27



PA1 SCE EASEMENT - FIGURE IV-28  
Page IV-78



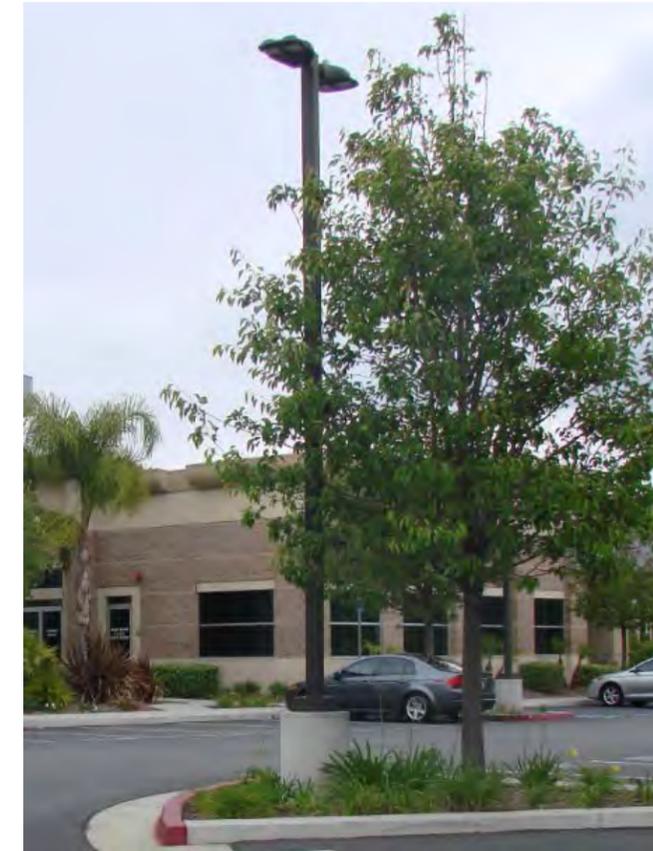
PA3 PRIVATE RECREATION AREA 1  
CONCEPTUAL PLAN - FIGURE IV-29



PA3 PRIVATE RECREATION AREA 2  
CONCEPTUAL PLAN - FIGURE IV-30



Residential Street Lighting Examples



Typical Business Park Parking Lot Lighting Example



Typical Bollard Style Lighting Example for Pedestrian Pathways



Typical Business Park Wall Pack Lighting Example

## 6. Community Walls and Fences

Community walls and fences, as illustrated on Figure IV-32, *Conceptual Wall and Fence Plan* and Figures IV-33a and IV-33b, *Wall and Fence Elevations*, will be predominantly located around the perimeter boundaries of each residential planning area where interfaces with natural open space, roads, parks, or off-site land uses occur. The walls and fencing within the Specific Plan are major visual elements and have been carefully designed to complement the Project. A strong cohesive appearance is achieved through the use of “community walls” and general overall wall guidelines. The walls and fencing will be easy to maintain and provide a durable, long-term aesthetic.

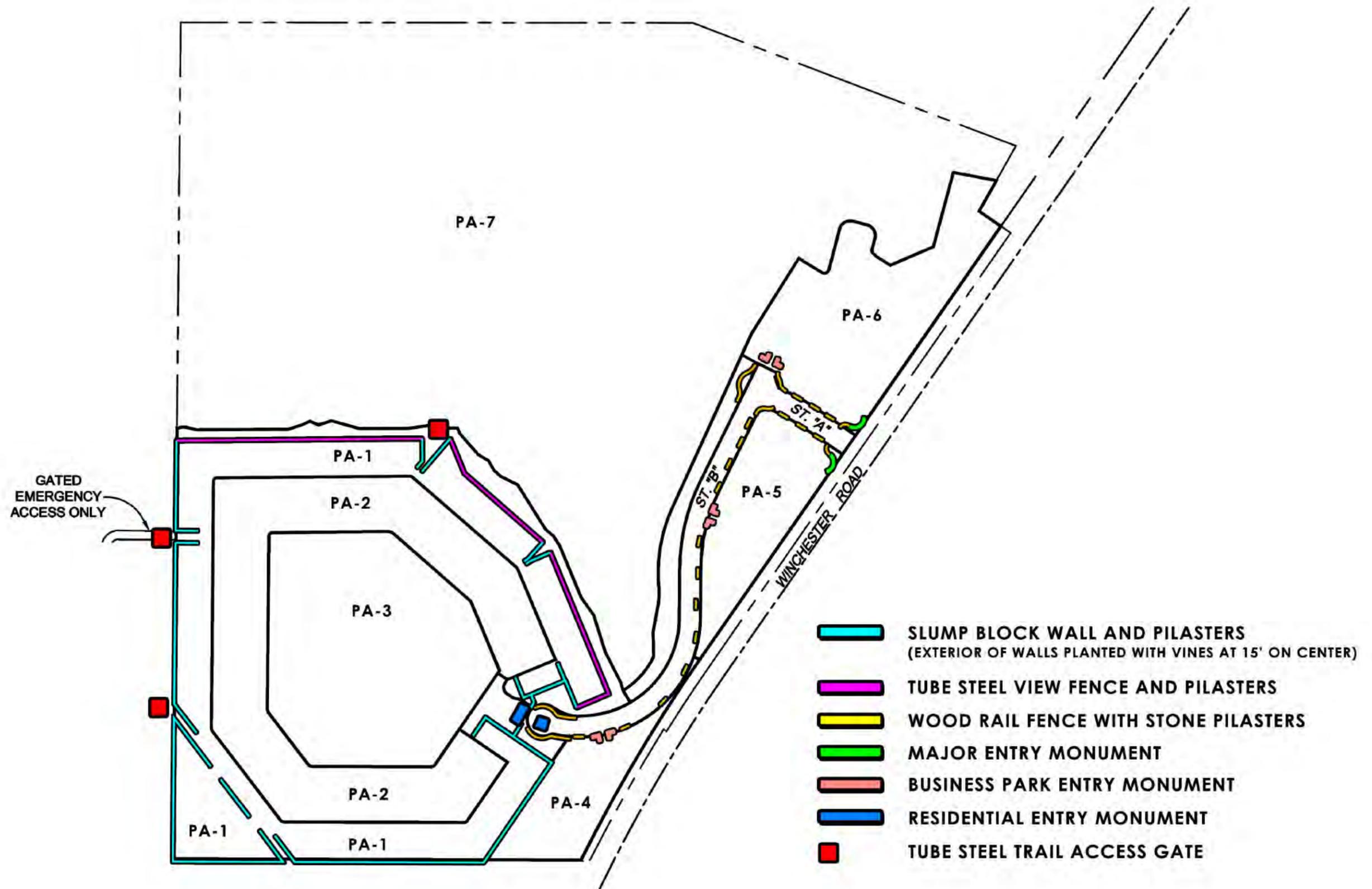
Community walls and fences shall be designed as an integral component and extension of the building design and surrounding landscape. Periphery walls can be integrated into the adjacent structure and extended into the landscape to help integrate the building into its environment. The following, as illustrated on Figure IV-32, *Conceptual Wall and Fence Plan* and Figures IV-33a and IV-33b, *Wall and Fence Elevations*, shall apply:

- Block walls will be located where either noise attenuation or privacy is needed. View fencing should be provided in instances where privacy can be met, yet view potentials can be realized.
- Walls and fences should be constructed of materials, colors, and textures that are similar and harmonious with the architecture.
- Particular importance shall be given to railing and cap details.
- Walls and fences shall be offset occasionally to avoid visual monotony.
- Interior fencing (including vinyl) and block walls shall be used to define the limits of individual open space, as well as for the creation of exterior privacy.
- Pilasters shall be provided at ends of walls, at corners, or any change in wall direction.

