

# CREEKSIDE VILLAGE

## SPECIFIC PLAN

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MURRIETA  
CALIFORNIA

August, 2003

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# Creekside Village Specific Plan

Murrieta, CA

August, 2003



**PDS WEST**  
Land Planners  
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# 1.0 PLAN OVERVIEW

## 1.1 INTRODUCTION

The Creekside Village Specific Plan has been prepared to assist the City of Murrieta in the implementation of a master plan consistent with all regulatory standards in accordance with the Murrieta General Plan. The Creekside Village Specific Plan provides a detailed description of proposed land uses and infrastructure requirements. Design guidelines have been prepared to assist in creating a community character in keeping with the surrounding community. Development regulations provide criteria for development within Creekside Village.

## 1.2 PURPOSE

The purpose of the Specific Plan is to meet the requirements of the City of Murrieta General Plan. The Specific Plan is intended to serve the following purposes:

- A. Promote high quality development consistent with the goals of the City of Murrieta General Plan.
- B. Provide for comprehensive planning which assures the orderly development of the site in relation to the surrounding community.
- C. Assure appropriate phasing and financing for community facilities including circulation improvements, domestic water, urban runoff and flood control facilities, sewage disposal facilities, and the neighborhood park.
- D. Conserve and enhance Warm Springs Creek and provide on-site amenities where appropriate.

The Specific Plan document for Creekside Village has been written consistent with the framework established by the State of California Government Code as specified in Article 8, Section 65450 et. Seq.

## 1.3 GENERAL PLAN CONSISTENCY

The City of Murrieta General Plan was adopted in June 1994 and had a major amendment in 1999. The Creekside Village Specific Plan will require a General Plan Amendment to make its new designation as a Specific Plan Area consistent with the General Plan. At that point it will serve to implement the framework for development contained in the General Plan relevant to the Creekside Village area. The General Plan contains the City's long-term vision and goals for the Creekside Village area, as well as the parameters for residential development. The Creekside Village Specific Plan will further the objectives and policies contained in the General Plan.

### 1.3.1 General Plan Consistency

The General Plan is organized into eight elements: Land Use, Housing, Circulation, Conservation and Open Space, Safety, Noise, Air Quality, and Economic Development. While each element of the General Plan provides important factors used to direct the future development of the City, the Land Use Element, Housing Element, and Conservation and Open Space Element provide a good overview of the development parameters for the Creekside Village Specific Plan.

#### A. Land Use Element

Several important goals of the General Plan, as addressed in the Land Use Element, that are relevant to Creekside Village include:

- Balanced community growth patterns
- Land use compatibility
- Preservation of important natural features

The Creekside Village land use plan provides for a balance of land uses throughout the community

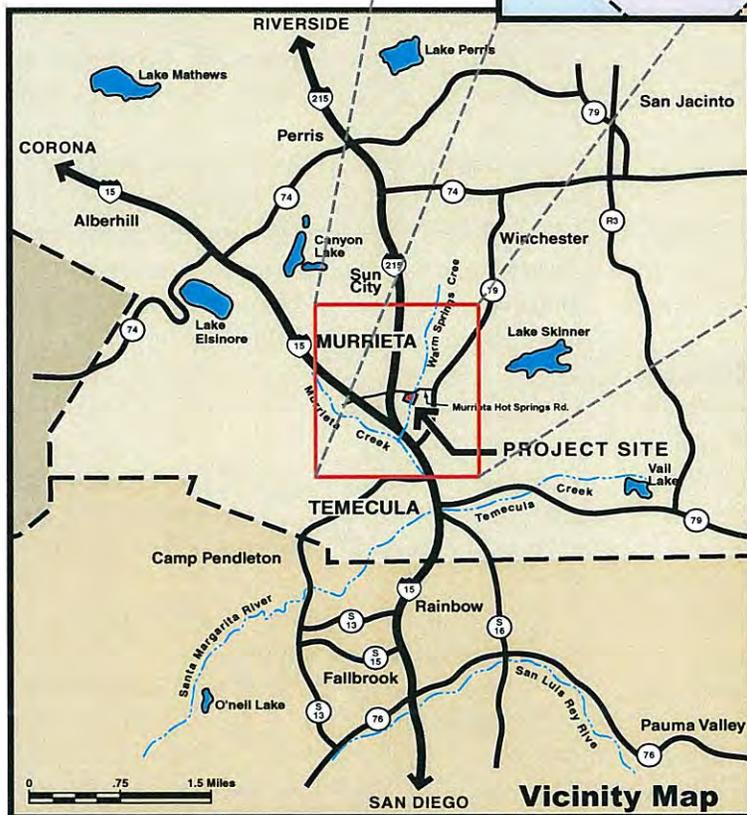
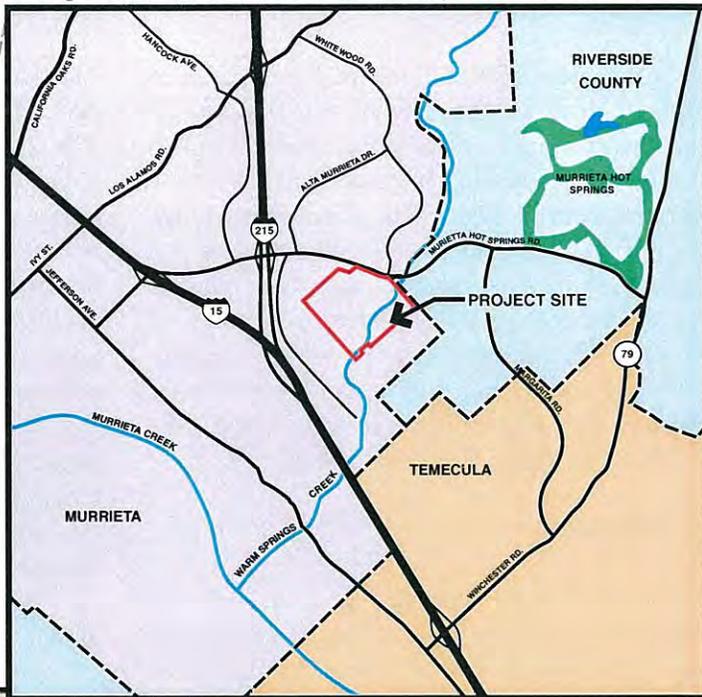
by accommodating residential, open space and recreational uses. The plan calls for the development of residential housing that is compatible with the character of existing adjacent neighborhoods.

The community design will ensure that land uses within the area will be compatible with surrounding on and off-site land use designations through the provision of appropriate land use transitions.

**B. Housing Element**

One of the goals of the Housing element within the General Plan is to “develop a diversified stock” of housing types to meet “the future housing needs of all socioeconomic groups within Murrieta.”

The Creekside Village Specific Plan contains the provisions necessary for the planned development of this area to meet the additional housing demand required by the families anticipated to live and work in the City of Murrieta.



**C. Conservation and Open Space Element**

The General Plan states that conservation and open space are important issues for the City of Murrieta because of the desire to maintain the rural character of the community. The following goals, objectives and policies, addressed in the Conservation and Open Space Element are applicable to the Creekside Village Specific Plan:

- Provision of open spaces for active and passive recreation

**Regional/Vicinity Maps - Exhibit 1**

- Preservation of Warm Springs Creek as a wildlife and recreation corridor
- Provision of adequate setbacks to protect riparian habitats from roads and structures.
- Development of a comprehensive trail system

The Creekside Village plan provides for the preservation of Warm Springs Creek. The clustering of residential development allows for the preservation of 19.28 acres of natural open space buffer and creek bed on the site. This will be developed with trails and picnic areas for recreational use, preserving not only the creek but an adequate setback to protect the riparian habitats.

A multi-use trail will connect residential neighborhoods on-site to each other, the school, a neighborhood recreation area and to a regional trail along Warm Springs Creek. This regional trail will be provided along the creek for the entire creek frontage of the project, thereby contributing to the development of a comprehensive trail system.

**1.4 CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE**

A Project Environmental Impact Report (EIR) defined by Section 15161 of the State of California Environmental Quality Act (CEQA) Guidelines has been prepared and addresses the potential impacts of the development allowed by the Specific Plan. The EIR has been prepared in compliance with CEQA Guidelines.

In accordance with Section 15182(a) of the State CEQA Guidelines, no further environmental review should be required providing that future development within the Creekside Village Specific Plan area is in conformance with this Specific Plan and the EIR

**1.5 PROJECT LOCATION AND SETTING**

Creekside Village Specific Plan is located east of the 215 Freeway, and south of Murrieta Hot Springs Road at its intersection with Whitewood Road. Jackson Avenue a major arterial, is scheduled to be built along the northwestern property line. The area is characterized by residential and commercial uses. (See site photographs, Exhibits 2,3 & 4; as well as the Aerial Photograph with Topography Exhibit 5)

A large commercial area is planned for the southeast corner of the 215 Freeway and Murrieta Hot Springs Road, just across Jackson Avenue, to the northwest of the subject site. Additional vacant land occurs to the southwest.

A residential project is under construction adjacent to Creekside Village along its southeast edge. Residential and commercial uses, as well as Fire Fighter Park, are located on the north side of Murrieta Hot Springs Road, immediately across from the subject site.

The location of the Creekside Village Specific Plan in relation to the local and regional setting is displayed in Exhibit 1, Vicinity Map.

**1.5.1 Existing Conditions**

The following provides a brief summary of the site's current conditions. Detailed technical studies were prepared as part of the EIR, including biological resources, archaeological/paleontological resources, geotechnical constraints, hydrological and drainage conditions, tree surveys, and slope analysis. A Constraints Composite Map was then prepared (See Exhibit 7)

**A. Size** - The Specific Plan site is approximately 145 acres in size.

**B. Natural Terrain** - The site of this Specific Plan is characterized by a minor hillside with many small valleys and ridgelines. Warm Springs

Creek bisects the site creating a flat, triangular bench East of the creek and a narrow, flat bench backed by the small hillside to the west of the creek. Slopes on the site range from nearly flat near Warm Springs Creek to over 30% on the small hillside.

**C. Drainage** - The Creekside Village site generally drains to the southeast into Warm Springs Creek. Warm Springs Creek is designated in the Murrieta General Plan as having a Creek Corridor Overlay with potential recreation trail and open space usage.

**D. Vegetation** - See the biology section of the Creekside Village Specific Plan EIR for more detailed information.

**E. Views** - The predominant views on the site are to the existing residential developments to the northwest across Murrieta Hot Springs Road, to the southeast across Warm Springs Creek, and to the southwest towards the 215 freeway.

**F. Existing Uses** - The Specific Plan area is undeveloped and vacant, and is currently not in use.

**G. Existing Surrounding Land Uses -**

*North* - The area to the north of the site is primarily built out as residential subdivision. Fire Fighters Park is located immediately across Murrieta Hot Springs Road and Pond Park occurs along Warm Springs Creek just north of Murrieta Hot Springs Road. There is a small office/commercial center adjacent to Fire Fighters Park.

*West* - A large commercial area is planned for the southeast corner of the 215 Freeway and Murrieta Hot Springs Road, just across Jackson Avenue to the northwest of the subject site.

*South* - Additional vacant land occurs to the southwest. The parcels adjacent to the project's southeast and southwest boundaries are zoned for

single family residential, with the exception of a parcel of land zoned for multifamily just south of the south property corner.

*East* - A residential project is under construction adjacent to Creekside Village along its east edge. Residential and commercial uses, as well as Fire Fighter Park are located on the north side of Murrieta Hot Springs Road, immediately across from the subject site. This portion of the subject property takes access from this subdivision.

## 1.6 CONSTRAINTS ANALYSIS AND MAP

A Slope Analysis (Exhibit 6) and Constraints Map (Exhibit 7) have been prepared that identify the locations of the most significant environmental constraints to development, including California Department of Fish and Game jurisdiction habitats (riparian); maximum Development Encroachment Line (from HEC-10 hydrology study); Jurisdictional Waters of the U.S. (Corps of Engineer Jurisdiction); and 100' setback line from Warm Springs Creek (CDFG). (See Exhibit 7). This Constraints Composite Map was used as a base for design. In almost every case, these constraints were avoided. The slope analysis indicated that slopes are not a significant constraint. Following is a brief description of each constraint.

### 1.6.1 California Department of Fish and Game Jurisdictional Habitats

Riparian and Oak Woodland plant communities following Warm Springs Creek were identified by a biologist and are shown on the Constraints Map.

### 1.6.2 Jurisdictional Waters of the United States (Corps of Engineers)

Using Corps of Engineers definitions for waters of the United States, streams and tributaries including wetlands, meeting these definitions were delineated and shown on the Constraints Map.

### 1.6.3 Maximum Development Encroachment

**Line (Limits of Grading)**

A hydrologic study identified the maximum area that could be filled and developed without causing flood waters leaving the subject site to raise more than one foot in elevation more than currently occurs during a 100 year flood event. The line identifying this area is also shown on the Constraints Map as "Limits of Grading".

**1.6.4 100 Foot Buffer Area**

A buffer of approximately 100 feet in width from each Warm Springs Creek edge and related riparian vegetation, as identified on site by the City's consultant biologist using California Department of Fish and Game criteria, has been shown on the Constraints Map. This buffer exceeds all other constraints lines. Note: This buffer is not exactly 100 feet for its entire length. The consultant biologist has identified areas where existing topography (e.g. tall steep banks) makes the full 100 foot setback unnecessary.

No private lots are allowed to encroach into the buffer. Encroachments which are allowed include minor portions of fill banks or toes of fill banks, retaining walls, rip-rap or other bank retention materials, and pedestrian trails and walks. These encroachment must be reviewed by the City Planning Department to determine if there is a need for additional permits or discretionary action.

**1.6.5 FEMA (Federal Emergency Management Agency) Flood Maps**

The current FEMA Flood Map (Flood Insurance Rate Map) is shown on Exhibit 8 FEMA Flood Map. After grading of the site this map will be changed to reflect new flood conditions. No part of the developed area of Creekside Village will be subject to flooding after the site has been graded.

