



DOWNTOWN MURRIETA SPECIFIC PLAN



MARCH 2017

DOWNTOWN MURRIETA

SPECIFIC PLAN

Adopted per Ordinance No. 520-17 on March 7, 2017

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MARCH 2017



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Imagine Downtown Murrieta



CONCEPTUAL ILLUSTRATION FOR WASHINGTON AVENUE

Downtown Murrieta is a vibrant and bustling cultural center and serves as a place of great community pride for current and future generations.

Downtown contains everything one needs for daily life and more. In addition to its attractive residential neighborhoods, it is a destination for visitors to come relax in its casual atmosphere while strolling along tree-lined Washington Avenue – downtown’s “Main Street.”

Along Washington Avenue, new businesses have filled in alongside existing storefronts. Together new and old, they continue to maintain an inviting pedestrian scale that welcomes walking, lingering to talk with friends, or relaxing at a cool, shaded outdoor restaurant.

Central to Downtown Murrieta’s identity is the Civic Center. This is the governmental and cultural headquarters of the City. Town Square Park is a central gathering area for the community. Numerous events and cultural amenities, such as museums and theaters, bring people together throughout the year. Offices have filled in alongside City Hall, providing local employment opportunities and bringing a steady stream of commerce and activity to the area.

Downtown’s atmosphere is enhanced by a system of pedestrian-friendly paseos, or walking paths, that allow people to meet their daily needs on foot. The B Street corridor connects the Civic Center to Washington Avenue to Murrieta Creek and celebrates the history of the City with interpretive plaques and public art that pays homage to the pioneering spirit



of its founders. Road and drainage improvements provide safe opportunities for pedestrian, bicycle and equestrian movement through the Downtown. On weekends, hikers, bicyclists and equestrians using Murrieta Creek's multi-use trail take a brief detour from their journey to refresh themselves in Downtown's atmosphere. Strolling along tree-lined streets, people pause to reflect, "This really is country living at its best."

This is the Specific Plan's vision for Downtown Murrieta – a place that celebrates the heritage of the City, accommodates a variety of businesses and residences in an attractive environment, and, overall, fosters a strong sense of individual identity within the larger community.

The Specific Plan provides a foundation for achieving the "vision" but the Plan cannot implement itself. Making this "vision" a reality and achieving all that Downtown Murrieta has to offer requires the cooperation of many people, sometimes with a variety of different interests, working together towards a common goal. It is through the cooperation and dedication of people that the Plan will come to life and the future "vision" achieved.

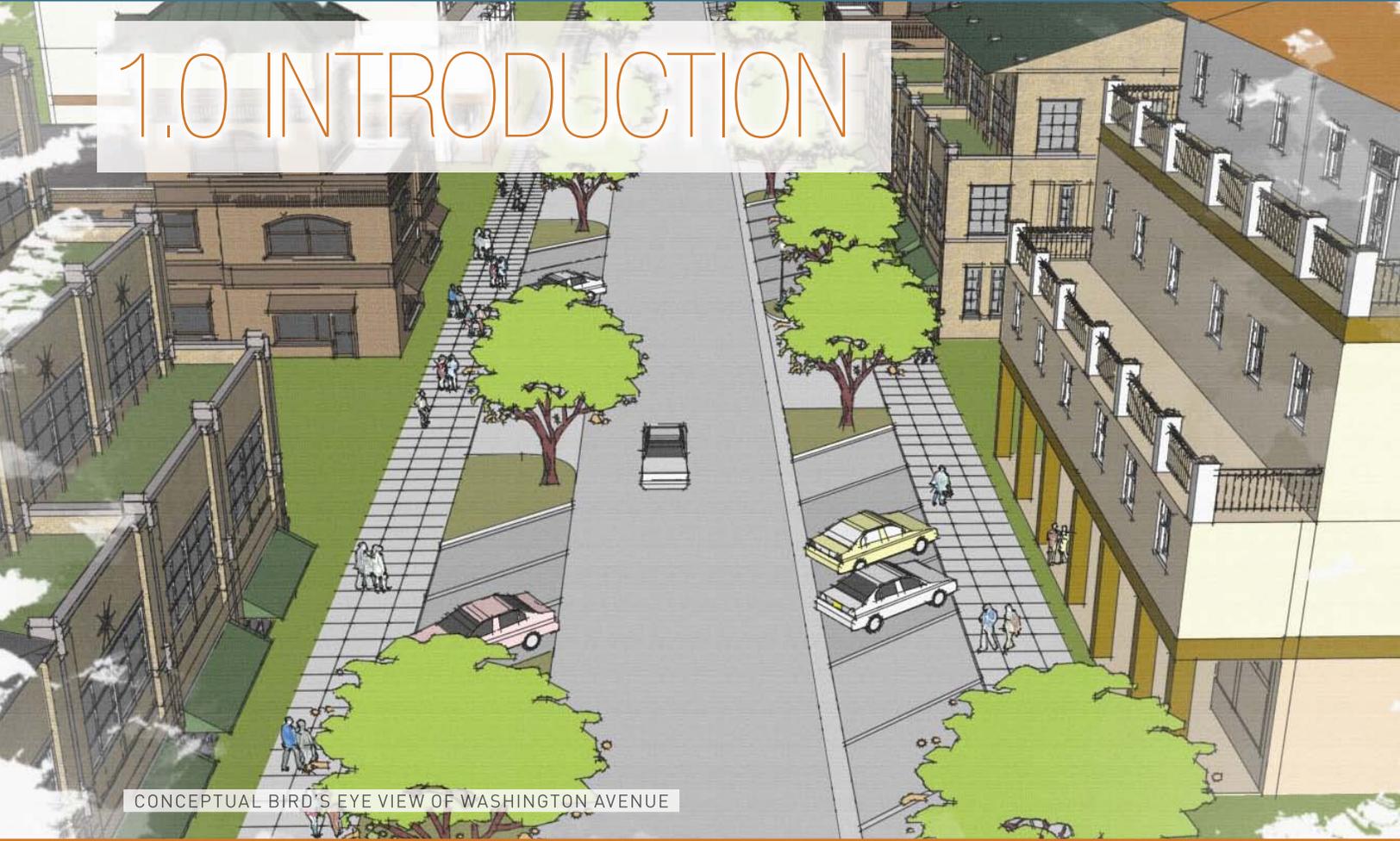
"...a place that celebrates the heritage of the City."



AERIAL OF CURRENT DOWNTOWN MURRIETA AREA



1.0 INTRODUCTION



CONCEPTUAL BIRD'S EYE VIEW OF WASHINGTON AVENUE

1.1 Purpose of the Specific Plan

The purpose of the Downtown Murrieta Specific Plan (hereinafter referred to as “Specific Plan”) is to provide guidance for future development of the Downtown area. This Specific Plan is the primary document to guide land use decisions, improve the area’s physical and economic environment, and establish the City’s goals and expectations for Downtown development.

1.2 Specific Plan Area

The Specific Plan area is located one-half mile west of Interstate 15 and is bordered by Kalmia Street to the north, Ivy Street to the south, Hayes Avenue to the west, and Jefferson Avenue to the east, shown in Figure 1-1. The area covers approximately 320 gross acres (inclusive of public rights of way) or approximately 252 net acres.

1.3 Legal Authority

The Downtown Murrieta Specific Plan is established through the authority granted to the City by California Government Code, Sections 65450 through 65457, as a means of systematically implementing the General Plan. A specific plan, through text and diagram(s), must identify the following:

1. The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
2. The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.



FIGURE 1-1 DOWNTOWN STUDY AREA





3. Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
4. A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3).

The primary effect of a specific plan is the establishment of a clear and detailed plan for a specific area. Existing zoning is replaced with development standards of the specific plan which best meet the needs of the specific area. After adoption by the City of Murrieta, all public and private development projects and improvements must be consistent with the adopted specific plan.

State Law requires that a specific plan be in conformance with a city's general plan. This Specific Plan has been prepared in conformance with the City of Murrieta General Plan for the enhancement and completion of Murrieta's Downtown, as described in the following section.

1.4 General Plan Guidance

In July 2011, the City of Murrieta adopted General Plan 2035 (hereinafter referred to as "General Plan"). The General Plan lays the framework for how the City will grow through the planning horizon year of 2035.

A key priority of the General Plan is economic development. The General Plan identifies ten areas throughout the City as "focus areas" for growth and change, which involves a reevaluation of land use patterns and policies. The subject of this Specific Plan document, Downtown Murrieta (formerly known as Historic Murrieta or Historic Downtown Murrieta), is one of the focus areas identified in the General Plan. The General Plan envisions that Downtown Murrieta will develop as a complimentary mix of residential, retail, civic, and job-creating uses.

The goals and policies within the General Plan provide the foundation upon which this Specific Plan is based. Two General Plan goals and their associated policies, in particular, make specific

reference to the Downtown Murrieta area. These include:

LAND USE ELEMENT

Goal LU-24: Historic Murrieta as the City's cultural, civic and community center.

POLICIES

LU-24.1 Preserve and enhance the historic Murrieta area as the governmental and cultural focal point of the City.

LU-24.2 Continue the expansion of a traditional town development pattern with a grid street design and urban land use intensities to support a pedestrian-oriented environment.

LU-24.3 Encourage the location of civic, institutional, office uses, and other job-creating uses in Historic Murrieta. Supportive commercial activities and residential development should be encouraged.

LU-24.4 Encourage the development of community amenities such as libraries, museums, galleries, theaters, and other cultural activities within the historic Murrieta area.

LU-24.5 Encourage a broader mix of uses, including entertainment, along Washington Street, while maintaining the small-town character.

LU-24.6 Encourage mixed-use development projects within the Historic Downtown that create a pedestrian style living environment and encourage use of mass transit.

LU-24.7 Update the Historic Murrieta Specific Plan to enable the area to serve its functional role, and to carry forward a program of infrastructure development.

ECONOMIC DEVELOPMENT ELEMENT

Goal ED-10: A revitalized and economically stable Historic Downtown Murrieta.

POLICIES

ED-10.1 Encourage compatible economic development activities that support the historic nature and unique character of Historic Downtown Murrieta and strengthens its citywide and regional draw.



ED-10.2 Encourage the development of neighborhood level retail uses and personal services within Historic Downtown Murrieta that serve the surrounding residents and businesses.

ED-10.3 Provide opportunities for mixed-use commercial and residential development to render Historic Downtown Murrieta a commercially viable entity consistent with its functional scale.

ED-10.4 Complete development of a Civic Center complex within Historic Downtown Murrieta on the Town Square site.

ED-10.5 Consider opportunities for the development of higher-density and mixed-use residential uses to support commercial development within the Historic Downtown.

ED-10.6 Consider opportunities to incorporate entertainment and cultural/art venues and activities within Historic Downtown Murrieta.

ED-10.7 Utilize redevelopment assistance and special programs to attract retailers and encourage new mixed-use development within the area.

The Downtown Murrieta Specific Plan seeks to build upon the vision of the General Plan and provide more detailed guidance for the area.

1.5 The Planning Process

The development of this Specific Plan builds upon a series of previous planning efforts. Prior to the incorporation of Murrieta in 1991, the County of Riverside had designated land in the Specific Plan area as redevelopment area. Redevelopment funds were used to construct on-street diagonal parking, and pedestrian enhancements, such as curb extensions at intersections, sidewalks, and right of way landscaping, along Washington Avenue. **The Historic Murrieta Specific Plan was adopted by the City in 1997 and established four Guiding Principles for the area:**

Cultural and Governmental Center

Historic Murrieta's role as the cultural, governmental and symbolic center of the community should be maintained and expanded. Physical and economic growth should be encouraged as a first priority to develop a strong community core.

PHOTOGRAPHS FROM WORKSHOPS

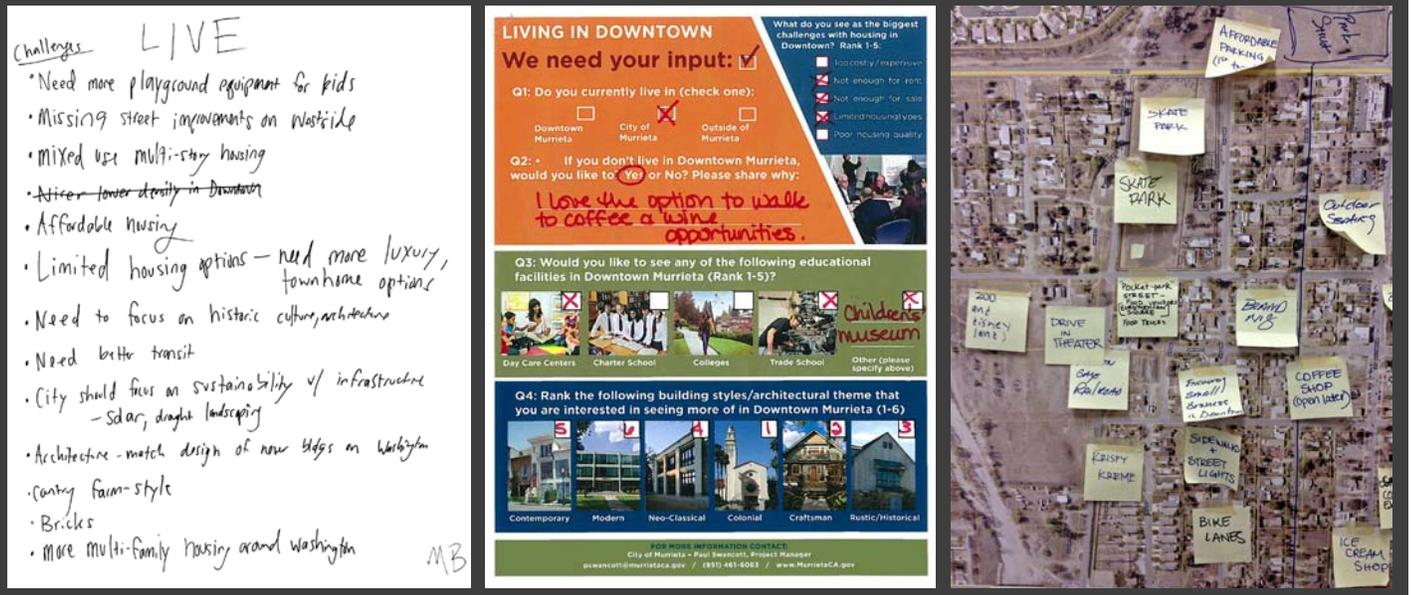


PHOTOGRAPHS FROM MURRIETA BIRTHDAY BASH





A multitude of ideas were collected through the public outreach process via group discussions, surveys, and written comments.



An Attractive Town Center

The physical appearance of the Historic Murrieta area should present a positive, inviting, and dynamic image of the City as a whole through new construction and rehabilitation of public existing buildings, installation of landscaping and pedestrian-oriented amenities, and convenient vehicular access and directional signs.

Historic, Pedestrian Scale

The historic character and small town scale of the area should be maintained (including new construction and rehabilitation of existing buildings) so that the small town ambiance of Historic Murrieta will be preserved as a unique community asset.

Proactive Economic Development

Development in Historic Murrieta should be encouraged and supported by the City through proactive economic and development activities.

The adoption of the Historic Murrieta Specific Plan enabled the construction of several significant civic facilities to move forward, including a city hall complex, police station, senior center, public library, and park facility (Town Square Park), as well as storm drain improvements along Ivy Street and Kalmia Street.

Over the course of the Historic Murrieta Specific Plan’s 10 to 15 year planning horizon period, the levels of economic development and private investment envisioned for the area have not been achieved. Changes to the economic climate, available public financing tools and strategies, and building practices, as well as the adoption of the City’s updated General Plan, necessitate a reevaluation of the Historic Murrieta Specific Plan goals, programs, and policies.

In February 2016, the City kicked-off the planning effort to update the Historic Murrieta Specific Plan; to be known as the Downtown Murrieta Specific Plan. The project team analyzed the existing conditions of the area and reviewed the regulatory, physical, demographic, and economic environment.

A number of opportunities and constraints related to the following issue areas were identified and are summarized in greater detail in Chapter 2.0: Planning Context:

- Land Use
- Visual Character
- Infrastructure
- Environmental Issues (including Cultural and Historic Resources)
- Mobility
- Economic/Market Conditions



After conducting the existing conditions analysis, a series of public workshops were held. Workshop #1 took place on Saturday, June 4, 2016 from 10 a.m. to 12 p.m. at the Senior Center (located at 5 Town Square). Major findings from the existing conditions analysis were presented and participants were then invited to share their thoughts on the future of Downtown through surveys and group discussions centered on the topics of live, work, and play. Eighty-four (84) attendees participated in the event and provided input.

On June 28, 2016, the project team hosted a booth at the Murrieta Birthday Bash. The project team answered questions about the update to the Specific Plan and collected additional input via surveys and general written comments.

Collectively between Workshop #1 and the Murrieta Birthday Bash, 83 surveys and a multitude of written comments were collected. Survey responses and written comments were then analyzed for common themes. **A series of public values were deduced from these themes and provided the foundation for updated Guiding Principles that directed the remaining planning process:**

Cultural and Governmental Activity Center

Downtown Murrieta's role as the cultural, governmental and symbolic center of the community will be maintained and expanded. Physical and economic growth will be encouraged as a first priority to develop a strong community core.

An Attractive Downtown

The physical appearance of Downtown Murrieta will present a positive, inviting, and dynamic image that celebrates the heritage of the City through new development and revitalization of existing buildings. Landscaping and a pedestrian-oriented environment with wayfinding signage will assist in creating a successful, vibrant and attractive community center.

Historic Character and Pedestrian Activity

The historic character of the area will be maintained as a unique community asset. Public streets and private development will work together to create a walkable, pedestrian oriented environment.

Washington Avenue will serve as the City's "main street" and will provide a unique pedestrian experience for residents and visitors alike.

Proactive Economic Development

Development in Downtown Murrieta will be encouraged and supported by the City through proactive economic and policy programs. Incentives within the Specific Plan will support the timely implementation of development projects that create a unique destination in the Inland Empire for niche/boutique retail, restaurants, and offices. A mix of housing options will be encouraged that support this vision.

Sustainable Development and Open Space Preservation

Downtown development will include green building practices, such as the use of solar on new construction, drought tolerant landscaping and best practices for storm water management. The plan will also limit impacts to sensitive habitats that surround Murrieta Creek. Setbacks from the Creek will ensure minimal disturbance to the area while also providing a public open space amenity.

Mobility Choices

Downtown will have a transportation network that provides multiple choices for residents, employees and visitors to safely get around. "Complete streets" will create a balanced network of opportunities for walking, biking and automobile use. Parking management strategies will address issues related to mobility and parking as the Downtown grows.

Attractive Residential Neighborhoods with Diverse Housing Options

The Downtown will include attractive residential neighborhoods that will contribute to the increased activity and economic vibrancy of the area. Diverse housing options, ranging from single family to multi-family to mixed use (live-work) units, will be encouraged that support opportunities for people to live and work close by or within the same neighborhood. Downtown will have an abundance of amenities, such as parks, gathering spaces, community events, and schools, that contribute to a high-quality of life for all who live there.



Generally, the feedback from Workshop #1 and the Murrieta Birthday Bash affirmed the Guiding Principles from the Historic Murrieta Specific Plan but also highlighted new priorities and needs that should also be taken into consideration as the Downtown develops.

The updated Guiding Principles and a series of land use concepts and alternatives were presented to the public at Workshop #2, held on Saturday, August 20, 2016, from 10 a.m. to 12 p.m. at the Centerpoint Community Church (located at 24470 Washington Avenue). Participants were invited to share their thoughts by visiting stations on the various concepts presented and completing surveys. Forty-seven (47) participants attended. Surveys were also made available online. Between the attendees at Workshop #2 and responses collected online, 150 surveys were collected.

The input gathered from Workshop #2 was used to refine planning concepts, which were presented to the Planning Commission and City Council at a joint meeting on September 20, 2016.

The major findings of the existing conditions analysis completed by the planning team, combined with the multitude of comments and input collected from the public outreach process, and direction of the Planning Commission and City Council, have shaped the direction and contents of this Specific Plan. **The allowed land uses, development standards, design guidelines, and implementation strategies in the Specific Plan reflect the input of the diverse members of the community that included:**

- Existing residents, business owners, and property owners who live or work in the Downtown area
- Prospective residential, business owners, and property owners who live or work elsewhere but are interested in potentially relocating to and/or investing in the Downtown
- Residents from other parts of the City who are interested in helping shape the future of Downtown

1.6 California Environmental Quality Act Compliance

In compliance with the California Environmental Quality Act, an environmental assessment (initial study) for the Specific Plan was completed. The initial study determined whether potential environmental impacts would be significant enough to require an Environmental Impact Report. It was determined that the implementation of the Specific Plan would have the same or less impacts than implementation of the General Plan policies and zoning currently in effect. Based upon a scoping of the issues, technical studies, and meetings with City staff, it was determined that a “mitigated” Negative Declaration was the appropriate environmental document for this project. The mitigation measures deal with project implementation to avoid cultural resource, geology and soils, hazards and hazardous materials, hydrology and water quality, noise, and traffic and circulation impacts.

1.7 Specific Plan Contents

The Specific Plan contains six chapters as follows:

Chapter 1.0 Introduction: Provides a broad overview of the process that went into creating the plan.

Chapter 2.0 Planning Context: Opportunities and Constraints: Provides information on the existing conditions within the Specific Plan area, including the regulatory, physical, demographic, and economic environment. Identifies various opportunities and constraints that created the planning framework.

Chapter 3.0 Planning Framework: Guiding Principles, Goals, and Actions: Identifies overall goals and implementation programs which establish the “framework” for the land use plan, development standards, design guidelines, streetscape plan, and implementation mechanisms.