There is no limit on the heights of retaining walls. The following shall apply:

- The heights of walls closest to major circulation roadways should be minimized to the extent feasible.
- Retaining walls higher than 8’ shall be constructed to allow planting.
- All planting shall be designed to completely cover retaining walls.
- The option always exists to build a combination of slopes and retaining walls, as long as the desired aesthetic is achieved.

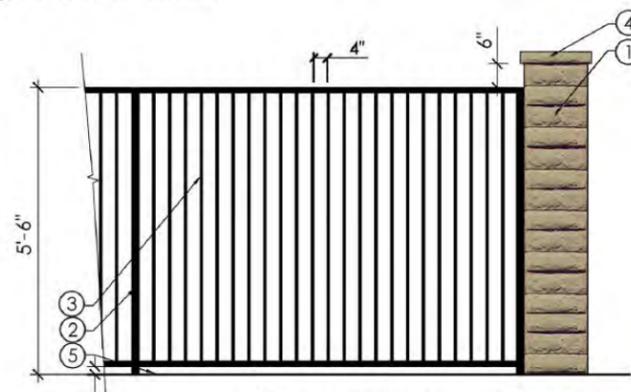




Note: Interior fencing (including vinyl) and block walls will be used to define the limits of property ownership, individual open space, and for the creation of exterior privacy.

CONCEPTUAL WALL AND FENCE PLAN - FIGURE IV-32

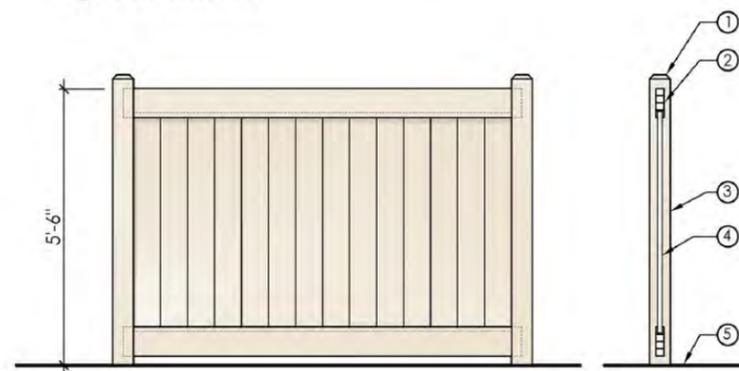
- ① SLUMP BLOCK PILASTER (AT CORNERS AND GATE OPENINGS)
- ② TUBULAR STEEL POST @ 8'-0" O.C. MAX.
- ③ TUBULAR STEEL PICKETS
- ④ SLUMP BLOCK PILASTER CAP
- ⑤ FINISH GRADE