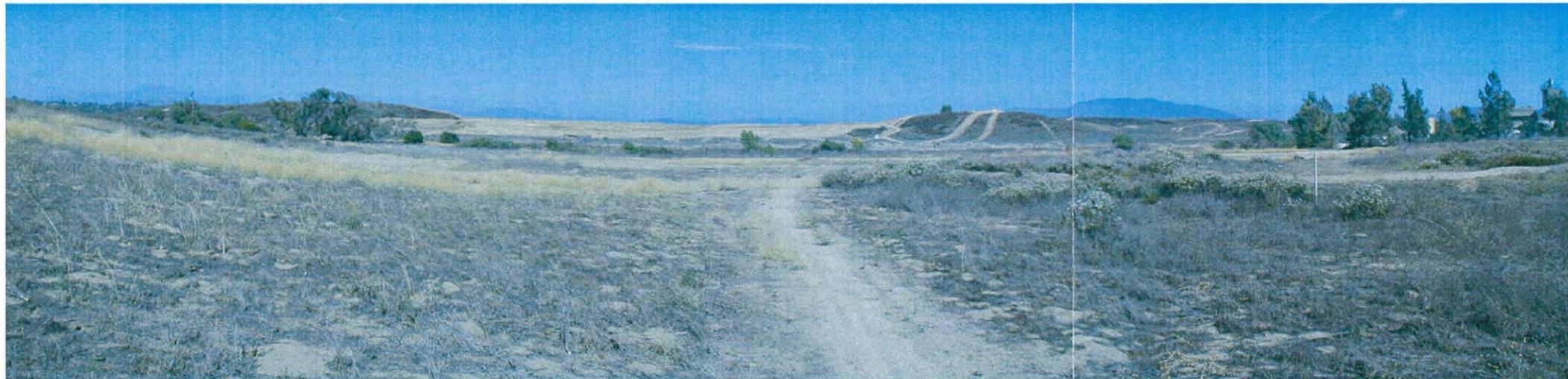


## SITE PHOTO INDEX

### EXHIBIT 2



Site Pan 1



Site Pan 2



Photo 3

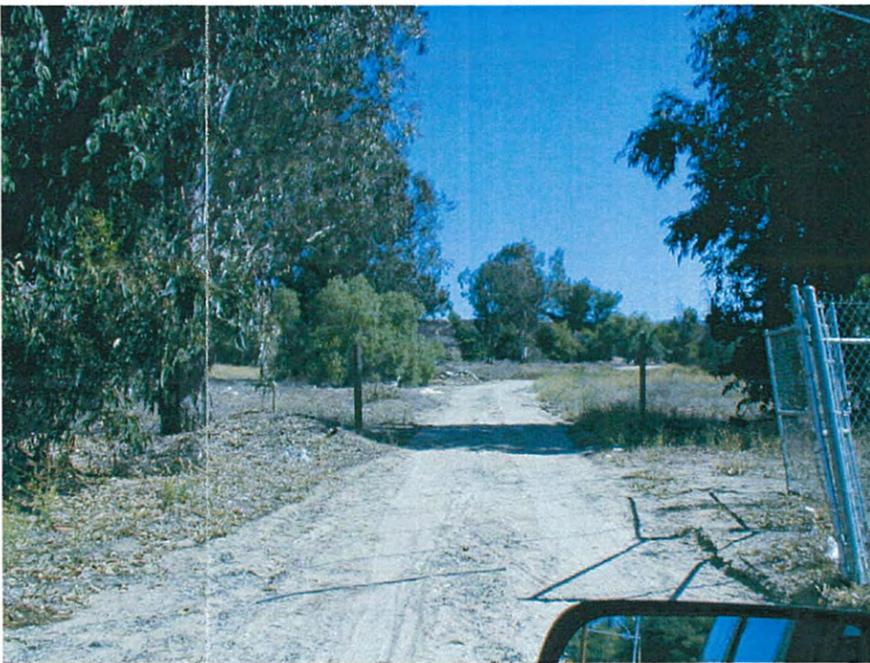


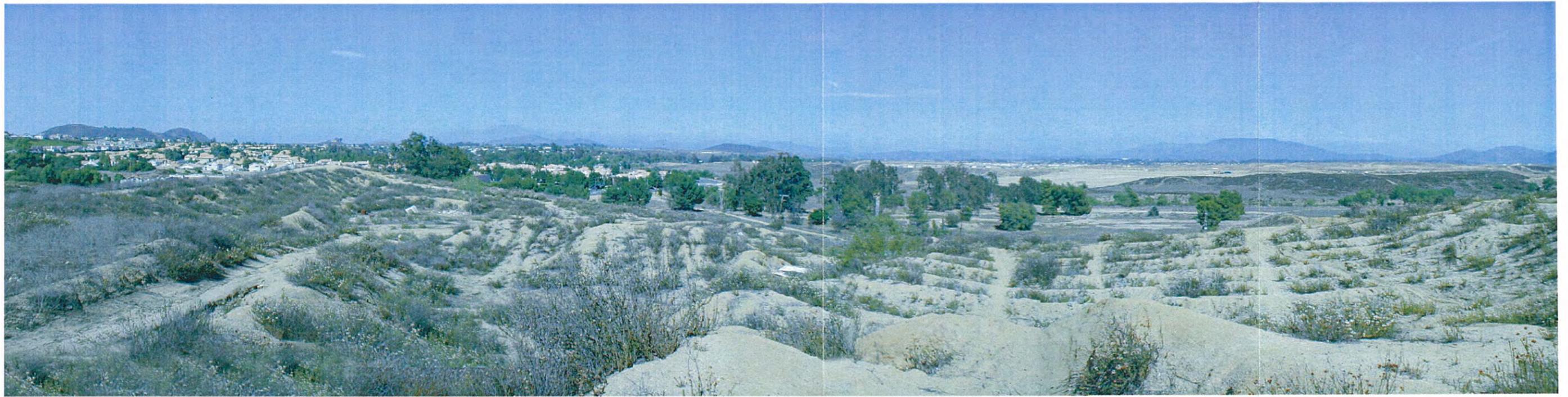
Photo 4

# SITE PHOTOS

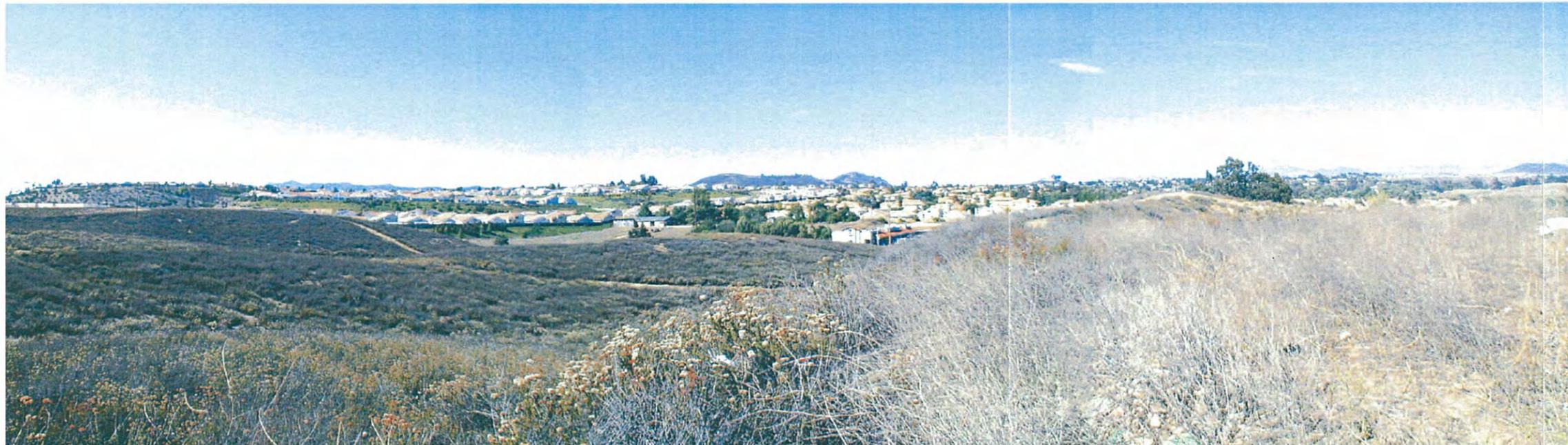
CREEKSIDE VILLAGE  
MURRIETA, CALIFORNIA

EXHIBIT 03





Site Pan 6

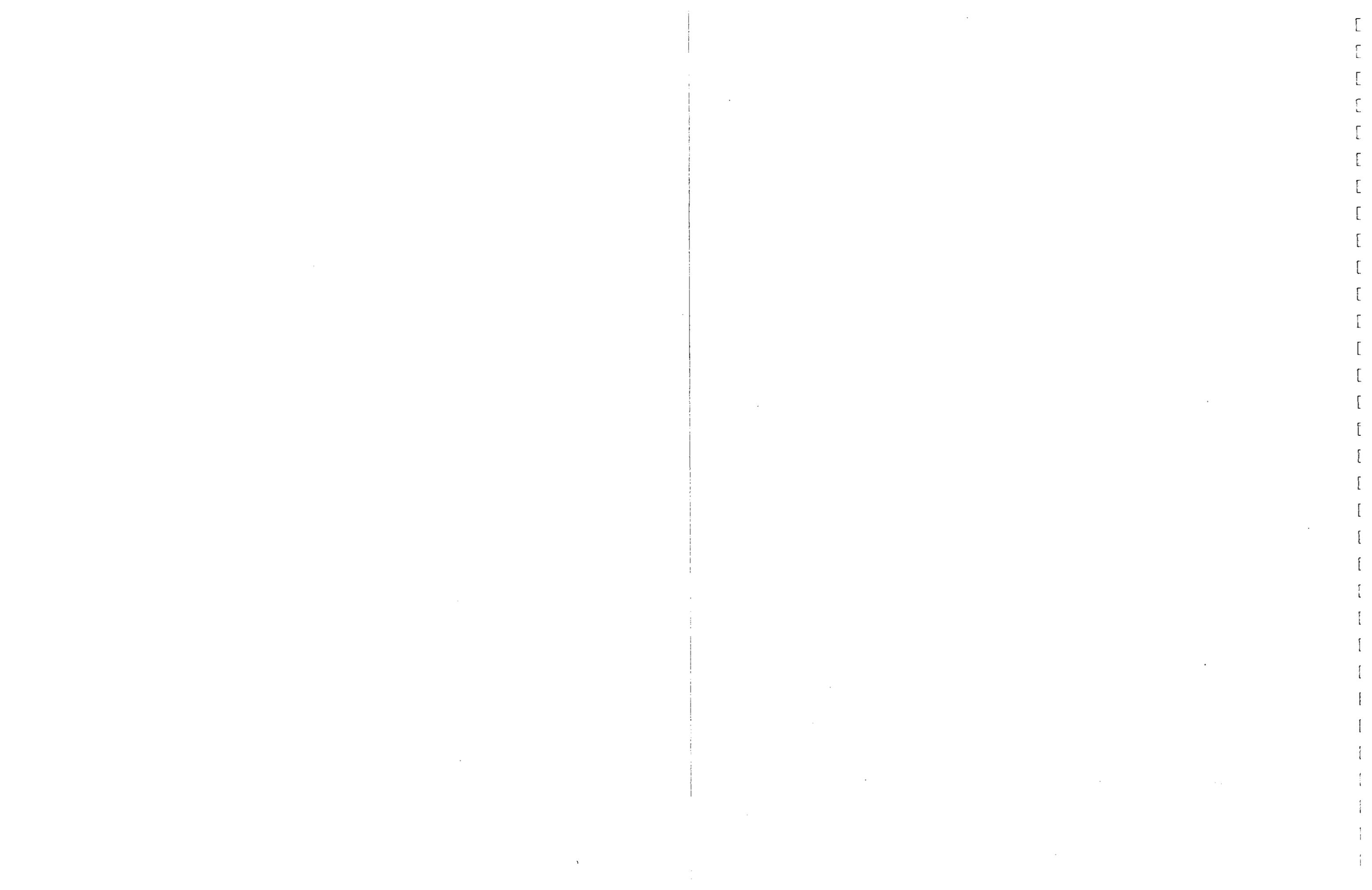


Site Pan 5

# SITE PHOTOS

**CREEKSIDE VILLAGE  
MURRIETA, CALIFORNIA**

**EXHIBIT 04**



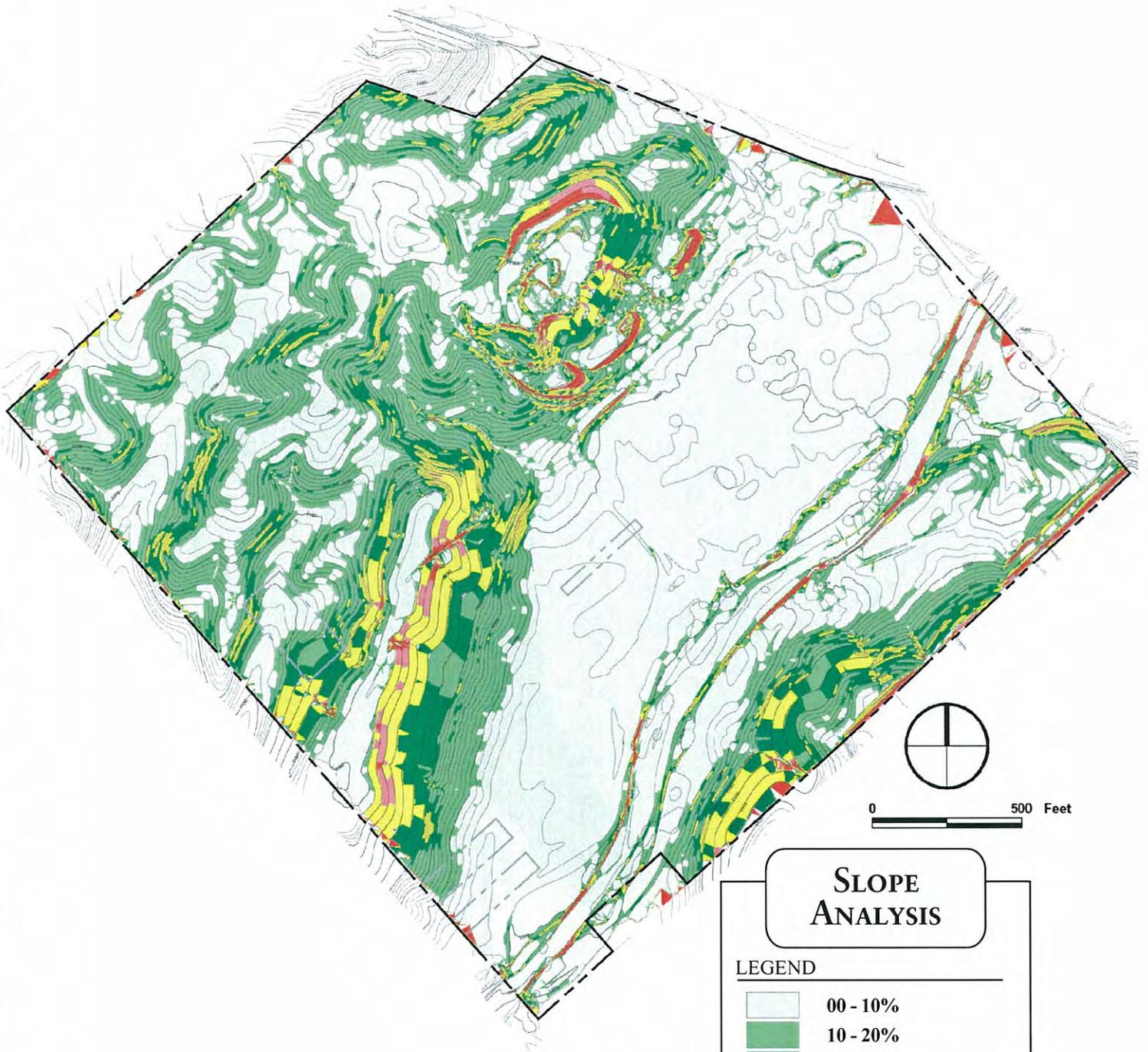


**AERIAL  
PHOTOGRAPH  
with TOPOGRAPHY**

**CREEKSIDE VILLAGE  
MURRIETA, CALIFORNIA**

**EXHIBIT 05**





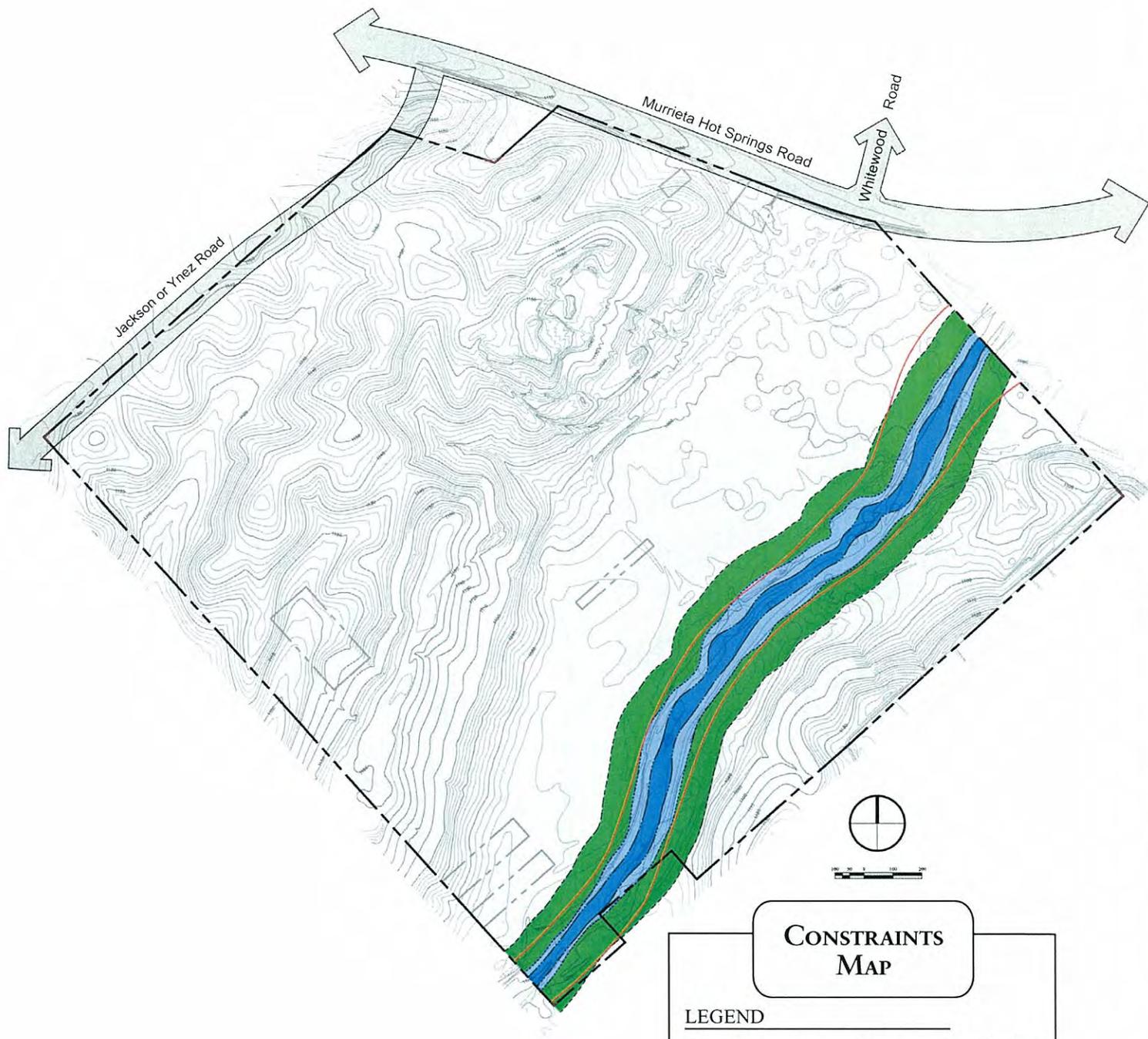
# SLOPE ANALYSIS

## EXHIBIT 6

**SLOPE ANALYSIS**

**LEGEND**

	00 - 10%
	10 - 20%
	20 - 25%
	25 - 40%
	40 - 50%
	50 +



**CONSTRAINTS  
MAP**

**LEGEND**

- Jurisdictional Waters of the US (Corp of Engineers) Including Wetlands
- California Department of Fish & Game Jurisdiction
- 100' Setback from Creek Bank
- Maximum Encroachment Line

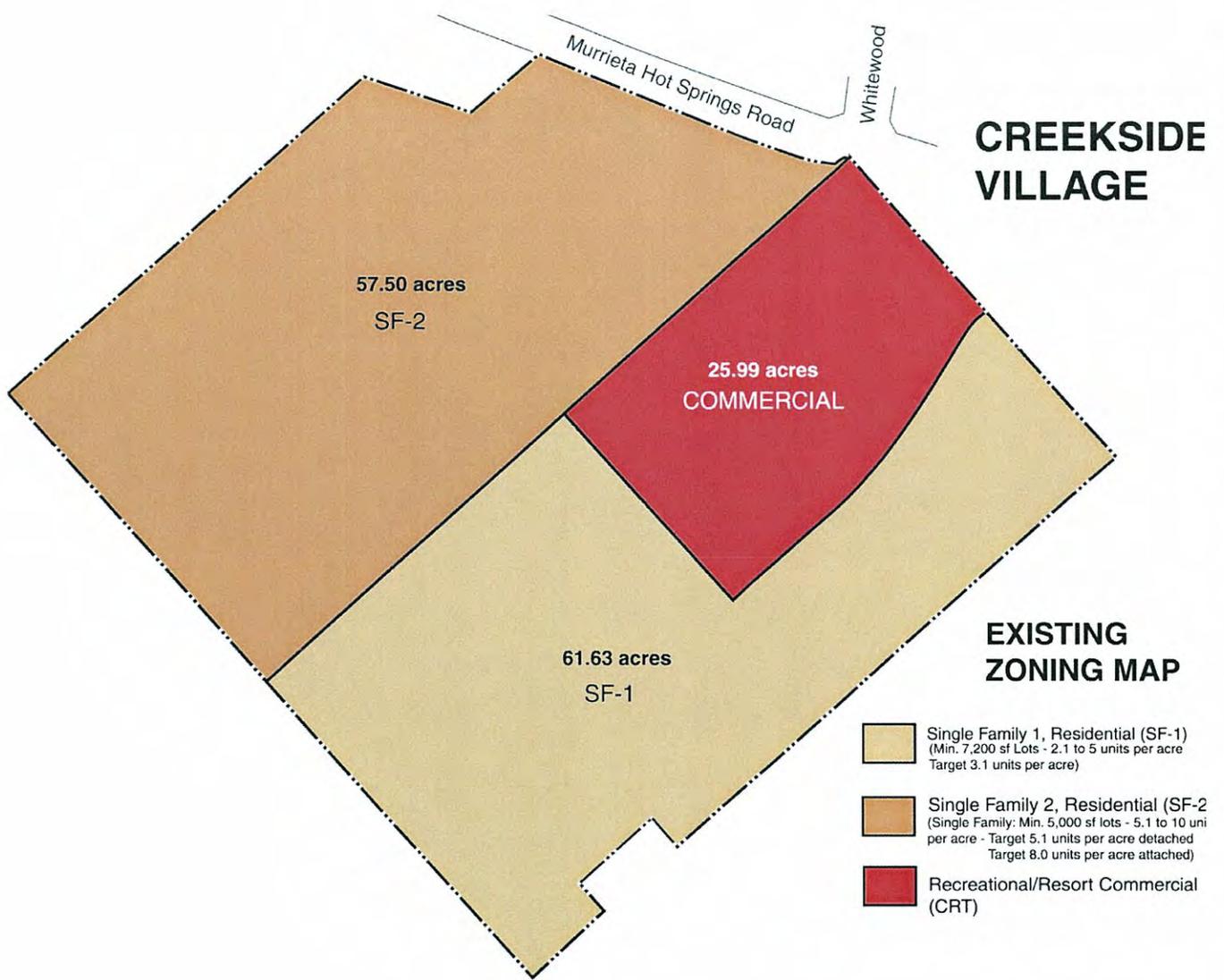
**CONSTRAINTS MAP**

**EXHIBIT 7**



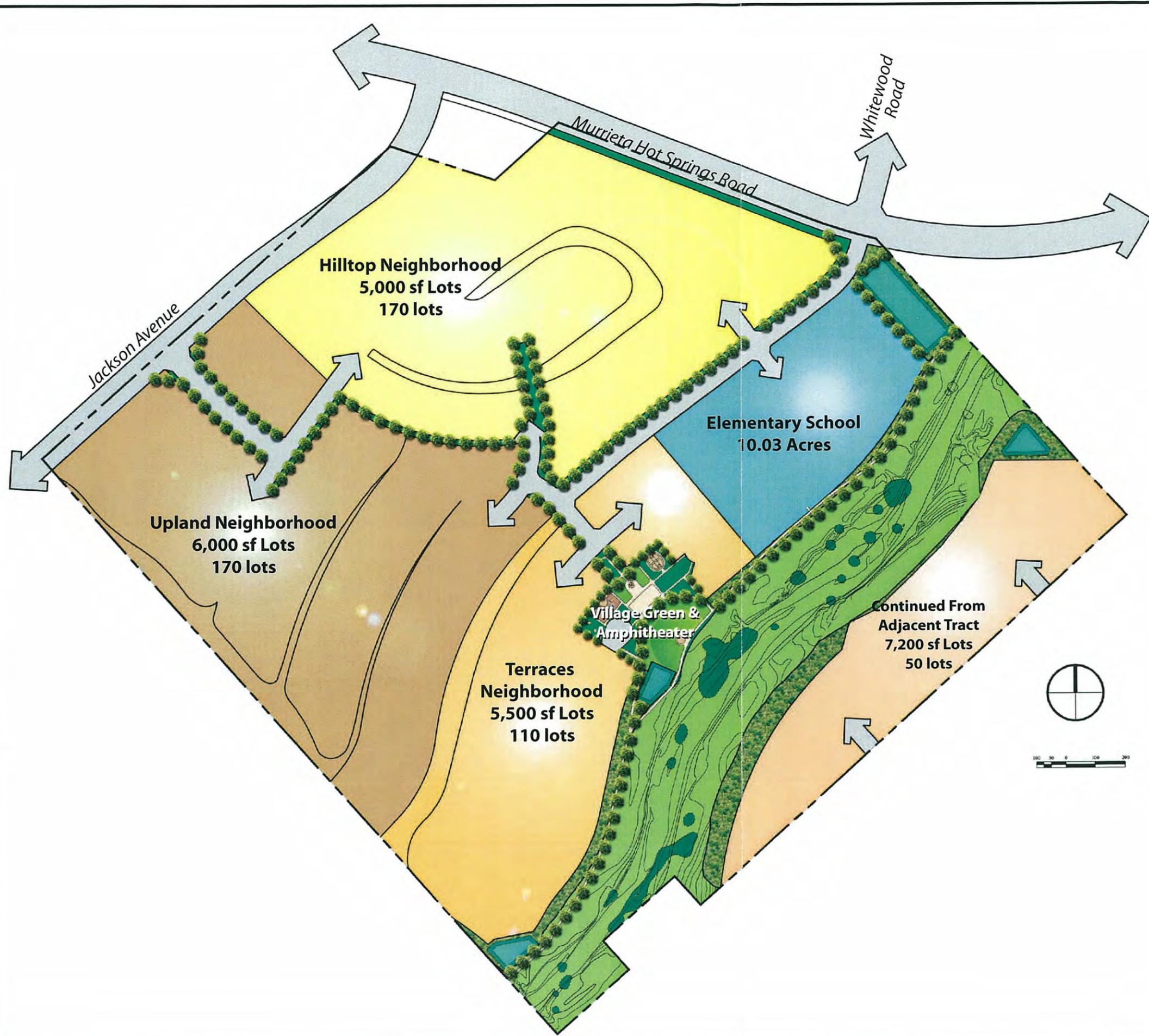
## EXISTING FEMA FLOOD MAP

EXHIBIT 8



## EXISTING ZONING MAP

### EXHIBIT 9



**LEGEND**

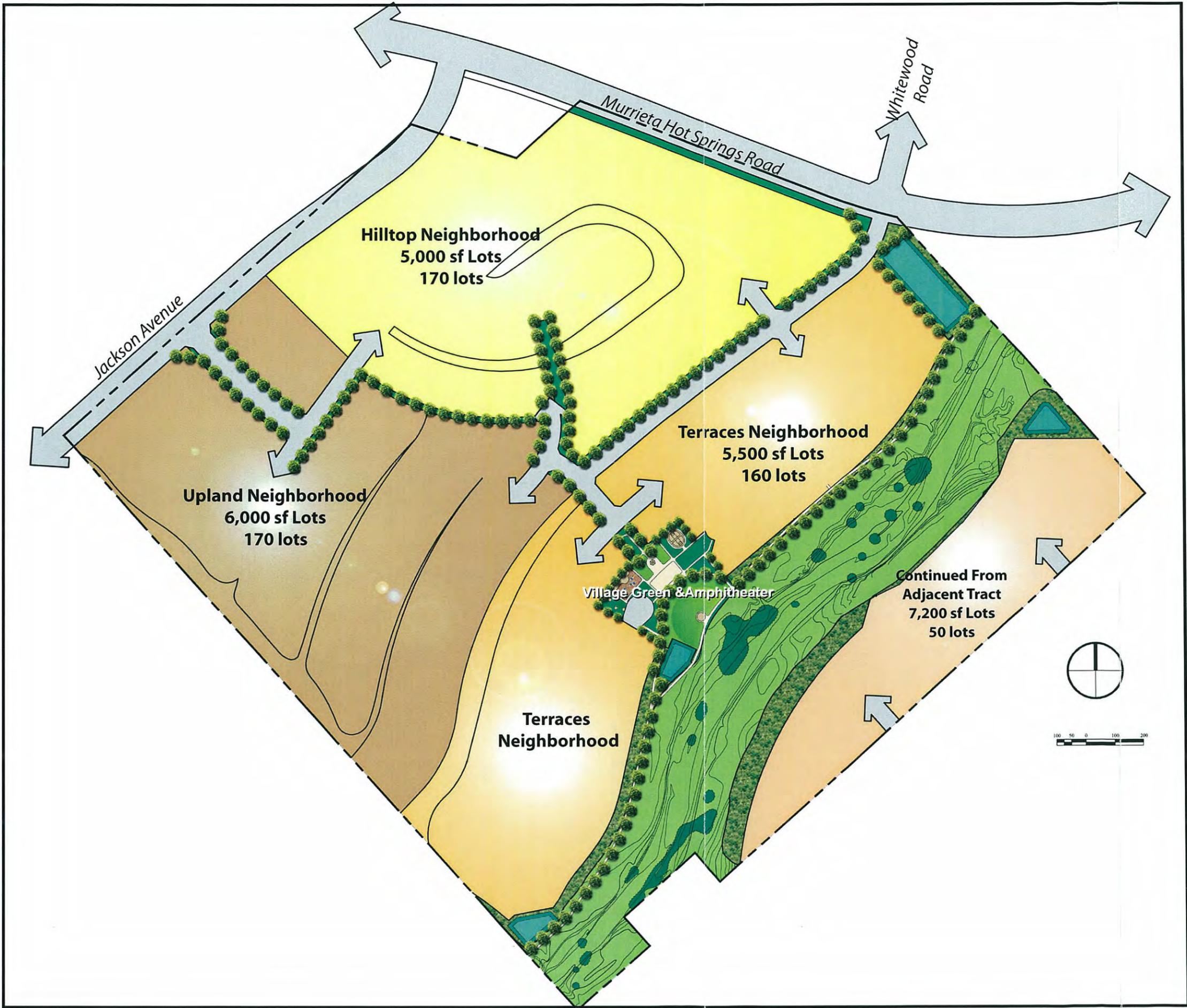
- Continued from adjacent 7,200 sf Lots (SF-1)
- Upland Neighborhood 6,000 sf Lots (SF-2)
- Terraces Neighborhood 5,500 sf Lots (SF-2)
- Hilltop Neighborhood 5,000 sf Lots (SF-2)
- Elementary School
- Open Space (Creek & Buffers)
- Village Green with Amphitheater
- Landscaped Slope Banks
- Greenways
- Runoff Treatment Basins