Chapter 4.0 Land Use and Development Standards: Translates framework goals and implementing actions into specific land use plans and associated development standards.



Chapter 5.0 Site Design & Architectural Design Guidelines: Sets forth discretionary guidelines for the design of appropriate development including architectural characteristics, site planning, parking, and signs.

Chapter 6.0 Street, Paseo and Alley Design Guidelines: Provides design standards for streetscape improvements within the primary public rights-of-way.

Chapter 7.0 Implementation and Administration: Provides a summary of recommended public improvements/program and possible implementation tools and strategies.

1.8 Severability

If any regulation, condition, program or portion thereof of this Specific Plan is held invalid or unconstitutional by any court of competent jurisdiction, that portion shall be deemed a separate, distinct and independent provision and the invalidity of that provision shall not affect the validity of the remaining portions.



2.0 PLANNING CONTEXT: Opportunities & Constraints



WASHINGTON AVENUE, 1917. FROM LEFT TO RIGHT, H.C. THOMPSON, A.K. SMALL, DR. STURGIS, AND HARRY THOMPSON.

2.1 Introduction

The planning context chapter provides essential background information for the Specific Plan area regarding the condition of its physical components (streets, utilities, etc.) and a summary of the area's opportunities and constraints based on an updated Baseline Study. Evaluations were also conducted for environmental issues, land use, urban design, market, infrastructure, traffic and parking.

2.2 Historical Context

This Specific Plan area generally encompasses the original "Murrieta Town Site", which was a part of Juan Murrieta's rancho that was purchased by the Temecula Land and Water Company in 1884. Portions of the Specific Plan area, particularly along Washington, First, and Second Avenues, have been

subdivided into parcels as small as 50 feet by 140 feet, or 7,000 square feet.

Early activity in the town centered around the railroad station, built in 1885, and the Fountain House Hotel, also built that same year. Both were located on New Clay Street. By the turn of the century, the area along Washington Avenue had become the commercial center for the town of Murrieta. Several of the town's early buildings, and remnants thereof, are present throughout the Specific Plan area and serve as a reminder of the City's past.

By 1890, the town had a population of approximately 800 people. Since the City's incorporation in 1991, the City's population has greatly expanded from 1,628 people in 1990 to 107,189 in 2015.



HISTORIC MURRIETA DEPOT

2.3 Existing Conditions, Opportunities, and Constraints

The original Specific Plan was prepared by the Urban Design Studio and adopted by the City Council in April 1997. This update of the original Specific Plan included a complete review of all the issues associated with development and a new community outreach program. To begin the process of updating the Specific Plan a new Baseline Report that focused on “constraints and opportunities” was prepared. Several factors were reviewed for the Baseline Report when determining the constraints and opportunities of the Specific Plan area. **The topics that were reviewed include:**

- Land Use
- Visual Character
- Infrastructure
- Environmental Issues (including Cultural and Historic Resources)
- Mobility
- Economic/Market Conditions

Following is a summary of opportunities and constraints identified through the existing conditions analysis.

Constraints

- Existing building design and development standards are restrictive and do not adequately support development, especially mixed use development, compatible with a downtown scale. For example, a 30-foot height limit restricts opportunities for increased residential units, commercial space, and office space.

These restrictions also inhibit the likelihood of pedestrian friendly, transit oriented development.

- Parcelization patterns vary drastically across the Specific Plan area; parcels range from as large as six acres to seven thousand square feet or less. Smaller parcels, in particular are generally concentrated in between Washington Avenue and Third Avenue. Where smaller parcels exist, lot consolidation programs may be necessary to achieve more efficient building design. Conversely, parcels over one acre in size may need special design treatments to contribute to a walkable downtown environment.
- The existing conditions along and within Washington Avenue, Juniper Avenue, Kalmia Street, B Street, Adams Avenue, and Ivy Street pose varying constraints that limit their potential



EXISTING MURRIETA VISUAL CHARACTER

to match the originally proposed street section widths and features. The streetscape program should be reassessed with an understanding of the road’s true available right-of-way and current conditions and constraints.

- Constraints exist due to the regulatory setting and the existing drainage facilities within the study area. Murrieta Creek continues to pose a threat to development, due to the reach of the 100-year floodplain and its unimproved state. Portions of the floodplain extend as far east as 1st Avenue along B Street. The developed land within the boundaries of B Street, 2nd Avenue, Kalmia Street, and Hayes Avenue, sits within the floodplain limits. Moreover, the majority of the undeveloped land within the study area sits



MURRIETA CITY HALL

within the floodplain limits, specifically the land between New Clay Street and Hayes Avenue. Any landowners seeking to develop within the floodplain limits would be required to comply with Federal Emergency Management Agency (FEMA) regulations. This requirement, and the associated threats posed by flooding hazards, could be a major deterrent to development.

- Another constraint directly related to the Murrieta Creek flooding hazard is the lack of Federal funding to complete the Murrieta Creek Flood Control, Environmental Restoration, and Recreation Project. In order to improve the creek and minimize flood impacts, the City will need to identify additional funding opportunities or alternative monetary resources in order to complete the improvements.

Opportunities

- The availability of undeveloped parcels provides the opportunity for future infill development.
- A number of large, vacant parcels within the Specific Plan area are owned by the City, including land surrounding City Hall and Town Square Park. This land can be used for public uses and civic amenities, such as museums. Another alternative may be to provide ground leases for uses compatible with a civic atmosphere, such as professional office space, a theater and conference space, and/or hotel.
- The established gridded street system supports a pedestrian environment.
- The area around Murrieta Creek offers an opportunity to be transformed into an open space/recreation area with multi-use trails, thereby

enhancing the overall Downtown character, establishing a “play” area within Downtown, and helps to preserve the low-density, agricultural neighborhood that currently exists.

- There is the potential for the establishment of a niche/boutique retail destination along Washington Avenue.
- Underutilized areas offer the opportunity to provide more development potential as an incentive for land owners to sell and/or redevelop properties.
- There exists the opportunity to create a destination Museum Element on City owned land.
- Additional land use opportunities include retail and office uses. There may be an opportunity for a smaller format, unique specialty market that also offers an array of prepared foods and beverages and has casual, outdoor dining. Additional eating and drinking places have recently opened or are about to open in the downtown area; they lead the way for additional unique dining and drinking opportunities, including the microbrewery or craftsman brewery approach. The expansion of professional and medical offices is seen as an important trend, particularly for creative and shared office spaces and live-work opportunities.
- The Murrieta Valley area includes specialty lodging facilities sometimes referred to as “Bed and Breakfast” or “Boutique Hotels;” several of these lodging types may be attracted to the Specific Plan area. Expansion of the arts community, including galleries, artisan studios and the continuation of the existing arts walk and related activities are other suggestions for land use. The addition of entertainment, particularly in combination with restaurants and breweries, and personal services and fitness establishments are opportunities to enhance the economic activity of the project area. Different types of residential development, both for sale and rental units, also provide land use opportunities in the area.
- Currently, the design guidelines do not incorporate site furnishings, such as bike racks and signage programs that are found within



the study area. In the Town Square area, where furnishings differ from those along Washington Ave, it is important to match and/or amend the newer Murrieta bus stops and other site furnishings, such as benches, trash receptacles, and kiosks, to follow the standards and colors used in the study area.

- The study area would benefit from extending public art projects outside of the Town Center area, where the war memorials anchor the area's public art scene. There are opportunities to feature artwork along Juniper and B Streets, both of which serve as Murrieta's pedestrian corridors. Placing artwork along these corridors would engage visitors, and invite them to visit the Murrieta art and historic scene. Bicyclists that travel along the bike lanes on B Street would also benefit from the public art enhancement. The community center on Juniper Street leaves an opportunity for a historic mural or other painting to celebrate an otherwise bleak side of a building.
- Public art can also engage Washington Avenue through art that interprets and represents the historical past of the area. There are opportunities to anchor the intersections of Washington Street with B Street, Juniper, and C Street with public art projects that enliven the pedestrian friendly public realm spaces.
- Converting vacant, private realm space to public space, even temporarily while investments are stagnant, could improve the visual character of both public and private realm spaces and attract future development interest. Temporarily allowing people to use the empty parcels along Washington Avenue to host festival events, farmers markets, or art festivals would help engage an otherwise underused and vehicular dominated public realm space. The City, with cooperation from local businesses, could limit vehicular uses that occur in the spaces behind the commercial and retail buildings by sharing event calendars and delivery schedules, thus freeing up the alley spaces for events.

- At the time of the Historic Downtown Specific Plan, Southern California was not in a historic drought. The current landscape guidelines do not reflect a drought tolerant specification of plant material for the area. This Specific Plan provides the opportunity to include new specifications and guidelines.
- Alleys are largely underutilized and leave a good portion of the public realm space under their potential. With approximately 35,000 square feet of alley space between 1st and 2nd Streets, and 20,000 square feet between 1st and Washington Streets, there is the potential to add infrastructure that provides environmental benefits within the study area.

Additional opportunities for alleys include:

- Improvements to paving
- Improvements for site drainage with drainage swales
- Improvements to lighting
- Providing signage and identification for alleys
- Providing amenities, where applicable, such as landscaping and rest areas in the alleys
- Linking the alleyways with mid-block crossings
- Encourage through-building connections from the streets to the alleys along Washington Avenue
- Urban planners, business associations, government agencies, visitors and residents are becoming more aware of the importance of attractive and informative wayfinding signage. These signs help to steer people through the complexities of an urban environment. Incorporating a signage and wayfinding system within the study area is a critical aspect in creating and implementing an effective economic revitalization strategy.



3.0 PLANNING FRAMEWORK: Guiding Principles, Goals, & Policies



AERIAL OF STUDY AREA

3.1 Introduction

This chapter describes the policies that guide subsequent sections of the Specific Plan; including allowed land uses, development standards, design guidelines, and implementation strategies.

The significance of this chapter is two-fold. First, it presents the City’s essential ideas, or Guiding Principles, about how Downtown Murrieta should develop in the future. These Guiding Principles provide a means of testing new ideas and proposals to ensure that they support the overall vision of the Plan. Second, this chapter presents a series of goals and associated policies, which direct the City on specific actions to take in order to reach the vision for the area.

3.2 The Vision

The idea of a “downtown” evokes an image of a destination where people have opportunities to live, work and shop in an environment that creates a feeling of cohesiveness and compactness – a place that encourages pedestrians to stroll its tree-lined streets, shop in its stores, and stop for a bite to eat. This is the “vision” for Downtown Murrieta. A series of neighborhoods work together to establish the area is a vibrant destination. These neighborhoods include:

- A thriving mixed use, commercial corridor along Washington Avenue that accommodates a variety of businesses and residences in an attractive, walkable environment.



HISTORIC WASHINGTON AVENUE

- A lively Civic Center, which hosts institutional uses, like City Hall, and numerous civic amenities, such as museums. The Civic Center also brings in employment opportunities with compatible development, such as professional offices, conference and event space, and a hotel.
- Residential areas that provide a variety of housing options, ranging from multifamily to single-family housing, within walking distance from downtown amenities.
- An open space and park system that celebrates the natural and historic environments of the City of Murrieta.

3.3 Guiding Principles

In order to achieve the desired vision, the following Guiding Principles provide the overarching direction for the Specific Plan, its implementation, and future development within the Downtown area:

Cultural and Governmental Activity Center

Downtown Murrieta's role as the cultural, governmental and symbolic center of the community will be maintained and expanded. Physical and economic growth will be encouraged as a first priority to develop a strong community core.

An Attractive Downtown

The physical appearance of Downtown Murrieta will present a positive, inviting, and dynamic image that celebrates the heritage of the City through new development and revitalization of existing buildings. Landscaping and a pedestrian oriented environment with wayfinding signage will assist in creating a successful, vibrant and attractive community center.

Historic Character and Pedestrian Activity

The historic character of the area will be maintained as a unique community asset. Public streets and private development will work together to create a walkable, pedestrian oriented environment. Washington Avenue will serve as the City's "main street" and will provide a unique pedestrian experience for residents and visitors alike.

Proactive Economic Development

Development in Downtown Murrieta will be encouraged and supported by the City through proactive economic and policy programs. Incentives within the Specific Plan will support the timely implementation of development projects that create a unique destination in the Inland Empire for niche/boutique retail, restaurants, and offices. A mix of housing options will be encouraged that support this vision.

Sustainable Development and Open Space Preservation

Downtown development will include green building practices, such as the use of solar on new construction, drought tolerant landscaping and best practices for storm water management. The plan will also limit impacts to sensitive habitats that surround Murrieta Creek. Setbacks from the Creek will ensure minimal disturbance to the area while also providing a public open space amenity.

Mobility Choices

Downtown will have a transportation network that provides multiple choices for residents, employees and visitors to safely get around. "Complete streets" will create a balanced network of opportunities for walking, biking and automobile use. Parking management strategies will address issues related to mobility and parking as the Downtown grows.

Attractive Residential Neighborhoods with Diverse Housing Options

The Downtown will include attractive residential neighborhoods that will contribute to the increased activity and economic vibrancy of the area. Diverse housing options, ranging from single family to multi-family to mixed use (live-work) units, will be encouraged that support opportunities for people to live and work close by or within the same neighborhood. Downtown will have an abundance



of amenities, such as parks, gathering spaces, community events, and schools, that contribute to a high-quality of life for all who live there.

3.4 Goals and Policies

The following goals and policies are derived from the Guiding Principles. Goals and Policies identify more tangible actions to achieve the overarching vision of the Specific Plan. “Goals” help work towards the vision by pointing us in the right direction. Goals are broad statements that are action-oriented. “Policies” are specific actions that direct the City on how to reach its goals.

If a question arises regarding the intent of any implementing policy, the corresponding goals should be examined to determine the purpose of the action.

Land Use Goals

1. Establish Downtown Murrieta as the City’s cultural and governmental center.
2. Develop a land use pattern that respects and incorporates the City of Murrieta’s history and that provides opportunities for a variety of uses within a pedestrian friendly environment. Plan for an integrated network of residential, park, business, and civic-related uses.
3. Establish Washington Avenue as the City’s “Main Street” and a major mixed use, commercial corridor.
4. Develop a linear park along Murrieta Creek that preserves the natural resources and establishes a trail system that connects to regional facilities.

Land Use Policies

1. Create appropriate land use planning areas and ensure that standards emphasize the compatibility of uses.
2. Provide for a variety of commercial, office, and residential land uses that help achieve a “downtown” atmosphere.
3. Provide development regulations and design guidelines that clearly identify the City’s expectations for high quality development to ensure that new development is consistent with a “downtown” scale and character.

4. Encourage a vertical mix of uses along Washington Avenue. Retail and restaurant uses should be actively encouraged on ground floors with residential and office uses on second stories and above.
5. Develop concepts for a Civic Center within the Specific Plan area. Identify uses that are compatible with the civic nature of existing facilities, including City Hall and Town Square Park.
6. Provide for a variety of housing options, ranging from single family and multi-family residential development, in different settings (including within a mixed use zone).
7. Encourage housing that is within proximity to commercial and employment related uses.
8. Provide for a minimum of approximately 18 acres of open space, parks and active playgrounds in the Specific Plan area.

Economic Development Goals

1. Encourage economic development within Downtown Murrieta.

Economic Development Policies

1. Encourage niche/boutique retail opportunities along Washington Avenue that can differentiate the corridor and strengthen its identity as a destination.
2. Provide a range of employment and residential land uses that bring activity into the area in order to stimulate economic development.
3. Attract employment generating uses to the Civic Center, in particular, by encouraging professional offices, hotels, conference and event space, and service-type businesses to locate to the area.
4. Foster public/private partnerships to encourage uses that are compatible with a “downtown” identity to locate to the Specific Plan area.
5. Consider economic incentives, such as expedited review for development proposals, and public financing tools, such as revolving funds, to achieve the desired levels of investment in the Specific Plan area.



6. Develop economic incentives that can be used to fund desired public benefits and support the attractiveness of Downtown. For example, provide development incentives (e.g., increased building square footage) for the provision of pedestrian amenities within private projects (e.g. landscaped plazas, courtyards, etc.).
7. Encourage and support the formation and continuation of a Downtown Murrieta business association.
8. Develop a proactive economic development program with the Chamber of Commerce, City staff and the Downtown Murrieta business association, including hiring experienced staff to assist in implementing programs.
6. Design and designate locations for entry points to Planning Areas in Downtown Murrieta to provide a “sense of arrival”.
7. Develop a consistent theme for street furniture, such as shade structures, benches, lighting, etc. within the Downtown area.
8. Recognize that existing mature trees are an important element in Downtown Murrieta and preserve them, to the greatest extent feasible, whenever new development occur.
9. Provide special sign standards that are reflective of the area’s character and pedestrian orientation.
10. Continue with the development of the 2nd Avenue/Pioneer Park facility and encourage the relocation/reconstruction of buildings that have played a role in the City’s history to the park.

Community Design Goals

1. Enhance the character of Downtown Murrieta while also allowing for increasing economic opportunities.
2. Develop a positive image for Downtown Murrieta as a regional destination and entertainment area for families and individuals of all ages.

Community Design Policies

1. Adopt development standards and design guidelines to help ensure that new development is compatible with, and contributes to, the historic character of the area.
2. Enhance the overall appearance/image of Downtown Murrieta through the provision of streetscape amenities, especially in the commercial core along Washington Avenue.
3. Encourage the reuse of existing buildings that contribute to the area’s character and develop programs to encourage the revitalization of existing building facades.
4. Create a unique architectural design theme based on the area’s historic character from the 1880’s to 1920’s. Architectural styles along Washington Avenue, in particular, should support the “Main Street” concept for the corridor.
5. Create a unified landscaping theme for Downtown Murrieta, including a street tree planting concept that establishes a hierarchy of streets within the Downtown appropriate to their function.

11. Provide incentives for private development to provide public art in the Downtown that celebrates the area’s heritage and City’s identity.

Circulation and Parking Goals

1. Provide for the safe and efficient movement of people and vehicles within and through Downtown Murrieta. Plan for a network of safe and accessible streets, or “complete streets,” that increase opportunities for walking and biking throughout Downtown. Provide equestrian linkages where appropriate, such as along Murrieta Creek.
2. Develop a strong pedestrian orientation throughout Downtown Murrieta and especially along Washington Avenue and B Street.
3. Establish B Street as an “Art Linkage” corridor connecting the Civic/Center and the Jefferson and Juniper Planning Areas with Washington Avenue and the linear park along Murrieta Creek.
4. Develop a comprehensive parking management strategy that identifies near-, mid-, and long-term strategies to accommodate growth within the Downtown. Update parking regulations and develop an in lieu fee program that can potentially fund a public parking structure(s).



Circulation and Parking Policies

1. Implement the General Plan's "Circulation Element" as related to Downtown Murrieta.
2. Utilize the area's major roadways to provide landscaped "greenways" around and through Downtown Murrieta.
3. Provide reduced parking requirements for properties fronting on Washington Avenue as an incentive to encourage new development and redevelopment in the commercial core area.
4. Develop a means for new development to pay an in-lieu parking fee as an alternative to providing off-street parking spaces on-site. Fee would be collected by the City for land acquisition, construction and maintenance of public parking facilities.
5. Whenever possible, encourage the use of existing alleys and rear building entrances to minimize the necessity for vehicle access off of primary streets.
6. Prohibit future private driveway access onto Washington Avenue if access from side streets is available.
7. Utilize public rights-of-way to provide unique entrance statements to the Washington Avenue area.
8. Provide a multi-purpose trail from Murrieta Creek along Kalmia Street to Jefferson Avenue for future connection to the east.
9. Develop central public parking garage(s) to serve the businesses and visitors to Downtown Murrieta.
10. Encourage street furniture that contributes to pedestrian safety and comfort along Washington Avenue and B Street.
11. Where parcels over 1 acre in size exist, incorporate pedestrian amenities, such as walking paths or paseos, that break up large parcels into smaller, walkable areas.

Infrastructure Goals

1. Maintain an efficient level of public infrastructure and utilities to adequately serve all properties in the Downtown Murrieta area.
2. Continue to upgrade street, drainage facilities, and utility service to meet current standards and accommodate new development.

Infrastructure Policies

1. As a condition of approval, require developers to install needed off-site public improvements, such as streets, water, sewer, lighting, landscaping, sidewalks, drainage facilities, curbs and gutters during the first phase of development.
2. New development shall contribute to the cost of undergrounding overhead utilities. City participation in the cost of undergrounding may be offered as an incentive.
3. Consider the formation of an assessment district for undergrounding utilities along Washington Avenue Planning Area.
4. Identify needed infrastructure improvements and establish a priority schedule for capital improvements.

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4.0 LAND USE & DEVELOPMENT STANDARDS



CONCEPTUAL LAND USE PLAN

4.1 Introduction

This chapter constitutes the primary zoning provisions (Development Standards) for the Specific Plan area. The requirements of this Chapter supersede the requirements of the Zoning Chapter of the City of Murrieta Municipal Code (Title 16, Development Code).

If there is a conflict between the regulations provided in the Development Code and this Specific Plan, the regulations provided in the Specific Plan **shall** prevail. Where direction is not provided in this Specific Plan, the provisions of the Development Code **shall** prevail.

4.2 Definitions

This section provides definitions of terms and phrases used in this Specific Plan. Words, phrases and terms not specially defined herein shall have the same definition as provided in the City of Murrieta Development Code. When used in this Specific Plan, the term “Development Code” shall mean Title 16 of the City of Murrieta Municipal Code. Other definitions include the following:

- **Building Articulation.** How building form is expressed in terms of materials, colors, texture, pattern, modulation, and other detailing to define the structure.
- **Building Placement.** Addresses where buildings should be placed on site.