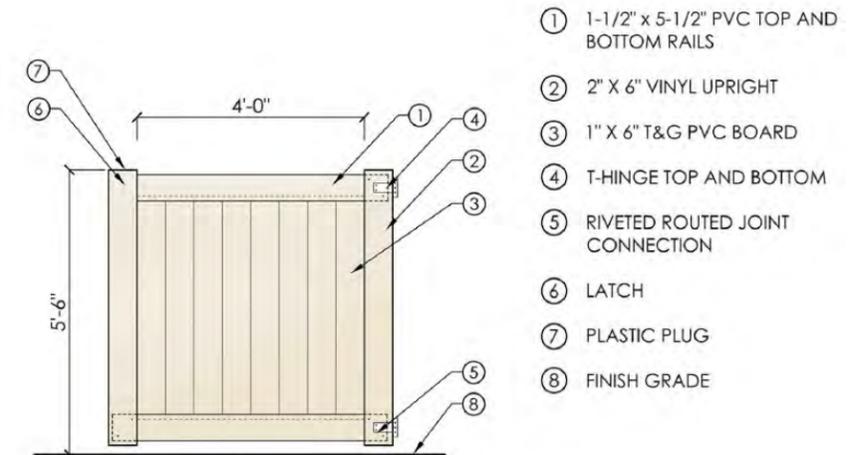
NOTE: PILASTERS OCCUR AT CORNERS AND AT GATE OPENINGS

TUBE STEEL VIEW FENCE AND PILASTER

- ① DOMED CAP
- ② 2" X 7" TOP & BOTTOM RAILS
- ③ 5" X 5" VINYL POST
- ④ 6" TONGUE & GROOVE
- ⑤ FINISH GRADE

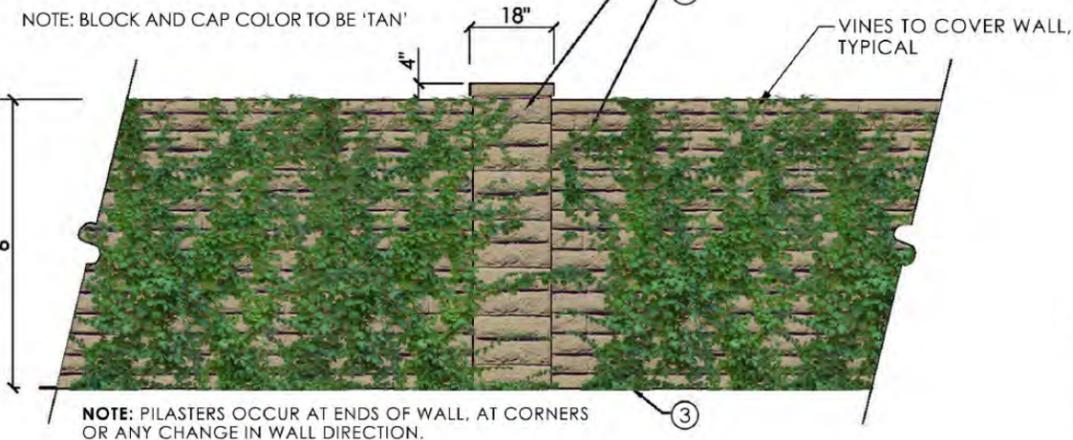


VINYL SIDEYARD FENCE



VINYL SIDEYARD GATE

- ① 16x6x16 SLUMP BLOCK PILASTER W/ SLUMP CAP
- ② 8x6x16 SLUMP BLOCK W/ SLUMP CAP
- ③ FINISH GRADE



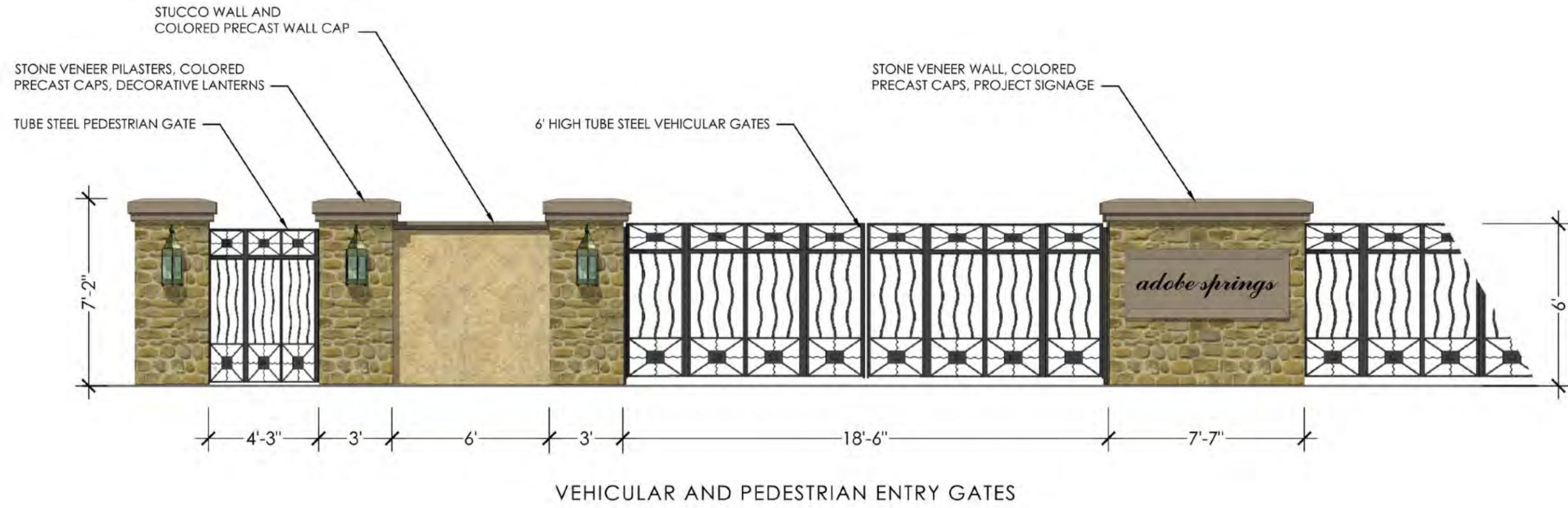
SLUMP BLOCK WALL AND PILASTER

NOTE: WALL HEIGHT 6' OR PER NOISE STUDY



WOOD RAIL FENCE AND STONE PILASTERS

Note: Wood rail fencing may be either wood, wood simulated pvc, concrete wood, or equivalent



## 7. General Landscape Requirements

### a. Energy Efficiency

This section of the Design Guidelines serves to highlight elements in the site planning, design and construction phases of the Specific Plan that can be implemented to achieve a standard of energy efficient performance which is both desirable for the homeowner, the environment, and builder/developer as it relates to landscaping.

The following have been selected based on their ease of applicability and implementation during the design and construction phases, marketability and/or desirability potential to the home buyer, and cost incentive factors to both the builder and homeowner in order to maximize energy efficiency and maximize water quality and conservation.

#### **Goal #1: Maximize Energy Efficiency**

##### During Landscaping:

1. During the summer months, tall deciduous trees sited along the southwest and west of a residence provide shade and protect the home from solar heat gain keeping the outdoor surroundings cool. During winter, leaves drop off allowing winter sun to shine through to heat the home passively. The result is less reliance on mechanical heating and cooling systems. Where practical, place tall, deciduous trees to the southwest and west (as well as east) sides of the house to block hot afternoon summer sun.
2. Non-permeable materials used as ground covering absorb and trap the sun's heat, contributing to the increase in the average daily temperature surrounding the home. Permeable materials cut down on the amount of heat absorbed and re-radiated from the surface. Use of permeable materials prevents additional solar heat gain surrounding the home and reduces reliance on mechanical cooling systems. Reduce the amount of non-permeable surface on each lot to the maximum extent possible.

#### **Goal #2: Maximize Water Quality and Conservation**

##### Landscape Considerations:

1. Low to medium water-use plants are to be designed and hydro-zoned and are included as part of the plant palette.
2. Different types of plants have different watering and maintenance needs. A zoned irrigation system delivers the appropriate amount of water to the appropriate landscaping zone as needed. Planting areas shall be irrigated with an automatic irrigation system, utilizing a controller with current ET weather tracking and be in conformance with the Murrieta Municipal Code 16.28 and current related policies.
3. Front yards are to be designed as turf-free with low to medium water-use plantings. Reference Figure IV-34, *Front Yard Typical with Low to Medium Water Use Planting Examples*.



**FRONT YARD TYPICAL WITH LOW TO MEDIUM WATER- USE PLANTING EXAMPLES - FIGURE IV-34**

### Design Considerations:

1. If a pool is provided in a common recreation area, install a pool filtration with zero water backwash system to reduce and possibly eliminate the need to drain the pool.
2. Install the following in-home features to reduce water usage:
  - Low-flow toilets.
  - Horizontal access washing machines.
  - Low-flow showerhead and faucet aerators.

### **b. Irrigation**

Irrigation Point of Connection Master Plans will be created during the tentative map process as grading, lot configuration and maintenance responsibility begins to be more precise and will act as coordination mechanisms between the landscape architect, civil engineer, dry utility consultant, utility provider, and water district through the construction document process.

All common irrigation areas shall be capable of being operated by a computerized irrigation system which includes an onsite weather station/ET gage capable of reading current weather data and making automatic adjustments to independent program run times for each irrigation valve based on changes in temperature, solar radiation, relative humidity, rain and wind. In addition, the computerized irrigation system shall be equipped with flow sensing capabilities, thus automatically shutting down the irrigation system in the event of a mainline break or broken head. These features will assist in conserving water, eliminating the potential of slope failures due to mainline breaks and eliminating over watering and flooding due to pipe and/or head breaks.

All planting areas shall be irrigated with a permanent, City approved drip irrigation system that utilizes point source, tubing with embedded emitters, or an approved equal.

### **c. Maintenance Responsibility**

Maintenance responsibility may consist of a variety of City and association types such as lighting assessment districts, business and recreation associations, as well as private homeowner's associations. Master Plans defining ultimate maintenance responsibility will be created more precisely, focusing on each phase, during the tentative map process as grading and lot configuration begins to be more precise.

All landscape areas shall be maintained in accordance with the best industry standards for professional landscape maintenance. Such maintenance shall include watering, fertilization using organic fertilizers with humate, mowing, edging, pruning, trimming, herbicide programming, pesticide programming, clean-up and other on-going seasonal programmed maintenance functions. Replacement of dead or diseased plant materials originally approved shall be accomplished on a routine basis. Irrigation systems shall be routinely inspected, repaired and maintained in an operating condition at all times. All walks shall be kept routinely free of litter and debris.

### **d. Outdoor Lighting**

A master plan for street lighting will be created at the final map level for each phase of the Project and coordinated with the appropriate governing agencies. All streets and business park developments in the Specific Plan should have uniform lighting standards with regard to style,

materials, and colors in order to ensure consistent design. Lighting fixtures should be well integrated into the visual environment. Styles should be selected that are complimentary to the Project. Reference Figure IV-31, *Lighting Fixture Examples* for more detail.

**e. Monumentation**

For conceptual thematic monumentation refer to previous figures within this Specific Plan. Ultimate monumentation locations will be established during the tentative map process as grading and lot configuration begins to be more precise. Within the tentative map process, lot configuration related to monument features will be coordinated with the appropriate governing agencies.

**f. Mailboxes**

Once construction documents are underway, a mailbox master plan will be created and coordinated with the United States Postal Service, identifying type and location of mailbox structures. See Figure IV-35, *Typical Mailbox Example* for more detail. Style elements should coordinate with Project architecture for both residential and business park areas and should include, but not be limited to: earth tones, pedestrian scale and massing, and utilize plants which are listed on the Project Plant Palette, Table IV-1, *Plant Palette*.



**TYPICAL MAILBOX EXAMPLE - FIGURE IV-35**

### 8. Plant Palette

The intent of these guidelines is to provide a simple plant palette that complements and enhances the thematic setting for the community. In addition, this plant palette has been selected for the plants' appropriateness to climatic conditions, soil conditions, surrounding natural environment conditions and concern for maintenance and water conservation.

Plant selection for specific areas of the Specific Plan shall have similar cultural requirements so that irrigation can be designed to minimize water use and plant material can thrive under optimal conditions. This plant palette is derived from the Water Use Classification of Landscape Species (WUCOLS) Plant List. This plant palette is a representative list of plant species from which selections will be made in future design processes. The selection of additional species from the WUCOLS Plant List that meet the above criteria may also be considered. Table IV-1, *Plant Palette*, provides a list of the acceptable plant materials within the Specific Plan.