Land Use	No. Lots	No. Acres
7,200 sf Lots	50	13.33 Ac
6,000 sf Lots	170	29.82 Ac
5,500 sf Lots	110	20.25 Ac
5,000 sf Lots	170	34.34 Ac
<b>Total Residential</b>		<b>500</b>
		<b>97.74 Ac</b>
Elementary School		10.03 Ac
Greenways/Village Green		4.82 Ac
Open Space (Creek & Buffer)		19.28 Ac
Collector/Major Road ROWs		6.49 Ac
Landscaped Slope Banks		4.43 Ac
Runoff Treatment Basins		2.33 Ac
<b>Total Non-Residential Uses</b>		<b>47.38 Ac</b>

**Note:** Replacing Elementary School with Residential Lots adds 50 lots making a Total of **550 Lots**

**SPECIFIC PLAN**  
**LAND USE PLAN**  
**EXHIBIT 10**





- LEGEND**
- Continued from adjacent 7,200 sf Lots (SF-1)
  - Upland Neighborhood 6,000 sf Lots (SF-2)
  - Terraces Neighborhood 5,500 sf Lots (SF-2)
  - Hilltop Neighborhood 5,000 sf Lots (SF-2)
  - Open Space (Creek & Buffers)
  - Village Green with Amphitheater
  - Landscaped Slope Banks
  - Greenways
  - Runoff Treatment Basins

Land Use	No. Lots	No. Acres
7,200 sf Lots	50	13.33 Ac
6,000 sf Lots	170	29.82 Ac
5,500 sf Lots	160	30.28 Ac
5,000 sf Lots	170	34.34 Ac
<b>Total Residential</b>	<b>550</b>	<b>107.77 Ac</b>
Greenways/Village Green		4.82 Ac
Open Space (Creek & Buffer)		19.28 Ac
Landscaped Slope Banks		4.43 Ac
Collector/Major Road ROWs		6.49 Ac
Runoff Treatment Basins		2.33 Ac
<b>Total Non-Residential Uses</b>		<b>37.35 Ac</b>

**SPECIFIC PLAN  
ALTERNATIVE 1  
ALTERNATIVE LAND USE PLAN  
(WITHOUT SCHOOL)**

**EXHIBIT 11**





**LEGEND**

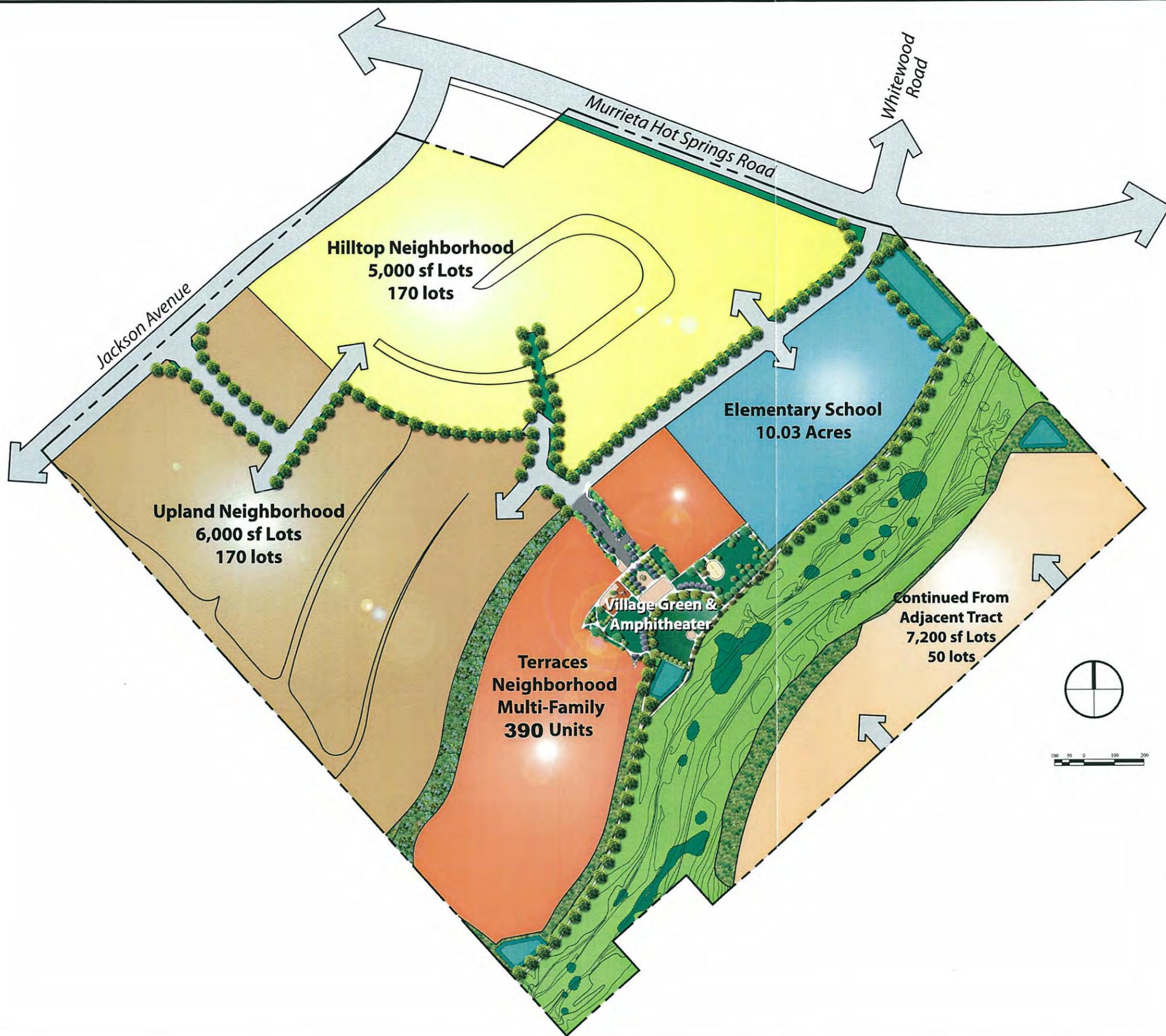
-  Continued from adjacent 7,200 sf Lots (SF-1)
-  Upland Neighborhood 6,000 sf Lots (SF-2)
-  Terraces Neighborhood 5,500 sf Lots (SF-2)
-  Hilltop Neighborhood 5,000 sf Lots (SF-2)
-  Terraces Neighborhood Multi-Family (MF-2)
-  Open Space (Creek & Buffers)
-  Village Green with Amphitheater
-  Landscaped Slope Banks
-  Greenways
-  Runoff Treatment Basins

Land Use	No. Lots	No. Acres
7,200 sf Lots	50	13.33 Ac
6,000 sf Lots	170	29.82 Ac
5,500 sf Lots	90	16.59 Ac
5,000 sf Lots	170	34.34 Ac
Multi-Family	246	13.69 Ac
<b>Total Residential</b>	<b>726</b>	<b>107.77 Ac</b>
Greenways/Village Green		4.82 Ac
Open Space (Creek & Buffer)		19.28 Ac
Landscaped Slope Banks		4.43 Ac
Collector/Major Road ROWs		6.49 Ac
Runoff Treatment Basins		2.33 Ac
<b>Total Non-Residential Uses</b>		<b>37.35 Ac</b>

**SPECIFIC PLAN  
ALTERNATIVE 2  
LAND USE PLAN  
(With Multi-Family and No School)**

**EXHIBIT 12**





**LEGEND**

-  Continued from adjacent 7,200 sf Lots (SF-1)
-  Upland Neighborhood 6,000 sf Lots (SF-2)
-  Terraces Neighborhood Multi-Family Apts. (MF-2)
-  Hilltop Neighborhood 5,000 sf Lots (SF-2)
-  Elementary School
-  Open Space (Creek & Buffers)
-  Village Green with Amphitheater
-  Landscaped Slope Banks
-  Greenways
-  Runoff Treatment Basins

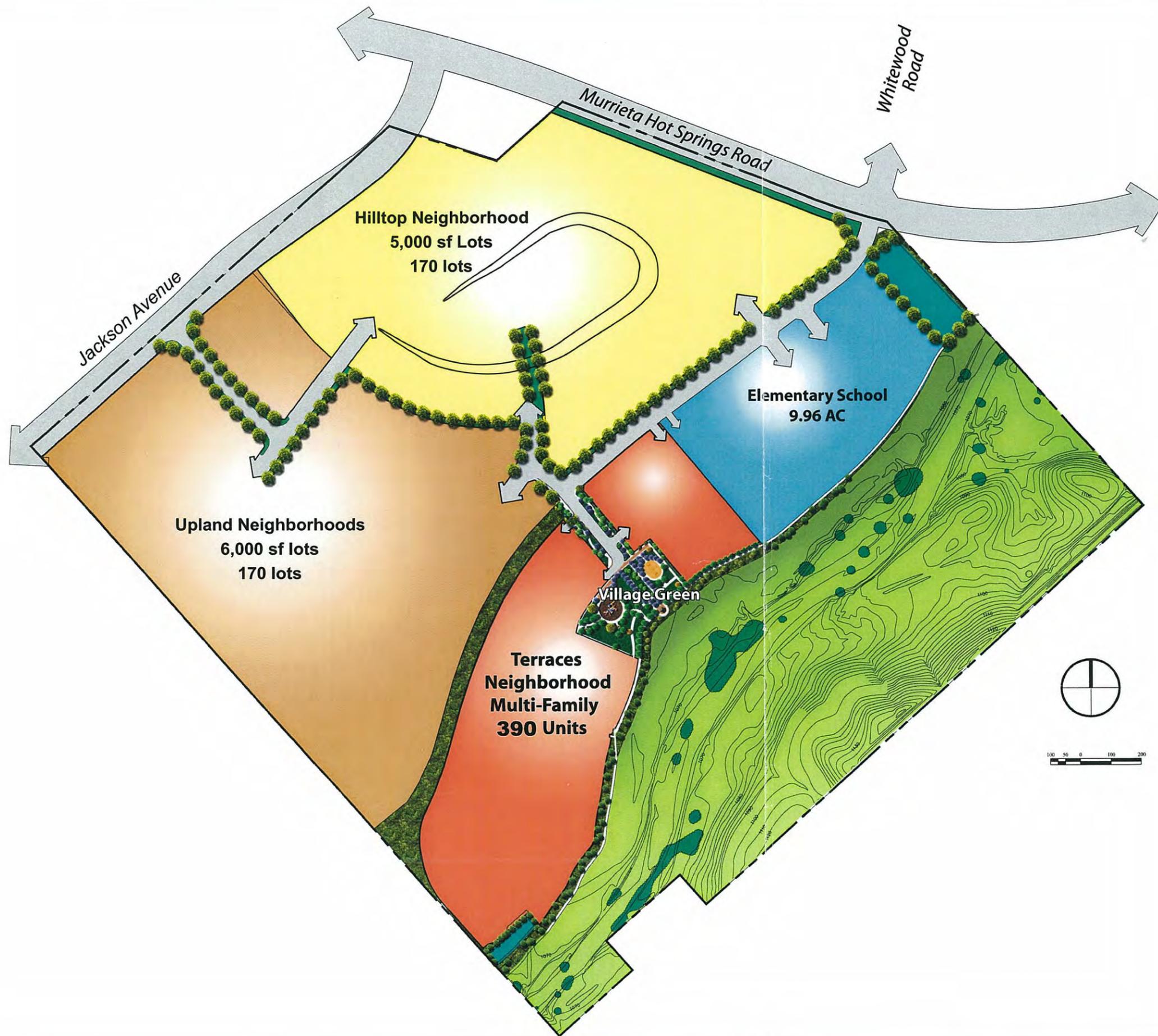
Land Use	No. Units	No. Acres
7,200 sf Lots	50	13.33 Ac
6,000 sf Lots	170	29.82 Ac
5,000 sf Lots	170	34.34 Ac
Multi-Family	390	21.65 Ac
<b>Total Residential</b>	<b>780</b>	<b>99.14 Ac</b>
Elementary School		10.03 Ac
Greenways/Village Green		4.82 Ac
Open Space (Creek & Buffer)		19.28 Ac
Collector/Major Road ROWs		6.49 Ac
Landscaped Slope Banks		3.03 Ac
Runoff Treatment Basins		2.33 Ac
<b>Total Non-Residential Uses</b>		<b>47.38 Ac</b>

**SPECIFIC PLAN  
ALTERNATIVE 3**

**LAND USE PLAN  
With Multi-Family and School**

**EXHIBIT 13**

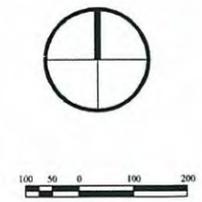




**LEGEND**

- Upland Neighborhood  
6,000 sf Lots (SF-2)
- Terraces Neighborhood  
Multi-Family Apts. (MF-2)
- Hilltop Neighborhood  
5,000 sf Lots (SF-2)
- Elementary School
- Open Space (Creek & Buffers)
- Village Green with Amphitheater
- Landscaped Slope Banks
- Greenways
- Runoff Treatment Basins

Land Use	No. Lots	No. Acres
6,000 sf Lots	170	30.98 Ac
5,000 sf Lots	170	33.63 Ac
Multi-Family	390	21.65 Ac
<b>Total Residential</b>	<b>730</b>	<b>86.26 Ac</b>
Elementary School		9.96 Ac
Greenways/Village Green		4.43 Ac
Open Space (Creek & Buffer)		37.23 Ac
Landscaped Slope Banks		3.75 Ac
Collector/Major Road ROWs		6.49 Ac
Runoff Treatment Basins		1.28 Ac
<b>Total Non-Residential Uses</b>		<b>63.14 Ac</b>



**SPECIFIC PLAN  
ALTERNATIVE 4**  
**LAND USE PLAN**  
**Final Negotiated Plan**  
**EXHIBIT 14**





**LEGEND**

- Continued from adjacent 7,200 sf Lots (SF-1)
- Upland Neighborhood 6,000 sf Lots (SF-2)
- Terraces Neighborhood Varies by Alternative
- Hilltop Neighborhood 5,000 sf Lots (SF-2)
- Elementary School or Residential Varies by Alternative
- Open Space (Creek & Buffers)
- Village Green with Amphitheater
- Landscaped Slope Banks
- Greenways
- Runoff Treatment Basins

CHARACTERISTICS	PROJECT	ALT #1	ALT #2	ALT #3	ALT #4
7,000 SF Lots	50	50	50	50	0
6,000 SF Lots	170	170	170	170	170
5,500 SF Lots	110	160	90	0	0
5,000 SF Lots	170	170	170	170	170
Multi-Family	0	0	246	390	390
<b>TOTAL UNITS</b>	<b>500</b>	<b>550</b>	<b>726</b>	<b>780</b>	<b>730</b>
Elem. School	Yes	No	No	Yes	Yes

**SPECIFIC PLAN  
ALTERNATIVE SUMMARY**

**Project and Four Alternatives**

**EXHIBIT 15**



## 2.0 LAND USE PLAN

### 2.1 LAND USE PLAN

The Creekside Village Specific Plan Land Use Plan, Exhibit 10, has been developed to create a quality community which will endure long into the future. The Land Use Plan has been designed to establish a sense of harmony with Creekside Village Specific Plan surroundings.

Included in this specific plan are the "project" Land Use Plan and four alternatives. The alternatives deal with an elementary school and multi-family residential use. Because the School District is highly interested in obtaining the school site, it is likely that either the "project" or Alternative 4 will be built. They also represent the lowest and highest over-all densities. Therefore, throughout the Specific Plan, references will be made primarily to the "project" and Alternative 4.

*The "project"* is all single family residential with an elementary school.

*Alternative 1* is also all single-family residential, but has no school. Instead of the school it has additional single-family residential.

*Alternative 2* has both single-family and multi-family residential, but no elementary school.

*Alternatives 3,4* both have single-family and multi-family residential, and also has an elementary school.

### 2.2 LAND USE SUMMARY

- Overall density of 3.45 dwelling units/acre for the "project" and Alt. 1 and up to 5.20 dwelling units/acre for alternatives with multi-family residential.
- Lot pad sizes range from 5,000 - 7,200 square feet. Lot sizes range from 5,000 - 17,000 square feet. Alternatives 2, 3, and 4 also have attached multi-family residential uses.
- The Creekside Village density is compatible with surrounding development and zoning.
- Preservation of Warm Springs Creek.
- Preservation of a minimum of 100' buffer on each side of Warm Springs Creek, plus set aside of additional landscaped banks and open space (giving an average corridor width of over 400 ft.).

**LAND USE ACREAGE TABLES**

**TABLE I**

**CREEKSIDE VILLAGE (PROJECT)**

Residential Area	97.74 acres
Natural Creek and Related Vegetation	19.28 acres
Natural Creek	8.15 acres
Landscaped Slope Banks	11.13 acres
Elementary School	10.03 acres
Greenways/Village Green	4.43 acres
Murrieta Hot Springs, Jackson/Ynez and	4.82 acres
Collector Roads Rights-of-Ways	6.49 acres
Runoff Treatment Basins	2.33 acres
<b>TOTAL</b>	<b>145.12 ACRES</b>

## 2.2.1 Neighborhoods

The Land Use Plan delineates four neighborhoods. Each will be differentiated from the others by entry treatment and individual landscaping with plant choices that enforce separate identities (see Section 3.2 Design Standards - Landscape Design - for specific details). With the approval of a General Plan Amendment and this specific plan, the zoning for each neighborhood will be as described below.

### A. Continuation of adjacent existing subdivision neighborhood (Eastside Residential)

- Located alongside the southeast side of Warm Springs Creek
- Takes access from of two existing subdivision road stub-outs
- Contains maximum 50 - 7,200 sq. ft. residential lots, matching those in the adjacent subdivision to the east

### B. Upland Neighborhood

- Located at a higher elevation than the Terraces Neighborhood.
- Contains maximum 170 - 6,000 sq. ft. residential lots.

### C. Terraces Neighborhood

- Located on a terrace above the northwest side of Warm Springs Creek, this neighborhood changes in each alternative:
- *The "project"* contains maximum 110 - 5,500 sq. ft. residential lots as well as an elementary school.
- *Alternative 1* contains a maximum of 160 - 5,500 sq. ft. lots and no school .
- *Alternative 2* contains a maximum of 90 - 5,500 sq. ft. lots and up to 246 multi-family units with no school.

- *Alternative 3* contains a maximum of 364 multi-family units and a school.

- *Alternative 4* contains a maximum of 390 multi-family units and a school.

### D. Hilltop Neighborhood

- Located at a higher elevation above Murrieta Hot Springs Road.
- Contains maximum 170 - 5,000 sq. ft. residential lots.

## 2.2.2 Residential Land Uses

### A. Housing

- The residential land use designation for Creekside Village is single family residential (See Specific Plan Land Use Plans, Exhibit 10-11). On alternatives 2 and 3 the land uses also include multi-family residential ( See Exhibits 12-13)
- The maximum number of dwelling units is 500 on the project; 550 on Alternative 1; 726 on Alternative 2; and 754 on Alternative 3.