- **Paseo.** Paseo refers to a pedestrian corridor. Such a corridor may be used for emergency vehicle access; any other vehicular traffic, however, is not permitted.
- **Height.** The vertical distance to the highest point of building.

4.3 Language

In interpreting this Specific Plan, it is understood that “**shall**” is mandatory, and “**should**” and “**may**” are permissive.

4.4 Establishment of Planning Areas, Land Use Designations, and Zones

To implement the vision of the Specific Plan, four Planning Areas have been identified:

- Civic Center Planning Area
- Jefferson and Juniper Planning Area
- Washington Avenue Planning Area
- Creek Planning Area

In order to achieve the overall vision and goals of this Specific Plan, the following land use designations and zones are hereby established:

- Rural Residential (RR)
- Residential – Single Family 1 (RS-1)
- Residential – Single Family 2 (RS-2)
- Residential – Multi Family (RMF)
- Mixed Use (MU)
- Civic/Institutional (C/I)

4.5 Descriptions of Planning Areas

The Specific Plan is intended to support the development of a Downtown atmosphere for the City. Four Planning Areas have been identified within the Specific Plan area with distinct organizing themes that are intended to work together to reinforce the success of a Downtown environment. The Vision for each Planning Area is described below:

Civic Center Planning Area

City-owned property around Town Square Park develops as a hub that can support cultural activities and civic amenities, such as government offices, theater space, conference space, and museums. In addition, employment-generating uses that are

compatible with the civic nature of the area, such as institutional, professional office, and hotel uses, will be encouraged to also support the economic vibrancy and activity within the area. Paseos throughout the Civic Center provide attractive walking paths to neighboring areas, such as the Jefferson and Juniper Planning Area.

Jefferson and Juniper Planning Area

Vacant land in the area of Jefferson and Juniper develops primarily as a residential area. This increases opportunities for people to live and work within the Downtown, contributing to the 24/7 activity within the area. Innovative housing products are encouraged in this area to further distinguish the identity of the Downtown. A system of pedestrian-friendly paseos and public streets further support the image of the Downtown as a desirable and walkable neighborhood.

Washington Avenue Planning Area

Development in this Planning Area is oriented towards Washington Avenue and supports its function as a “main street.” The cultural and historic identity of the City is celebrated. A vertical mix of uses is encouraged. Ground floor commercial service and retail uses encourage a lively flow of pedestrian activity through interactive windows and displays, outdoor dining, and other pedestrian-oriented detailing. Residential and/or office uses are located on second stories and above.

Creek Planning Area

This area retains its existing residential character, primarily consisting of single-family uses. Development on City-owned properties within proximity to Murrieta Creek incorporate publicly accessible park and open space elements. The conceptual plans for the 2nd Avenue/Pioneer Park are realized and provides a mix of active and passive recreation facilities. Structures important to the City’s history are relocated and/or recreated within 2nd Avenue/Pioneer Park.



4.6 Descriptions of Land Use Designations and Zones

Rural Residential (RR)

The Rural Residential (RR) designation is intended to permit single family residential development on large lots commensurate with the rural character and lifestyle of the existing community. The keeping of horses, other livestock, and agricultural uses are permitted. The RR designation provides an area for the development of low density, single family detached residential dwellings with a density up to 0.5 dwellings per acre.

Residential – Single Family 1 (RS-1)

The primary purpose of the Residential Single Family-1 (RS-1) designation is to provide for residential development on common sized suburban lots. Areas with this designation are intended for the development of single family detached residential with a density up to 5 dwelling units per acre. Cluster development is encouraged in order to protect the environment.

Residential – Single Family 2 (RS-2)

The primary purpose of the Residential Single Family-2 (RS-2) designation is to provide for residential development on small-sized suburban lots. This designation is intended for the development of small-lot single family detached residential and single family attached units with common walls with a density up to 10 dwelling units per acre. Density up to 15 dwelling units per acre can be achieved with single family attached town home developments.

Residential – Multi Family (RMF)

The primary purpose of the Residential Multi Family (RMF) designation is to provide for a variety of residential products and encourage innovation in housing types with enhanced amenities (i.e., common open space and recreation areas) with a density range of 18 to 30 dwelling units per acre.

Mixed Use (MU)

The purpose of the Mixed Use (MU) designation is to provide for a wide variety of uses, including retail, professional office, service-oriented businesses, single and multi-family residences and combinations of the above in mixed use developments. A vertical mix of uses, in particular, is encouraged. On Washington Avenue, commercial retail and restaurant uses shall occupy the ground floor of such developments. Any commercial or office use can occupy the ground floor in all other mixed use areas. Residential uses may be developed up to a maximum density of 24 dwelling units per acre. Per Section 4.10.6 of this Specific Plan, an additional story can be achieved through the merger of lots with a minimum of 15,000 square feet and/or the provision of community benefits.

Civic/Institutional (C/I)

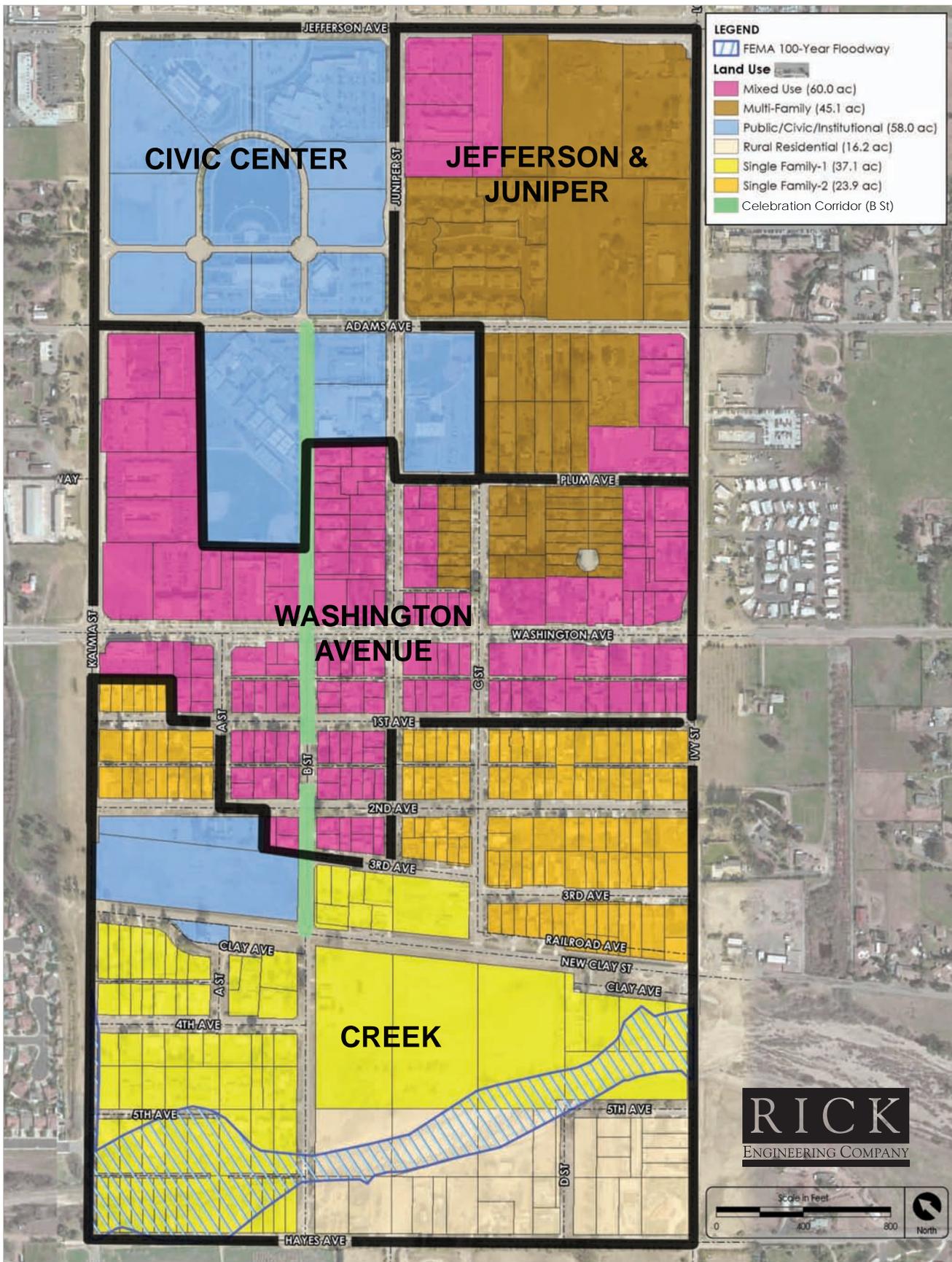
The Civic/Institutional (C/I) designation allows for uses that bolster the image of the area as a cultural destination and governmental activity center. Both public and quasi-public uses, such as educational facilities, libraries, museums, public utility facilities, and parking (surface or structured), may be allowed. In addition, private development that is compatible with civic-oriented uses, such as professional offices, conference centers, theaters, and hotels, may be allowed. Food and dining may be allowed as a secondary use.

Land Use Map

The locations of the above land use designations and zones are depicted on the Land Use Plan located in Figure 4-1. This Plan supersedes the City of Murrieta Zoning Map for the Specific Plan area.



FIGURE 4-1 DOWNTOWN MURRIETA LAND USES & PLANNING AREAS





4.7 Allowable Land Use Matrix

Table 4-1 establishes which land uses are permitted (P) or conditionally permitted (C) within each of the various Specific Plan zoning districts.

A permitted use requires approval by the Director. A conditionally permitted use requires a Minor Conditional Use Permit approved through an administrative hearing.

If a particular use is not listed, the Director shall be responsible to make a use determination to decide if the proposed use is substantially similar in character and intensity to a listed use. Such a use is subject to the permit process that governs the category in which it falls. When the Director determines that a proposed, but unlisted, use is similar to a listed use, the proposed use will be treated in the same manner as the listed use in determining where it is allowed, what permits are required, and what other standards and requirements of the Specific Plan apply. Unless the proposed use is determined to be similar to a listed use, it shall be a prohibited use. Prohibited uses do not have an identified or associated matrix.

<p>TABLE 4-1 LAND USE</p>							
<p>P means a permitted use approved by the Director</p>							
<p>C means a conditionally permitted use and requires a Minor Conditional Use Permit approved through an administrative hearing</p>							
<p>Blank means the use is prohibited</p>							

LAND USE ACTIVITY	RR	RS-1	RS-2	RMF	MU	CI	Note:
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ADMINISTRATIVE AND PROFESSIONAL OFFICES

Offices (such as, accounting, engineering, real estate and medicine)					P ¹	P	
Financial Institutions (no drive through)					P	P	

EATING/DRINKING ESTABLISHMENTS

Restaurants (without drive through)					P ²	P ^{2,3}	16.44.030
Bars/Nightclubs					C		16.44.030
Tasting Facility (may include Brewery/Winery/Distillery)					C ⁴		16.44.030

SERVICES

Auditoriums/Conference/Meeting Facilities					C	P	
Bed and Breakfast					C		
Church/Places of Worship	C	C	C	C	C		
Day Care	C	C	C	C	C		16.44.050
Day Spa					P		
Farmers Market					P	P	
General Merchandise (such as grocery, bakery, antiques, hobby, art, clothing, flowers)					P ⁴		
Hotel					P	P	16.44.090
Indoor Recreation					P	P	
Libraries					P	P	
Museums					P	P	



TABLE 4-1
LAND USE

P means a permitted use approved by the Director
C means a conditionally permitted use and requires a Minor Conditional Use Permit approved through an administrative hearing
Blank means the use is prohibited

LAND USE ACTIVITY	RR	RS-1	RS-2	RMF	MU	CI	Note:
-------------------	----	------	------	-----	----	----	-------

SERVICES Continued

Nursery (retail only)					P		
Personal Services (such as barber, beauty, tanning, tailor, travel)					P		
Professional Studios (such as art, dance, karate, music, writing, educational tutoring)					P		
Schools (Private)					C	C	
Schools (Public)	P	P	P	P	P	P	
Telecommunications	C	C	C	C	C	C	16.44.170.B
Theater					P	P	

PUBLIC FACILITIES

Parks/Community Gardens	P	P	P	P	P	P	
Public Parking Facilities					P	P	
Public Safety Facilities	P	P	P	P	P	P	

RESIDENTIAL

Single-Family – Detached	P	P	P				16.44.040
Single-Family – Attached			P				
Multi-Family				P	P ¹		
Home Occupations	P	P	P	P			16.60.050
Residential Care Home (up to 8)	P	P	P				16.44.050
Residential Care Home (up to 14)	P	P	P				16.44.050
Accessory Dwelling Units	P	P	P				
Accessory Structures	P	P	P	P			16.44.150

1. Use is limited to either second floor (or higher) in locations that front upon Washington Avenue.
2. Outdoor Dining or Sidewalk Cafes are permitted in conjunction with a restaurant subject to the review and approval of a Development Plan application.
3. Use is permitted as an accessory use.
4. Use shall include a retail element dedicated to the sale of any items produced on-site.



4.8 Special Use Standards

Mixed Use

The development of commercial and residential uses in close proximity can present unique design issues not encountered in zones where uses are limited to only commercial or only office or only residential. The following standards shall also be applied to new development within the Mixed Use (MU) zone, which is envisioned to accommodate a variety of uses. Special thought and consideration should be given to compatibility and design in order to successfully balance the characteristics of commercial, office, and residential uses.

- **Noise:** All uses shall comply with the noise regulations specified in Section 16.30 of the Municipal Code. Special consideration shall be given to the location and screening of noise generating or vibrating equipment such as refrigeration units, air conditioning, and exhaust fans. Vibration or noise reducing screens and insulation may be required where such equipment has the potential to impact residential uses.
- **Odor:** Restaurants approved after the adoption of this Specific Plan shall implement a kitchen exhaust system for grease, odor and smoke control. All machinery and equipment shall be installed and maintained and the activity shall be conducted so that noise, smoke, dust, odor and all other objectionable factors, shall be confined or reduced to the extent that no annoyance or injury will result to residents or persons in the vicinity.
- **Lighting/Glare:** Lighting shall be located so as to minimize the impact of lighting upon adjacent buildings and properties, especially residential uses. Any lighting source, including illuminated signs, shall be positioned so that light does not shine directly into residential windows.

Commercial Food and Beverage Production

Establishments that engage in commercial on-site production of food and/or beverage products such as but not limited to coffee roasting, ice cream, baked goods, confectioneries, alcoholic and non-alcoholic beverages, and other foodstuffs, may be permitted subject to the following regulations:

- An on-site retail element of produced food and/or beverage products is required.
- All storage shall be within an enclosed building or screened from the public right-of-way by fences or walls and landscaping. Stored items shall not be stacked to a height that exceeds the height of the screening.
- Hours of operation for production shall be limited to 6:00AM until 10:00PM so that neighboring residential development is not disturbed by noise and light.
- Distribution facilities are not permitted adjacent to residential zoned property.



4.9 Site Development Standards by Zoning District

This section establishes the site development standards for projects in all zoning districts within the Specific Plan area with the exception of the Civic/Institutional (C/I) zone. The C/I zone is intended for public and quasi-public uses. The review and approval of any development project within this zone will be on a case-by-case basis. Development Standards will be established at that time.

Any standards not specifically covered by this Plan are subject to the regulations of the City of Murrieta Development Code.

Note: In the table below, cells denoted with “--” are not applicable to the particular zone.

TABLE 4-2 SITE DEVELOPMENT STANDARDS						
LAND USE ZONES	RR	RS-1	RS-2	RMF	MU	CI
RESIDENTIAL DENSITY						
Dwelling Units Per Gross Acre	Up to 0.5	Up to 5	Up to 10 ¹	18 to 30 ²	Up to 24	--
MINIMUM LOT SIZE (IN SQUARE FEET)						
Residential – Single Family Detached	2 Acres	7,200	4,000	--	--	--
Residential – Single-Family Attached	--	--	3,500	--	--	--
Residential – Multifamily	--	--	--	None	None	--
MAXIMUM BUILDING HEIGHT BY RIGHT						
Stories	2	2 ³	2 ³	4 ⁴	3 ⁴	4 ⁴
Height in feet	35	35	35	60	50	60
MAXIMUM BUILDING HEIGHT BY RIGHT WITH LOT CONSOLIDATION						
For properties fronting on Washington Avenue where adjacent and contiguous lots are assembled and merged into one lot of at least 14,000 square feet in size, the following maximum stories and height shall be granted by right.						
Stories	--	--	--	--	4 ⁴	--
Height in feet	--	--	--	--	60	--
MAXIMUM BUILDING HEIGHT WITH INCENTIVES						
Per Section 4.10.6 of the Specific Plan, the following additional building stories and height may be granted if the development project provides incentives that benefit the Specific Plan area.						
Stories	--	--	--	--	4 ⁴	--
Height in feet	--	--	--	--	60	--
SETBACKS FOR PROPERTIES IN THE MIXED USE (MU) ZONE FRONTING WASHINGTON AVENUE, B STREET, AND 1ST AVENUE						
Front Yard Setback in feet	--	--	--	--	2	--
Rear Yard Setback in feet	--	--	--	--	0	--
Interior Side Yard Setback in feet	--	--	--	--	0	--
Exterior Side Yard Setback in feet	--	--	--	--	0	--



TABLE 4-2
SITE DEVELOPMENT STANDARDS ...CONTINUED

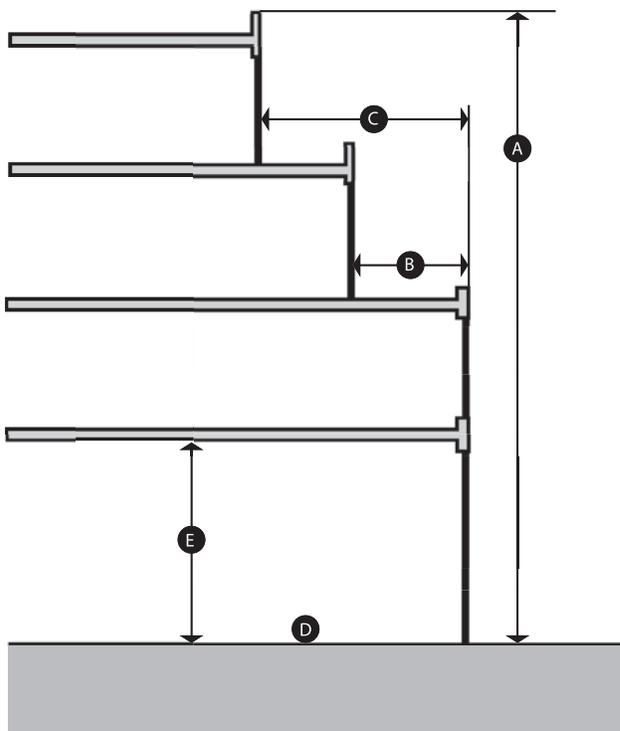
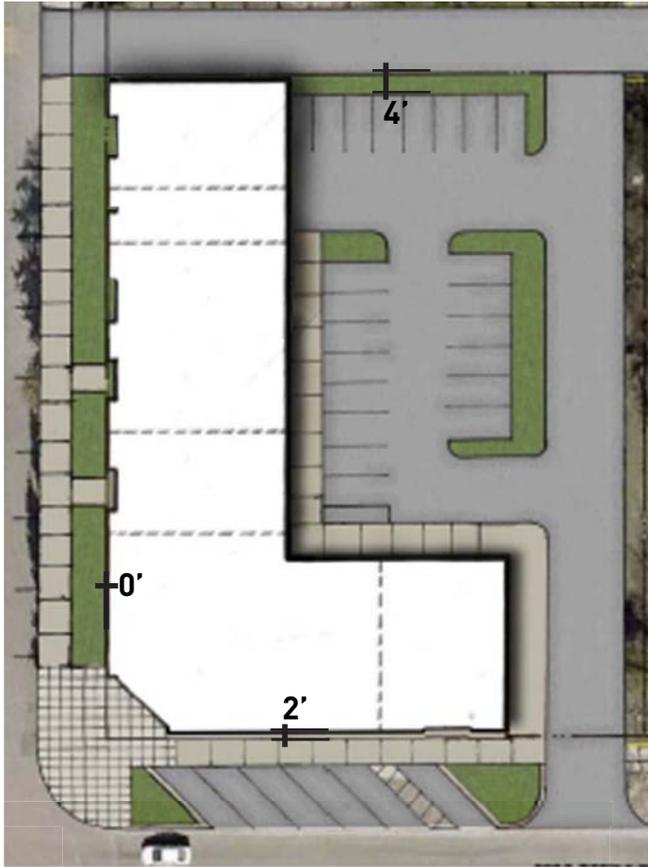
LAND USE ZONES	RR	RS-1	RS-2	RMF	MU	CI
SETBACKS FOR ALL OTHER PROPERTIES						
Front Yard Setback in feet	20	20	20	15	10	20
Rear Yard Setback in feet	20	10	10	10	10	5
Paseo Setback in feet	--	--	--	5	5	5
Interior Side Yard Setback in feet	20	5	5	5	5	5
Street Side Yard Setback in feet	20	10	10	10	10	20
PARKING LOT / SPACE SETBACKS						
Front Yard Parking Setback in feet	--	--	--	15	15	15
Side Yard Parking Setback in feet	--	--	5	5	5	5
Rear Yard Parking Setback in feet	--	--	5	5	5	5
LOT COVERAGE						
Maximum Lot Coverage	25%	45% 1-story, 35% 2-story	60%	None	None	None

1. Density up to 15 dwelling units may be granted for Single-Family Attached housing projects.
2. APN 906-080-018 is owned by the Murrieta Housing Authority and required to develop to a minimum of 30 dwelling units per acre.
3. Single-family detached residential developments of 10 units or more shall have 20% of the units as single-story elevations distributed throughout the project.
4. The third and fourth stories shall be setback an additional 10 and 20 feet, respectively, in addition to the required front yard or paseo setback shown in the table above.