Table IV-1  
Plant Palette

Botanical Name	Common Name	Water Use Classification Region 4	Winchester Streetscape	Main Entry Roads "A" and "B"	Entries	Recreation Areas	Open Space and Slopes	In-Tract Parkways	In-Tract Street Trees	Commercial	Basins (and Basin Slopes)
<b>Trees</b>											
Arbutus "Marina"	Marina Arbutus	M			X	X	X			X	
Chitalpa tashkentensis "Pink Dawn"	Chitalpa	M			X	X	X		X	X	
Cinnamomum camphora	Camphor Tree	M				X	X			X	
Geijera parviflora	Australian Willow	M				X	X			X	X
Koelrueteria bippinata	Chinese Flame Tree	M			X	X	X			X	
Lagerstroemia indica x fauriei	Crape Myrtle Cultivars	M			X	X	X		X	X	
Magnolia g. 'St. Mary's'	Southern Magnolia	M				X			X	X	
Olea europaea "Wilsonii"	Fruitless Olive	L		X	X	X	X			X	
Phoenix dactylifera	Date Palm	L				X				X	
Pinus eldarica	Afghan Pine	L					X			X	
Pistacia chinensis	Chinese Pistache	M								X	
Platanus a. 'Bloodgood'	London Plane Tree	M				X	X			X	
Platanus racemosa	California Sycamore	M				X	X				X
Podocarpus gracillior	Fern Pine	M								X	
Prunus c. 'Atropurpurea'	Purple Leaf Plum	M				X				X	
Pyrus calleryana "Chanticleer"	Chanticleer Pear	M				X			X	X	
Pyrus calleryana "Bradford"	Bradford Pear	M				X				X	
Quercus agrifolia	Coast Live Oak	L	X	X	X		X			X	
Quercus virginiana	Southern Live Oak	M	X			X	X		X	X	
Rhus lancea	African Sumac	L					X		X	X	X
Schinus molle	California Pepper	L	X	X	X		X			X	
Ulmus parvifolia "Drake"	Evergreen Elm	M							X	X	
Washingtonia filifera	California Fan Palm	L				X				X	
<b>Shrubs, Perennials, Grasses and Groundcovers</b>											
Acacia r. "Lowboy"	Spreading Acacia	M				X				X	
Agapanthus africanus	Lily-Of-The-Nile	M				X		X		X	
Agave vilmoriniana	Octopus Agave	L	X	X	X						
Agave americana	Century Plant	L	X	X	X						
Agave a. "Medio-picta"	Century Plant	L	X	X	X						
Anigozanthos Hybrids	Kangaroo Paw	L	X	X	X	X	X	X		X	
Arbutus unedo	Strawberry Tree	L	X	X	X	X	X			X	X
Callistemon v. "Little John"	Dwarf Bottlebrush	M	X	X	X	X	X	X		X	
Carex pansa (in basins)	Calif. Meadow Sedge	M									X
Ceanothus spp.	California Lilac	L	X	X	X		X			X	X
Daccharis P. 'Pigeon Point'	Coyote Brush	L	X	X	X		X			X	X
Bulbine frutescens	Stalked Bulbine	L	X	X	X		X				
Buxus japonica "Winter Gem"	Winter Gem Boxwood	M			X	X				X	
Cistus x purpureus	Rockrose	L	X	X	X	X	X	X		X	X
Cistus salviifolius 'Prostratus'	Sageleaf Rockrose	L	X	X	X	X	X	X		X	
Cotoneaster d. "Lowfast"	Lowfast Cotoneaster	M			X	X	X			X	
Dietes vegeta	Fortnight Lily	M				X	X	X		X	X
Dodonea v. 'Purpurea'	Purple Hopseed	M				X				X	
Eleagnus pungens	Silverberry	M				X				X	
Euonymus spp	Evergreen Euonymus	M				X		X		X	
Feijoa sellowiana	Pineapple Guava	M	X	X	X		X				
Helictotrichon sempervirens	Blue Oat Grass	M	X	X	X	X	X	X		X	X
Hemerocallis hybrid	Daylily	M	X	X	X	X	X	X		X	
Hesperaloe parviflora	Red Yucca	L	X	X	X		X			X	
Heteromeles arbutifolia	Toyon	L	X		X		X			X	X
Leucophyllum f. "Green Cloud"	Texas Ranger	L	X	X	X		X			X	

Botanical Name	Common Name	Water Use Classification Region 4	Winchester Streetscape	Main Entry Roads "A" and "B"	Entries	Recreation Areas	Open Space and Slopes	In-Tract Parkways	In-Tract Street Trees	Commercial	Basins (and Basin Slopes)
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Shrubs, Perennials, Grasses and Groundcovers, cont'd.

<i>Ligustrum japonicum</i>	Privet	M				X				X	
<i>Lavandula angustifolia</i> "Munstead"	English Lavender	M	X	X	X	X	X	X		X	
<i>Mahonia repens</i>	Creeping Barberry	L	X	X	X		X	X		X	X
<i>Muhlenbergia rigens</i>	Deer Grass	L	X	X	X		X				X
<i>Myoporum</i> p. "Putah Creek"	Myoporum	M				X	X	X		X	
<i>Myrtus communis</i> 'Compacta'	Compact Myrtle	M				X		X		X	
<i>Nandina domestica</i>	Heavenly Bamboo	M				X		X		X	
<i>Pennisetum</i> s. "Cupreum"	Purple Fountain Grass	M	X	X	X	X	X			X	X
<i>Photinia fraseri</i>	Red-Tip Photinia	M				X	X			X	
<i>Pittosporum</i> t. "Variegata"	Variegated Mock Orange	M				X	X	X		X	
<i>Raphiolepis</i> spp	India Hawthorn	M				X	X	X		X	
<i>Rhus ovata</i>	Sugar Bush	L	X		X		X				
<i>Rosa</i> spp	Rose	L	X	X	X	X	X	X		X	
<i>Rosmarinus</i> o. "Huntington Carpet"	Prostrate Rosemary	L	X	X	X	X	X	X		X	
<i>Rosmarinus</i> o. "Tuscan"	Upright Rosemary	L	X	X	X	X	X	X		X	
<i>Salvia clevelandii</i> 'Winnifred Gilman'	Cleveland Sage	L	X	X	X		X				
<i>Salvia greggii</i>	Autumn Sage	L	X	X	X	X	X	X		X	
<i>Salvia leucantha</i>	Mexican Sage	L	X	X	X	X	X	X		X	
<i>Trachelospermum jasminoides</i>	Star Jasmine	M				X		X		X	
<i>Verbena peruviana</i>	Verbena	L	X	X	X		X				
<i>Westringia fruticosa</i>	Coast Rosemary	L	X	X	X	X	X			X	
<i>Xylosma congestum</i>	Shiny Xylosma	M				X	X			X	
<b>Vines</b>											
<i>Clytostoma callistegiodes</i>	Lavender Trumpet Vine	M				X	X			X	
<i>Distictus buccinatoria</i>	Blood-Red Trumpet Vine	M				X	X			X	
<i>Parthenocissus tricuspidata</i>	Boston Ivy	M				X	X			X	
<b>Turf Grass</b>											
"TifSport" Bermuda or Equal	Hybrid Bermuda Turf	M				X					
Water Use Classification of Landscape Species Categories of Water Need: L = Low; M = Medium; H = High											

V. LAND USE REGULATIONS

A. Land Use Regulations

The following Tables depict the permitted and conditionally permitted uses that are allowed in the Specific Plan. Permitted uses are shown as a “P,” conditionally permitted uses are shown as a “C.” With the exception of potential trails, there are no land use regulations for PA7, since it will remain as permanent open space. These Regulations have been developed with consistency for development within Zones C and D of the French Valley Airport Master Plan. PAs 4 and 5 are located within Compatibility Zone D and PA 6 is located within Compatibility Zone C.