### B. Population

- Development of the Creekside Village Specific Plan area will result in an estimated total resident population of 1,660 persons with a school and 1,826 persons without a school. (On Alternates 2 and 3 the population would be 2,410 and 2,503 respectively).
- Population estimate is based on the City of Murrieta's year 2000 generation rate of 3.32 persons per household.

## 2.2.3 Open Space Land Uses

The Creekside Village Specific Plan is guided by two key design principles; conserve and enhance Warm Springs Creek, and to provide a greenway and trail system connecting neighborhoods to each other and to the Creek, School and the Village Green. To accomplish this, the following will occur:

**NEIGHBORHOOD ANALYSIS**

**TABLE 2**

**NET ACRES - NO SCHOOL (ALTERNATIVE)**

Neighborhood	Max. No. of Lots	Min. Lot Size	Size in Net Acres
Hilltop Neighborhood (SF-2)	170	5,000 sf	34.34
Terraces Neighborhood (SF-2)	160	5,500 sf	30.28
Upland Neighborhood (SF-2)	170	6,000 sf	29.82
East Side Residential (SF-1)	50	7,200 sf	13.33
	<b>550</b>	<b>—</b>	<b>107.77</b>

**NET ACRES - WITH SCHOOL (PROJECT)**

Neighborhood	Max. No. of Lots	Min. Lot Size	Size in Net Acres
Hilltop Neighborhood (SF-2)	170	5,000 sf	34.34
Terraces Neighborhood (SF-2)	110	5,500 sf	20.25
Upland Neighborhood (SF-2)	170	6,000 sf	29.82
East Side Residential (SF-1)	50	7,200 sf	13.33
	<b>500</b>	<b>—</b>	<b>97.74</b>

- Warm Springs Creek will be maintained in an undeveloped condition, to the degree feasible.
- The natural system will be composed of 19.28 acres designated for conserved creek and buffer areas.
- 8.25 acres are designated for modified open space, including a village green, landscaped slope banks, and greenways system. Modified open space will be landscaped prior to occupancy of adjacent homes.

**2.2.4 Elementary School**

- A 10.03 acre site has been reserved for an elementary school adjacent to Warm Springs Creek.
- The Murrieta Valley Unified School District has informally stated that they want an elementary school on the Creekside Village site.
- The elementary school size and configuration has been planned to meet the requirements

of the State of California and the school district.

- The school district is in the process of developing a prototype elementary school, based on existing Tovoshal Elementary School, that can be modified slightly to fit each future school site.
- The school shown on the Village Green & Elementary School Illustrative Plan (Exhibit 11) was based on Tovashal Elementary School as a floor plan and model for layout.
- In addition to the required school buildings, parking and drop-off areas, the illustrated school has a very large hard-surface play area and two acres of play fields
- Section 7.4.9 of the Public Facilities Finance Plan chapter of this Specific Plan provides conditions relating to the mitigation for impacts to school facilities.

Note: If the school district for some reason does not want the school site, it will revert to single family residences as shown on Exhibit 11, Alternative 1 Specific Plan Land Use Plan (Without School), or as





Murrieta Hot Springs Road

Elementary School

Treatment Basin

Children's Play Equipment

Basketball

Village Green Boundary

WARM SPRINGS CREEK PRESERVE

**VILLAGE GREEN & ELEMENTARY SCHOOL**

ILLUSTRATIVE PLAN

EXHIBIT 17

CREEKSIDE VILLAGE SPECIFIC PLAN 2-5

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multi-family residential as shown on Exhibit 12, Alternate 2 Specific Plan Land Use Plan (Without School).

### 2.2.5 Village Green / Amphitheater

- A 30-acre Village Green is located adjacent to Warm Springs Creek in the center of the project site.
- The Village Green will be the Creekside Village focal point and have a community gathering space (plaza with gazebo) and lawn amphitheater sloping at 5:1 ratio to a paved stage area.
- The Village Green will provide for children and tots play equipment areas and two basketball "shooting courts," as well as picnic table areas.
- An emergency access clear of any obstacles shall be provided joining "T" Street to "U" Street. The design of the access way must be reviewed and approved by the Fire Department.

### 2.2.6 Greenway / Trails

- A 20 foot width of additional parkway (totaling 1.82 acres) has been added to specific project roads to create greenways of 30 ft. in width. These greenways will contain meandering trails connecting neighborhoods to each other and to the school, park and Warm Springs Creek. Besides trails, the greenways will contain street trees and landscaping.
- A Regional Trail will be built along the west side of the creek buffer. It will connect to the park and school, and to future regional trails along the Creek to the north and south.
- 1.2 miles total miles of trails will be constructed in this greenway/Creek system.

### 2.2.7 Alternatives

- *The "project"* contains maximum of 50 - 7,000 sq. ft. residential lots; 170 - 6,000 sq. ft. lots; 110 - 5,500 sq.ft. lots; 170 - 5,000 sq.ft. lots as well as an elementary school.
- *Alternative 1* contains a maximum of 50 - 7,200 sq. ft. lots; 170 - 6,000 sq.ft. lots; 160 - 5,500 sq. ft. lots; 170 - 5,000 sq.ft. lots; and no school .
- *Alternative 2* contains a maximum of 50 - 7,200 sq.ft. lots; 170 - 6,000 sq.ft. lots; 90 - 5,500 sq. ft. lots; 170 - 5,000 sq.f.t lots and up to 246 multi-family units with no school.
- *Alternative 3* contains a maximum of 50 - 7,200 sq.f.t lots, 170 - 6000 sq.ft. lots; no 5,500 sq.ft. lots; 170 - 5,000 sq.ft. lots; 364 multi-family units and an elementary school.
- *Alternative 4* - The Final Negotiated Plan. contains no Amphitheater; no 7,200 sq.ft. lots ; a maximum of 170 - 6,000 sq.ft. lots; no 5,500 sq.ft. lots; 170 - 5,000 sq.ft. lots; with up to 390 multi-family units and an elementary school.



## **3.0 DESIGN STANDARDS**

### **3.1 PURPOSE AND INTENT**

The Single-Family Residential Design Standards and Parameters specified in Murrieta Municipal Code Section 16.08.030 are applicable to single-family development, except as modified by the standards contained herein. The Multi-Family Residential Design Standards and Parameters specified in Murrieta Municipal Code Section 16.08.040 are applicable to multi-family development, except as modified by the standards contained herein. The purpose of these standards is to create a distinct character for the Creekside Village Specific Plan, while maintaining harmony with the surrounding area.

### **3.2 LANDSCAPE DESIGN**

#### **3.2.1 Landscape Concept Plan**

The Landscape Concept Plans are identified in Exhibits 19, 20, and 21.

#### **3.2.2 Community & Neighborhood Entries**

A. Community & Neighborhood Entries Locations are identified in Exhibit 18.

B. Community & Neighborhood Entries Elevations and Plan Views are identified in Exhibits 22, 23, 24, 25, 26, 27, 28, 27 and 29.

#### **3.2.3 Master Plant List**

The Master Plant List is identified as Table 3.

#### **3.2.4 Landscape Development Requirements**

The following standards are required to implement the Landscape Design elements identified above:

A. All landscaping shall comply with Murrieta

Municipal Code Chapter 16.28, except that Table 3-5 within Section 16.28.080 of the Murrieta Municipal Code is superseded by the Master Plant List (Table 3 in this Specific Plan).

### **3.3 WALL DESIGN**

Wall Design consists of the following elements:

#### **3.3.1 Wall Locations**

Wall Locations are identified in Exhibit 30.

#### **3.3.2 Community Wall**

Community Wall Elevation is identified in Exhibit 23, Community Entry.

#### **3.3.3 Sound Attenuation Wall**

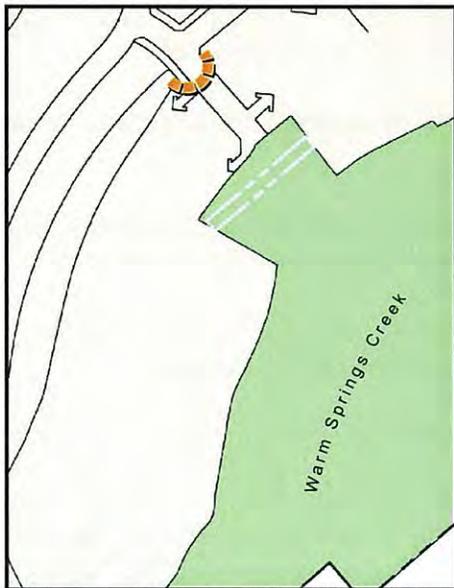
Sound Attenuation Wall Elevation will be the same as the Community Wall, except that it will vary in height from 6' to 10' depending on sound attenuation requirements. If wall requirement exceeds 6' in height, berming should be used to reduce the wall height appearance.

#### **3.3.4 Wall & Fence Development Requirements:**

The following standards are required to implement the Wall and Fence Design elements:

A. All walls and fences shall comply with Murrieta Municipal Code Chapter 16.22.

B. All walls shall be designed so as to minimize graffiti by use of textured materials and/or materials that allow ease of graffiti removal by sand or water blasting. Where appropriate, vines should be planted on walls, which also helps prevent graffiti.



ALTERNATIVE 4 MULTI-FAMILY ENTRY

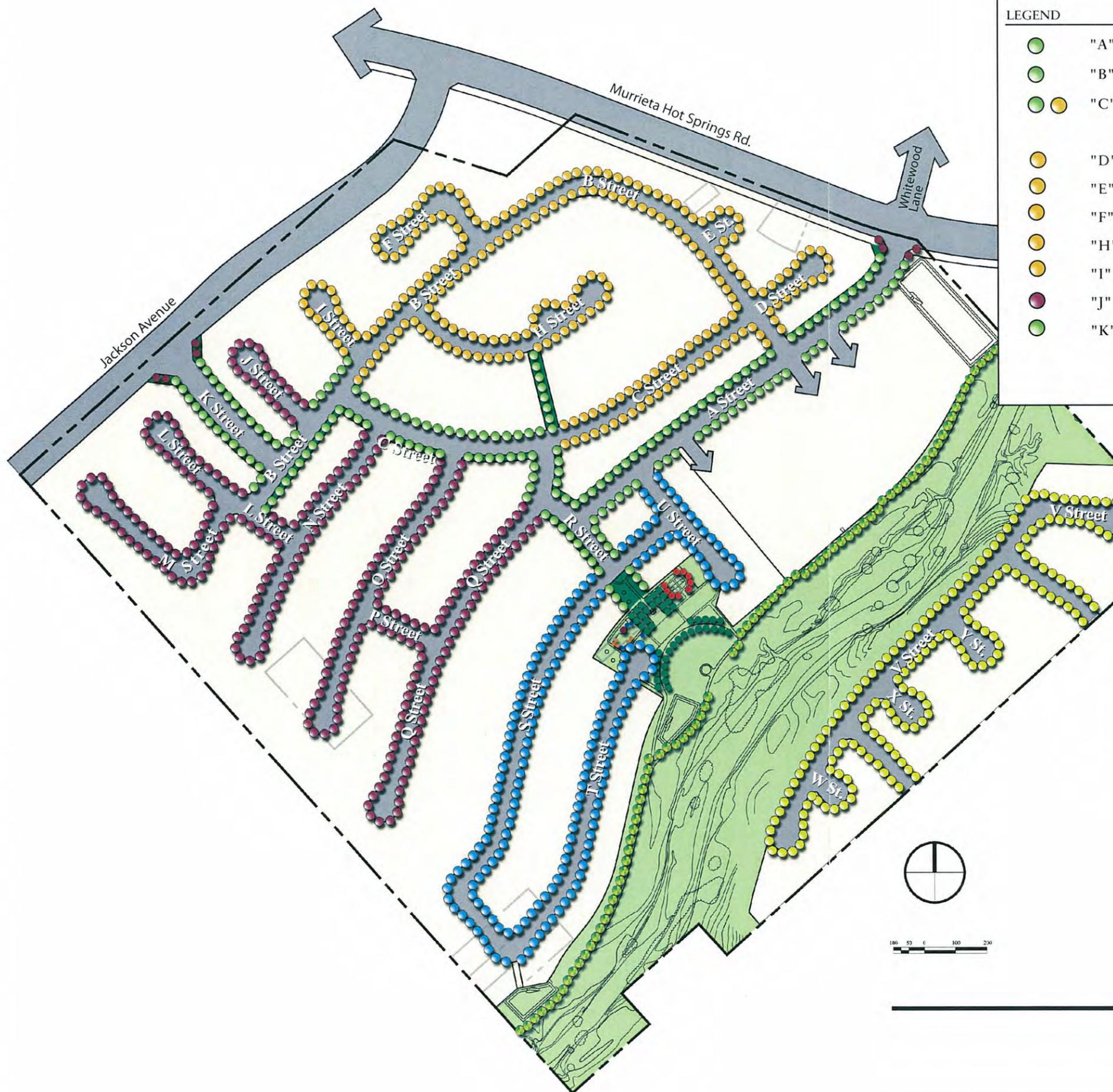
**COMMUNITY & RESIDENTIAL ENTRIES**

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**LEGEND**

-  Community Entrance
-  Residential Entrance
-  Green Ways
-  Obelisk Signs
-  Multi-Family Entrance (Alternative 3)

**EXHIBIT 18**



LEGEND		Street Name	Tree Type
● (Green)	"A" Cinnamomum camphora- Camphor Tree\ Pinus canariensis - Canary Island Pine	"L"	Arbutus marina- Arbutus
● (Light Green)	"B" Cinnamomum camphora- Camphor Tree\ Pinus canariensis - Canary Island Pine	"M"	Arbutus marina- Arbutus
● (Yellow-Green)	"C" Cinnamomum camphora- Camphor Tree\ Pinus canariensis - Canary Island Pine Pyrus calleryana - Ornamental Pear	"N"	Arbutus marina- Arbutus
● (Yellow)	"D" Pyrus calleryana - Ornamental Pear	"O"	Arbutus marina- Arbutus
● (Light Yellow)	"E" Pyrus calleryana - Ornamental Pear	"P"	Arbutus marina- Arbutus
● (Yellow)	"F" Pyrus calleryana - Ornamental Pear	"Q"	Arbutus marina- Arbutus
● (Yellow)	"H" Pyrus calleryana - Ornamental Pear	"R"	Cinnamomum camphora- Camphor Tree\ \Pinus Canariensis - Canary Island Pine
● (Yellow)	"I" Pyrus calleryana - Ornamental Pear	"S"	Tipuana tipu- Tipu Tree
● (Purple)	"J" Arbutus marina- Arbutus	"T"	Tipuana tipu- Tipu Tree
● (Light Green)	"K" Cinnamomum camphora- Camphor Tree\ \Pinus Canariensis - Canary Island Pine	"U"	Tipuana tipu- Tipu Tree
		"V.Y"	Ulmus parvifolia "True Green" - True Green Chinese Elm

LEGEND	Tree Type	Tree Type	
● (Purple)	Arbutus marina- Arbutus	● (Dark Green)	Platanus acerfolia "BloodGood"
● (Light Green)	Cinnamomum camphora- Camphor Tree\ \Pinus Canariensis - Canary Island Pine	● (Dark Green)	London Plane Tree
● (Yellow)	Pyrus calleryana - Ornamental Pear	● (Blue)	Pinus canariensis- Canary Island Pine
● (Light Blue)	Tipuana tipu- Tipu Tree	● (Red)	Pyrus calleryana "Aristocrat"- Ornamental Pear
● (Yellow-Green)	Ulmus parvifolia "True Green"- True Green Chinese Elm	● (Orange)	Liquidambar stryaciflua "Burgundy"- Burgandy Sweet Gum
● (Pink)	Rhus lancea- African Sumac	● (Purple)	Shinus molle- California Pepper
		● (Green with Yellow)	CREEK EDGE TREES
			Alnus rhombifolia - White Alder
			Salix babyonica - Weeping Willow
			Geijera parvifolia - Australian Willow
			Betula alba - European White Birch

# CONCEPTUAL LANDSCAPE PLAN

EXHIBIT 19





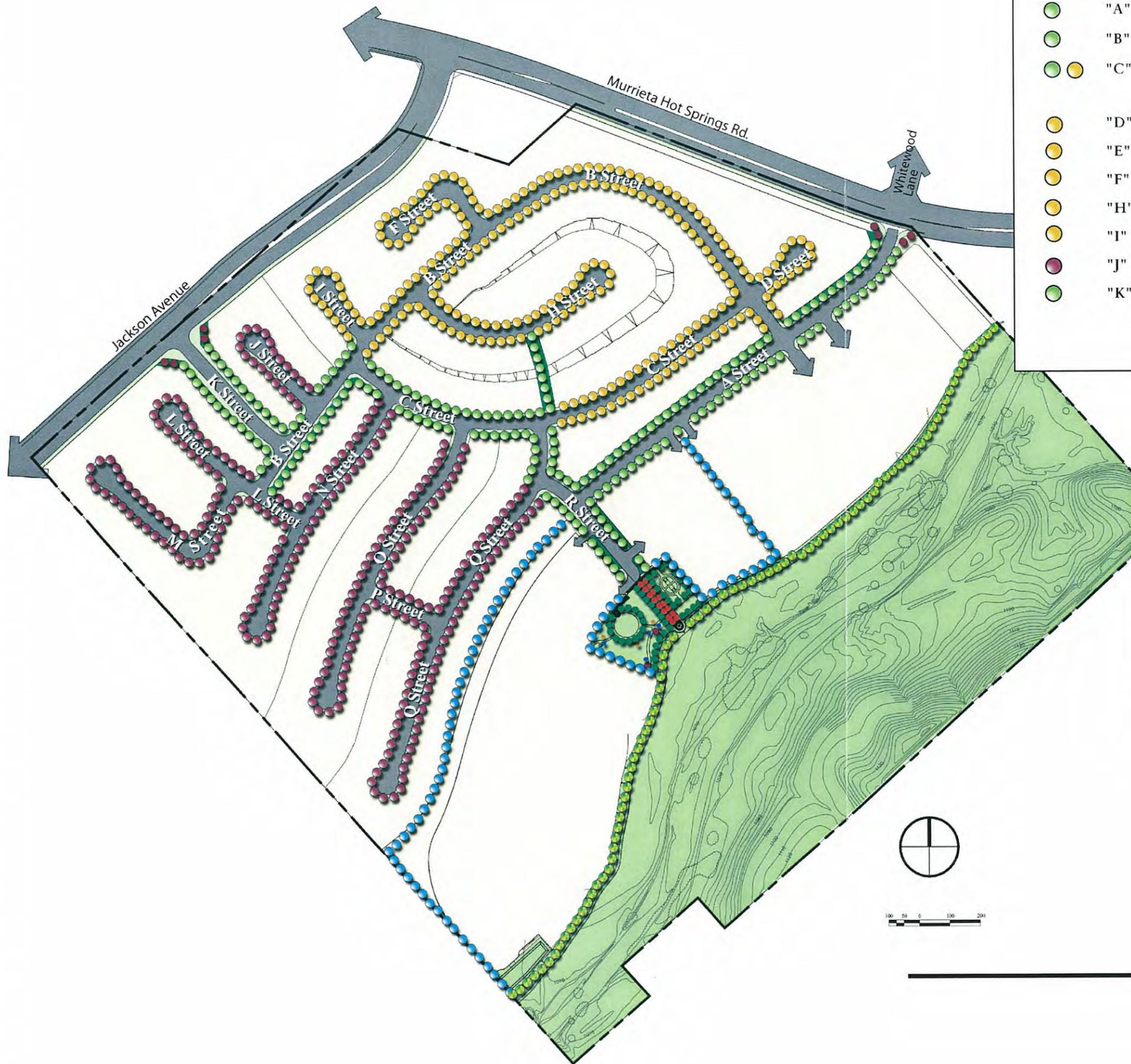
LEGEND		Street Name	Tree Type
● (Light Green)	"A" Cinnamomum camphora- Camphor Tree\ Pinus canariensis - Canary Island Pine	"L"	Arbutus marina- Arbutus
● (Light Green)	"B" Cinnamomum camphora- Camphor Tree\ Pinus canariensis - Canary Island Pine	"M"	Arbutus marina- Arbutus
● (Light Green) ● (Yellow)	"C" Cinnamomum camphora- Camphor Tree\ Pinus canariensis - Canary Island Pine Pyrus calleryana - Ornamental Pear	"N"	Arbutus marina- Arbutus
● (Yellow)	"D" Pyrus calleryana - Ornamental Pear	"O"	Arbutus marina- Arbutus
● (Yellow)	"E" Pyrus calleryana - Ornamental Pear	"P"	Arbutus marina- Arbutus
● (Yellow)	"F" Pyrus calleryana - Ornamental Pear	"Q"	Arbutus marina- Arbutus
● (Yellow)	"H" Pyrus calleryana - Ornamental Pear	"R"	Cinnamomum camphora- Camphor Tree\ Pinus Canariensis - Canary Island Pine
● (Yellow)	"I" Pyrus calleryana - Ornamental Pear	● (Blue)	Multi Tipuana tipu- Tipu Tree where used as Family street tree, mixed with Pinus Canariensis - Canary Island Pine & Arbutus marina - Arbutus when planting on bank area
● (Purple)	"J" Arbutus marina- Arbutus	● (Light Green)	"V" Ulmus parvifolia "True Green" - True Green Chinese Elm
● (Light Green)	"K" Cinnamomum camphora- Camphor Tree\ Pinus Canariensis - Canary Island Pine	● (Light Green)	"X" Ulmus parvifolia "True Green" - True Green Chinese Elm