Figures 4-2 through 4-5 illustrate the application of Site Development Standards in Table 4-2 for future development.



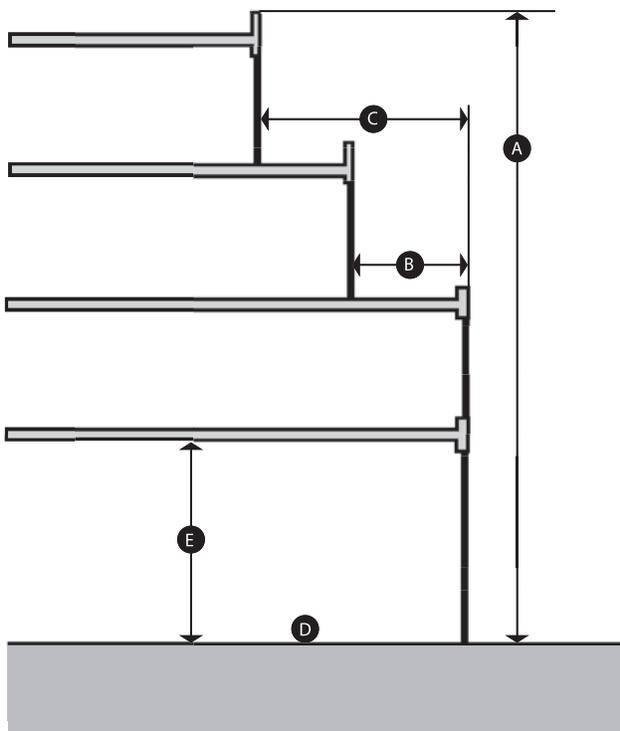
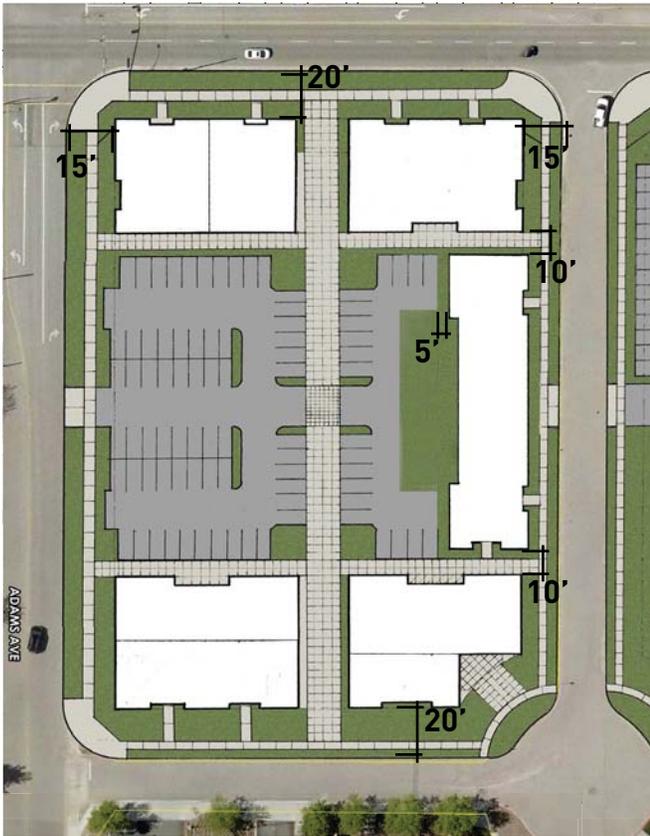
MIXED USE (MU) ZONE



- A. **No. of Stories**
2 story min.
4 story max. - 60'
- B. **3rd Story**
10' in addition to required front yard or paseo setback
- C. **4th Story**
20' in addition to required front yard or paseo setback
- D. **Finished floor elevation**
The same elevation as public sidewalk or paseo
- E. **Ceiling Height**
Ground floor 12' min. clear



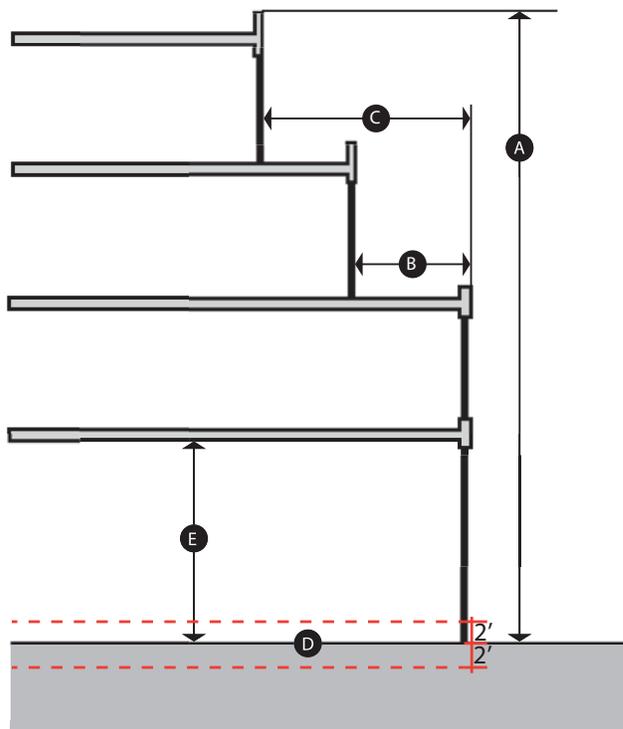
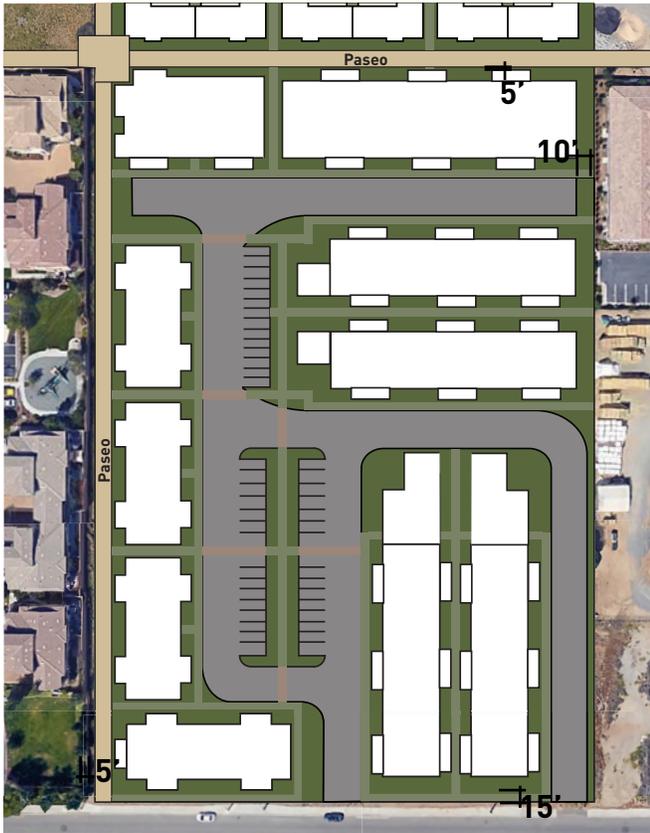
CIVIC/INSTITUTIONAL (C/I) ZONE



- A. **No. of Stories**
2 story min.
4 story max. - 60'
- B. **3rd Story**
10' in addition to required front yard or paseo setback
- C. **4th Story**
20' in addition to required front yard or paseo setback
- D. **Finished floor elevation**
The same elevation as public sidewalk or paseo
- E. **Ceiling Height**
Ground floor 12' min. clear



RESIDENTIAL MULTI-FAMILY (RMF) ZONE



- A. No. of Stories**
2 story min.
4 story max. - 60'
- B. 3rd Story**
10' in addition to required front yard or paseosetback
- C. 4th Story**
20' in addition to required front yard or paseo setback
- D. Finished floor elevation**
Above or below 2' grade
Public sidewalk or paseo
- E. Ceiling Height**
Ground floor 10' min. clear



4.10 General Requirements and Standards for All Zoning Districts

This section establishes the general requirements and development standards for all projects within the Specific Plan area. Any standards not specifically covered by this Plan are subject to the regulations of the City of Murrieta Development Code.

4.10.1 Review of Projects

Purpose

The review of development proposals within the Specific Plan area is required to ensure compatible and enhanced site and building design throughout the area. This process provides a means to implement General Plan goals and policies related to Downtown Murrieta's physical development. Therefore, all projects within the Specific Plan area are subject to review and approval in compliance with the provisions of the Specific Plan, or in the absence of discussion in the Specific Plan, default to the Development Code.

Reference to Design Guidelines

In reviewing projects/improvements subject to any approval, City Staff shall refer to appropriate design guidelines in this Specific Plan (or any others that may be adopted by the City) in order to provide guidance to applicants seeking to comply with the requirements of this Specific Plan.

The design guidelines are to be used by property owners, developers, architects, landscape architects and designers in the planning and design of projects in the Specific Plan area. The design guidelines communicate the City's desired qualities and characteristics of development and are intended to promote quality design that is compatible with Downtown Murrieta's vision for the future.

4.10.2 Nonconforming Uses and Structures

Where at the time of adoption of the Specific Plan, a lawful use of land or structure exists which would otherwise not be permitted by the regulations established by this Specific Plan, such use or structure may be continued indefinitely subject to the following:

- Expansion of a nonconforming use is not allowed.
- A nonconforming use shall not be reestablished after having been abandoned or discontinued for a period of 180 consecutive days. This discontinuance shall cause the use to be deemed to have ceased and the use shall not be reinstated or replaced with another nonconforming use.

Note that all existing lots legally created prior to the adoption of the Historic Murrieta Specific Plan on April 15, 1997 shall be considered legal building sites, even if smaller than the minimum lot size restriction.

4.10.3 Off-Street Parking Requirements

4.10.3.1 Number of Required Off-Street Parking Spaces

The off-street parking provisions listed in Table 4-3 shall apply in determining the minimum number of parking spaces to be provided for each use.



TABLE 4-3
OFF-STREET PARKING

LAND USE ACTIVITY	REQUIRED PARKING
ADMINISTRATIVE AND PROFESSIONAL OFFICES	
Offices (such as, accounting, engineering, real estate and medicine)	4 spaces per 1,000 SF of gross floor area
Financial Institutions (no drive through)	4 spaces per 1,000 SF of gross floor area
EATING/DRINKING ESTABLISHMENTS	
Restaurants (without drive through)	6.5 spaces per 1,000 SF of gross floor area
Bars/Nightclubs	6.5 spaces per 1,000 SF of gross floor area
Tasting Facility (may include Brewery/Winery/Distillery)	6.5 spaces per 1,000 SF of gross floor area
SERVICES	
Auditoriums/Conference/Meeting Facilities	1 space per 4 seats
Bed and Breakfast	1 space per guest room, plus 1 space per employee
Church/Places of Worship	1 space per 4 people, based on the total occupancy of the assembly room/area
Day Care	2 guest spaces, plus 1 space per employee
Day Spa	1 space per guest room, plus 1 space per employee
General Merchandise (grocery stores)	5 spaces per 1,000 SF of gross floor area
General Merchandise (stand-alone pharmacy, bakery, antiques, hobby, art, clothing, flowers)	3.5 spaces per 1,000 SF of gross floor area
Hotel	1 space per guest room, plus 1 space per employee
Indoor Recreation	5 spaces per 1,000 SF of gross floor area
Libraries	3 spaces per 1,000 SF of gross floor area
Museums	3 spaces per 1,000 SF of gross floor area
Nursery (retail only)	0.75 spaces per 1,000 SF of display area
Personal Services (such as barber, beauty, tanning, tailor, travel)	5 spaces per 1,000 SF of gross floor area
Professional Studios (such as art, dance, karate, music, writing, educational tutoring)	5 spaces per 1,000 SF of gross floor area
Elementary School (private)	1 space per employee, plus 5 guest spaces, plus 5 spaces per 1,000 SF of assembly area/auditorium/gym
Middle School (private)	1 space per employee, plus 5 guest spaces, plus 5 spaces per 1,000 SF of assembly area / auditorium /gym
Theater	0.35 spaces per seat
RESIDENTIAL	
Single-Family – Detached	2 spaces per dwelling unit (both enclosed)
Single-Family – Attached	2 spaces per dwelling unit (a minimum of one enclosed)
Multi-Family (studio, 1 and 2 bedrooms)	1.25 spaces per dwelling unit
Multi-Family (3 or more bedrooms)	2 spaces per dwelling unit
Accessory Dwelling Units	1 space



4.10.4 Parking Exceptions

4.10.4.1 Parking Exceptions for Civic / Institutional

The parking standards listed in Table 4-3 may be modified as part of any land use entitlement permit, including, but not limited to, Development Plans and Conditional Use Permits, provided that sufficient parking facilities are provided to meet the needs generated by the uses located within the Civic/Institutional (C/I) zone.

4.10.4.2 Shared Parking Arrangements

Shared parking arrangements are encouraged where two or more adjacent uses have distinct peak period usage. A reduction in the required number of parking spaces may be approved provided that the most remote space is located within six hundred (600) feet of the use(s) that the shared parking arrangement is intended to serve.

The applicant shall submit a signed agreement between the applicant and the other property owner(s) providing the off-street parking spaces that are subject to the shared parking arrangement. The agreement shall be recorded, and is subject to the approval of the Director as to form and content. This parking reduction cannot be used in conjunction with other parking exceptions.

4.10.4.3 In-lieu Parking Fees

In the Civic/Institutional (C/I) and Mixed Use (MU) zones, in lieu of providing some, or all of the off-street parking spaces as required for non-residential uses, such parking requirements may be satisfied by payment to the City, a sum of money for each parking space not provided onsite. The amount of the in-lieu fee shall be prescribed by the City Council. The funds shall be retained by the City and shall be used exclusively for the purpose of acquiring and development public off-street parking facilities, such as a parking structure(s).

4.10.4.4 Limited Vehicular Access from Washington Avenue

Corner parcels with one of their sides adjoining Washington Avenue shall take their primary vehicular access from the adjoining side street whenever possible.

Parcels with public alley access shall take their primary vehicular access from the public alley whenever possible. A public alley may also be used as part of the required width of a back-out or maneuvering aisle for onsite parking which is immediately adjacent to such alley.

Shared vehicular access arrangements between abutting properties is encouraged whenever possible. A joint access agreement guaranteeing the continued availability of the shared access between the properties and running with the land shall be recorded by the owners of the abutting properties, as approved by the Director.

4.10.4.5 Parking Lot Screening/Buffering

Parking areas adjacent to public rights-of-way shall provide a 3 to 4 foot high landscaped screen across the entire parking frontage except for driveways.

Landscape screening may include a combination of low hedge row plantings, landscaped or turf berms or low architecturally treated, unit masonry wall (stone, treated block, split face block) walls. The minimum width of a landscaped area required for screening purposes shall be 4 feet.

Public parking facilities abutting residentially zoned parcels shall provide a 6 foot high, architecturally treated, unit masonry wall (stone, treated block, split face block) to screen the parking area(s). All wall treatments shall occur on both sides (wall elevations) unless waived by the Director. Landscaping, including vines, shrubs, and trees, shall be incorporated adjacent to walls to mitigate the visual effects of flat shall surfaces. Where possible, wall offsets and planting pockets shall also be provided.



4.10.5 Minimum Common Open Space Requirements for Multi-Family

Residential multi-family development projects within the Jefferson and Juniper Planning Area shall satisfy a minimum of 50% of common open space requirements by contributing to the development of an equivalent square footage of residential paseo.

4.10.6 Development Incentives

The Director shall allow an additional story in the Mixed Use (MU) zones if a development project incorporates or provides any combination of the following and they are deemed to be a community benefit:

- **Exemplary Sustainable Building Design:** Development projects that achieve any Leadership in Energy and Environmental Design (LEED) certification level.
- **Public Art:** The commitment of one percent of total construction costs to a public art fund or the provision of a physical art piece of the same value on- or off-site within the Specific Plan area.
- **Parks/Open Space Amenities:** The incorporation of a public gathering space on-site at the ground floor of the development, such as a plaza or pocket park, that comprises 10% of the lot size and/or a contribution to off-site park amenities envisioned to serve the Downtown area, such as the Second Avenue/Pioneer Park and/or B Street “Art Linkage” Corridor, above common open space requirements.
- **Contributions to Public Parking:** Contributions beyond off-street parking requirements that further the development of public parking, to be established by City Council with the development of an in-lieu parking fee program.

4.10.7 Protection of Existing Trees

Existing, mature trees add significantly to the rural character and aesthetic charm of Downtown. Trees also provide shade and increase pedestrian comfort. It is the intent of the City to protect and preserve significant groves or stands of trees, mature native trees, oak trees, historic trees, and mature trees where those groves or stands of trees, and/or mature trees are associated with proposal of urban development in compliance with the provisions of the Development Code.

4.10.8 Development within Murrieta Creek Floodplain Boundaries

Murrieta Creek floodplain boundaries are delineated on FEMA FIRM maps and on Riverside County Flood Control District (RCFCD) maps. Development within the floodplain shall conform to the City of Murrieta requirements and shall be approved by RCFCD and the City Engineer.

4.10.9 Reuse of Existing Residential Structures for Commercial Purposes

The reuse of existing conventional residential structures is allowed upon the approval of a Development Plan pursuant to Title 16.56.020 of the Municipal Code subject to the following provisions:

1. The structure must meet applicable requirements for the proposed occupancy as required by the Uniform Codes as adopted by the City.
2. In lieu of constructing street improvements, a lien contract agreement with the City guaranteeing the required improvements may be required. Any deferral of street improvements must be approved through the Development Plan process.



4.10.10 Landscape Requirements

4.10.10.1 Submittal of Plans

Concept Plans

A concept landscaping plan shall be submitted as part of a permit application, unless waived by the Director.

The concept plan shall exhibit a generalized design layout which adequately demonstrates the proposed landscaping program in terms of location, size/scale, function, theme and similar attributes.

Detailed Plans

Detailed landscape plans shall be prepared only after approval of the permit application. Submittal of detailed plans shall be concurrent with any required grading plan(s) and other documents or reports.

Landscaping plans shall be prepared by a licensed landscape architect registered to practice in the State of California.

Project landscaping design and plans shall be in compliance with Development Code Section 16.28 Landscaping Standards and Water Efficient Landscaping and applicable State requirements.

4.10.11 Sign Regulations

Exception from Development Code Standards

For properties fronting on Washington Avenue, the Director shall have authority to grant additional pedestrian oriented signs up to a total of 12 square feet for all such signs. The maximum size for any one pedestrian sign shall be 6 square feet. Pedestrian oriented signs include: window signs, small wall mounted or projecting signs located not more than 10 feet above grade, signs placed on awning valances, and signs suspended under canopies and awnings. Signs that are suspended above pedestrian walkways shall provide a minimum of 7.5 feet of clearance.

4.10.12 Outdoor Uses and Displays

All uses, including commercial, repair, service and storage shall be conducted within a completely enclosed building or be completely screened from view from off the subject site, except as provided below.

The outdoor display of merchandise in conjunction with antique shops, flower shops and similar specialty and craft businesses is permitted in the Mixed Use (MU) zone subject to the following provisions:

1. Outdoor displays may be allowed upon the public sidewalk provided that a minimum width of five feet is maintained clear of any obstructions
2. No additional signs or other advertising devices (temporary or permanent) shall be used in conjunction with an outdoor display, except those allowed in compliance with the Development Code
3. The outdoor display of merchandise shall only occur during times when the associated establishment is also open for business
4. Only merchandise normally available at the associated business may be displayed outdoors
5. Outdoor seating is allowed for restaurants and other eating and drinking establishments subject to Murrieta Municipal Code Section 16.44.120 C

4.10.13 Installation of Public Improvements

Project developers are responsible for providing public improvements such as streets, water and sewer lines, drainage facilities, curbs, gutters, sidewalks, street lighting, parkway landscaping, street trees and other similar items in compliance with City standards at the time of development

If multiple phases of development are proposed, improvements shall be installed during the first phase unless an alternate time schedule is approved by the City Engineer.