1. Residential

Table V-1, Land Use Regulations PA1, PA2 & PA3 – Single-Family Residential				
Symbol	Applicable Process			See Murrieta Municipal Code
P	Permitted Land Use - Compliance with development standards and zoning clearance required			16.74
C	Conditional Use - Conditional use permit required			16.52
"Blank"	Land use not permitted			
Land Use	PA1	PA2	PA3	See Standards in Section
<b>Agriculture, Open Space and Resources</b>				
Open Space/Recreation Areas	P	P	P	
<b>Communication Facilities</b>				
Satellite Dishes/Antennas	P	P	P	16.44.170A
Wireless Communication Facilities	C	C	C	16.44.170B
<b>Education, Public Assembly and Recreation</b>				
Churches, places of worship <sup>(1)</sup>	C	C	C	
Residential Recreational Facilities, Private	P	P	P	
Schools	C	C	C	
<b>Residential</b>				
Assisted Living/Skilled Nursing	C	C	C	
Child Day Care - Up to 8 children <sup>(2)</sup>	P	P	P	16.44.050
Child Day Care - 8 to 14	P	P	P	16.44.050
Child Day Care - More than 15 children	C	C	C	16.44.050

Land Use <sup>(2)</sup>	PA1	PA2	PA3	See Standards in Section
Home Occupations	P	P	P	16.60.030
Model Homes/Sales Office	P	P	P	
Residential Care Homes - up to 6 Clients	P	P	P	
Residential Care Homes - 7+ Clients	C	C	C	
Single-family Homes	P	P	P	
Notes:				
(1) Allowed on parcels greater than 1 acre.				
(2) Zoning clearance not required.				
See Section <u>16.04.020</u> regarding uses not listed.				
See Article VI for definitions of the land uses listed.				
See City Murrieta Development Code for all code references.				

**2. Business Park**

Table V-2, Land Use Regulations PA4, PA5 & PA6 – Business Park				
Symbol	Applicable Process			See Chapter
P	Permitted Use - Compliance with development standards and zoning clearance required			16.74
C	Conditional Use - Conditional use permit required			16.52
"Blank"	Use not allowed			
Land Use	PA4	PA5	PA6	See Standards in Section
<b>Agriculture, Open Space and Resources</b>				
Plant Nurseries	P	P	P	
Open Space	P	P	P	
<b>Communication Facilities</b>				
Broadcast Recording Studio	P	P	P	
Satellite Dishes/Antennas <sup>(1)</sup>	P	P	P	16.44.170A
Wireless Communication Facilities 51 feet or more in height <sup>(1)</sup>	-	C	-	16.44.170B

<b>BUSINESS PARK</b>				
<b>Land Use</b>	<b>PA4</b>	<b>PA5</b>	<b>PA6</b>	<b>See Standards in Section</b>
<b>Education, Public Assembly and Recreation</b>				
Auditoriums, Meeting Halls and Conference Facilities	-	P	C	
Bingo	C	C	C	
Churches, Places of Worship	C	C	C	
Cyber Cafe	P	P	P	
Indoor Amusement Centers, Game Arcades, and Pool/Billiard Rooms	-	P	P	
Indoor Firing Ranges	P	P	P	16.44.240
Interpretative Centers			C	
Health and Fitness Centers	P	P	P	
Outdoor Recreation, Commercial	-	C	C	
Personal Instruction	P	P	P	
Schools, Specialized Education and Training	P	P	P	See Definition 16.110
Studios, Professional	P	P	P	See Definition 16.110
<b>Manufacturing and Processing</b>				
Beverage Production	C	P	P	
Bio Medical Manufacturing	C	P	P	
Cabinet Shop	C	P	P	
Chemical Products	-	P	P	
Clothing Products	P	P	P	
Electrical and Electronic Equipment and Instruments	P	P	P	
Food Products	P	P	P	
Furniture and Fixture Manufacturing	C	P	P	
Glass Products	C	P	P	
Handicraft Industries and Small Scale Manufacturing	P	P	P	
Laundries and Dry Cleaning Plants	-	P	P	
Leather Products	P	P	P	

<b>BUSINESS PARK</b>				
<b>Land Use</b>	<b>PA4</b>	<b>PA5</b>	<b>PA6</b>	<b>See Standards in Section</b>
Lumber and Wood Products < 10,000 s.f. (enclosed, no outdoor storage)	C	P	P	
Machine/Welding Shops	-	P	P	
Machinery Manufacturing	C	P	P	
Metal Products Fabrication	C	P	P	
Motor Vehicle and Transportation Equipment	C	P	P	
Paper Products	P	P	P	
Paving Materials	-	P	P	
Pharmaceutical Manufacturing	P	P	P	
Plastics and Rubber Products	P	P	P	
Printing and Publishing	P	P	P	
Recycling Facilities, Composting	-	-	-	
Recycling Facilities, Small Collection Facility	-	C	C	16.44.140
Recycling Facilities, Large Collection Facility	-	C	C	16.44.140
Recycling Facilities, Processing Facility	-	C	C	16.44.140
Recycling Facilities, Reverse Vending Machines	P	P	-	16.44.140
Research and Development	P	P	P	
Stone/Cut Stone Products	P	P	P	
Structural Clay and Pottery Products	P	P	P	
Textile Products	P	P	P	
Warehousing and Distribution Facilities	C	P	P	
Wholesale and Distribution < 10,000 s.f.	C	P	P	
<b>Retail Trade</b>				
Appliance Sales	P	P	P	
Art, Antiques, Collectibles and Gifts	P	P	P	
Auto, Mobile Home and Vehicle Sales (new/used)	-	C	C	
Auto (Motor Vehicle) Parts Sales	-	P	P	

<b>BUSINESS PARK</b>				
<b>Land Use</b>	<b>PA4</b>	<b>PA5</b>	<b>PA6</b>	<b>See Standards in Section</b>
Bars	-	C	C	16.44.030
Building Materials Stores	P	P	P	
Convenience Stores, with no Alcoholic Beverages	-	P	P	16.44.030
Eating and Drinking Establishments (including drive-through)	C	P	C	16.44.030
Farm Equipment and Supply Sales	-	P	P	
Fuel and Ice Dealers	-	P	P	
Furniture and Furnishings	P	P	P	
Liquor Stores	-	P	P	16.44.030
<b>Services</b>				
Bank and Financial Services	P	P	P	
Business Support Services	P	P	P	
Car (Motor Vehicle) Wash	C	P	P	
Day Care Centers	C	C		16.44.050
Equipment Rental	-	P	P	
Hotels	P	P	C	16.44.090
Laundry and Dry Cleaning	P	P	P	
Kennels and Boarding Facilities (indoor)	P	P	P	16.44.040.E.2
Medical Services - Offices, Clinics and Laboratories	P	P	P	16.44.110
Massage Parlors (regional brands)	P	P	P	
Mortuaries, Crematoriums, Funeral Parlors and Cemeteries	-	P	P	
Offices	P	P	P	16.44.110
Personal Services	P	P	P	See Definition 16.110
Public Safety and Utility Facilities	P	P	P	
Repair and Maintenance, Consumer Products	P	P	P	
Repair and Maintenance, Motor Vehicles	-	P	P	