LEGEND	Tree Type	Tree Type	
● (Purple)	Arbutus marina- Arbutus	● (Green)	Platanus acerfolia "BloodGood" London Plane Tree
● (Light Green)	Cinnamomum camphora- Camphor Tree\ Pinus Canariensis - Canary Island Pine	● (Blue)	Pinus canariensis- Canary Island Pine
● (Yellow)	Pyrus calleryana - Ornamental Pear	● (Red)	Pyrus calleryana "Aristocrat"- Ornamental Pear
● (Blue)	Tipuana tipu- Tipu Tree	● (Orange)	Liquidambar stryaciflua "Burgundy"- Burgandy Sweet Gum
● (Light Green)	Ulmus parvifolia "True Green"- True Green Chinese Elm	● (Purple)	Shinus molle- California Pepper
● (Pink)	Rhus lancea- African Sumac	● (Green)	CREEK EDGE TREES
		● (Light Green)	Alnus rhombifolia - White Alder
		● (Light Green)	Salix babyonica - Weeping Willow
		● (Light Green)	Geijera parvifolia - Australian Willow
		● (Light Green)	Betula alba - European White Birch

# CONCEPTUAL LANDSCAPE PLAN ALTERNATIVE 3

EXHIBIT 20





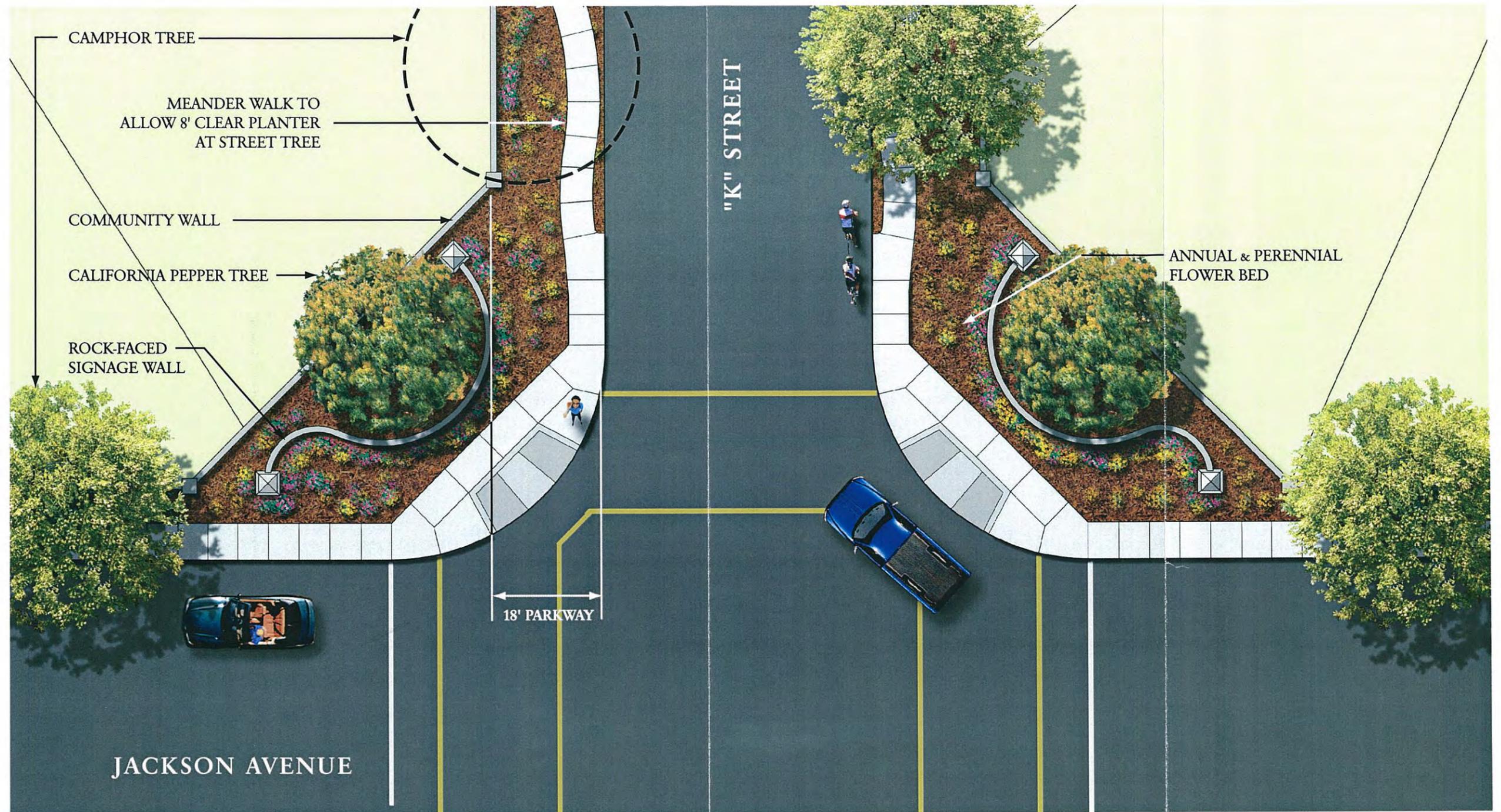
LEGEND		Street Name	Tree Type
●	"A" Cinnamomum camphora- Camphor Tree\ Pinus canariensis - Canary Island Pine	"L"	Arbutus marina- Arbutus
●	"B" Cinnamomum camphora- Camphor Tree\ Pinus canariensis - Canary Island Pine	"M"	Arbutus marina- Arbutus
●	"C" Cinnamomum camphora- Camphor Tree\ Pinus canariensis - Canary Island Pine Pyrus calleryana - Ornamental Pear	"N"	Arbutus marina- Arbutus
●	"D" Pyrus calleryana - Ornamental Pear	"O"	Arbutus marina- Arbutus
●	"E" Pyrus calleryana - Ornamental Pear	"P"	Arbutus marina- Arbutus
●	"F" Pyrus calleryana - Ornamental Pear	"Q"	Arbutus marina- Arbutus
●	"H" Pyrus calleryana - Ornamental Pear	"R"	Cinnamomum camphora- Camphor Tree\ \Pinus Canariensis - Canary Island Pine
●	"I" Pyrus calleryana - Ornamental Pear	Multi	Tipuana tipu- Tipu Tree where used as street tree, mixed with Pinus Canariensis - Canary Island Pine & Arbutus marina - Arbutus when planting on bank area
●	"J" Arbutus marina- Arbutus	"V-Y"	Ulmus parvifolia "True Green" - True Green Chinese Elm Ulmus parvifolia "True Green" - True Green Chinese Elm
●	"K" Cinnamomum camphora- Camphor Tree\ \Pinus Canariensis - Canary Island Pine		

LEGEND	Tree Type	Tree Type
●	Arbutus marina- Arbutus	● Platanus acerfolia "BloodGood" London Plane Tree
●	Cinnamomum camphora- Camphor Tree\ \Pinus Canariensis - Canary Island Pine	● Pinus canariensis- Canary Island Pine
●	Pyrus calleryana - Ornamental Pear	● Pyrus calleryana "Aristocrat"- Ornamental Pear
●	Tipuana tipu- Tipu Tree	● Liquidambar stryaciflua "Burgundy"- Burgandy Sweet Gum
●	Ulmus parvifolia "True Green"- True Green Chinese Elm	● Shinus molle- California Pepper
●	Rhus lancea- African Sumac	● CREEK EDGE TREES Alnus rhombifolia - White Alder Salix babyonica - Weeping Willow Geijera parvifolia - Australian Willow Betula alba - European White Birch

# CONCEPTUAL LANDSCAPE PLAN ALTERNATIVE 4

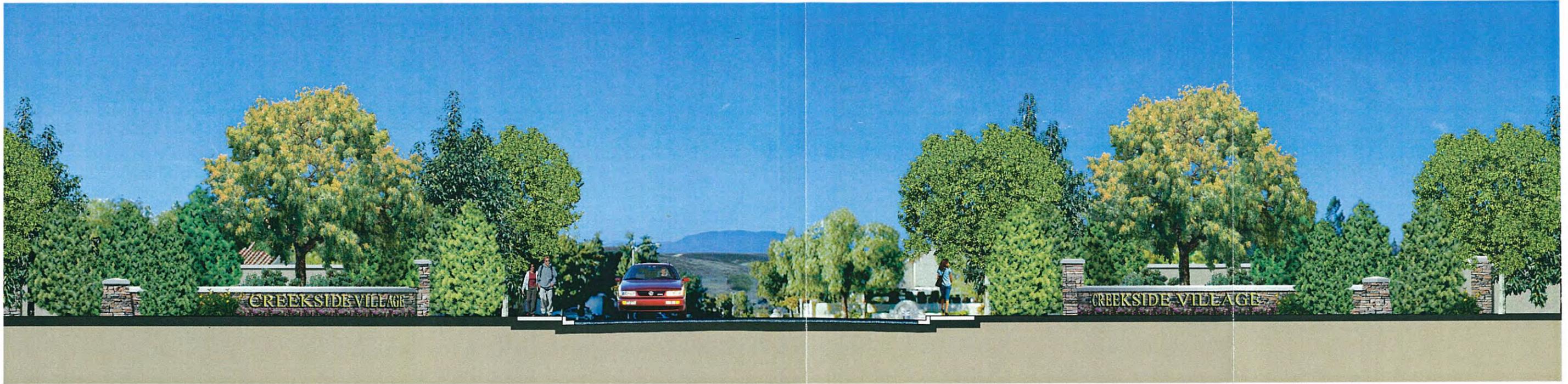
EXHIBIT 21





**COMMUNITY  
ENTRY**  
**JACKSON AVENUE ENTRY**  
**EXHIBIT 22**

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COMMUNITY WALL - 6' IN HEIGHT IN LT. EARTH-TONED STUCCO WITH STONE-FACED PILASTERS, 200' MAXIMUM ON CENTER

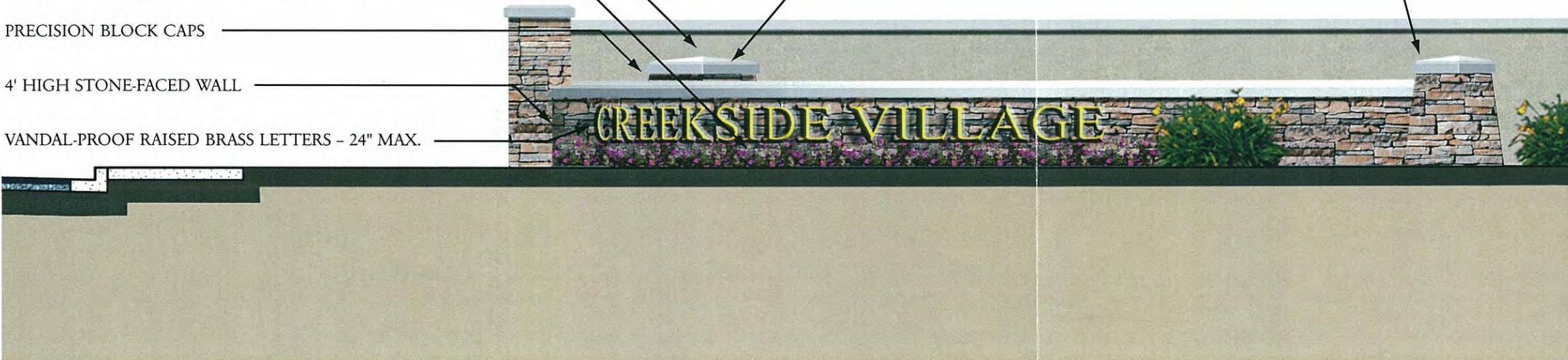
4'-6" HIGH STONE-FACED BATTERED PILASTERS

PERENNIALS AND SHRUBS CHOSEN FROM INDIVIDUAL NEIGHBORHOOD PLANT PALETTE

PRECISION BLOCK CAPS

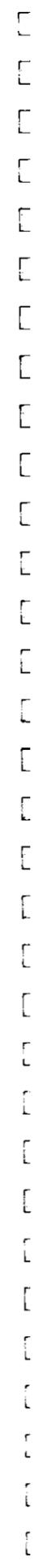
4' HIGH STONE-FACED WALL

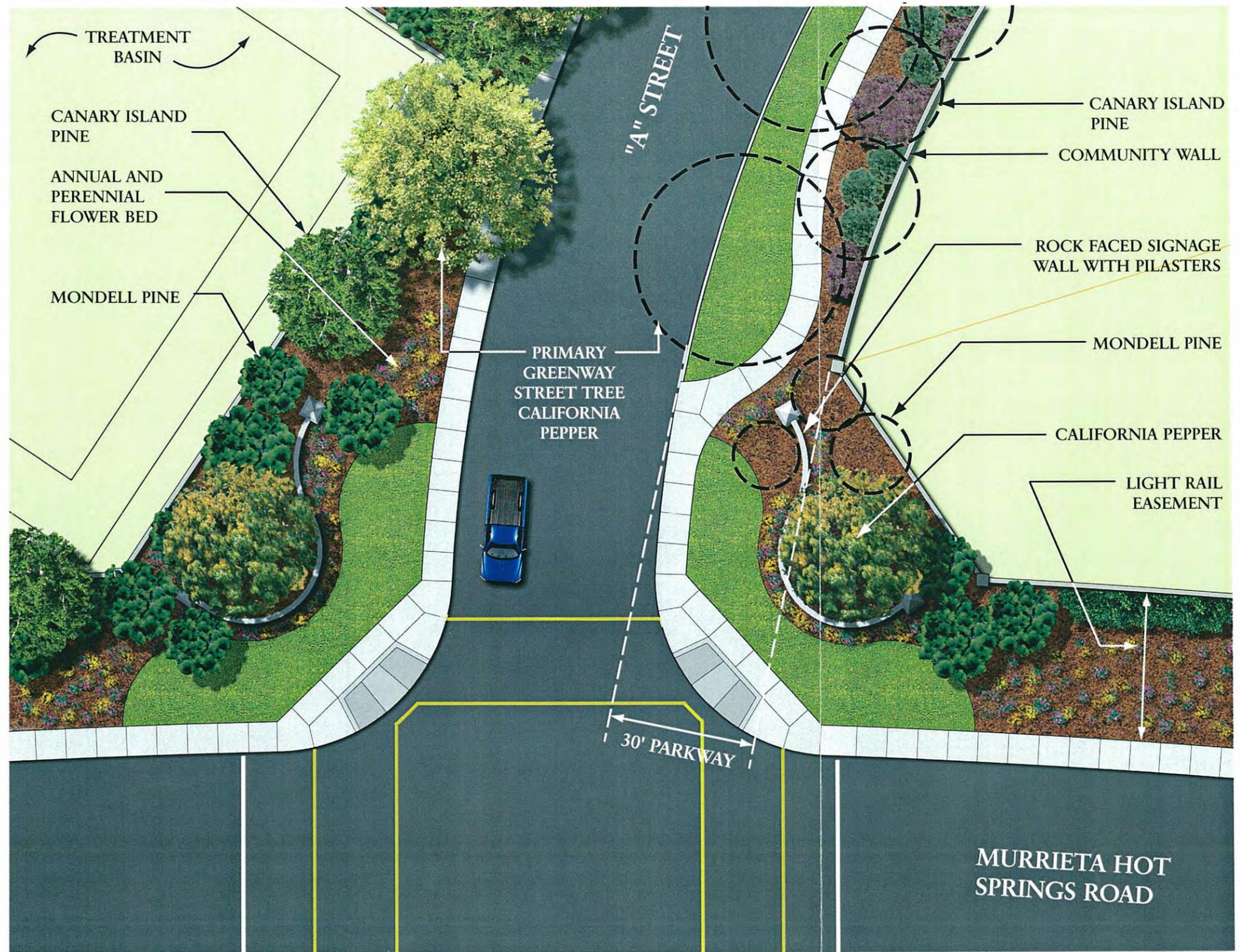
VANDAL-PROOF RAISED BRASS LETTERS - 24" MAX.



**COMMUNITY  
ENTRY**  
JACKSON AVENUE ENTRY  
ELEVATION

**EXHIBIT 23**

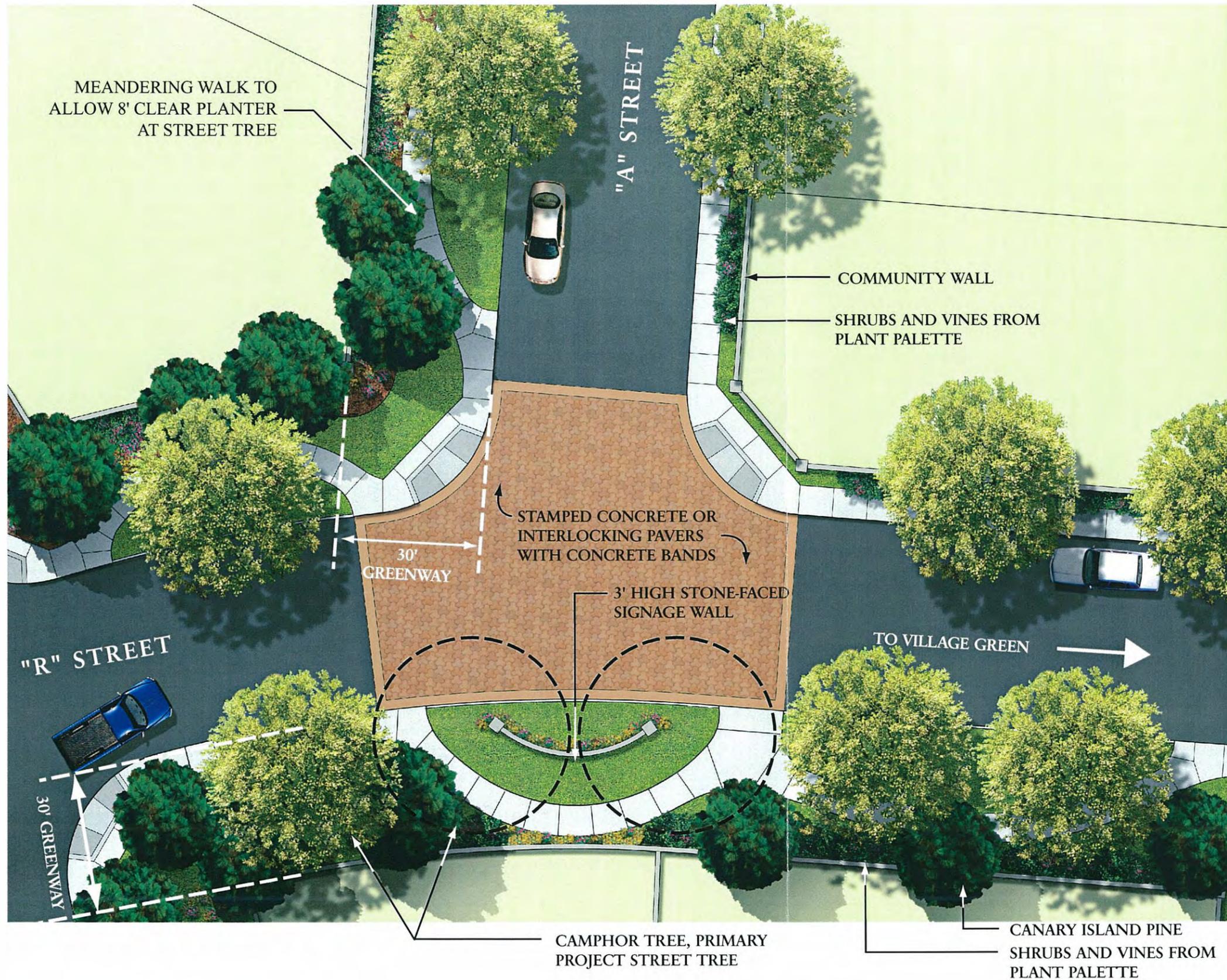




**COMMUNITY  
ENTRY**  
MURRIETA HOT SPRINGS  
ROAD ENTRY

EXHIBIT 24

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**NEIGHBORHOOD  
ENTRY  
ENTRY TO VILLAGE  
GREEN**

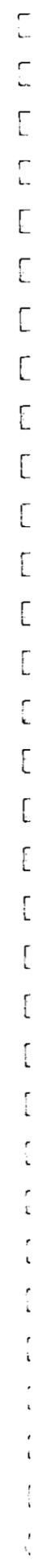
**EXHIBIT 25**

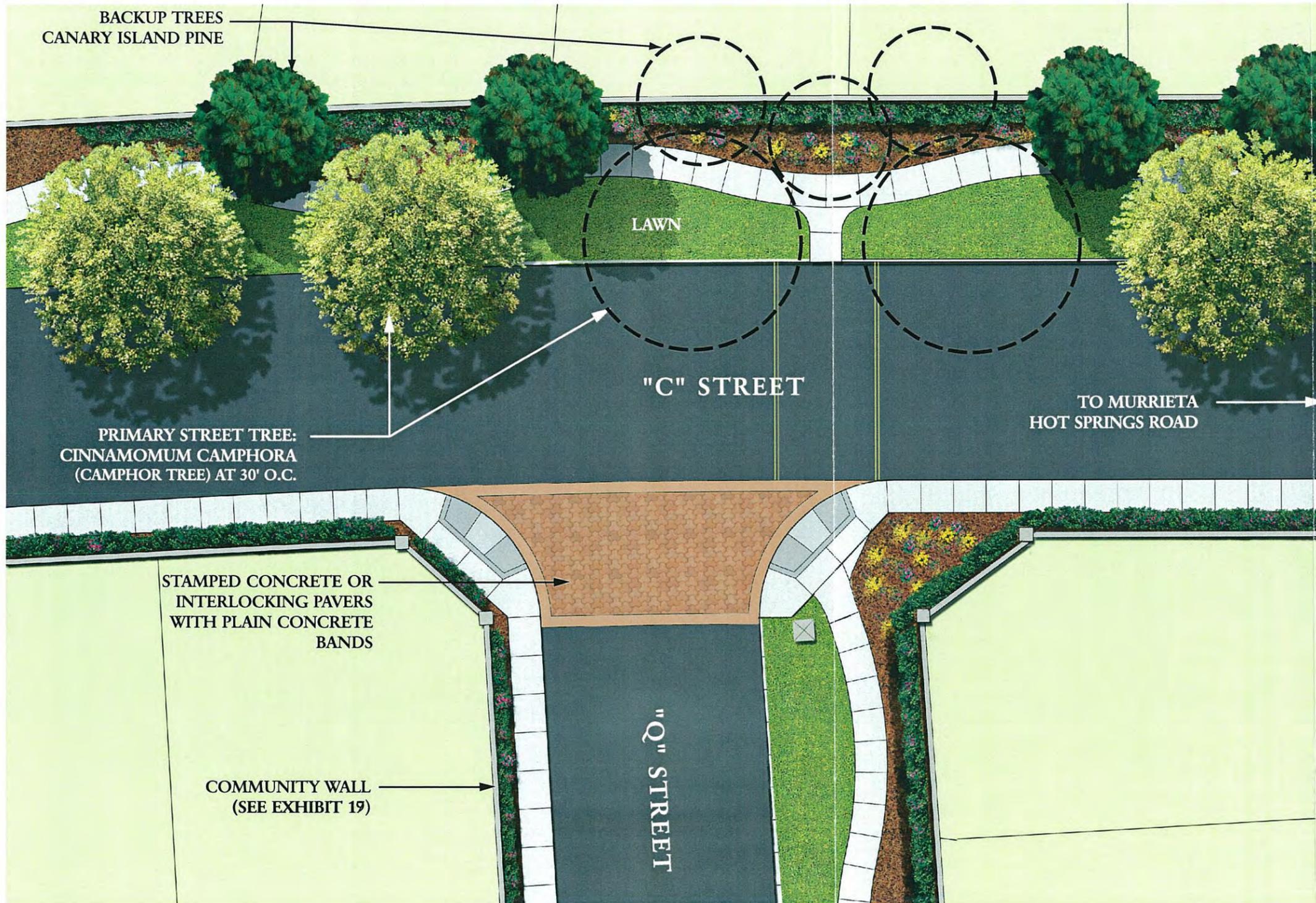
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**NEIGHBORHOOD  
ENTRY**  
ENTRY TO UPLAND  
NEIGHBORHOOD ENTRY