4.10.14 Undergrounding of Onsite Utilities

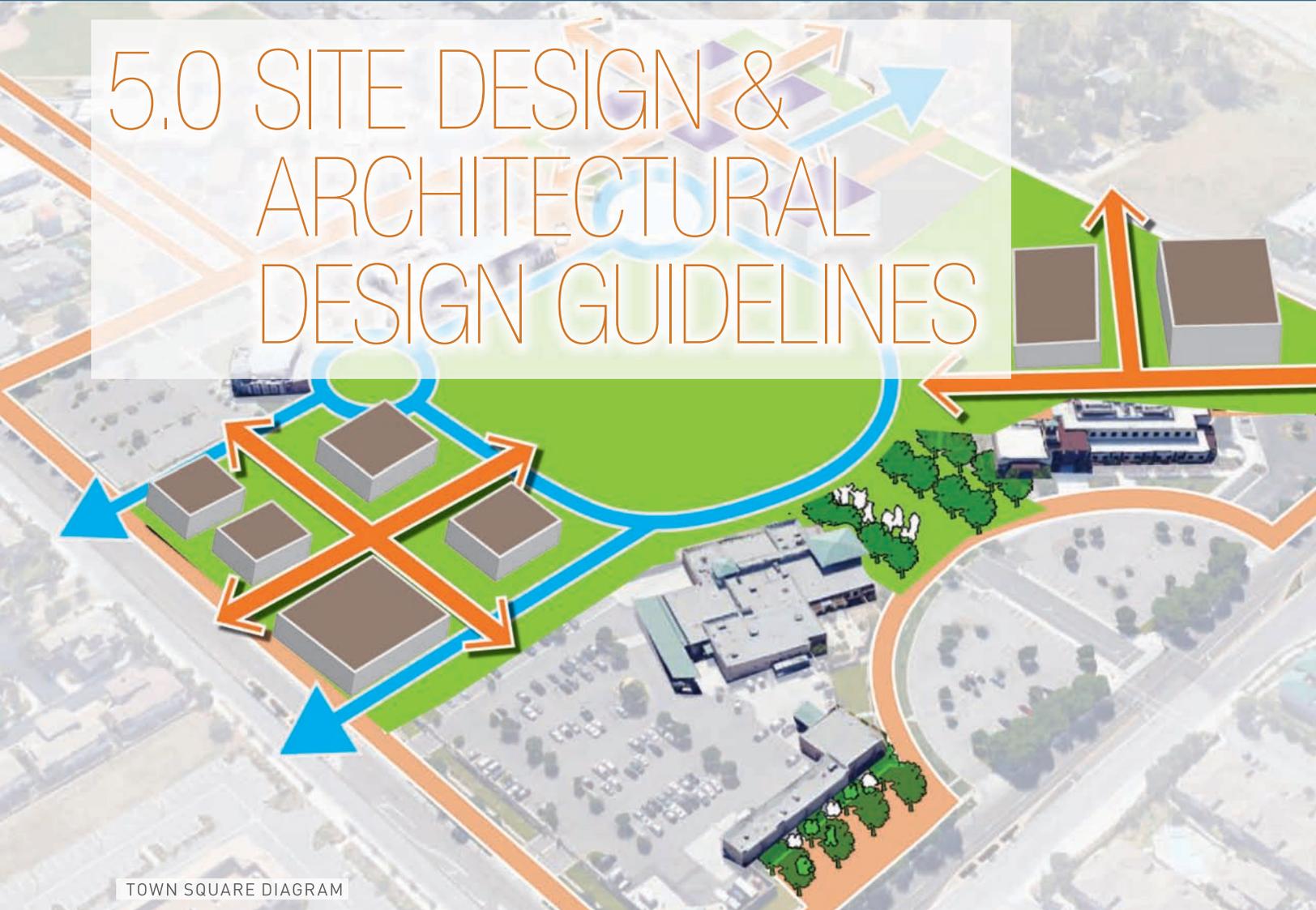
All new development shall provide underground utilities in compliance with City requirements.

In-lieu of providing some, or all undergrounded utilities on-site as required, such requirements may be satisfied by the payment to the City, a sum of money for undergrounding. The amount of the in-lieu fee shall be prescribed by the City Council. The funds shall be retained by the City and shall be used exclusively for the purpose of undergrounding utilities.

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5.0 SITE DESIGN & ARCHITECTURAL DESIGN GUIDELINES



5.1 Introduction

This chapter sets forth design guidelines for the consistent promotion of high-quality, well-designed development throughout the Specific Plan area. A special emphasis of this chapter is on two particular elements: (1) site design, which contributes to and defines the public realm, and (2) architectural design, which creates visual interest and shapes the overall character of the area. The overall intent of these guidelines is to encourage design that accomplishes the desired vision for Downtown Murrieta as a thriving community with a connection to its history.

This chapter identifies the overarching design principles and guidelines for the Specific Plan area, which are intended to be used in conjunction with Chapter 4.0 Land Use and Development Standards. All projects within the Specific Plan area are required to demonstrate consistency with the recommendations outlined in this chapter, per the processes outlined in Sections 4.10.1: Review of Projects.



5.2 Design Principles

The following principles provide the foundation for design guidance within the Specific Plan area:

Design Principle #1: Promote the image of Washington Avenue as a main street commercial and mixed-use corridor that reflects a successful, late 19th to early 20th century downtown.

These guidelines seek to promote the character of Washington Avenue as a classic American downtown and celebrate the connection of the area to its past. Architectural styles that reflect the late 19th to early 20th century (between the 1890's to the 1930's) are encouraged. Along Washington Avenue, commercial and mixed use buildings with bustling ground floor storefronts and pedestrian-orientated design are also encouraged to support shopping and walking in Downtown's unique atmosphere. To create a visually interesting environment, buildings should be designed to allow for the individual expression of separate shops. In addition, to support pedestrian usage, there should never be parking spaces located between the public sidewalk and storefronts.

Design Principle #2: Promote pedestrian-oriented design.

A hallmark of classic American downtowns from the late 19th to early 20th century is their walkability and pedestrian-friendly design. These guidelines seek to reinforce the walkability of Downtown Murrieta. The pattern and scale of development should create a well-defined human environment. Buildings should be designed to accommodate an array of street-level uses that animate and enliven the public realm, such as outdoor dining, courtyards, and/or other public/semi-public spaces.

Design Principle #3: Provide a sense of place for the City of Murrieta.

The quality and style of architecture should be a distinct departure from contemporary commercial and residential environments in other parts of Murrieta. Architectural designs are encouraged to incorporate traditional design elements from the 1890s to 1930s, such as stone foundations, clapboards, chimneys, front porches, stoops, bay windows, dormer windows, and detached garages. Planning Areas should interconnect to provide

opportunities to walk and bike to local businesses, parks, and work, and strengthen the identity of Downtown as a whole.

Further, public art should reinforce the identity of Downtown as a unique destination. Ideas for public art include interpretive plaques, signage, and monumentation that celebrate the history of the City and local artists.

5.3 Site Design Guidelines

For all development within the Specific Plan area, the following parameters shall guide site design.

5.3.1 Contextual Site Analysis

All development within the Specific Plan area shall analyze and consider its surrounding context (on-site and off-site) by analyzing the following:

- Land use and site organization of neighboring properties
- Opportunities for collaboration between properties with respect to building frontage, pedestrian and vehicular access, parking, loading zones, utilities, screening, lighting and other design features that could benefit both properties
- Architectural character/style of neighboring structures
- Existing natural features (such as mature trees)
- Privacy and sun exposure of neighboring properties

The purpose of this analysis is to demonstrate that new development is compatible with its surrounding environment.

New projects should consider the location and type of landscaping on neighboring properties in order to create a cohesive visual relationship with adjacent development.

Plans, including architectural and site development drawings, submitted to the City for review should show structures and other important physical features on adjacent properties.



5.3.2 Access, Parking, and Circulation

All development within the Specific Plan area shall use the following guidance related to parking and circulation:

- The number of site access points should be minimized. Shared access, including sidewalks and drives, is encouraged wherever possible.
- Vehicular access for corner properties should be taken from side streets or alleys, wherever possible. Curb cuts should be located on secondary streets wherever possible to minimize pedestrian and vehicular conflicts.
- Site design should clearly define access for vehicular, pedestrian, and bicycle movement and seek to minimize conflict areas between cars and people walking and biking.
- The visual impact of parking lots should be minimized by locating these facilities to a portion of the site least visible from the street and by providing adequate screening.
- For all commercial properties along Washington Avenue, all parking shall be located behind the primary commercial structures or to the side. Parking between the public sidewalk and the entry to commercial establishment is prohibited.
- Service and loading areas should be carefully designed, located, and integrated into the site plan so they do not detract from the street scene or create a nuisance for adjacent property owners or vehicular traffic.

5.3.3 Site Utilities

All development within the Specific Plan area shall use the following guidance related to site utilities:

- Electrical meters and transformers, telephone junction boxes, traffic control panels, and other above ground utility equipment should be located to reduce their visual impact and screened from public view.
- Newly installed utility services, and service revisions necessitated by new development or substantial exterior alterations are required to be placed underground.

5.3.4 Landscaping

All development within the Specific Plan area shall use the following guidance related to landscaping:

- Landscaped areas should be planned as an integral part of the overall project and not simply located in leftover areas on the side.
- Landscaping should be used to help define outdoor spaces, soften a structures appearance, and to screen parking, loading, storage, and equipment areas.
- Landscape materials should be compatible with the structure design in terms of type and scale/size.
- The use of on-site pedestrian amenities, such as benches, shelters, drinking fountains, lighting, and trash receptacles, is encouraged. The elements should be provided in conjunction with on-site open spaces and be integrated into the site plan as primary features.

5.3.5 Public Art

All development within the Specific Plan area shall use the following guidance related to public art:

- The use of public art is encouraged to enhance the identity of Downtown Murrieta. Where public art is located on site, it should be located within view of the public right-of-way or public gathering spaces, especially near street corners.
- Local artists and themes should be highlighted to emphasize the cultural assets and history of Murrieta.
- Public art may consist of murals, sculptures, interpretive plaques, signage, and monumentation.

5.3.6 On-Site Lighting

All development within the Specific Plan area shall use the following guidance related to on-site lighting:

- Exterior lighting should be designed as a part of the architectural and landscape concepts of the project.
- An appropriate hierarchy of lighting fixtures/structures and intensity should be considered when designing the lighting for the various



elements of a project (i.e., building and site entrances; walkways, ramps and stairs; outdoor use areas, parking areas, and other areas of the site).

- To achieve the desired lighting level for most projects, the use of many short, low intensity fixtures is encouraged over the use of a few tall fixtures that illuminate large areas.

5.3.7 Screening

All development within the Specific Plan area shall use the following guidance related to screening:

- Screening is a technique used to protect and separate uses and site functions from one another for the purpose of decreasing adverse noise, wind, or visual impacts and to provide privacy. The need for screening should be considered early in the design process so that screening elements (i.e., walls, fences, berms, landscaping, etc.) can be effectively integrated into the overall project design and not added later as an after-thought.
- Any outdoor equipment, whether on the facade or side of a structure, or on the ground, should be appropriately screened from view. The method of screening should be architecturally integrated with the adjacent structure in terms of style, materials, and color.
- Where screening is required, a combination of elements should be considered; including, solid masonry walls, berms, and landscaping.

5.3.8 Walls and Fences

All development within the Specific Plan area shall use the following guidance related to walls and fences:

- If not required for a separation of land uses or a specific screening/security purpose, the use of solid walls is discouraged throughout the Specific Plan area. Where walls are required, the intent should be to keep them as low as possible while performing their screening and security functions.
- Where walls are visible from a public right-of-way or parking lot, they should be compatible with the site's architecture. Landscaping should be used in combination with walls/fences,

whenever possible, to conceal their flatness, add greenery, and discourage graffiti.

- Where security fencing is required, it should be a combination of solid walls with pilasters and decorative view ports, or short solid wall segments with open wrought iron grille work.
- Long expanses of fence or wall surfaces should be articulated and architecturally designed to prevent monotony.

5.3.9 Refuse, Storage, and Equipment Areas

All development within the Specific Plan area shall use the following guidance related to refuse, storage, and equipment areas:

- Refuse containers, service areas, loading docks, etc. should be located in areas out of view from the general public and so that their use does not interfere with parking and circulation.
- Trash storage areas that are visible from the upper stories of adjacent structures should have an opaque or semi-opaque horizontal cover/screen to mitigate unsightly views. The covering structure should be compatible with the site's architecture.
- All facilities used to screen refuse, storage or equipment should be of adequate size for their intended purpose without dominating the site, blocking site distances, or creating unnecessary barriers.

5.4 Architectural Design Guidelines

5.4.1 Architectural Themes

The architectural themes described herein are intended to establish a "stylistic realm" within which various projects are to be designed. This will help assure a "distinct belonging" and sense of place for the area. To evoke the 1890's to 1930's classic American downtown, the following architectural themes shall be utilized throughout the Specific Plan area:

- Craftsman
- Spanish Colonial Revival
- American Mercantile



5.4.2 Building Massing

Allowing for more infill development and a variety of building types means that it is important for future buildings to be designed and oriented so that their scale and massing does not disrupt the existing building fabric nor overwhelm the public realm with visually dominating facades. All development within the Specific Plan area shall use the following guidance related to building massing:

- Buildings greater than three (3) stories should provide variation by using balconies, fenestration, and sunshades to create an interesting pattern of projections and recesses, light, and shadow.
- Building mass should be placed toward the public realm, forming a distinctive street wall that outlines and characterizes the corridor. Portions of the street wall, however, may be setback from the public right-of-way to accommodate key features such as a plaza or pedestrian seating area, as long as such features do not substantially interrupt the continuity of the street wall.
- At the boundary of the Creek Planning Area and Washington Planning Area, where mixed use and commercial buildings may be adjacent to existing single family homes, buildings over two (2) stories should be made less imposing by stepping back elevations above the second floor.

5.4.3 Building Placement

Building placement focuses on both the massing and location of structures on individual parcels. All development within the Specific Plan area shall use the following guidance related to building placement:

- Orient buildings towards public (and private) streets to positively define street edges. Align with primary street frontages and public spaces to frame the pedestrian environment. Buildings located adjacent to both public open space amenities, such as parks, and public streets should be designed with a dual orientation so that they can provide access and a public face to both the primary street frontage and to the public open space.

- Openings in the street wall should be restricted to only those needed to provide for pedestrian paseos, plazas, entry forecourts, and permitted vehicular access driveways.
- Main building entrances should be on the primary street frontage. Buildings located on corner lots should consider siting primary building entrances at the corner to establish an orientation to both the primary and secondary street frontages and symbolically acknowledge the importance of the intersection.

5.4.4 Building Articulation

The articulation of building facades is key to creating visual interest and maintaining an engaging pedestrian environment. All development within the Specific Plan area shall use the following guidance related to building articulation:

- Walls should have breaks, recesses, and offsets, especially at entries and important intersections.
- Long walls shall be made more attractive and visually interesting through the incorporation of surface articulation, pilasters, and view fencing, where appropriate.
- Arcades and gallery frontages should be consistent with the architectural style of the building.
- Architectural design elements shall be continued on all four sides of the building.

5.4.5 Building Material

All development within the Specific Plan area shall consider the following guidance related to building materials:

- Durable, high quality exterior building materials should be used to convey the sense of quality and permanence desired for the Specific Plan area, minimize maintenance concerns, and promote buildings that will last over time. The use of such materials is especially important at the street level, where they are more visible to the public.
- Building material and colors should be used to unify and provide visual interest to building exteriors, but the number of materials and colors generally should be limited to promote a visual simplicity and harmony.

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6.0 STREET, ALLEY & PASEO GUIDELINES



CONCEPTUAL ILLUSTRATION FOR DOWNTOWN MURRIETA

6.1 Introduction

The design of streets, alleys, and paseos (and public rights-of-way in general) shall unify development within Downtown Murrieta. This chapter sets forth design guidelines for the future configuration of streets, alleys, and paseos to support all modes of transportation in a manner that maintains the clear flow of pedestrian, bike, and vehicular movement as the Downtown grows. A special emphasis will be on pedestrian usage to support shopping and walking in Downtown's unique atmosphere.

The purpose of these guidelines is to establish basic concepts for improvements within the public rights-of-way. This chapter identifies overarching design principles as well as specific guidance for bike lanes, sidewalk improvements, parkways, median plantings, and other streetscape elements. This guidance set forth in this chapter should be used as a planning tool; final design plans, specifications, and construction documents will be developed following the approval of the Specific Plan.



6.2 Design Principles

The following principles provide the foundation for design guidance within the Specific Plan area for streets, alleys, and paseos (and public rights-of-way in general):

Design Principle #1: Promote a clear sense of arrival for Downtown Murrieta.

Streets should be designed to promote a positive experience of the area and provide an inviting atmosphere to shop and walk within Downtown. Design elements, such as gateways, entrance features, and distinct landscaping should also be used to help establish Downtown Murrieta as a unique destination.

Design Principle #2: Connect cultural, civic, and commercial amenities.

Downtown Murrieta has an abundance of cultural, civic, and commercial amenities, which includes Civic Center, Washington Avenue, the future 2nd Avenue/Pioneer Park, and Murrieta Creek. Connecting these amenities is seen as a key element to supporting Downtown Murrieta's unique identity. The circulation network should plan for B Street as an "Art Linkage" corridor that connects all of these amenities together while also integrating public art pieces that celebrate the City's heritage.

Design Principle #3: Provide a clear organization of streets.

The Downtown area is envisioned to accommodate a wide variety and mix of uses ranging between commercial, office, civic, and residential. In order to maintain a clear flow for bicycle, pedestrian, and vehicular movement, a clear hierarchy of streets should be established.

6.3 Streetscape Program

The envisioned circulation network is shown in Figures 6-1 and 6-2. General guidance and individual cross sections follow in Section 6.4. It should be noted that modifications to these cross sections may be necessary if future traffic engineering

studies determine specific roadway and intersection geometry need to be modified to safely accommodate intended users. The streetscape program consists of:

- Primary Streets
- Secondary Streets
- Alleys
- Paseos
- Gateways
- Street Furnishings
- Public Art

6.3.1 Primary Streets

Primary streets include portions of Washington Avenue, Ivy Street, Kalmia Street, B Street, Juniper Street, and Jefferson Avenue. These streets define and connect major destinations within the Downtown and outside to surrounding areas. Each street is envisioned to have a distinct scale and design features that reflects its unique role in Downtown. Washington Avenue and B Street, in particular, are envisioned to have a strong pedestrian orientation. The following characteristics and design features should be incorporated into the future design and configuration of these streets, if not already present:

Main Characteristics:

- Pedestrian-oriented activities
- Location for major destinations

Design Features:

- Potential for street closures
- Art within the public right-of-way
- Banners (Single or double)
- Benches
- Planters
- Trash receptacles
- Street trees, tree gates, and guards
- Pedestrian-scaled lighting
- Green infrastructure that improves storm water quality and drainage
- Mature trees that provide unique character definition
- Gateways
- Wayfinding Signage



FIGURE 6-1 DOWNTOWN MURRIETA CIRCULATION NETWORK

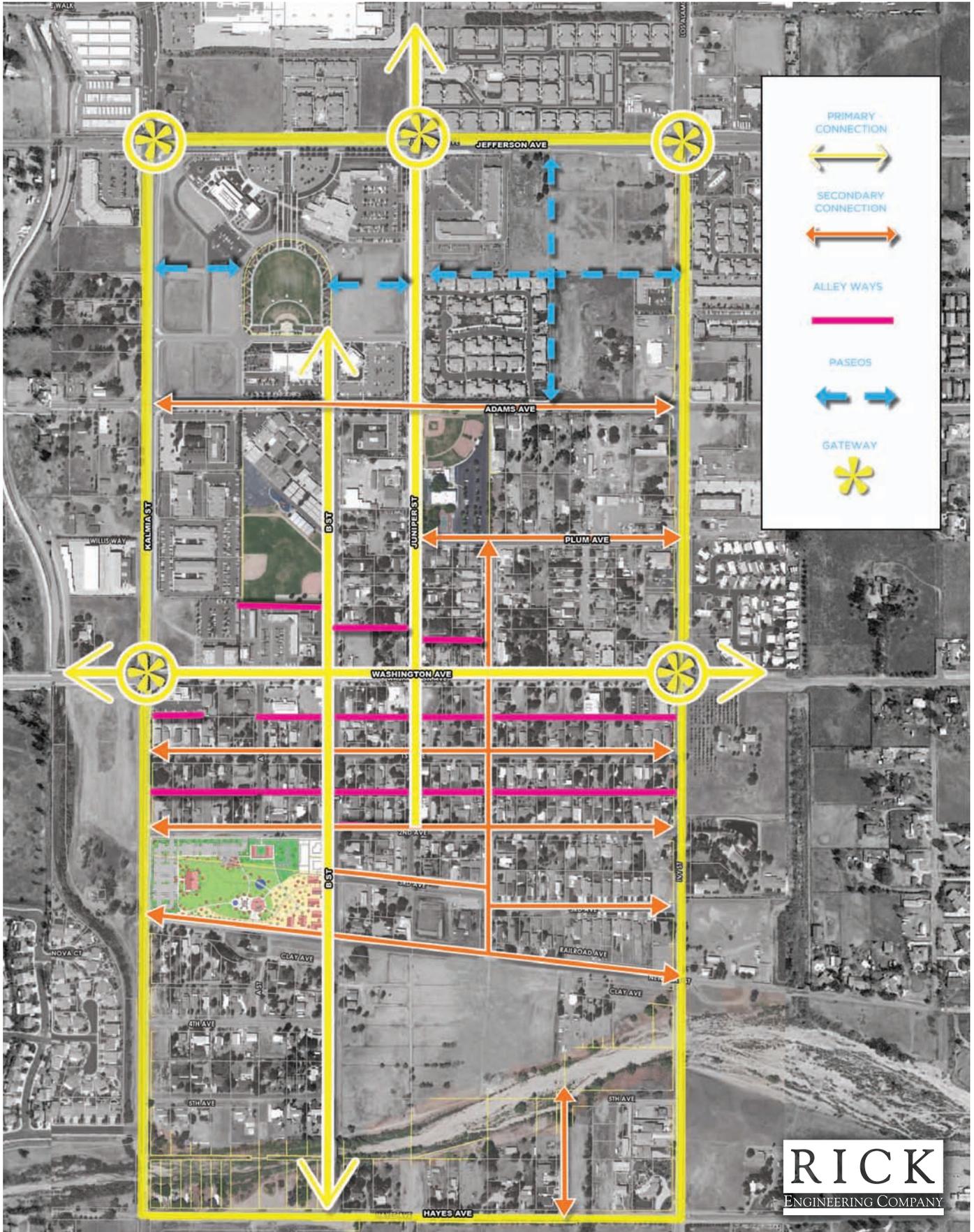
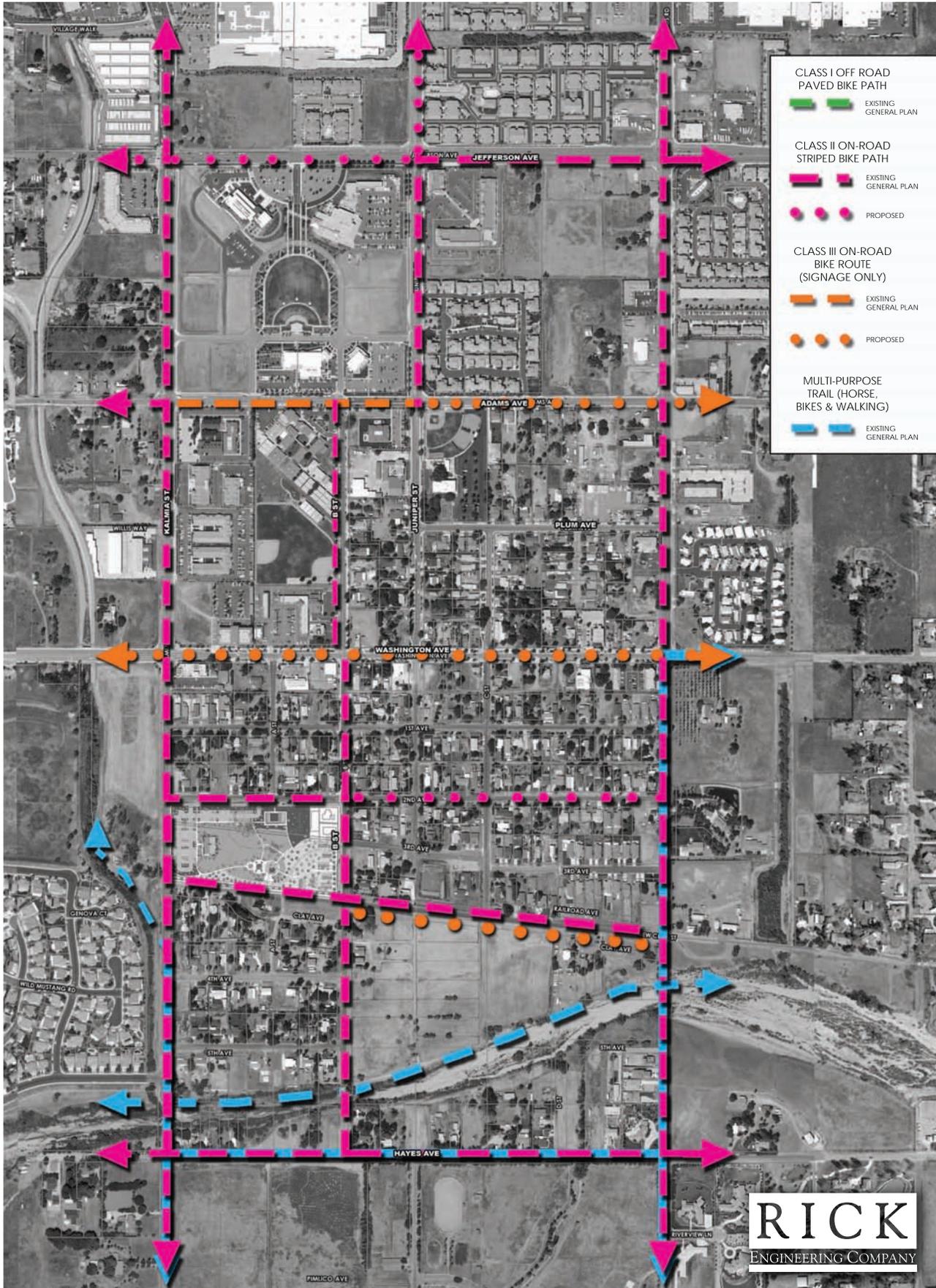