<b>BUSINESS PARK</b>				
<b>Land Use</b>	<b>PA4</b>	<b>PA5</b>	<b>PA6</b>	<b>See Standards in Section</b>
Research and Development	P	P	P	
Service Stations, Full Service (with minor repair)	-	P	P	
Service Stations, Self Service	-	P	P	
Storage (self-service, personal storage) Facilities	P	P	P	
Veterinarian Clinics and Animal Hospitals	P	P	P	See Definition
Veterinarian Clinics and Animal Hospitals (with indoor kennel)	P	P	P	16.44.040.E.2
<b>Transportation</b>				
Alternative Fuels and Recharging Facilities	P	P	P	
Parking Facilities	P	P	P	
Transit Stations and Terminals	-	P	C	
Vehicle and Freight Terminals	P	P	P	
Vehicle Storage Facility	P	P	P	
<p>(1) Shall be developed in accordance with Section 16.44.70 (6) of the Murrieta Development Code.</p> <p>The following apply to all land uses in Planning Areas 4, 5 and 6:</p> <p>A development plan permit may also be required. See Chapter 16.56.</p> <p>Reference to “specialized education and training schools” in this table is only intended to cover schools serving primarily adult (18 or older) students.</p> <p>All uses within Planning Areas 4,5 and 6 shall be located indoors with outdoor storage available providing all outside storage areas are screened from street view. Outdoor storage of materials in conjunction with an on-site primary use requires approval of a conditional use permit in compliance with Chapter 16.52.</p> <p>Storage of hazardous materials in excess of threshold established by the uniform building code requires approval of a minor conditional use permit (16.52) and compliance with Section 16.18.070 (Hazardous Materials Storage).</p> <p>All uses shall demonstrate adequate parking in accordance with Chapter 16.34 - Off-Street Parking and Loading Standards.</p> <p>Uses proposed in these Planning Areas shall be subject to review as to consistency with the Airport Land Use Compatibility Plan in effect at the time that the land use is evaluated by the City.</p> <p>See Section 16.04.020 regarding uses not listed.</p> <p>See Article VI for definitions of the land uses listed.</p>				

**APPENDIX A**  
**General Plan**  
**Consistency Analysis**

## General Plan Consistency Analysis

The Specific Plan, as proposed, is consistent with the following Murrieta General Plan 2035 Elements/Policies:

- Chapter 3: Land Use Element
- Chapter 4: Economic Development Element
- Chapter 5: Circulation Element
- Chapter 6: Infrastructure Element
- Chapter 7: Healthy Community Element
- Chapter 8: Conservation Element
- Chapter 9: Recreation and Open Space Element
- Chapter 10: Air Quality Element
- Chapter 11: Noise Element
- Chapter 12: Safety Element
- Chapter 13: Housing Element
- Chapter 14: Implementation Plan

Based upon review of the Murrieta General Plan 2035, the following are policies that have been specifically highlighted as being applicable to the Specific Plan:

### Land Use

- **LU-1.2** Ensure future development provides for a variety of commercial, industry, and housing that serve the spectrum of incomes within the region.

*Response: Specific Plan No. 21 (SP 21) land use provides for a variety of housing types, business park, as well as open space designations.*

- **LU-1.3** Establish a range of residential density and non-residential intensities to encourage a wide range of development opportunities.

*Response: SP 21 provides residential densities consistent with the SF-2 designation. In addition, SP allows for business park, designations.*

- **LU-1.4** Provide for the development of complementary land uses, such as open space, recreation, civic, and service uses for all future residential and non-residential development.

*Response: SP 21 allows for open space uses, as well as service (non-residential uses). No civic uses are proposed within SP 21. SP 21 is not the best-suited location for civic uses.*

- **LU-3.2** Protect residential areas from the effects of potentially incompatible uses. Where new commercial or industrial development is allowed adjacent to residentially zoned districts, establish and/or maintain standards for circulation, noise, setbacks, buffer areas, landscaping and architecture, which ensure compatibility between the uses.

*Response: SP 21 contains development standards and design guidelines that protects the Project's residential areas from the effects of potentially incompatible uses, particularly between the residential Planning Areas 1-3 from the non-residential Planning Areas 4-6.*

- **LU-3.3** Assure that the type and intensity of land use shall be consistent with that of the immediate neighborhood.

- *Response: The SP 21 site is bordered to the north by open space, commercial uses exist to the northeast (northeast corner of Winchester Road and Benton Road), residential uses to the south and west, and Winchester Road to the east. Based on this existing development fabric, the intensity of land use proposed in SP 21 is consistent with that of the immediate neighborhood.*

- **LU-3.4** Strive to provide a diverse mix of housing types, along with uniformly high standards of residential property maintenance to preserve residents' real estate values and their high quality of life.

*Response: Three types of housing are planned within the SP 21 residential Planning Areas (1-3). Development standards and design guidelines contained within SP 21 will ensure uniformly high standards of residential property maintenance to preserve residents' real estate values and their high quality of life.*

- **LU-3.5** Prohibit uses that lead to deterioration of residential neighborhoods, or adversely impact the safety or the residential character of a residential neighborhood.

*Response: No uses are permitted within SP 21 that would lead to deterioration of residential neighborhoods, or adversely impact the safety or the residential character of a residential neighborhood.*

- **LU-4.1** Provide for housing opportunities that address the needs of those who currently live or desire to live in Murrieta.

*Response: Three types of housing are planned within the SP 21 residential Planning Areas (1-3). This will provide housing opportunities that address the needs of those who currently live or desire to live in Murrieta.*

- **LU-5.2** Promote quality design and development practices that reduce environmental impacts.

- *Response: SP 21 promotes quality design and development practices that reduce environmental impacts. These include light pollution prevention, low to medium water-use plantings, preservation of open space and adherence to Title 24 standards.*

- **LU-9.3** Encourage new neighborhoods to be built on a pedestrian-scale, within walking distance of parks, neighborhood-serving commercial areas, and other neighborhood amenities.

*Response: As designed, SP 21 is built on a pedestrian-scale, within walking distance of parks, neighborhood-serving commercial areas, and other neighborhood amenities. Private recreational areas are located within the Project. Potential commercial and employment opportunities are also located within the Project. The Project includes a 16-acre business park that would provide employment opportunities.*

- **LU-9.6** Provide pedestrian-oriented urban design through creative use of site development standards.

*Response: As designed, SP 21 provides pedestrian-oriented urban design through creative use of site development standards. There is a comprehensive pedestrian trail system throughout the Project. This is defined and reinforced through the Project's land use plan, development standards and design guidelines.*

- **LU-9.7** Encourage development patterns to become more conducive to short, local, and walkable trips, which could increase opportunities for physical activity and decrease time spent driving.

*Response: As designed, SP 21 contains development patterns to become more conducive to short, local, and walkable trips, which could increase opportunities for physical activity and decrease time spent driving. There is a comprehensive pedestrian trail system throughout the Project. SP 21 is built on a pedestrian-scale, within walking distance of parks, neighborhood-serving commercial areas, and other neighborhood amenities. Private recreational areas are located within the Project. Potential commercial and employment opportunities are also located within the Project. The Project includes a 16-acre business park that would provide employment opportunities.*

- **LU-10.1** Prepare and use design guidelines to encourage high-quality, pedestrian-oriented design that enhances the public realm.

*Response: SP 21 contains design guidelines that encourage high-quality, pedestrian-oriented design that enhances the public realm. SP 21 is built on a pedestrian-scale, within walking distance of parks, neighborhood-serving commercial areas, and other neighborhood amenities. Parks are located within the Project. Potential commercial and employment opportunities are also located within the Project. The Project includes a 16-acre business park that would provide employment opportunities.*

- **LU-11.2** Endeavor to establish distinctive themes and character for individual focus areas or other areas, as appropriate, within the community.

*Response: SP 21 has been developed with its own distinctive themes and character for the residential and business park areas through distinctive architectural styles. This is further reinforced by a comprehensive monumentation hierarchy and landscape palette.*

- **LU-11.3** Enhance the positive qualities that give residential, commercial, and industrial areas their unique identities, while also allowing flexibility for innovative design.