EXHIBIT 26



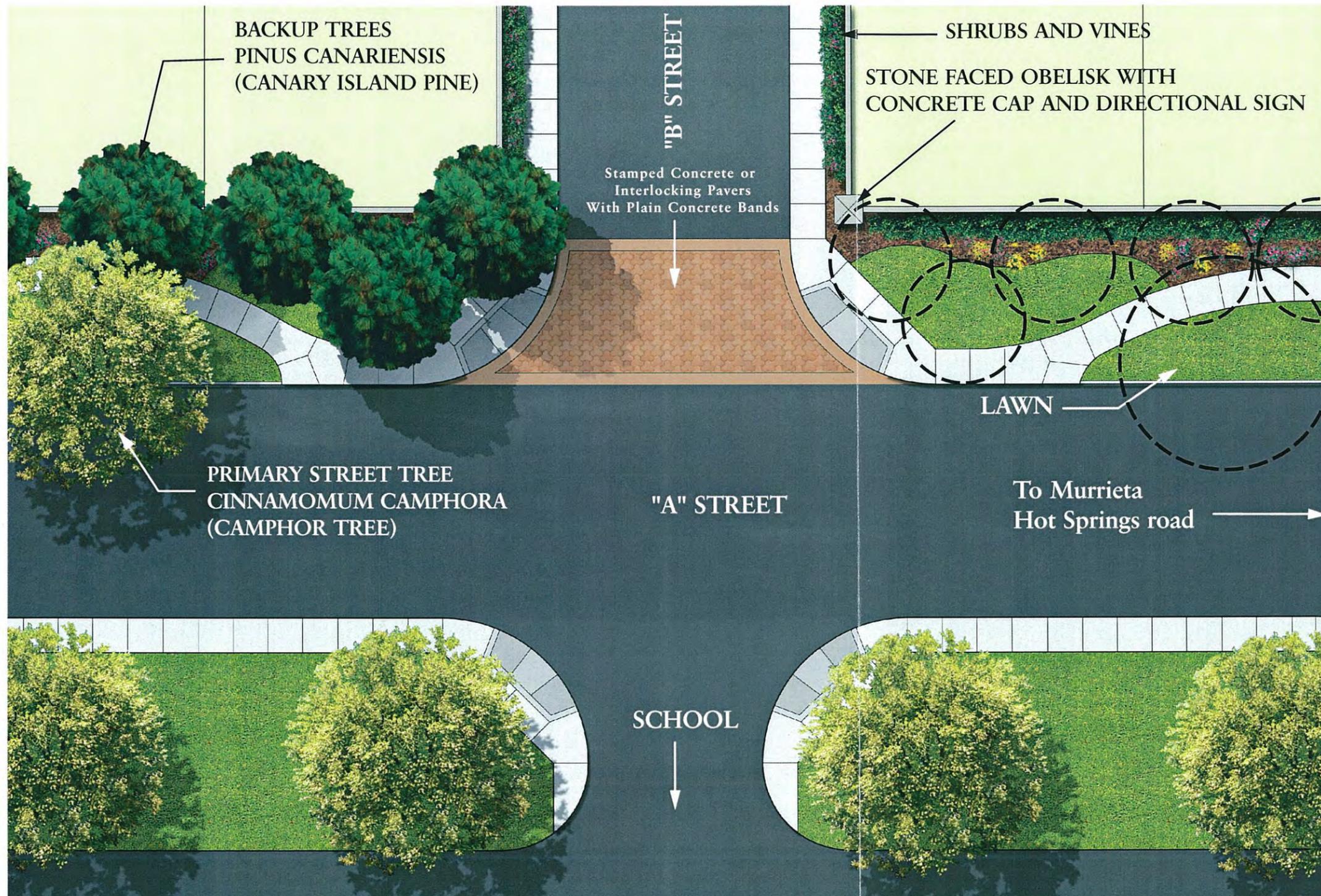


**NEIGHBORHOOD  
ENTRY**

**SOUTH ENTRY TO  
UPLAND NEIGHBORHOOD**

**EXHIBIT 27**





BACKUP TREES  
PINUS CANARIENSIS  
(CANARY ISLAND PINE)

"B" STREET

SHRUBS AND VINES

STONE FACED OBELISK WITH  
CONCRETE CAP AND DIRECTIONAL SIGN

Stamped Concrete or  
Interlocking Pavers  
With Plain Concrete Bands

LAWN

PRIMARY STREET TREE  
CINNAMOMUM CAMPHORA  
(CAMPHOR TREE)

"A" STREET

To Murrieta  
Hot Springs road

SCHOOL

## NEIGHBORHOOD ENTRY

ENTRY TO SCHOOL/HILLTOP  
NEIGHBORHOOD

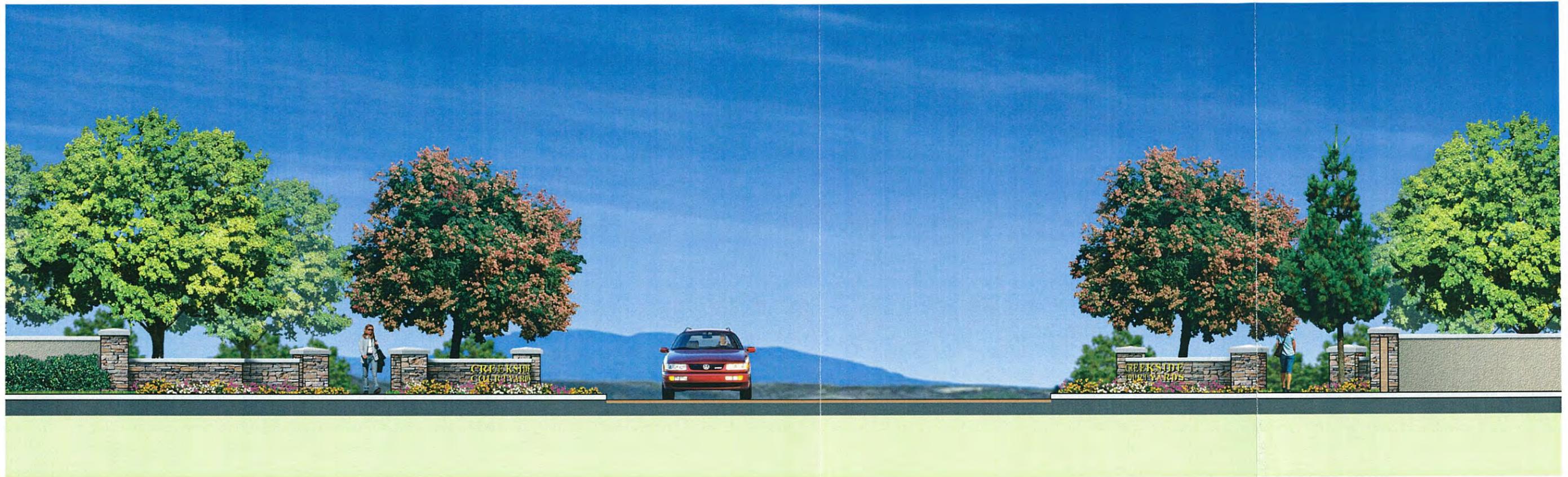
EXHIBIT 28

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**MULTI-FAMILY  
ENTRY**  
**'T' & 'B' STREET ENTRY  
PLAN VIEW**  
**EXHIBIT 29**





COMMUNITY WALL - 6' IN HEIGHT IN LT. EARTH-TONED STUCCO WITH STONE-FACED PILASTERS, 200' MAXIMUM ON CENTER

PRECISION BLOCK CAPS

3' HIGH STONE-FACED WALL

VANDAL-PROOF RAISED BRASS LETTERS - 24" MAX.

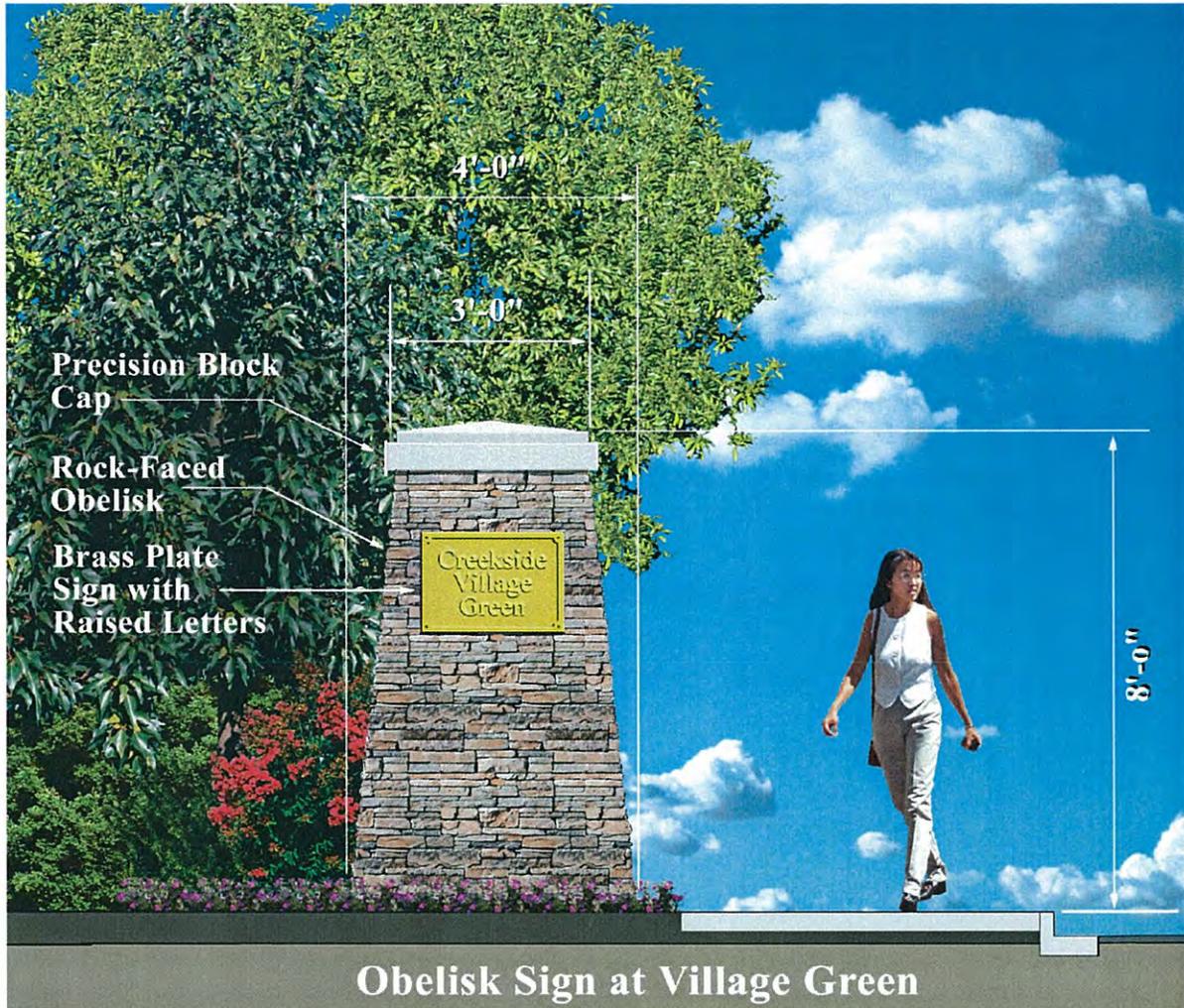
PERENNIALS AND SHRUBS CHOSEN FROM INDIVIDUAL NEIGHBORHOOD PLANT PALETTE



**MULTI-FAMILY  
ENTRY  
'T' & 'B' STREET ENTRY  
ELEVATIONS**

**EXHIBIT 30**

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## OBELISK SIGN

EXHIBIT 31

**MURRIETA HOT SPRINGS ROAD PARKWAY TREES:**

Pinus Eldarica Min. 24" Box  
Mondell Pine 15' – 25' O.C. Random  
Liquidambar Styraciflua "Festival" Min. 15 Gallon  
Festival Sweetgum 15' – 25' O.C. Random

**JACKSON ROAD PARKWAY TREES:**

Pinus Eldarica Min. 24" Box  
Mondell Pine 15' – 25' O.C. Random  
Liquidambar Styraciflua "Festival" Min. 15 Gallon  
Festival Sweetgum 15' – 25' O.C. Random

**MURRIETA HOT SPRINGS ROAD ENTRY TREE:**

Schinus Molle Min. 48" Box  
California Pepper 20' – 30' O.C. Random

**JACKSON ROAD ENTRY TREE:**

Chinus Molle Min. 48" Box  
California Pepper 20' – 30' O.C. Random

**GREENWAY TRAIL / PRIMARY PROJECT STREET TREE:**

Cinnamomum Camphora Min. 24" Box  
Camphor Tree 1 Per Lot Or 30' O.C.

**GREENWAY TRAIL VERTICAL TREE:**

Pinus canariensis Min. 15 Gallon  
Canary Island Pine 15' – 25' O.C. Random

**HILLTOP NEIGHBORHOOD STREET TREE:**

Pyrus calleryana Min. 15 Gallon  
Ornamental Pear 1 Per Lot Or 30' O.C.

**UPLAND NEIGHBORHOOD STREET TREE:**

Arbutus Marina Min. 15 Gallon  
Arbutus 1 Per Lot Or 30' O.C.

**TERRACES NEIGHBORHOOD STREET TREE:**

Tipuana Tipu Min. 15 Gallon  
Tipu Tree 1 Per Lot Or 30' O.C.

**PARKSIDE NEIGHBORHOOD STREET TREE:**

Rhus Lancea Min. 15 Gallon  
African Sumac 1 Per Lot Or 30' O.C.

**CONTINUATION NEIGHBORHOOD STREET TREE:**

Ulmus Parvifolia "True Green" Min. 15 Gallon  
True Green Chinese Elm 1 Per Lot Or 30' O.C.

**INTERIOR SLOPE TREES:**

Platanus Racemosa Min. 15 Gallon  
California Sycamore 25' – 35' O.C. Random  
Quercus Agrifolia Min. 15 Gallon  
Coast Live Oak 20' – 30' O.C. Random  
Pinus Halepensis Min. 15 Gallon  
Aleppo Pine 15' – 25' O.C. Random  
Ceratonia Siliqua Min. 15 Gallon  
Carob Tree 20' – 30' O.C. Random  
Brachychiton Populneus Min. 15 Gallon  
Bottle Tree 15' – 25' O.C. Random  
Cercis Occidentalis Min. 15 Gallon  
Western Redbud 10' – 20' O.C. Random

**WARM SPRINGS CREEK EDGE TREES:**

Alnus Rhombifolia Min. 15 Gallon  
White Alder 20' – 30' O.C. Random

**WARM SPRINGS CREEK EDGE TREES: (continued)**

- Salix Babylonica Min. 15 Gallon
- Weeping Willow 20' – 30' O.C. Random
- Geijera Parvifolia Min. 15 Gallon
- Australian Willow 15' – 25' O.C. Random
- Betula Alba Min. 15 Gallon
- European White Birch 15' – 25' O.C. Random

**PLAZA AND AMPHITHEATER TREE:**

- Platanus Acerifolia "Bloodgood" Min. 36" Box
- London Plane Tree 15' – 25' O.C.

**PLAYGROUND TREES:**

- Schinus Molle Min. 24" Box
- California Pepper 20' – 30' O.C.
- Liquidambar Styraciflua "Burgundy" Min. 15 Gallon
- Burgundy Sweet Gum 15' – 25' O.C. Random
- Pinus Canariensis Min. 15 Gallon
- Canary Island Pine 15' – 25' O.C. Random

**BASKETBALL COURT TREE:**

- Pyrus Calleryana "Aristocrat" Min. 24" Box
- Ornamental Pear 15' – 25' O.C.

**ORNAMENTAL SHRUB LIST:**

	SIZE	SPACING
Agapanthus Africanus (Lily Of The Nile)	1 gal.	18-24" o.c.
Hemerocallis Species (Day Lily)	1 gal.	18-24" o.c.
Tulbaghia Violacea (Society Garlic)	5 gal.	18-24" o.c.
Trachelospermum Jasminoides (Star Jasmine)	1 gal.	18-24" o.c.
Cistus Species (Rockrose)	5 gal.	4'-5' o.c.
Ilex Vomitoria "Nana" (Dwarf Yaupon)	5 gal.	3'-4' o.c.
Buxus Microphylla (Boxwood)	5 gal.	3'-4' o.c.
Raphiolepis Indica (India Hawthorn)	5 gal.	5'-6' o.c.

**MASTER PLANT LIST** *(continued)*

**TABLE 3**

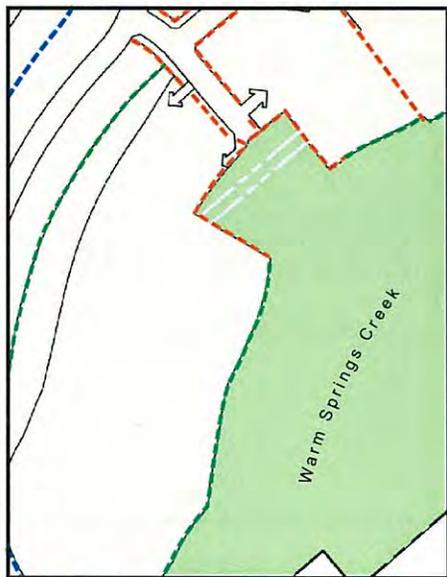
ORNAMENTAL SHRUB LIST: <i>(continued)</i>	SIZE	SPACING
Ligustrum Texanum (Texas Privet)	5 gal.	4'-6' o.c.
Pittosporum Tobira (Tobira)	5 gal.	3'-4' o.c.
Abelia Grandiflora (Abelia)	5 gal.	5'-6' o.c.
Xylosma Congestum "Compacta" (Compact Xylosma)	5 gal.	8'-10' o.c.
 <b>SLOPE SHRUB LIST:</b>		
Acacia Ongerup (Acacia)	1 gal.	5'-6' o.c.o.c.
Rosmarinus Officinalis (Rosemary)	1 gal.	3'-4' o.c.
Echium Fastuosum (Pride Of Madeira)	1 gal.	3'-4' o.c.
Ceanothus Species (California Lilac)	5 gal.	6'-8' o.c.
Juniperus Chinensis (Chinese Juniper)	5 gal.	5'-10' o.c.
Xylosma Congestum "Compacta" (Compact Xylosma)	5 gal.	8'-10' o.c.
Elaeagnus Pungens (Silverberry)	5 gal.	8'-10' o.c.
Cotoneaster Lacteus (Red Clusterberry)	5 gal.	8.-10' o.c.
Arbutus Unedo (Strawberry Tree)	5 gal.	10'-15' o.c.
Feijoa Sellowiana (Pineapple Guava)	5 gal.	15'-20' o.c.

**GROUND COVER:**

- Sodded Fescue Lawn
- Dwarf Improved Tall Fescue Sod
- Shredded Bark Mulch Min. 2" Deep With Container Shrubs And Vines
- Or Rooted Cuttings of Gazania "Mitsuna Yellow" @ 12" O.C.