FIGURE 6-2 DOWNTOWN MURRIETA BIKE NETWORK



RICK
ENGINEERING COMPANY



B Street is the “Art Linkage” corridor that provides a seamless transition from the Civic Center Planning Area to Washington Avenue to Murrieta Creek that is safe for pedestrians and bicyclists. Sections of B Street can be used to reinforce the character of each associated planning area through the placement of streetscape elements, such as public art, signage, historic markers, and landscaping.

6.3.2 Secondary Streets

Secondary Streets include portions of Adams Avenue, Plum Avenue, 1st Avenue, 2nd Avenue, 3rd Avenue, New Clay Street, C Street, and D Street. The overall role for these streets is to reinforce the connectivity to and between destinations. Secondary streets should connect residential neighborhoods within the Creek and Jefferson and Juniper Planning Areas to other commercial, office, and civic uses within the Washington Avenue and Civic Center Planning Areas.

The following characteristics and design features should be incorporated into the future design and configuration and design of these streets, if not already present:

Main Characteristics:

- Connects destinations

Design Features:

- Benches
- Planters
- Trash receptacles
- Street trees
- Street lighting
- Green infrastructure that improves storm water quality and drainage



6.3.3 Alleys

An alley is a roadway, generally not more than thirty (30) feet wide, that provides access to the rear or side of parcels. Alleys often provide access to parking, loading docks, and refuse collection in commercial and residential areas. Along Washington Avenue, in particular, primary vehicular access for parking is encouraged via side streets and alleys to maintain the Washington Avenue's pedestrian orientation. Alleys, however, can also be designed to incorporate green infrastructure that improves stormwater drainage. Alleys should be designed to be safe and comfortable to walk, as well.

The characteristics and design features that follow should be incorporated into the future design and configuration of alleys, if not already present:

Main Characteristics:

- Located at the rear or side of parcels
- Provides access to parking, loading docks, and refuse collection in commercial and residential areas

Design Features:

- Adequate lighting for pedestrian safety and comfort
- Green infrastructure that improves storm water quality and drainage

Alleys provide service access for adjoining residential and retail uses. In addition, they create opportunities to incorporate green infrastructure and provide shortcuts to Downtown destinations.





6.3.4 Paseos

A series of pedestrian walkways, or paseos, are envisioned in the Civic Center and Jefferson and Juniper Planning Areas, as shown in Figure 6-3. These paseos are intended to maintain a walkable scale, break up large blocks, and encourage pedestrian activity in the Downtown. Paseos may incorporate pocket parks and other amenities, as well.

The following characteristics and design features should be incorporated into the future development of paseos:

Main Characteristics:

- Accommodates pedestrian travel

- Reduces long blocks
- Provides a clear width of 20' but may be larger in some areas

Design Features:

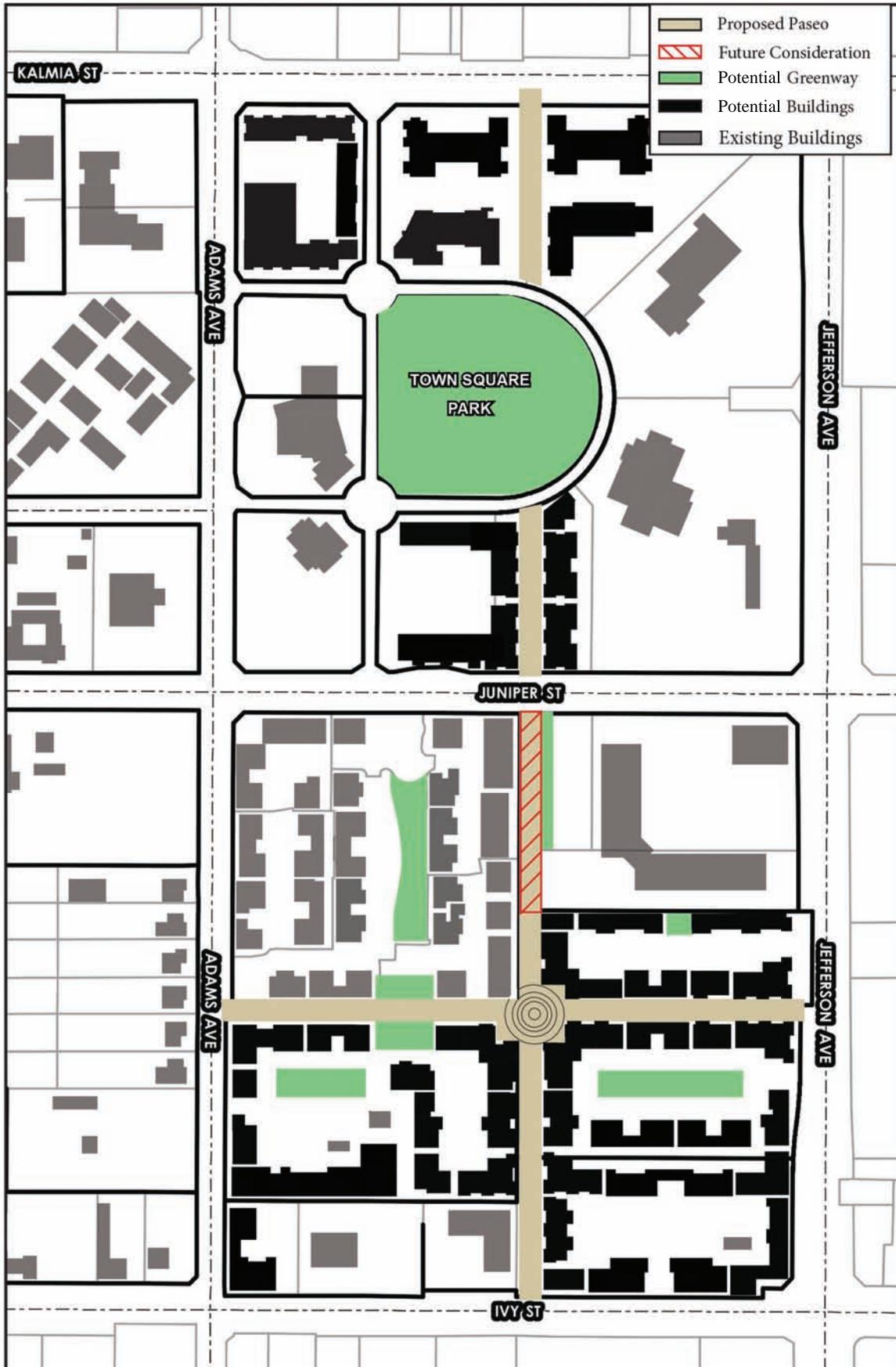
- Benches
- Planters
- Trash receptacles
- Street trees
- Public art
- Pocket parks
- Special, distinctive paving
- Decorative bollards and/or removable bollards
- Adequate lighting for pedestrian safety and comfort
- Green infrastructure that improves storm water quality and drainage

Paseos will form a network of pedestrian walkways that provide visually appealing open space for new development with an emphasis on activity and art.





FIGURE 6-3 DOWNTOWN MURRIETA PASEO NETWORK





CONCEPTUAL ILLUSTRATION FOR A GATEWAY ALONG WASHINGTON AVENUE.

6.3.5 Gateways

Gateways can make a statement, welcome visitors to an area, and mark the limits of Downtown Murrieta. Five gateway locations have been identified:

- Washington Avenue and Kalmia Street
- Washington Avenue and Ivy Street
- Jefferson Avenue and Kalmia Street
- Jefferson Avenue and Juniper Street
- Jefferson Avenue and Ivy Street

Gateways may vary in size and scale across locations; all, however, should seek to promote a sense of arrival and further establish Downtown Murrieta as a unique destination.

6.3.6 Street Furnishings

A single color, forest green, is recommended for all street furnishings, such as benches and trash receptacles, and hardware items within Downtown Murrieta to serve as a unifying element.

6.3.7 Public Art

The use of public art is encouraged within the public right-of-way to enhance the identity of Downtown Murrieta. Public art should be developed with the following guidance:

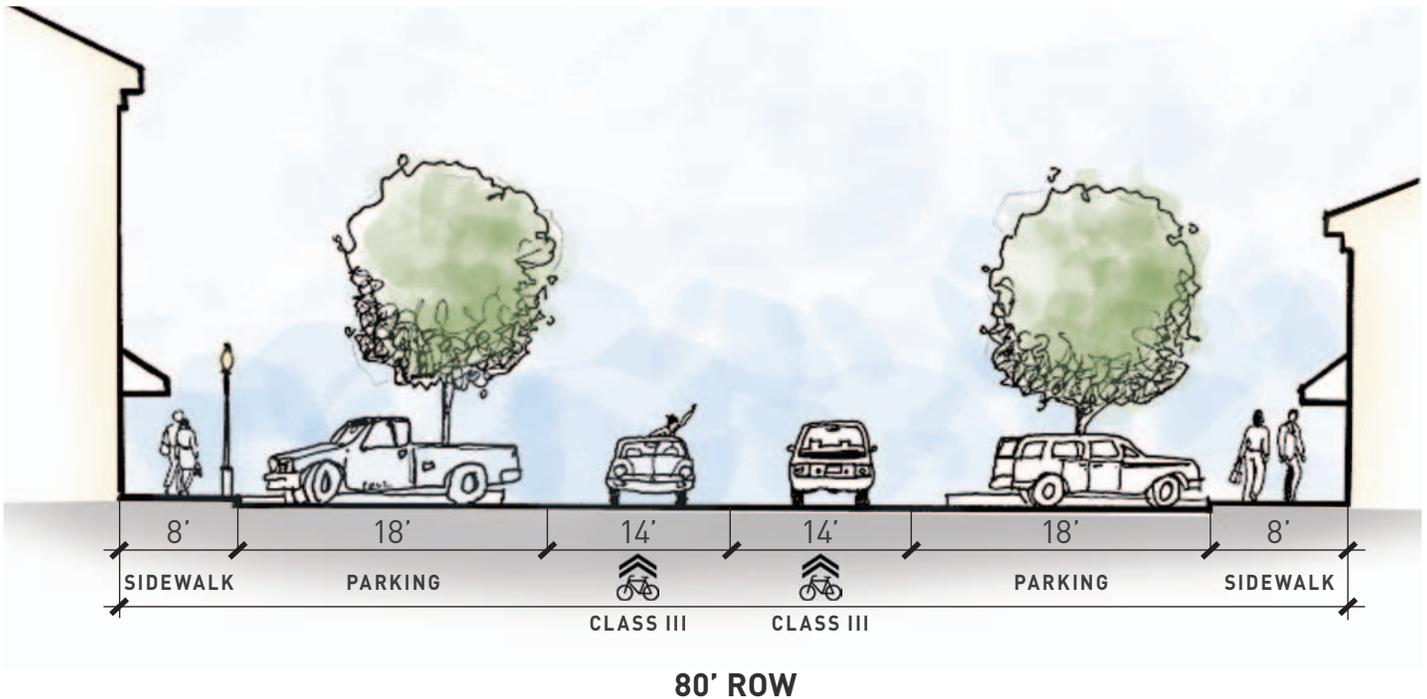
- Art within the public right-of-way should be placed on street corners or within medians whenever feasible.
- Local artists and themes should be highlighted to emphasize the cultural assets and history of Murrieta.
- Public art may consist of murals, sculptures, interpretive plaques, signage, and monumentation.

6.4 Street Cross Sections

General guidance and individual cross sections for specific streets follow. It should be noted that modifications to these cross sections may be necessary if future engineering studies determine that specific roadway and intersection geometry need to be modified to safely accommodate intended users.



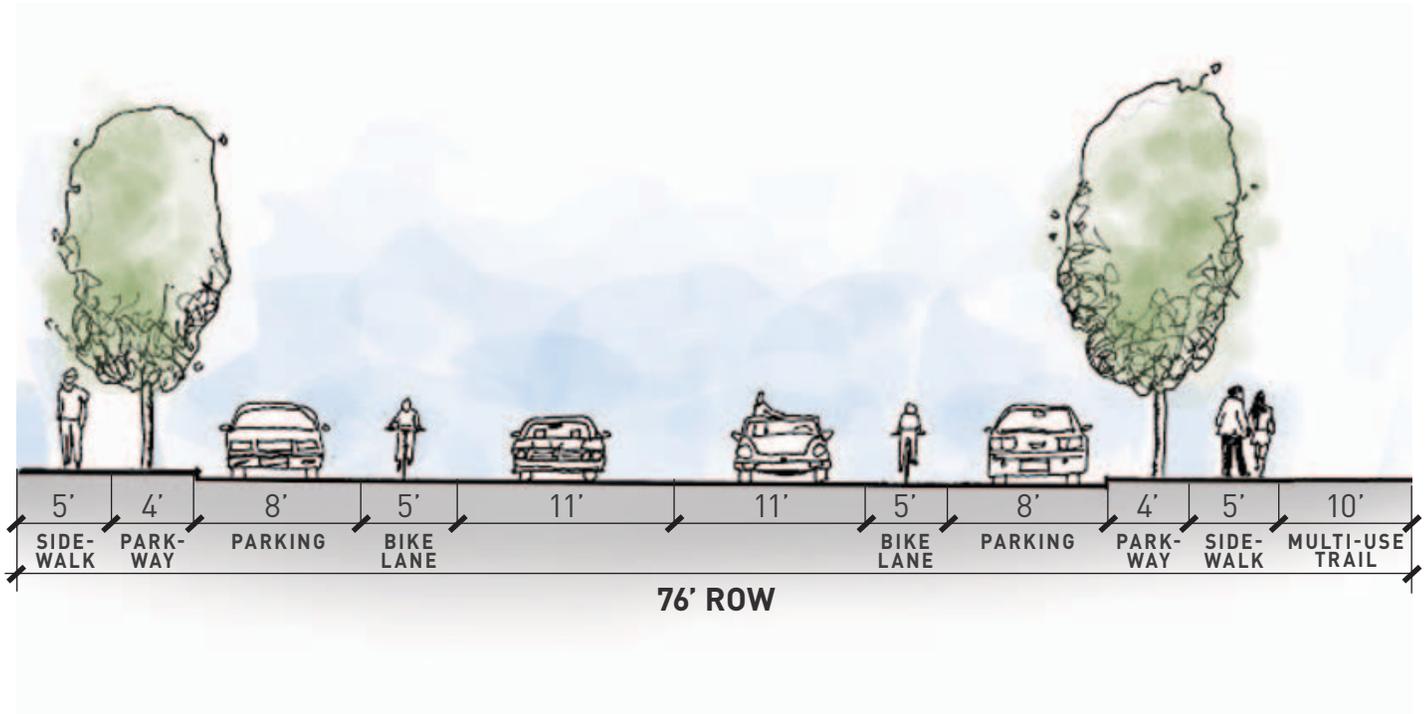
**WASHINGTON AVENUE – KALMIA STREET TO IVY STREET
C STREET – 2ND STREET TO WASHINGTON AVENUE**



STREETSCAPE PARAMETERS	
Number of Travel Lanes	2
On-Street Parking	Yes – angled parking
Median	No
Bike Facility	Class III
Sidewalk Location / Width	8' wide
Tree Species	See Development Code 16.28
Crosswalk Paving	Custom



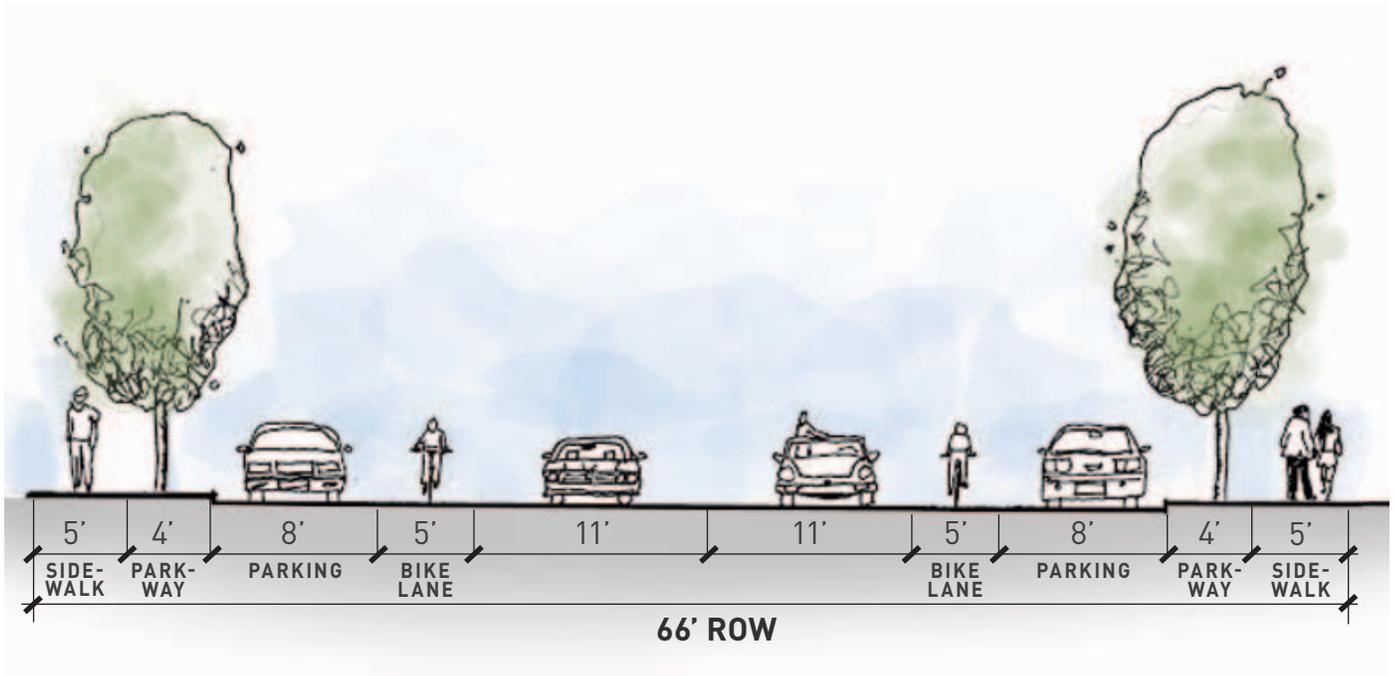
KALMIA STREET - HAYES STREET TO NEW CLAY STREET



STREETSCAPE PARAMETERS	
Number of Travel Lanes	2
On-Street Parking	Yes
Median	No
Bike Facility	Class II
Sidewalk Location/Width	5' wide with 4' parkway
Tree Species	See Development Code 16.28
Multi-Use Trail	10'