*Response: SP 21 has been developed with its own distinctive themes and character for the residential and business park areas through distinctive architectural styles. A specific plan has been prepared to allow for flexibility for innovative design through customized development standards and design guidelines that are compatible with and often more detailed than the City's Development Code.*

- **LU-11.4** Preserve the unique character and integrity of the City's traditional residential neighborhoods.

*Response: SP 21 will not preclude the preservation of the unique character and integrity of the City's traditional residential neighborhoods.*

### **Circulation**

- **CIR-1.1** Ensure the transportation system can adequately serve the concentrations of population and employment activities identified by the Land Use Element.

*Response: Project on-site improvements will ensure the transportation system can adequately serve the concentrations of population and employment activities identified by the Land Use Element.*

- **CIR-1.5** Maintain a set of street standards and require that all new road facilities be constructed or upgraded, where feasible, to meet City standards.

*Response: SP 21 contains street standards that require that all new road facilities be constructed or upgraded, where feasible, to meet City standards.*

- **CIR-2.9** Ensure new roadways and intersections provide adequate sight distances for safe vehicular movement.

*Response: SP 21 roadways and intersections have been designed to provide adequate sight distances for safe vehicular movement.*

- **CIR-2.12** Consider the development and implementation of Pedestrian Safety Guidelines that also include streetscape standards that emphasize pedestrian and cyclist safety (lighting, trees, greenery, traffic calming measures, etc.).

*Response: SP 21, as designed implements Pedestrian Safety Guidelines that also include streetscape standards that emphasize pedestrian and cyclist safety (lighting, trees, greenery, traffic calming measures, etc.). Traffic calming measures employed include narrower streets and lane striping.*

- **CIR-2.14** Ensure that efficient and safe access for emergency vehicles is provided to all development.

*Response: SP 21, as designed with a roadway network hierarchy to City standards will ensure that efficient and safe access for emergency vehicles to all portions of the development.*

- **CIR-3.2** Review the design of all proposed new residential neighborhoods to ensure that “cut through” routes are minimized and pedestrian connections are maximized.

- *Response: SP 21 has been designed such that there are no “cut through” routes and pedestrian connections are maximized in the residential neighborhoods.*

- **CIR-3.3** Discourage the flow of truck traffic and through traffic in residential neighborhoods.

*Response: SP 21 has been designed to prohibit the flow of truck traffic and through traffic in solely residential neighborhoods.*

- **CIR-3.4** Consider the development and implementation of Traffic Calming Guidelines to address safety within residential neighborhoods.

- *Response: Traffic Calming methods, including, but not limited to narrow streets and on-street parking have been included in the SP 21 residential neighborhoods.*

- **CIR-6.14** Encourage employers to provide employee incentives for utilizing alternatives to the automobile (i.e., carpools, vanpools, buses, flex time, telecommuting, bicycling, and walking, etc.).

*Response: SP 21 does not preclude this from occurring. This can be implemented within PAs 4-6.*

- **CIR-7.1** Encourage future developments to provide an internal system of sidewalks/pathways linking schools, shopping centers, and other public facilities with residences.

*Response: SP 21 contains a comprehensive internal system of sidewalks/pathways that can link to schools, shopping centers, and other public facilities with residences. Sidewalks/pathways are proposed within SP 21 and will connect to other locations via sidewalks/pathways on Winchester Road.*

- **CIR-7.2** Require pedestrian access from the interior of new residential areas to public transit stops.

*Response: SP 21 has been designed to provide pedestrian access from the residential areas, to Winchester Road, where current and future public transit stops are located.*

- **CIR-7.3** Encourage safe pedestrian walkways and ensure compliance with the Americans with Disabilities Act (ADA) requirements within all developments.

*Response: SP 21 has been designed to be compliant with the Americans with Disabilities Act (ADA).*

- **CIR-7.4** Consider the development and implementation of Pedestrian Friendly Street Standards.

*Response: Pedestrian Friendly Street Standards, including narrow streets, block length, landscaping, and a comprehensive sidewalk/trail system are included in SP 21.*

- **CIR-7.5** Provide pedestrian amenities such as benches, trees, landscaping, and shade trees to encourage people to walk to destinations.

*Response: SP 21 includes pedestrian amenities, such as benches, trees, landscaping, and shade trees to encourage people to walk to destinations.*

- **CIR-7.7** Ensure visibility and access for pedestrians and encourage the removal of barriers (walls, fences) to allow for safe and convenient movement.

*Response: SP 21 has been designed to ensure visibility and access for pedestrians and encourage the removal of barriers (walls, fences) to allow for safe and convenient movement. This is reflected in the comprehensive sidewalk/trail network and the wall and fence plan.*

- **CIR-9.1** Ensure development projects comply with the parking requirements identified in the Development Code.

*Response: Per Section V, Land Use Regulations/Zoning of SP 21, off-street parking, consistent with the Development Code, shall be provided in the residential and non-residential areas.*

### **Recreation and Open Space**

- **ROS-1.1** Maintain a minimum standard of 5 acres of local parkland per 1,000 population.

*Response: The City requires 5.0 acres of developed parkland per every 1,000 residents to satisfy Quimby Act requirements. The Specific Plan provides for 283 dwelling units and will therefore result in a population of approximately 864 residents. Therefore, according to the Quimby Act requirements, the Specific Plan shall pay in-lieu fees for the required 4.25 acres of parkland.*

- **ROS-1.3** Provide City-Wide Parks, Community Parks, Neighborhood Parks, Neighborhood Play Areas, Special Use Parks, and Nature Parks in locations appropriate to their intended service areas, so that all residential areas are served by parks.

*Response: SP 21 contains private recreation and play areas, as well open space (conservation) in PA 7.*

- **ROS-3.4** Encourage the development of private and commercial recreation facilities.

*Response: SP 21 includes the development of private recreation facilities.*

- **ROS-7.1** Preserve and enhance open space resources in Murrieta.

*Response: Planning Area 7 (PA7) is approximately 66.8 acres and is designated Open Space (OS). PA7 shall remain mostly undisturbed and undeveloped. Aside from mitigation and restoration activities approved by the Western Riverside County Regional Conservation Authority (RCA), this part of the Project site will remain in its existing, natural condition, be dedicated as open space, and serve as Multi Species Habitat Conservation Plan (MSHCP) conservation land. Passive hiking activities may be allowed within PA7, subject to City and RCA approval. These possible hiking activities will be allowed on the historically disturbed, existing trails, if approved.*

- **ROS-7.2** Designate open space to preserve habitat and scenic views of natural areas.

*Response: See response immediately above.*

- **ROS-7.4** When possible, link open space and parks for the movement of wildlife and people.

*Response: SP 21 has been designed to link open space and parks for the movement of wildlife and people.*

- **ROS-8.1** Encourage the provision of parks, recreation facilities, and/or open space in new development and redevelopment projects.

*Response: SP 21 provides private recreation facilities, and open space.*

- **ROS-8.2** Ensure that new residential developments provide for recreation needs of residents through development fees and park dedication.

*Response: As discussed above SP 21 provides for recreation needs of residents through development fees and payment of in-lieu fees for the required 4.25 acres of parkland.*

- **ROS-8.3** Encourage development that promotes outdoor activity.

*Response: As discussed above, the design of SP 21 has facilities that promote outdoor activity.*

- **ROS-9.1** Continue to require that adequate, usable, and permanent private open space is provided in residential developments.