**NOTES:**

*All landscaped areas to be automatically irrigated by means of sprinkler systems with computerized, multi-programmable controllers and matched precipitation rate heads.*  
*All materials and workmanship shall conform with all governing codes and ordinances and any applicable design guidelines and/or C.C. & R's.*  
*The above lists of trees and shrubs are not all-inclusive; other plant species can be proposed and be accepted, pending approval by the City of Murrieta.*  
*Shrub spacing may be adjusted depending upon location.*  
*Erosion control measures may be required depending upon time of year.*



ALTERNATIVE 4 WALL LOCATION

**WALL LOCATION PLAN**

LEGEND

- Sound Attenuating Wall
- Community Wall
- Project Wall
- Project View Wall

**EXHIBIT 32**

C. Sound Attenuation Walls shall be located along Murrieta Hot Springs Road as required for noise attenuation. Design shall be the same as for Collector/Community Walls, except that they may be higher depending on grades and sound-attenuating requirements.

D. Collector/Community Walls shall be located where residential development abuts the collector road, the Village Green, and the elementary school (if constructed). Pilasters to be placed at all corners and wall direction changes at a minimum of 200 ft. on center.

E. Project walls shall be designed to be both compatible in materials and colors with the architecture of each project, and reflect the overall Creekside Village Design. Where project walls abut open space, a project view wall of wrought iron may be used, subject to City Design Review.

### 3.4 OPEN SPACE DESIGN

#### 3.4.1 Village Green and Amphitheater

The Village Green planned for Creekside Village will allow for a variety of recreational opportunities that supplement those available in Firefighters Park and Pond Park, northeast of the project site.

Village Green Requirements:

- A. Owned and maintained by the City.
- B. Located adjacent to Warm Springs Creek as shown on the Village Green/Elementary School exhibit (Exhibit 17, Section 2).
- C. Provide connections to the multi-use trail system along Warm Springs Creek and to the Creekside Village greenway trail system.
- D. Contain recreational amenities such as informal open grassy play areas, children's

play equipment, gazebo, Amphitheater and two half-size basketball courts.

E. Comply with section 7.4.11 of the Public Facilities Financing Plan chapter of this Specific Plan which provides the conditions relating to the construction of the park.

F. Provide emergency access between streets "U" and "T". The design of the access way shall be reviewed and approved by the Fire Department (Note: In the case of Alternative 3, this connection will not be necessary).

#### 3.4.2 Trail System

An 8-foot wide multi-use trail is planned along the northwest side of Warm Springs Creek that will connect to a future regional creek-side trail continuing along the creek to the north and south.

Meandering 6' walk in project greenways (additional 20 ft. of right-of-way along selected streets) that connect residential neighborhoods on-site to the regional trail, adjoining neighborhoods and to the elementary school and Village Green.

Trail System Requirements:

- A. Owned /maintained by the City of Murrieta.
- B. Located as shown on the Open Space and Trails Plan (Exhibit 31).
- C. Provide pedestrian and mountain bike access to the Village Green and off-site trail links.
- D. Contain both decomposed granite and natural soil trails (in Warm Springs Creek) and concrete walks in greenways, pursuant to the provisions of the City of Murrieta Community Services District.
- E. Designed to minimize impacts to the Warm Springs Creek.



**EXHIBIT 33**



**TYPICAL  
GREENWAY  
ILLUSTRATION**

**EXHIBIT 34**

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Warm Springs  
Creek

Warm Springs Creek Regional Trail - Paved where it serves as a Creekside Village Pedestrian connection - Decomposed granite and natural soils in other areas.

Multi-Family  
Residential

2:1 Slope Landscaped Bank  
Varies in Height from 4 ft to 14 ft.

Varies: 8' to 15' in width

**WARM SPRINGS  
CREEK REGIONAL  
WATERWAY TRAIL**

ILLUSTRATION

EXHIBIT 35





**OVERVIEW OF ENTIRE TERRACE**



**BIRDSEYE PERSPECTIVE  
OVERLOOKING WARM SPRINGS CREEK**

**EXHIBIT 36**

**ENLARGEMENT OF VILLAGE GREEN AREA**



F. Contain rest areas and picnic areas as identified on the Open Space and Trails Plan (Exhibit 33).

G. Comply with section 7.4.11 of the Public Facilities Financing Plan chapter of this Specific Plan which provides the conditions relating to the construction of the trail system.

### 3.4.3 Open Space Development Requirements

A. Natural Open Space In and Along Warm Springs Creek

- Property or easement owned by the County of Riverside or the City of Murrieta, and maintained by the City of Murrieta.
- This project shall comply with the City of Murrieta's Tree Preservation ordinance (Murrieta Municipal Code 16.42).

B. Modified Open Space

- Owned and maintained by the City of Murrieta.
- Open space areas along Creek will be developed to be compatible with the natural vegetation in Warm Springs Creek.

## 3.5 GRADING

Grading Design consists of the following elements:

### 3.5.1 Conceptual Cut and Fill

The Conceptual Cut and Fill Plan is identified in Exhibit 35.

### 3.5.2 Grading Requirements

The following standards are required to implement these Grading Design elements:

A. All grading shall comply with the Murrieta

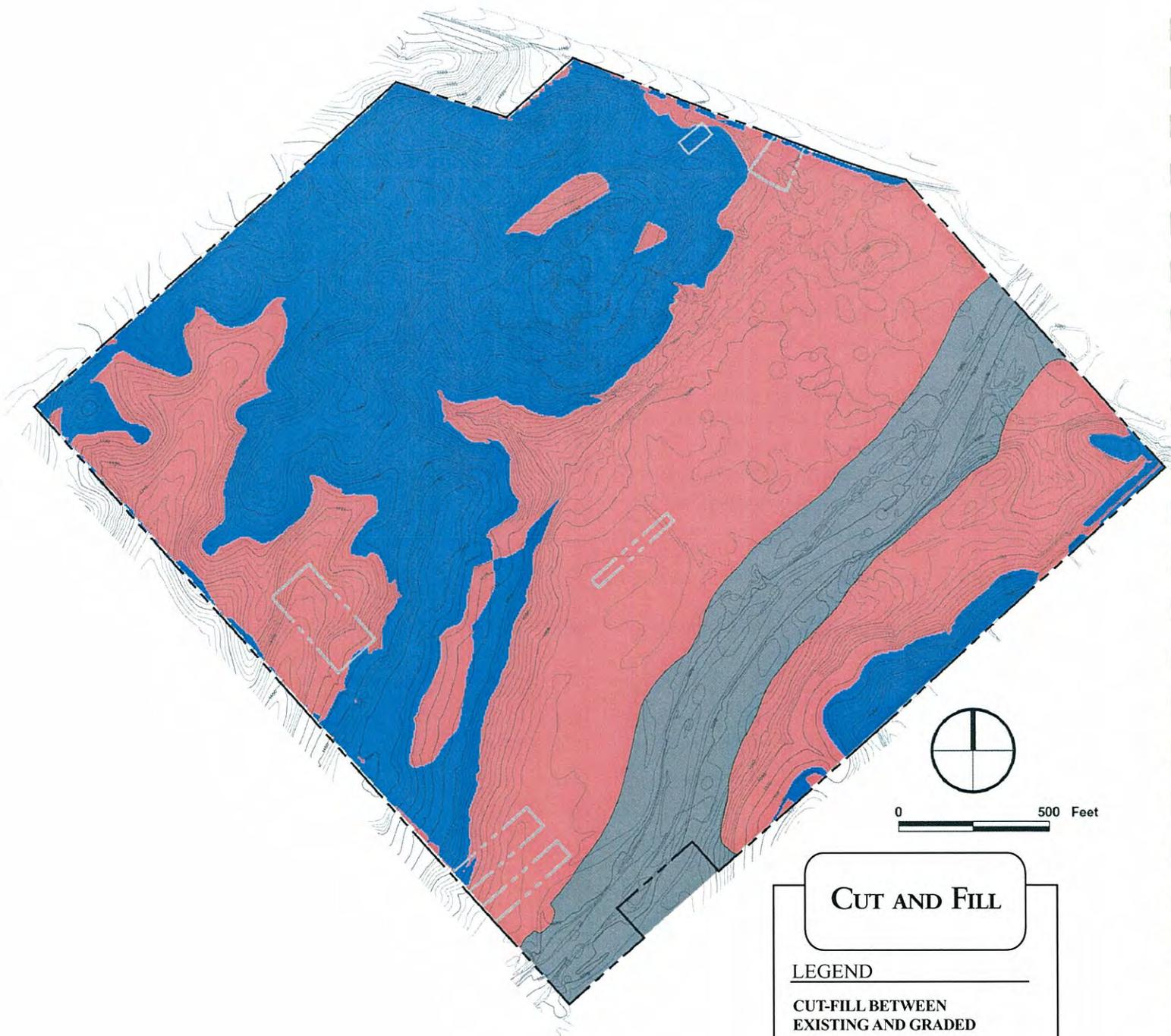
Grading Manual adopted by Resolution No. 93-206, and any subsequent amendments thereto. Grading within the floodplain shall comply with City and FEMA floodplain requirements.

B. Contour grading shall be utilized wherever physically possible along the Creek where the results have a lesser visual impact than conventional grading techniques.

C. A balance between cut and fill within the total Specific Plan area shall be maintained. Any excess earth shall be utilized on-site.

D. Variation and undulation of all slopes along the Creek shall be utilized where possible to retain the natural character of the creek.

E. Graded soils and exposed slopes shall be seeded and planted as soon as the site grading is complete, pursuant to Murrieta Community Service District Standards and/or City Landscape Architect requirements as appropriate.



**CUT AND FILL**

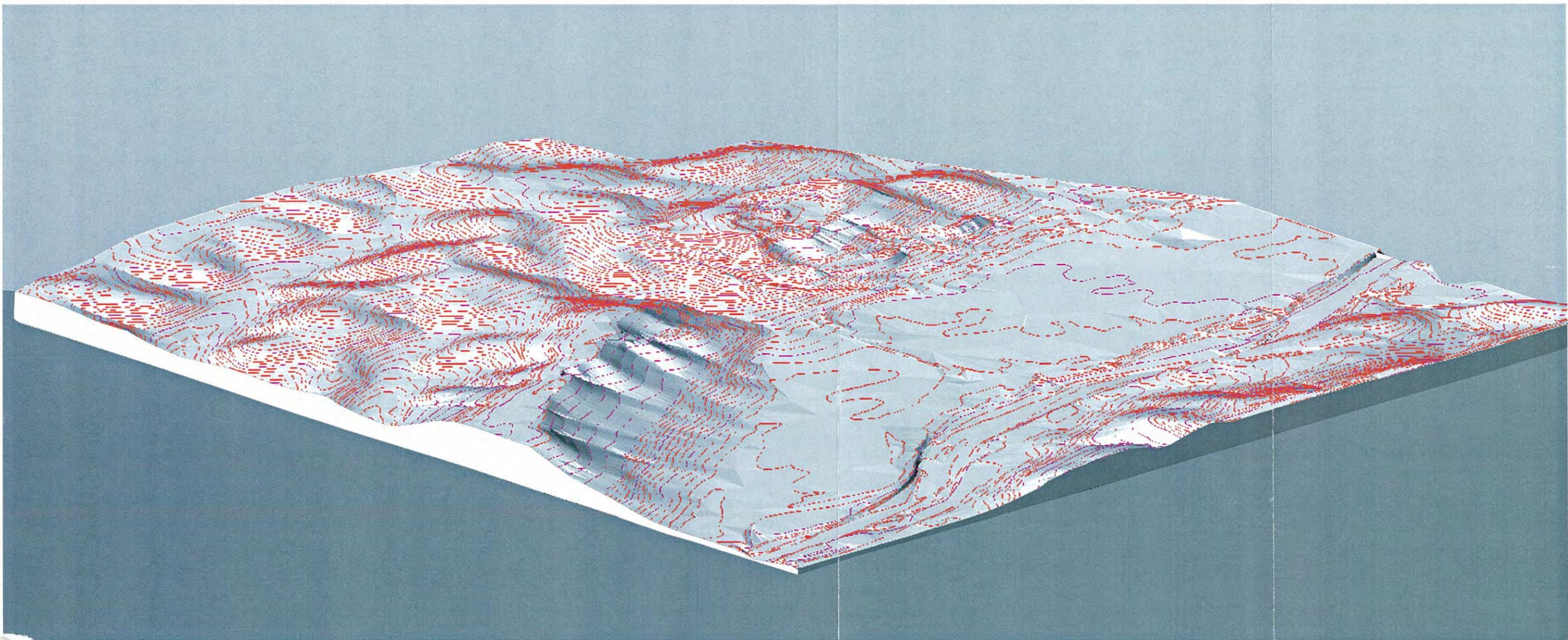
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**LEGEND**

**CUT-FILL BETWEEN EXISTING AND GRADED**

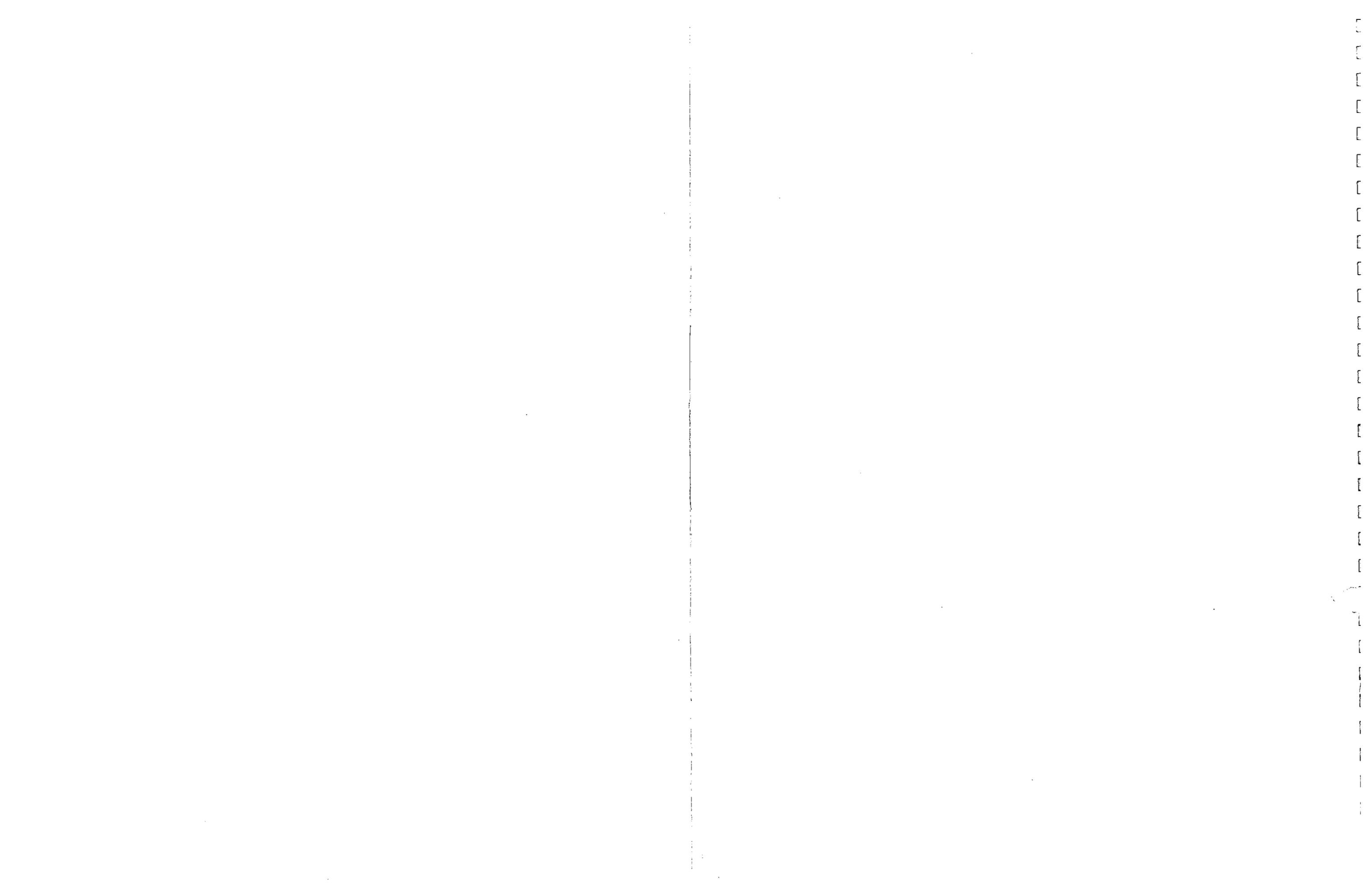
	<b>FILL</b>
	<b>UNCHANGED</b>
	<b>CUT</b>

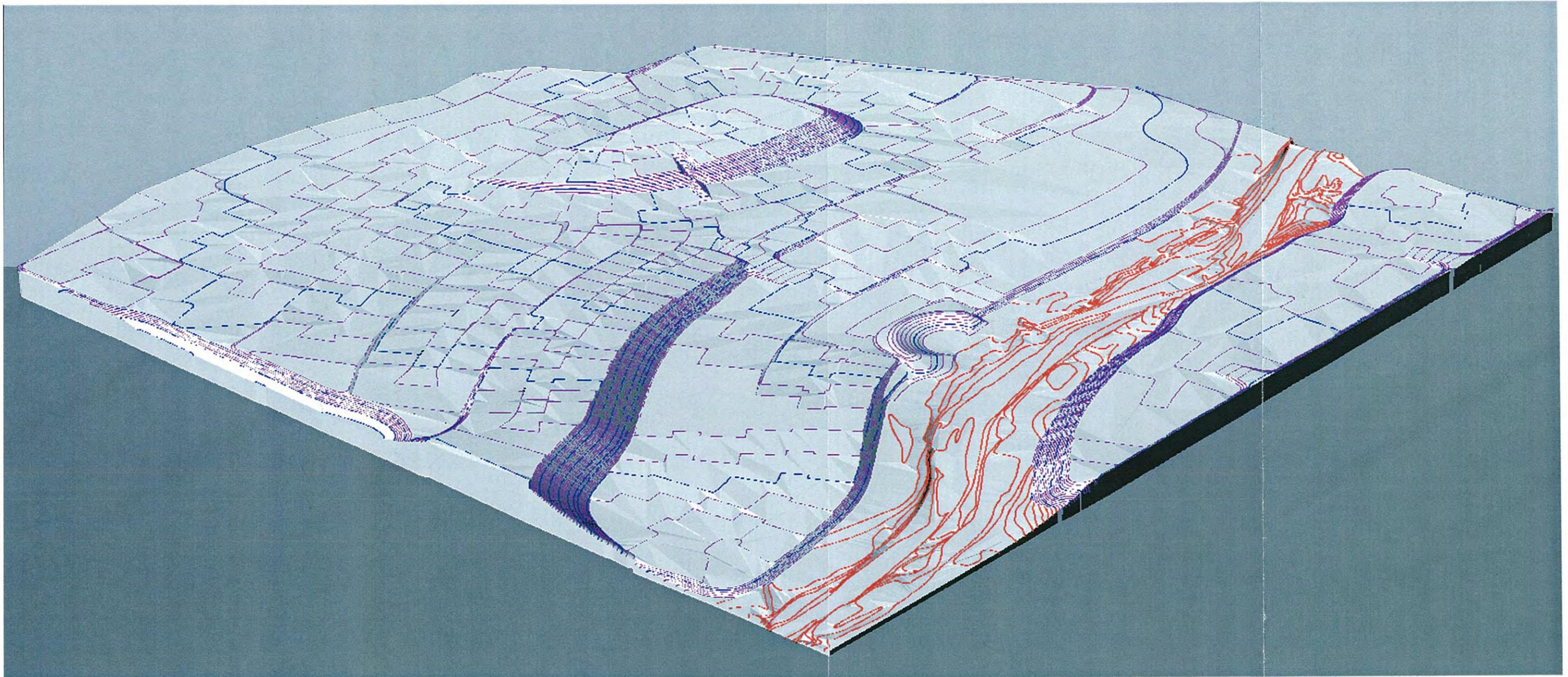
**EXHIBIT 37**



**3D VIEW  
LOOKING NORTH  
EXISTING CONDITIONS**

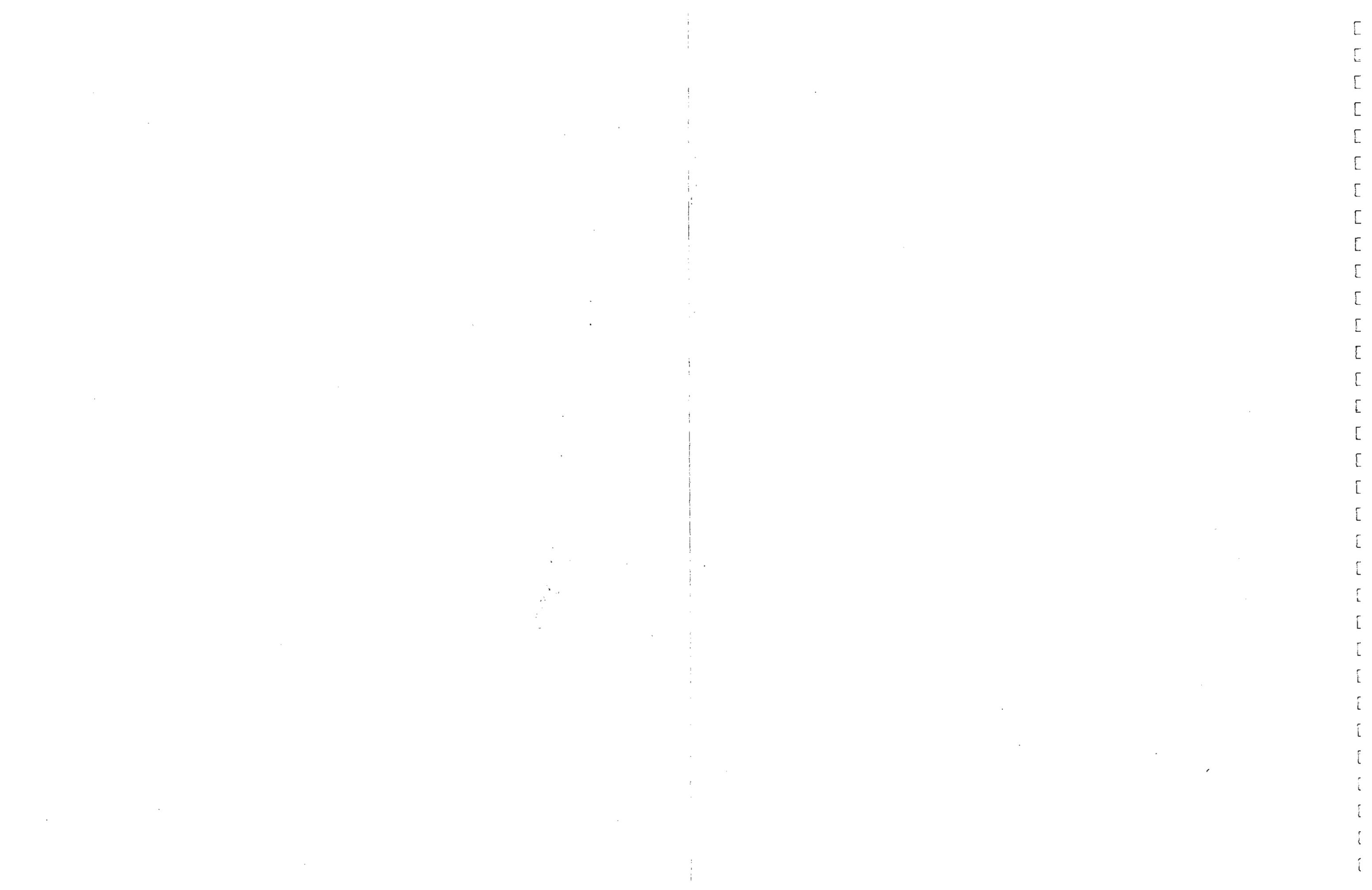
**EXHIBIT 38**





**3D VIEW  
LOOKING NORTH  
SITE GRADING**

**EXHIBIT 39**



## 4.0 LAND USE REGULATIONS

### 4.1 General Provisions

A. Maximum number of units are as follows:

*Project* (Single Family with school): 500 du's  
*Alt 1* (Single Family no School): 550 du's  
*Alt 2* (With Multi-Fam no school): 726 du's  
*Alt 3* (With Multi-Fam with school): 780 du's  
*Alt 4* (With Multi-Fam with school): 730 du's

B. The City of Murrieta's Development Code shall regulate development in Creekside Village, except as modified by the regulation standards contained in this specific plan.