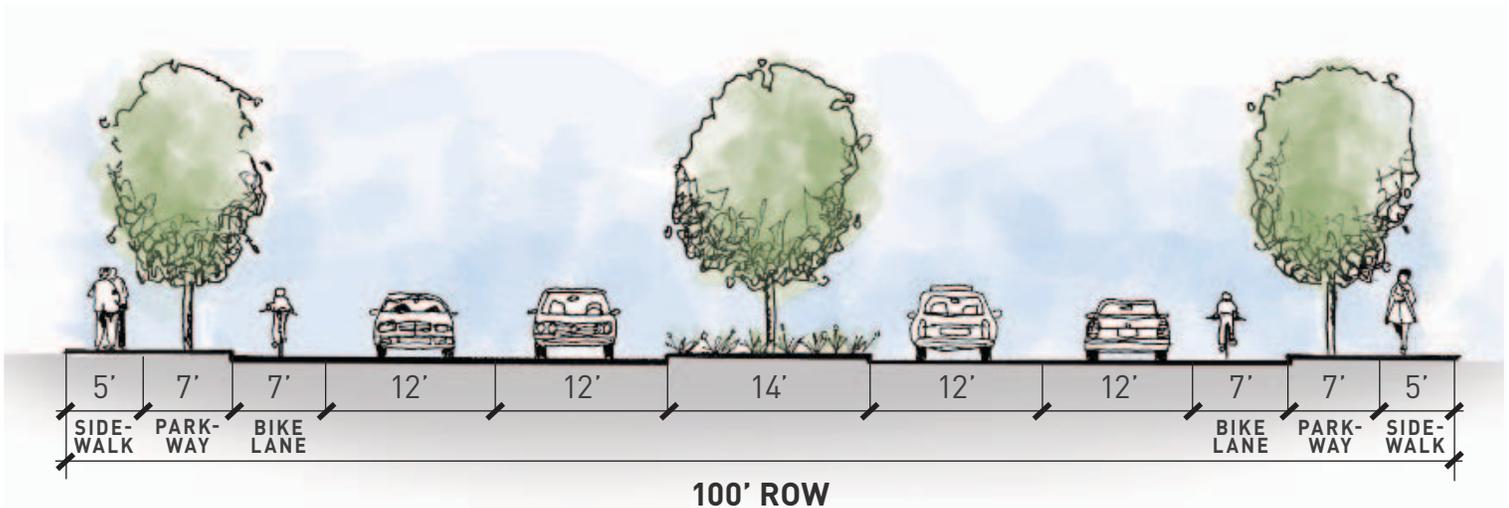
KALMIA STREET – NEW CLAY STREET TO WASHINGTON AVENUE



STREETSCAPE PARAMETERS	
Number of Travel Lanes	2
On-Street Parking	Yes
Median	No
Bike Facility	Class II
Sidewalk Location / Width	5' wide with 4' parkway
Tree Species	See Development Code 16.28
Crosswalk Paving	Custom



KALMIA STREET – WASHINGTON AVENUE TO JEFFERSON AVENUE

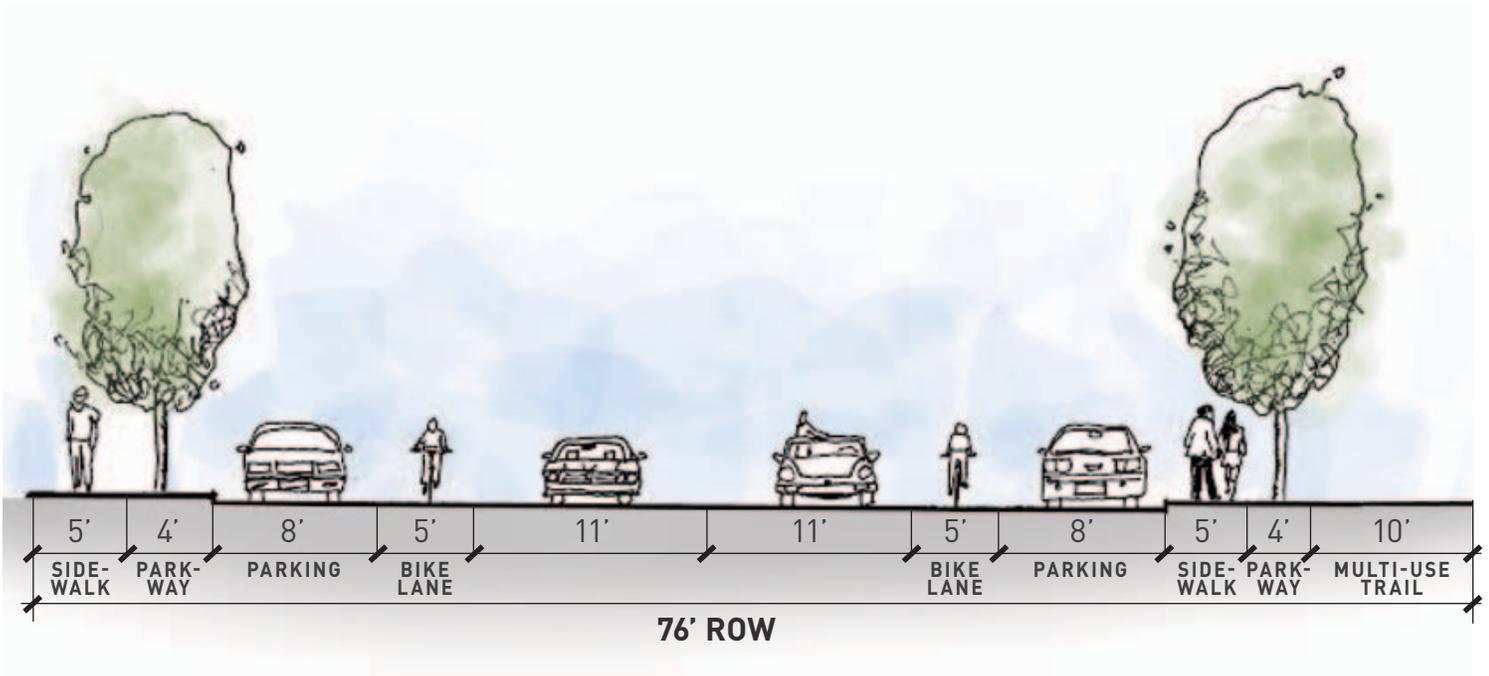


STREETSCAPE PARAMETERS

Number of Travel Lanes	4
On-Street Parking	No
Median	Yes – 14' planted
Bike Facility	Class II
Sidewalk Location / Width	5' wide with 7' parkway
Tree Species	See Development Code 16.28



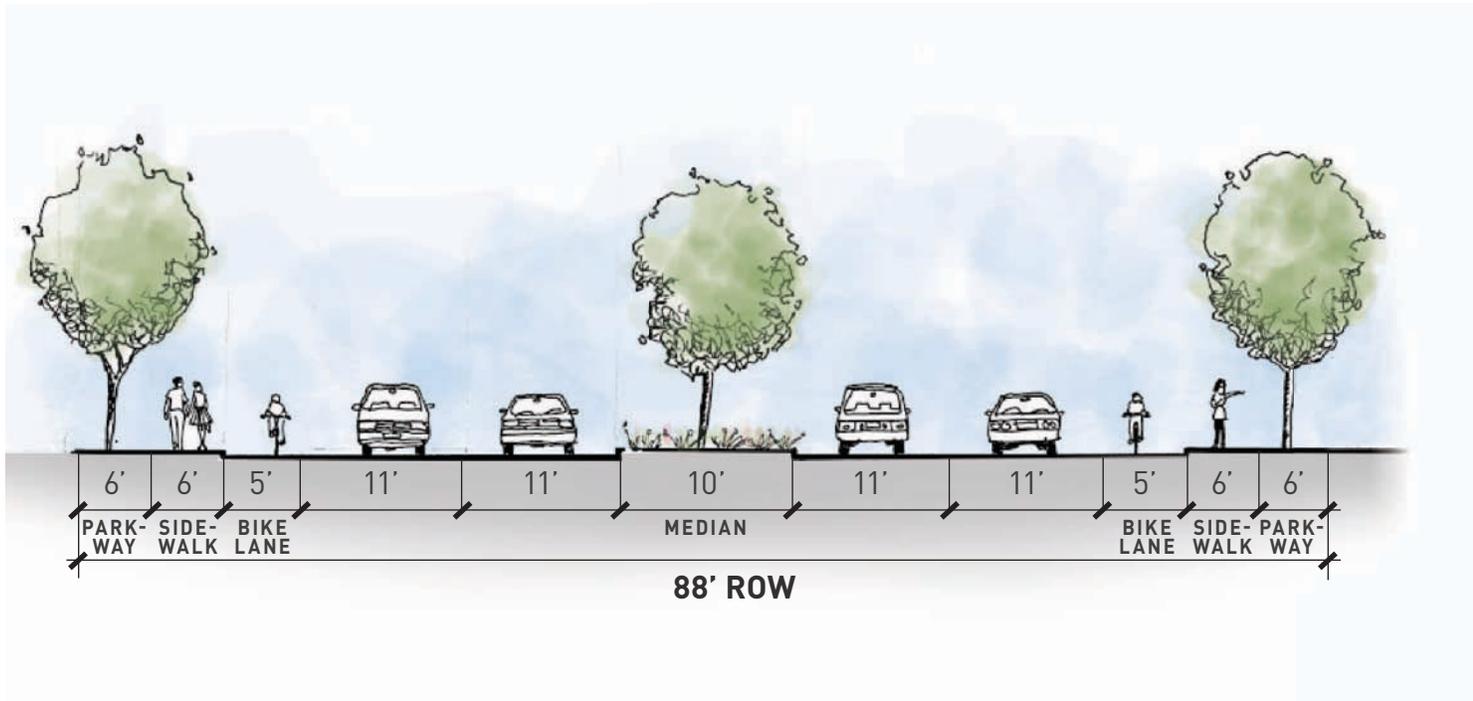
IVY STREET - HAYES STREET TO WASHINGTON AVENUE



STREETSCAPE PARAMETERS	
Number of Travel Lanes	2
On-Street Parking	Yes
Median	No
Bike Facility	Class II
Sidewalk Location / Width	5' wide with 4' parkway
Tree Species	See Development Code 16.28
Crosswalk Paving	Custom
Multi-Use Trail	10'



IVY STREET - WASHINGTON AVENUE TO JEFFERSON AVENUE

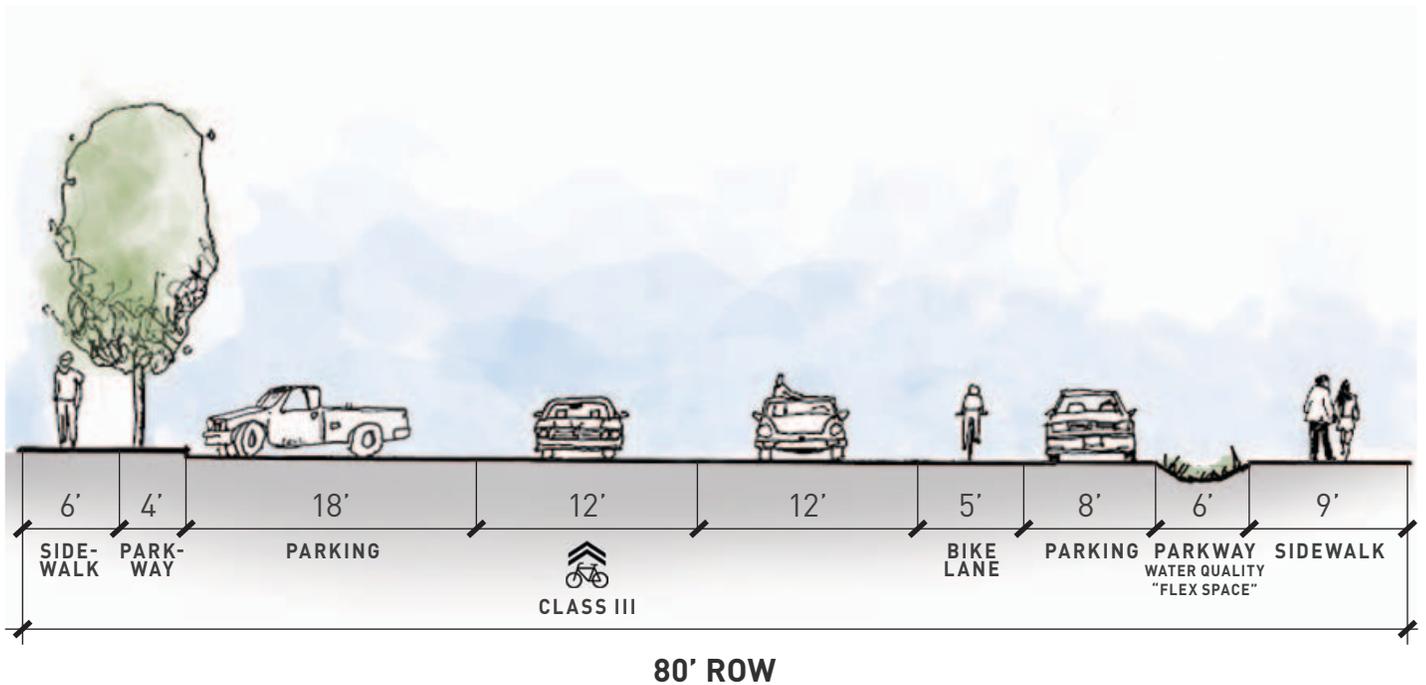


STREETSCAPE PARAMETERS

Number of Travel Lanes	4
On-Street Parking	No
Median	Yes – 10' planted
Bike Lane	Class II
Sidewalk Location/Width	6' wide with 6' parkway
Tree Species	See Development Code 16.28



B STREET – HAYES STREET TO WASHINGTON AVENUE

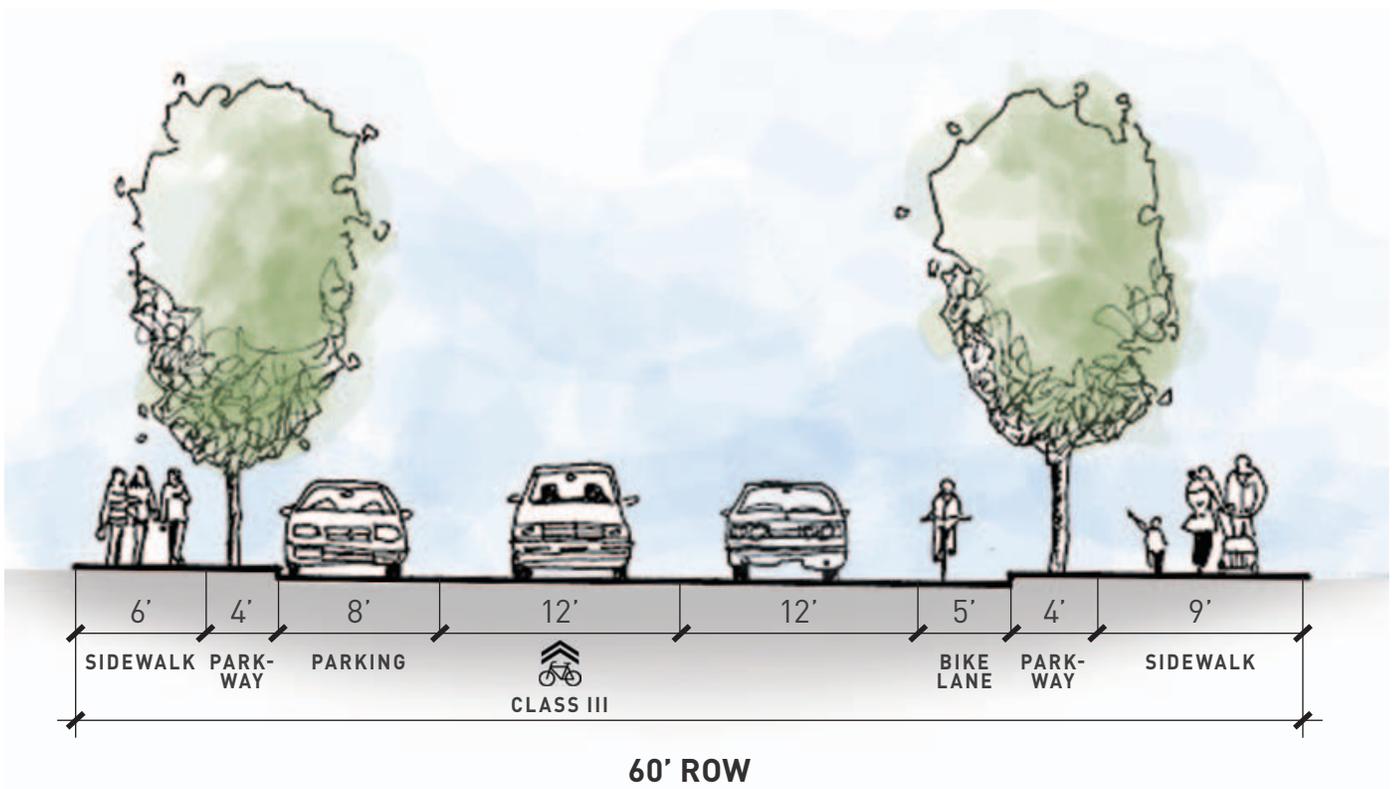


STREETSCAPE PARAMETERS

Number of Travel Lanes	2
On-Street Parking	Yes
Median	No
Bike Facility	Class II & III
Sidewalk Location/Width	6' wide one side, 9' wide other side, and parkway both sides
Tree Species	See Development Code 16.28



B STREET – WASHINGTON AVENUE TO ADAMS AVENUE

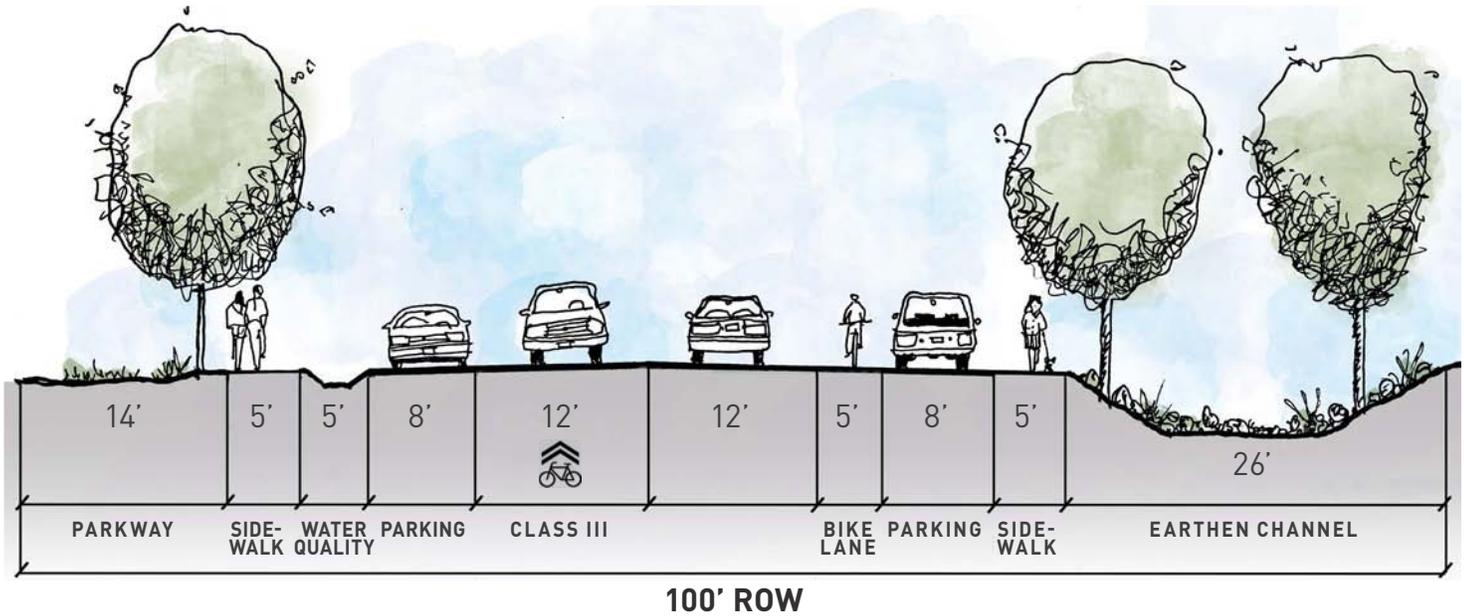


STREETSCAPE PARAMETERS

Number of Travel Lanes	2
On-Street Parking	Yes
Median	No
Bike Facility	Class II & III
Sidewalk Location/Width	6' wide one side, 9' wide other side, and 4' parkway both sides
Tree Species	See Development Code 16.28