*Response: SP 21, as designed provides adequate, usable, and potentially usable permanent private open space. Passive hiking activities may be allowed within PA7, subject to City and RCA approval. These possible hiking activities will be allowed on the historically disturbed, existing trails, if approved by the RCA.*

- **ROS-9.2** Encourage new and existing commercial, office, and industrial development to provide outdoor green spaces that may be used by employees.

*Response: According to Section IV, Design Guidelines of SP 21, outdoor green spaces that may be used by employees is required in PAs 4-6.*

- **ROS-9.4** Encourage green spaces planted with a diverse plant palette in order to promote natural variety, ecosystem services, and enhance the well-being of community residents.

*Response: A diverse plan palette is included in Section IV, Design Guidelines of SP 21.*

### **Air Quality**

- **AQ-2.1** Locate sensitive receptors (i.e., residences, schools, playgrounds, childcare centers, athletic facilities, churches, long-term health care facilities, rehabilitation centers, convalescent centers, and retirement homes) away from significant pollution sources to the maximum extent feasible.

*Response: SP 21 has been designed to locate sensitive receptors away from significant pollution sources.*

- **AQ-2.2** Avoid locating new homes, schools, childcare and elder care facilities, and health care facilities within 500 feet of freeways.

*Response: No freeways are located within 500 feet of SP 21.*

- **AQ-2.3** Consider air quality impacts from both existing and new development when making siting decisions.

*Response: Air quality impacts were considered when making siting decisions for SP 21. Adequate buffering is proposed between the residential and non-residential uses. Furthermore, the list of allowable uses in the Business Park have been restricted to ensure there are no air quality impacts.*

- **AQ-3.1** Ensure that construction activities follow current South Coast Air Quality Management District (SCAQMD) rules, regulations, and thresholds.

*Response: This will be required as either standard City conditions, or as mitigation measures for the EIR.*

- **AQ-3.2** Ensure all applicable best management practices are used in accordance with the South Coast Air Quality Management District (SCAQMD) to reduce emitting criteria pollutants during construction.

*Response: This will be required as either standard City conditions, or as mitigation measures for the EIR.*

- **AQ-3.3** Require all construction equipment for public and private projects comply with California Air Resources Board's (CARB) vehicle standards. For projects that may exceed daily construction emissions established by the South Coast Air Quality Management District (SCAQMD), Best Available Control Measures will be incorporated to reduce construction emissions to below daily emission standards established by the SCAQMD.

*Response: This will be required as either standard City conditions, or as mitigation measures for the EIR.*

- **AQ-3.4** Require project proponents to prepare and implement a Construction Management Plan, which will include Best Available Control Measures among others. Appropriate control measures will be determined on a project by project basis, and should be specific to the pollutant for which the daily threshold is exceeded. Such control measures may include but not be limited to:
  - Minimizing simultaneous operation of multiple construction equipment units.
  - Implementation of South Coast Air Quality Management District (SCAQMD) Rule 403, Fugitive Dust Control Measures.
  - Watering the construction area to minimize fugitive dust.
  - Require that off-road diesel powered vehicles used for construction shall be new low emission vehicles, or use retrofit emission control devices, such as diesel oxidation catalysts and diesel particulate filters verified by California Air Resources Board (CARB).
  - Minimizing idling time by construction vehicles.

*Response: This will be required as either standard City conditions, or as mitigation measures for the EIR.*

- **AQ-6.6** Encourage green building techniques that improve indoor air quality, energy efficiency and conservation in buildings, and utilization of renewable energy sources.

*Response: This will be required as either standard City conditions, or as mitigation measures for the EIR.*

- **AQ-7.2** Collaborate with transportation agencies, utilities, and developers to minimize fugitive dust and emissions from construction and maintenance activities.

*Response: This will be required as either standard City conditions, or as mitigation measures for the EIR.*

### **Noise**

- **N-1.1** Comply with the Land Use Compatibility for Community Noise Environments.

*Response: This will be required as either standard City conditions, or as mitigation measures for the EIR.*

- **N-1.3** Discourage new residential development where the ambient noise level exceeds the noise level standards set forth in the Noise and Land Use Compatibility Guidelines and the City Noise Ordinance.

- *Response: The vast majority of the residential component of SP 21 will be located where the ambient noise level does not exceed the noise level standards set forth in the Noise and Land Use Compatibility Guidelines and the City Noise Ordinance. Design specifications shall be required to achieve these standards on any residential building envelopes that do not meet these requirements. This will be required as either standard City conditions, or as mitigation measures in the EIR.*

- **N-2.3** Consider the compatibility of proposed land uses with the noise environment when preparing, revising, or reviewing development proposals.

*Response: SP 21 has been designed while taking into consideration the compatibility of proposed land uses with the noise environment.*

- **N-2.4** Encourage proper site planning and architecture to reduce noise impacts.

*Response: SP 21 incorporates proper site planning and architecture to reduce noise impacts.*

- **N-2.5** Permit only those new development or redevelopment projects that have incorporated mitigation measures, so that standards contained in the Noise Element and Noise Ordinance are met.

*Response: This will be required as either standard City conditions, or as mitigation measures for the EIR.*

- **N-3.1** Consider noise mitigation measures in the design of all future streets and highways and when improvements occur along existing freeway and highway segments.

*Response: This will be required as either standard City conditions, or as mitigation measures for the EIR as it pertains to Winchester Road.*

- **N-4.1** Regulate construction activities to ensure construction noise complies with the City's Noise Ordinance.

*Response: This will be required as either standard City conditions, or as mitigation measures for the EIR.*

- **N-4.2** Limit the hours of construction activity in residential areas to reduce intrusive noise in early morning and evening hours and on Sundays and holidays.

*Response: This will be required as either standard City conditions, or as mitigation measures for the EIR.*

- **N-4.3** Employ construction noise reduction methods to the maximum extent feasible. These measures may include, but not limited to, shutting off idling equipment, installing temporary acoustic barriers around stationary construction noise sources, maximizing the distance between construction equipment staging areas and occupied sensitive receptor areas, and use of electric air compressors and similar power tools, rather than diesel equipment.

*Response: This will be required as either standard City conditions, or as mitigation measures for the EIR.*

## **Safety**

- **SAF-1.1** Encourage that areas be dedicated as open space when necessary and appropriate to protect property, public health, and safety from hazards such as earthquake fault zones or flood plains.

*Response: SP 21 does not encroach into any of these hazard areas.*

- **SAF-2.1** Prior to site development, projects located in areas where liquefaction, subsidence, landslide and fissuring are considered hazards shall be required to prepare geologic reports addressing site conditions, potential risk, and mitigation, to the satisfaction of the City Engineer.

*Response: Site-specific geologic reports have been submitted to the City. Any potential geological concerns have been addressed through site design and incorporation of design features.*

- **SAF-3.1** Cooperate with the Riverside County Flood Control and Water Conservation District to evaluate the effectiveness of existing flood control systems and improve these systems as necessary to meet capacity demands.

*Response: SP 21 has been designed by analyzing existing flood control systems and improving these systems through Project design to meet capacity demands and Riverside County Flood Control and Water Conservation District standards.*

- **SAF-7.2** Evaluate all new development to be located in or adjacent to wildland areas to assess its vulnerability to fire and its potential as a source of fire.

*Response: SP 21 contains fuel modification provisions to address adjacency to PA7, and potential vulnerability to fire and its potential as a source of fire. No other areas have a particular vulnerability to fire in SP 21.*

- **SAF-11.4** Continue to ensure that each development or neighborhood in the City has adequate emergency ingress and egress.

*Response: SP 21, as designed has adequate emergency ingress and egress.*

### **Housing**

- **H-2.3** Encourage energy efficient design in existing and new residential units and promote sustainability upgrades in existing and proposed residential complexes.

*Response: The project will comply with CA Title 24 standards, which require energy efficient lighting, solar ready roofs, etc.*