NEW CLAY STREET – KALMIA STREET TO IVY STREET

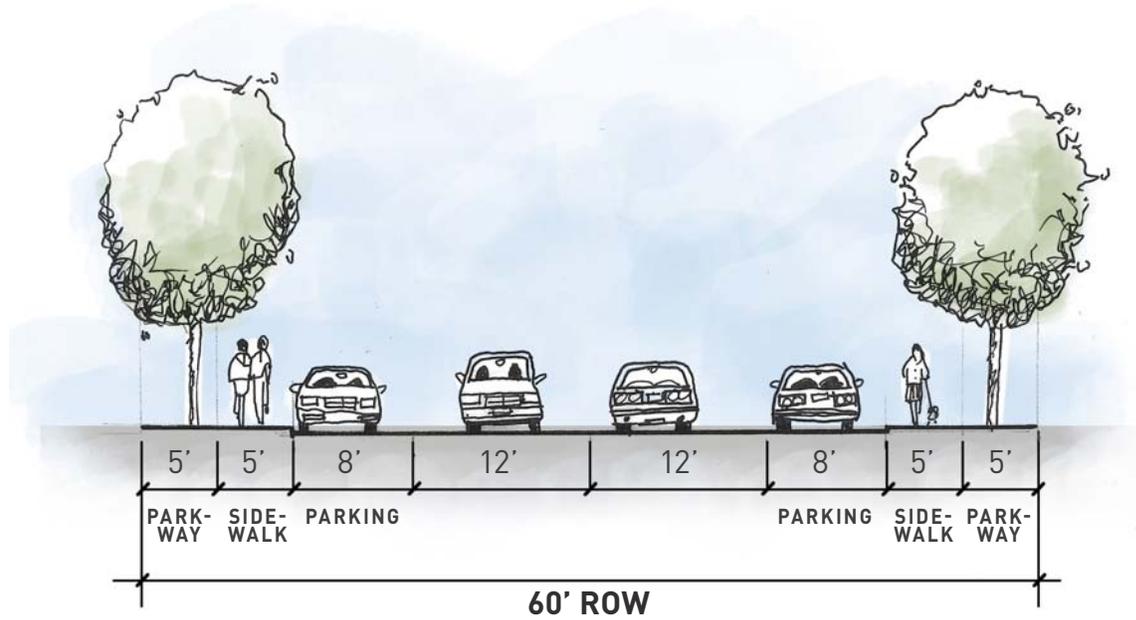


STREETSCAPE PARAMETERS

Number of Travel Lanes	2
On-Street Parking	Yes
Median	No
Bike Facility	Class II & III
Sidewalk Location/Width	5' wide with 14' parkway one side
Tree Species	See Development Code 16.28
Water Quality Basin	5'
Earthen Channel	26'



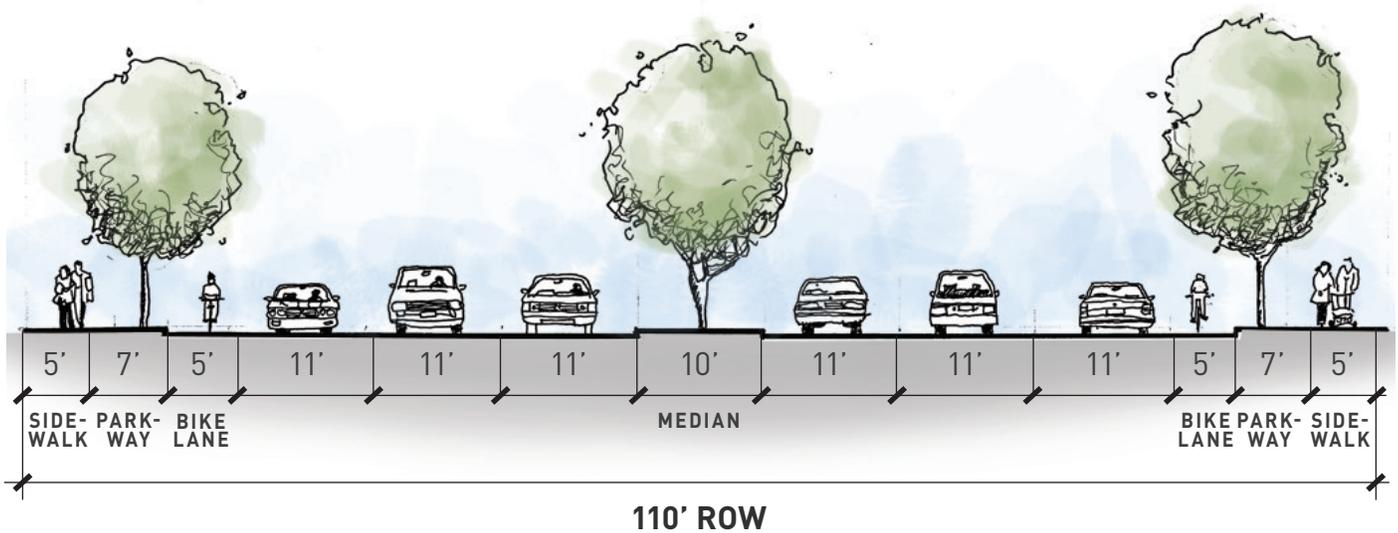
C STREET – 2ND STREET TO NEW CLAY STREET



STREETSCAPE PARAMETERS	
Number of Travel Lanes	2
On-Street Parking	Yes
Median	No
Bike Facility	No
Sidewalk Location/Width	5' wide with 5' parkway
Tree Species	See Development Code 16.28



JEFFERSON AVENUE – KALMIA STREET TO IVY STREET



STREETSCAPE PARAMETERS	
Number of Travel Lanes	6
On-Street Parking	No
Median	Yes – 10' Planted
Bike Facility	Class II
Sidewalk Location/Width	5' wide with 7' parkway
Tree Species	See Development Code 16.28



7.0 IMPLEMENTATION STRATEGY



CONCEPTUAL ILLUSTRATION FOR DOWNTOWN MURRIETA

7.1 Introduction

This chapter provides an overview of the approaches necessary to implement the Downtown Murrieta Specific Plan. Implementation strategies establish a necessary link between the “vision” for Downtown and the resources available to achieve that vision. Implementation requires a coordinated program of public and private action. The City of Murrieta’s policy initiatives, regulatory controls, administrative programs, and capital investment in the area lay a foundation for future private sector investment on the part of property owners, business enterprise, and other area stakeholders. This chapter consists of two major sections:

- **Specific Plan Administration:** Outlines the administrative procedures that are necessary to implement the Specific Plan.
- **Recommended Programs and Public Improvements:** Identifies the physical and programmatic improvements that are recommended in order to carry out the goals of the Specific Plan.

7.2 Specific Plan Administration

This section describes the procedures required for the timely implementation of development within the Specific Plan area.

Upon adoption of the Downtown Murrieta Specific Plan, all land use regulations, development standards, and design guidelines of this Specific Plan shall supersede those of the Development Code.



All regular provisions of the Development Code not amended by this Specific Plan shall apply, including, but not limited to, use permits, variance, public notice and hearing, and appeals provisions.

Conflict with Other Regulations

Whenever the provisions of this Specific Plan impose more restrictive regulations upon development, or on the use of lands, or require larger open spaces, yards or setbacks, or otherwise establish more restrictive regulations than are imposed or required by the Development Code, the provisions of this Specific Plan shall govern.

Clarification of Ambiguity

If ambiguity arises concerning the appropriate classification of a particular use within the meaning and intent of this Specific Plan, or if ambiguity exists with respect to matters of height, yard requirements, area requirements, or land use and zoning boundaries as established herein, the remedies provided in the Development Code for interpretations shall govern.

Statutory Authority In Case of Conflicting Provisions

Nothing in this Specific Plan shall be deemed to affect, annul or abrogate any ordinances pertaining or applicable to the properties and areas affected by this Specific Plan. In the event that a conflict does arise, the more restrictive requirements shall control.

Findings Regarding the Specific Plan

No division of land, use permit, site plan approval or other entitlement for use, and no public improvement shall be authorized in the Specific Plan area unless a finding has been made that the proposed project is in substantial compliance with the requirements of the Specific Plan. Approval of final development plans and use permits shall be contingent upon a determination of substantial compliance with the applicable provisions of this Specific Plan, applicable provisions of the Development Code, and the City of Murrieta General Plan.

Development Plan Approval

To ensure compliance with all applicable requirements of this Specific Plan, all development projects (unless specifically exempt) shall be subject to Development Plan Approval by the Director.

Administrative Modifications

Administrative modifications to the development standards of this Specific Plan may be approved, or conditionally approved, by the Director upon demonstration that the proposed adjustment would enhance the overall appearance and function of the project; would be compatible with, and would not be detrimental to, adjacent property or improvements; and would advance the goals of the Specific Plan.

Amendments to the Specific Plan

This Specific Plan, or any part thereof, may be amended or replaced by the same procedure as the Plan was adopted.

Specific Plan Review/Update

The Specific Plan should be the subject of an administrative staff review by the City every five years. The first review should occur five years from the date of Plan adoption and should occur at intervals of five years thereafter.

Enforcement and Penalties

Any person who violates a requirement of this Specific Plan or fails to obey an order issued by the City or comply with a condition of approval of any certificate or permit issued under this Specific Plan shall be subject to the penalty provisions as provided in the City of Murrieta Municipal Code.

7.3 Recommended Programs and Public Improvements

In order to achieve the overall vision and individual goals of this Specific Plan, a variety of publicly initiated programs and physical improvements have been identified. This section describes each recommended program/improvement and identifies a series of funding mechanisms.

The overall successful economic revitalization of Downtown Murrieta is predicated on the following three strategies:

1. Strengthen the identity of the area as a unique destination



2. Create unique Planning Areas that provide a balanced mix of office, commercial and retail, and residential uses that support the vibrancy of Downtown
3. Broaden development opportunities and provide a wide variety of incentives

The economic revitalization strategy has a number of interrelated components, described as follows.

7.3.1 Economic Development Programs

Development Incentives and Fee Reductions

To stimulate private development within the Specific Plan area, incentives and fee reductions can increase the attractiveness of private investment within Downtown. A number of possible incentive and fee reduction measures have been identified as follows.

- Allow ministerial approval of additional building height for lot consolidation and/or the provision of public benefits.
- Reduce City fees for development within the Specific Plan area for Planning, Building, and Engineering. Review whether such fees could be collected by acre instead of dwelling unit. City Council to establish the fee amounts.
- Provide a reduction in Development Impact Fees (DIF) where a new development project includes amenity enhancements beyond those required by the code.
- Coordinate with Western Municipal Water District (WMWD) to explore the possibility of lower sewer and water connection fees for projects that build to the desired density/intensity and to establish a revolving fund for sewer connections for new restaurants.
- Work with Western Riverside Council of Governments (WRCOG) to potentially offer reduced TUMF fees based on the higher percentage of internal capture of vehicle trips or VMT.
- New development shall pay a portion of the cost for utility undergrounding adjacent to their project through an in-lieu fee. City to pay the remaining cost as a part of a CIP project. City Council to establish the amount of the in-lieu fee.
- Establish an in-lieu fee for commercial and office parking in the Mixed Use area. The in-lieu fee shall pay for a portion of the cost of community parking lots/structures. City to pay the remaining cost as a part of a CIP project. City Council to establish the amount of the in-lieu fee.
- City to provide offsite detention basin(s) for use by private development projects to help satisfy hydromodification and water quality requirements.
- Form an Infrastructure Financing District.
- Prioritize entitlement approvals within the Specific Plan area to expedite development.
- Approve entitlements administratively to the extent feasible.
- Consider allowing tandem off-street parking in Multi Family and Mixed Use areas, and for certain adaptive reuse of existing structures. Tandem parking shall not be shared between units.

Promotion and Marketing Organization

To differentiate Downtown Murrieta as unique destination within the region, support the formation and continuance of an organization, such as a business improvement district (BID) and/or main street organization, dedicated to branding and marketing the Downtown. This organization should work with other key groups, such as the Chamber of Commerce and merchants within the Specific Plan area, to coordinate revitalization efforts. The City can apply for official recognition for Washington Avenue as a “Main Street” community from the National Main Street Center.

State Mills Act Contracts

As a preservation incentive, historic property agreements offer advantages to both the City and the property owner. These agreements, commonly referred to as “Mills Act” contracts, provide for property tax relief for owners of qualified historic properties who agree to comply with certain preservation criteria.



The use of Mills Act contracts (Government Code Sections 50280 through 50289) gives the City the flexibility to deal with historic structures on a case by case basis. The City has the options to choose which properties are suitable for the incentive by evaluating various factors, such as the significance of the building to the community, development pressure on the site, or the need for rehabilitation. The contracts can be used both as a tool to preserve an individual building and as part of the broader Specific Plan implementation strategy.

For owners of historic properties, Mills Act contracts offer several distinct advantages. Participation on the part of the owner is completely voluntary. In addition, a Mills Act contract is one of the few incentives available to residential properties. Another important benefit of this incentive is that, since historic properties continue to be protected by the contract when the property is sold, the reduced property tax valuation is passed on to the new owner.

7.3.2 Potential Funding Mechanisms

Financing Tools

Business Improvement District (BID). A BID is a public/private partnership created to perform marketing, provide a variety of enhanced services, and complete minor capital improvements in order to improve commercial neighborhoods. The BID allows the governing body (City Council) to levy an additional tax on property owners or businesses within a designated area and to utilize the revenues for improvements and programs, subject to a majority vote of the property owners or business owners, within the proposed district. Establishing a BID is voluntary. A BID can perform a variety of activities including, but not limited to:

- **Improvements**, such as the acquisition, construction, installation, or maintenance of any tangible property with an estimated useful life of five years or more, including, but not limited to: parking facilities, benches, trash receptacles, street lighting, decorations, parks, and fountains.

- **Activities**, including, but not limited to, the following:
 - Promotion of public events which benefit businesses in the area and which take place on or in public places within the area
 - Activities which benefit businesses located and operating in the area

Enhanced Infrastructure Financing District (EIFD). An EIFD is created and used to finance the construction or rehabilitation of public infrastructure and private facilities. An EIFD may fund these facilities with the property tax increment of taxing agencies (such as cities, counties, special districts, but not schools) that consent. An EIFD is overseen by a Public Financing Authority (PFA) that is comprised of members of the legislative body(s) of the participating affected taxing entity plus two members of the public.

Mello-Roos Community Facility District (CFD). A CFD is assessment district that provides financing for local public facilities and services, such as street improvements, water infrastructure, wastewater infrastructure, drainage, electricity, schools, parks, and police protection. Two-thirds voter approval is required to establish a CFD.

Landscaping and Lighting Districts (LLD). LLDs may be used for installation, maintenance and servicing of landscaping and lighting, through annual assessments on benefiting properties. LLD's also may provide for construction and maintenance of appurtenant features, including curbs, gutters, walls, sidewalks or paving, and irrigation or drainage facilities. They also may be used to fund and maintain parks above normal park standards as maintained through general fund revenues.

Funding Sources

California Infrastructure and Economic Development Bank (IBANK). IBANK (established in 1994) provides financing for public infrastructure and economic development projects. This entity has broad authority to issue tax-exempt and taxable revenue bonds, provide financing to public agencies, provide credit enhancements, acquire or lease facilities, and leverage State and Federal funds. In addition, IBANK provides programs such as the



Small Business Loan Guarantee Program (SBLGP), which provides repayment guarantees to lenders of loans to small businesses having difficulty finding financing on their own, and the California Lending for Energy and Environmental Needs (CLEEN) Center, which provides low-cost financing to State and local governments for approved energy efficient projects.

Community Development Block Grant (CDBG) Funds. The federal government provides limited funding for local community development programs under the CDBG program. Funds have historically been made available for housing and business improvement and revitalization, job training and economic development. The emphasis for targeting of CDBG funds is towards benefiting groups and individuals of low and moderate income.

Subject to the availability of funds, CDBG could be utilized to develop minor public improvements (i.e., curbs, gutters, sidewalks) to rehabilitate housing, and to make cosmetic improvements to business facades in low income area. CDBG funds will not provide a significant basis for implementing the Plan's objectives, but can combine with other measures of the overall program.

Pursue Regional, State and Federal Funding Sources. A key action would be to identify, monitor, and apply for other governmental funding sources that meet the City's goals and objectives for the Downtown area. This might include state programs, such as:

- The Affordable Housing and Sustainable Communities (AHSC) Program administered by the Strategic Growth Council. The ASHC is intended to "reduce greenhouse gas emissions through projects that implement land use, housing, transportation, and agricultural land preservation practices to support infill and compact development."
- Active Transportation Program (ATP) administered by the California Transportation Commission and Caltrans. The ATP is intended to increase the proportion of trips accomplished by biking and walking.
- California Urban Rivers Grant Program administered by the California Natural

Resources Agency. The program is intended to fund "green infrastructure that conserves water, buffers climate change impacts, improves water quality, water supply, public health, reduces greenhouse gas emissions, and energy demand, restores, and protects rivers, creeks and streams including the acquisition of resource lands."

A number of regional funding sources include:

- The Sustainability Grant Program administered by the Southern California Association of Governments (SCAG). This program is intended to fund active transportation, integrated land use (such as sustainable land use and transit-oriented development projects), and green region initiatives (such as green street plans).
- Multi-funding Call for Projects administered by the Riverside County Transportation Commission (RCTC). RCTC oversees the allocation of Congestion Management and Air Quality (CMAQ), Surface Transportation Program (STP), and Measure A Regional Arterial (MARA) funds, for regionally significant transportation projects that implement the
- BEYOND Framework Program administered by the Western Riverside Council of Governments (WRCOG). This program provides funding for member agencies to develop and implement plans and programs that address critical growth issues, such as economic development, water, education, environment, energy, health, and transportation.

7.3.3 Public Improvement Programs

This category of programs includes physical improvements within the public right-of-way (e.g., streets, landscaping, lights, water/sewer, etc.). The infrastructure and traffic evaluation prepared as part of this Specific Plan reviewed the impact of full development buildout upon Downtown Murrieta's water, wastewater/sewer, drainage and circulation systems. Based upon the proposed buildout scenario, a number of infrastructure and circulation improvements will be required. Also, a comprehensive streetscape program has been prepared as part of this Specific Plan. These are discussed below.



Sewer/Water

The Western Municipal Water District (WMWD) is the governing agency responsible for water/sewer facilities in the Specific Plan area.

The Murrieta Sewer Master Plan (completed in 2014) serves as the sewer infrastructure guidance document for the WMWD, and provides an overview of the system, including system deficiencies and potential system upgrades. The Sewer Master Plan plans for growth in accordance with the General Plan, which is consistent with the Specific Plan. Future development should be consistent with the Sewer Master Plan.

The Murrieta Division Water Master Plan (completed in 2014) serves as the water infrastructure guidance document for the WMWD, and provides an overview of the system, including system deficiencies and potential system upgrades. The Water Master Plan plans for growth in accordance with the General Plan, which is consistent with the Specific Plan. Future development should be consistent with the Water Master Plan.

In general, the basic sewer and water infrastructure within the Specific Plan area is capable of accommodating additional growth. However, as new development occurs, it may be necessary to upsize a portion of sewer Pipeline Reach D along Ivy Street.

In addition, many of the connection lines which provide direct service to existing buildings are old, and likely will require replacement in connection with site specific renovation and/or expansion projects.

Also, initial connection fees to the sewer and water system may be costly for private development. The City should explore the possibility of amortizing connection fees with WMWD to reduce up front connection costs for development.

Storm Drainage

At present, the one of the largest issues impacting future development in Downtown Murrieta is storm water drainage. The Riverside County Flood Control District has prepared Drainage Plans for Murrieta Creek and the Murrieta Creek Area; it is recommended, however, that these plans be updated.

The Specific Plan does incorporate sustainable design strategies to implement in association with road improvements. The Specific Plan also plans for a linear park along Murrieta Creek, which is consistent with the Murrieta Creek Flood Control Environmental Restoration and Recreation Project.

The City should also consider providing offsite detention basin(s) for use by private development projects to help satisfy hydromodification and water quality requirements.

Dry Utilities and Undergrounding

Basic system capacities for dry utilities such as electricity, gas, telephone and cable television are adequate to accommodate additional growth. Further, extending such services to new development are relatively easy, and can be accommodated from existing trunk service lines. Typically such service extensions are borne by the end users as part of new service connection fees.

One important consideration for new lines services such as telephone, cable televisions, and electricity is undergrounding of the trunk connector service lines. Eventually, all overhead service lines should be undergrounded. It is also recommended that the City should explore opportunities to partner with residents and commercial land uses and private development to jointly fund the undergrounding of utilities. A partial in-lieu fee for undergrounding overhead utilities, to be established by the City Council, could be implemented; the City could then provide gap funding for the remaining cost of undergrounding.



Circulation Network and Streetscape Program

The proposed Circulation Network and associated street cross sections are presented in Chapter 6.0: Street, Alley, and Paseo Design Guidelines.

The proposed Streetscape Program is also presented in Chapter 6.0: Street, Alley, and Paseo Design Guidelines. The program's basic components include general guidance for:

- Primary Streets
- Secondary Streets
- Alleys
- Paseos
- Gateways
- Street Furnishings
- Public Art

The implementation of the desired Circulation Network and Streetscape Program should be the responsibility of the City with some funds or improvements coming from developers of properties as a condition of project approval. The City may fund the initial installation of all streetscape elements; however, as new development occurs, the City would require reimbursement for certain installed improvements which directly benefit the adjacent property (e.g., sidewalks, curb/ gutter, lighting, street trees).

An alternative to the above approach could be the formation of a special assessment district, such as those described in Section 7.3.2: Potential Funding Mechanisms, to help pay for the desired improvements. This approach would require all property or business owners within the assessment district to pay their fair share of the improvements. The City could assume a portion of the costs to lessen the burden on property or business owners, especially the initial cost of establishing the assessment district.

Parking

At or near build out, the Specific Plan anticipates the development of public parking facilities within the Washington Avenue and Civic Center Planning Areas to serve the Mixed Use (MU) and Civic/Institutional (C/I) zones, respectively. Two public parking garages are recommended that can cumulatively accommodate 475 to 575 parking spaces. As described in Section 4.10.4.3: In-lieu Parking Fees, an in-lieu parking fee established by City Council can be used to help fund the development of such facilities.