C. In cases where the Creekside Village Specific Plan development regulations and standards conflict with those in the City of Murrieta's Development Code, the Creekside Village Specific Plan development standards shall apply.

#### Project

The permitted uses for the Creekside Village Specific Plan area shall be consistent with those listed in the Murrieta Municipal Code for the SF-1 and SF-2 designations. Project and Alt. 1:

*East Side Neighborhood* (7,200 sf Lots): SF-1  
*Upland Neighborhood* (6,000 sf Lots): SF-2  
*Terraces Neighborhood* (5,500 sf Lots): SF-2  
*Hilltop Neighborhood* (5,000 sf Lots): SF-2

#### Alternatives

##### Alternatives 2 Permitted Uses

East Side Neighborhood (7,200 sf Lots): SF-1  
 Upland Neighborhood (6,000 sf Lots): SF-2  
 Terraces Neighborhood (Multi-Family): MF-2  
 (5,500 sf Lots): SF-2  
 Hilltop Neighborhood (5,000 sf Lots): SF-2

##### Alternatives 3 Permitted Uses

East Side Neighborhood (7,200 sf Lots): SF-1  
 Upland Neighborhood (6,000 sf Lots): SF-2  
 Terraces Neighborhood (Multi-Family): MF-2

DEVELOPMENT STANDARDS	
DEVELOPMENT FEATURE	CREEKSIDE VILLAGE SPECIFIC PLAN
<b>Eastside Neighborhood</b>	
Minimum Parcel Size	7,200 sq. ft.
Minimum Parcel Width (at setback)	70 ft.
<b>Uplands Neighborhood</b>	
Minimum Parcel Size	6,000 sq. ft.
Minimum Parcel Width (at setback)	60 ft.
<b>Terraces Neighborhood</b>	
Minimum Parcel Size	5,500 sq. ft.
Minimum Parcel Width (at setback)	55 ft.
<b>Hilltop Neighborhood</b>	
Minimum Parcel Size	5,000 sq. ft.
Minimum Parcel Width (at setback)	50 ft.
Minimum Parcel Width – Cul De Sac & Knuckle	25 ft
Density (Overall Target - all SF)	3.5 DU/AC
Density (Overall Target - with MF)	5.4 DU/AC
Minimum Livable Area	1,000 sq. ft.
<b>SETBACKS</b>	
<b>MAIN DWELLING UNIT</b>	
Front	20 ft. *
Side	5 ft. each minimum
Lots 50 ft. or greater in width	10 ft. min. combined for both sides
Lots 60 ft. or greater in width	12 ft. min. combined for both sides
Lots 65 ft. or greater in width	15 ft. min. combined for both sides
Street Side	10 ft.
Rear	20 ft.
<b>ACCESSORY STRUCTURES</b>	
Front	20 ft.
Side (Each)	3 ft. Except 5 ft. if over 150 Sq. ft.
Street Side	3 ft. Except 5 ft. if over 150 Sq. ft.
Rear	3 ft. Except 5 ft. if over 150 Sq. ft.
<b>PARCEL COVERAGE</b>	
Maximum Parcel Coverage	
Maximum Height Limit	
* (15 feet with side-on garage)	
Notes:	
- For any standard not listed above, the provisions of the Murrieta Municipal Code will apply.	
- Multi-Family is subject to MF-2 Standards of the Development Code	

### 4.3 Modifications to Development Standards Table

Hilltop Neighborhood (5,000 sf Lots): SF-2

**Alternatives 4 Permitted Uses**

East Side Neighborhood (7,200 sf Lots): SF-1  
 Upland Neighborhood (6,000 sf Lots): SF-2  
 Terraces Neighborhood (Multi-Family): MF-2  
 Hilltop Neighborhood (5,000 sf Lots): SF-2

Note: Exceptions to Development Standards. The development standards listed in this chapter may be waived or modified through the minor variance procedure, if it is determined that the standard or regulation is inappropriate for the proposed use, area, lot, parcel, or structure, and that the waiver or modification of the standard will not be contrary to the public health, safety, and general welfare.

**4.2 Density Calculations**

Density/maximum unit calculations may include project landscaped banks, whether part of parcel or owned by City.

**4.4 Alternative Summary**

The table below summarizes the differences between the project and three alternatives:

<b>ALTERNATIVE SUMMARY</b>					
<b>CHARACTERISTICS</b>	<b>PROJECT</b>	<b>ALT #1</b>	<b>ALT #2</b>	<b>ALT #3</b>	<b>ALT #4</b>
<b>7,000 SF Lots</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>0</b>
<b>6,000 SF Lots</b>	<b>170</b>	<b>170</b>	<b>170</b>	<b>170</b>	<b>170</b>
<b>5,500 SF Lots</b>	<b>110</b>	<b>160</b>	<b>90</b>	<b>0</b>	<b>0</b>
<b>5,000 SF Lots</b>	<b>170</b>	<b>170</b>	<b>170</b>	<b>170</b>	<b>170</b>
<b>Multi-Family</b>	<b>0</b>	<b>0</b>	<b>246</b>	<b>390</b>	<b>390</b>
<b>TOTAL UNITS</b>	<b>500</b>	<b>550</b>	<b>726</b>	<b>780</b>	<b>730</b>
<b>Elem. School</b>	<b>Yes</b>	<b>No</b>	<b>No</b>	<b>Yes</b>	<b>Yes</b>

## 5.0 INFRASTRUCTURE, UTILITIES, AND PUBLIC SERVICES

Infrastructure, utilities, and public services serve as the backbone for any community. Careful planning and engineering of public water, sewer, storm drainage systems, and utilities provide the necessities of life for the development of a planned community. All conventional public services, utilities and infrastructure will be provided in the Specific Plan area, including water, sewer, drainage, electrical and natural gas.

### 5.1 CIRCULATION

#### Existing Conditions

- Murrieta Hot Springs Road is currently paved at 60 feet within a right-of-way of 100 feet.
- There are no other on-site circulation improvements.

#### Proposed Development Conditions

- The road layout for Creekside Village is consistent with the City of Murrieta General Plan Circulation Element.
- The Circulation Plan, exhibit 40, on page 5-2 provides the anticipated road layout for the Specific Plan.
- Exhibits 41 through 43, beginning on page 5-3, provide a cross sectional schematic of each street type within the Specific Plan.
- Stamped concrete or concrete pavers at intersections subject to City Engineer's approval.

Jackson Avenue is designated in the General Plan Circulation Plan as a Major (4 Lanes and a Median) to be 76 ft. curb to curb in a 100 ft R.O.W. and to

be located along the project's northwest property line. In the future, it will connect Murrieta Hot Springs Road to Ynez Road in Temecula.

### 5.2 DRAINAGE

#### Existing Conditions

- The Creekside Village site is divided into 50 small watershed basins by north and south trending small hills and broad drainage lowlands.
- Warm Springs Creek runs through the subject property and can accept treated runoff and drainage.

#### Proposed Developed Conditions

- Development of the Creekside Village Specific Plan will alter the shape, gradient and surface conditions of all the existing on-site drainage basins thus increasing the amount of storm water runoff.
- All storm water flows will exit the developed Creekside Village into Warm Springs Creek after appropriate basin treatment.
- The completed project will result in no net increase in storm water flows leaving the site.
- The developed condition runoff is less than or equal to the existing condition runoff based on 2-year, 5-year, 10-year and 100-year storms.
- Drainage measures are identified on the Drainage Plan, Exhibit 44.

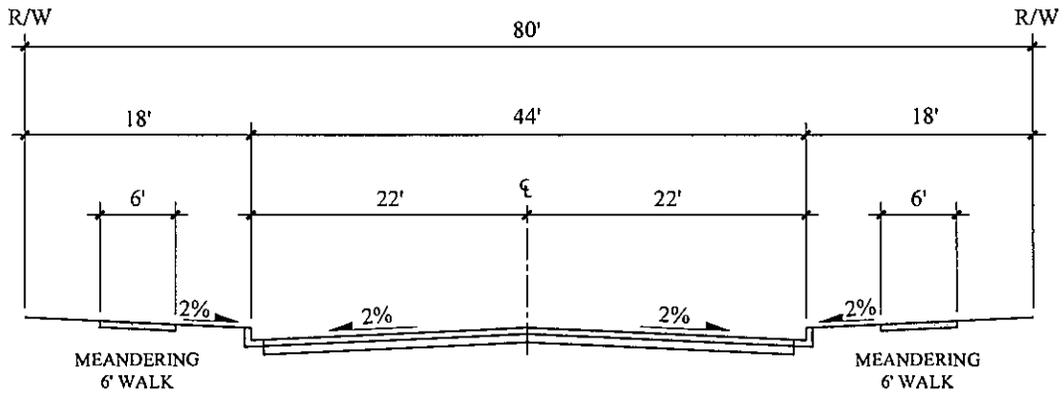


**CIRCULATION PLAN**

**LEGEND**

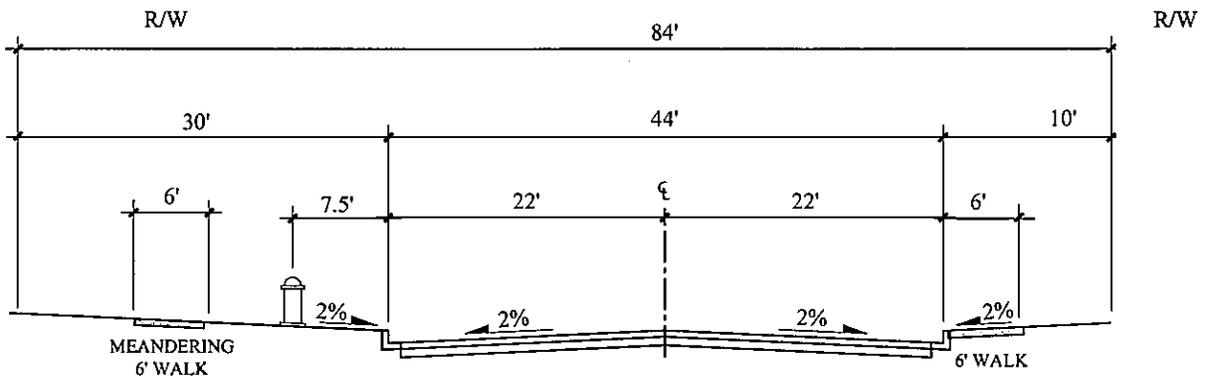
- K Street Collector
- A Street Collector
- Residential with Greenway (D St. Typical)
- Residential Streets (N Street Typical)
- Short Cul-De-Sacs (L Street Typical)
- Multi-Family Entrance
- Murrieta Hot Springs Road
- Jackson Road
- Greenway
- Residential
- School
- Future Light Rail Easment

## Exhibit 40



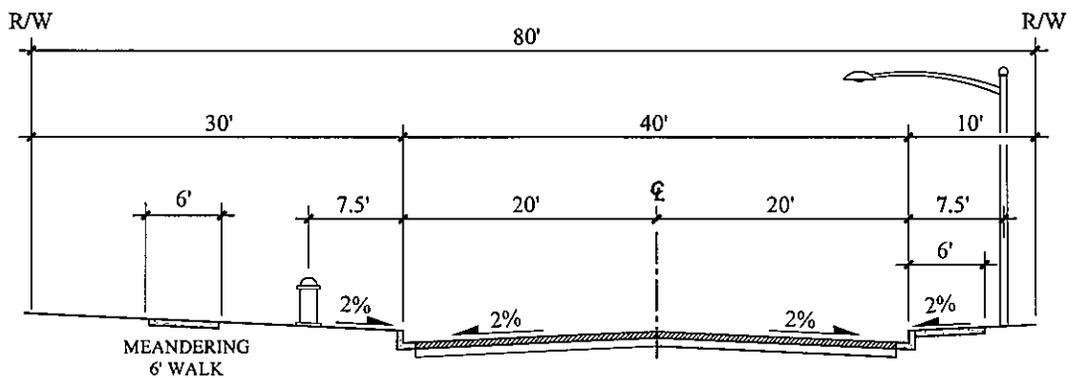
**"K" STREET (TYP.)**

66' R.O.W. WITH ADDITIONAL 7' PARKWAY ON EACH SIDE



**"A" STREET (TYP.)**

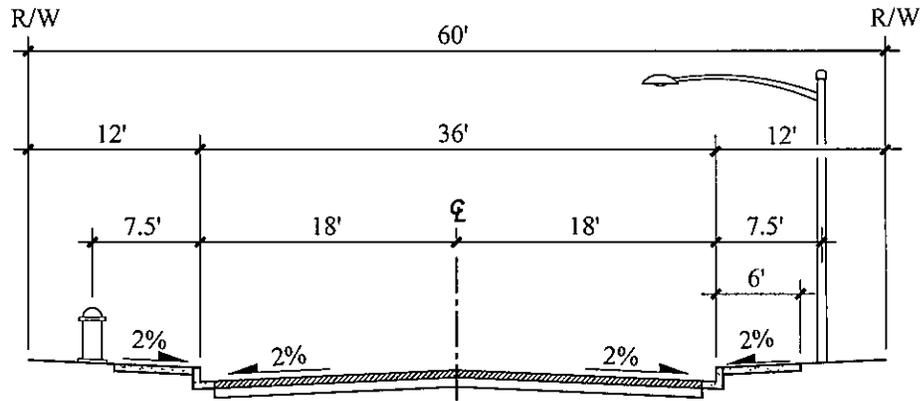
COLLECTOR STREETS WITH GREEN WAY



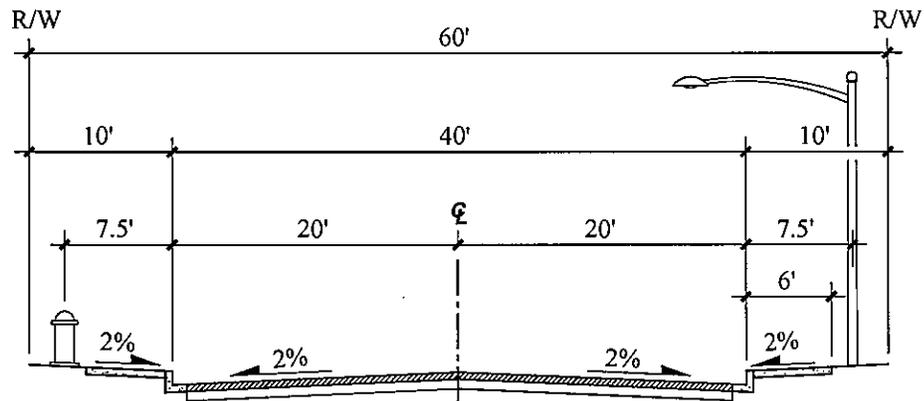
**"C" STREET (TYP.)**

RESIDENTIAL STREETS WITH GREENWAY

**Exhibit 41**

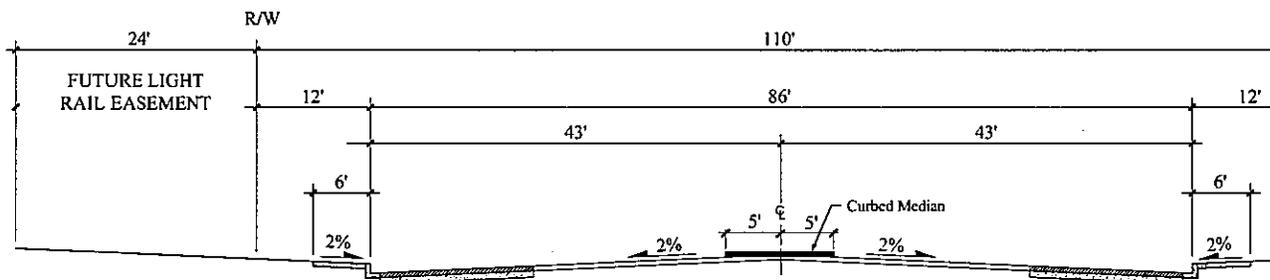


**"L" STREET (TYP.)**  
**SHORT CUL-DE SAC STREETS**

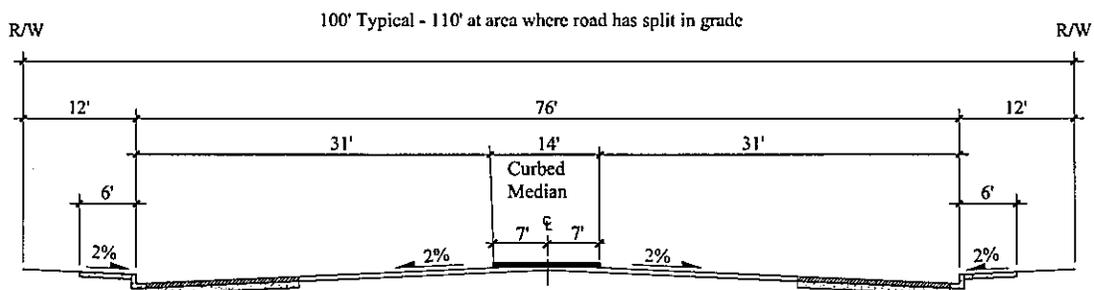


**"N" STREET (TYP.)**  
**RESIDENTIAL STREETS**

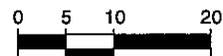
**Exhibit 42**



## MURRIETA HOT SPRINGS ROAD



## JACKSON AVENUE



**Exhibit 43**

### **5.3 SEWER**

#### **Existing Conditions**

- The Creekside Village Specific Plan area is located within the boundaries of the Eastern Municipal Water District.
- Project sewerage can be accommodated by an existing 36 inch diameter sewer line along the northwest side of Warm Springs Creek. The northern portion of this existing sewer line will be re-routed to avoid occurring under new project development.

#### **Proposed Developed Conditions**

- According to EMWD, this existing line has capacity to take all waste water generated by the Creekside Village development.
- The sewer system proposed for the Creekside Village Specific Plan is consistent with the future plans as established by the Eastern Municipal Water District.
- The Waste Water Plan, Exhibit 45, on page 5-8 provides the anticipated location and sizes of the backbone sewer improvements needed for the Creekside Village Specific Plan.
- Impacts created by the development of the Creekside Village Specific Plan have been evaluated and are anticipated by EMWD, and its Urban Water Management Plan.

### **5.4 WATER SERVICE**

#### **Existing Conditions**

- The Creekside Village Specific Plan area is located within the boundaries of the Eastern Municipal Water District.
- There are no on-site water facilities located within the boundaries of the Creekside Village Specific Plan area.

- An existing 16" water main is located in Murrieta Hot Springs Road. According to the Murrieta Hot Springs Road Improvement Plan, Project No. 96-142, this existing main has the capacity to serve the Creekside Village development.

#### **Proposed Developed Conditions**

- The water system proposed for the Creekside Village Specific Plan is consistent with the future plans as established by the Eastern Municipal Water District.
- The Water Service Plan, Exhibit 46 on page 5-9 provides the anticipated location and sizes of the backbone water improvements needed for the Creekside Village Specific Plan.
- The water service on property southeast of Warm Springs Creek will connect to existing water lines in the street stub-outs in the existing subdivision to the southeast. The water system on the property northwest of Warm Springs will connect to an existing 16 inch water main in Murrieta Hot Springs Road via Jackson Avenue and A Street.
- Impacts created by the development of the Creekside Village Specific Plan have been evaluated and are anticipated by EMWD.

### **5.5 FIRE PROTECTION AND EMERGENCY MEDICAL SERVICES**

#### **Existing Conditions**

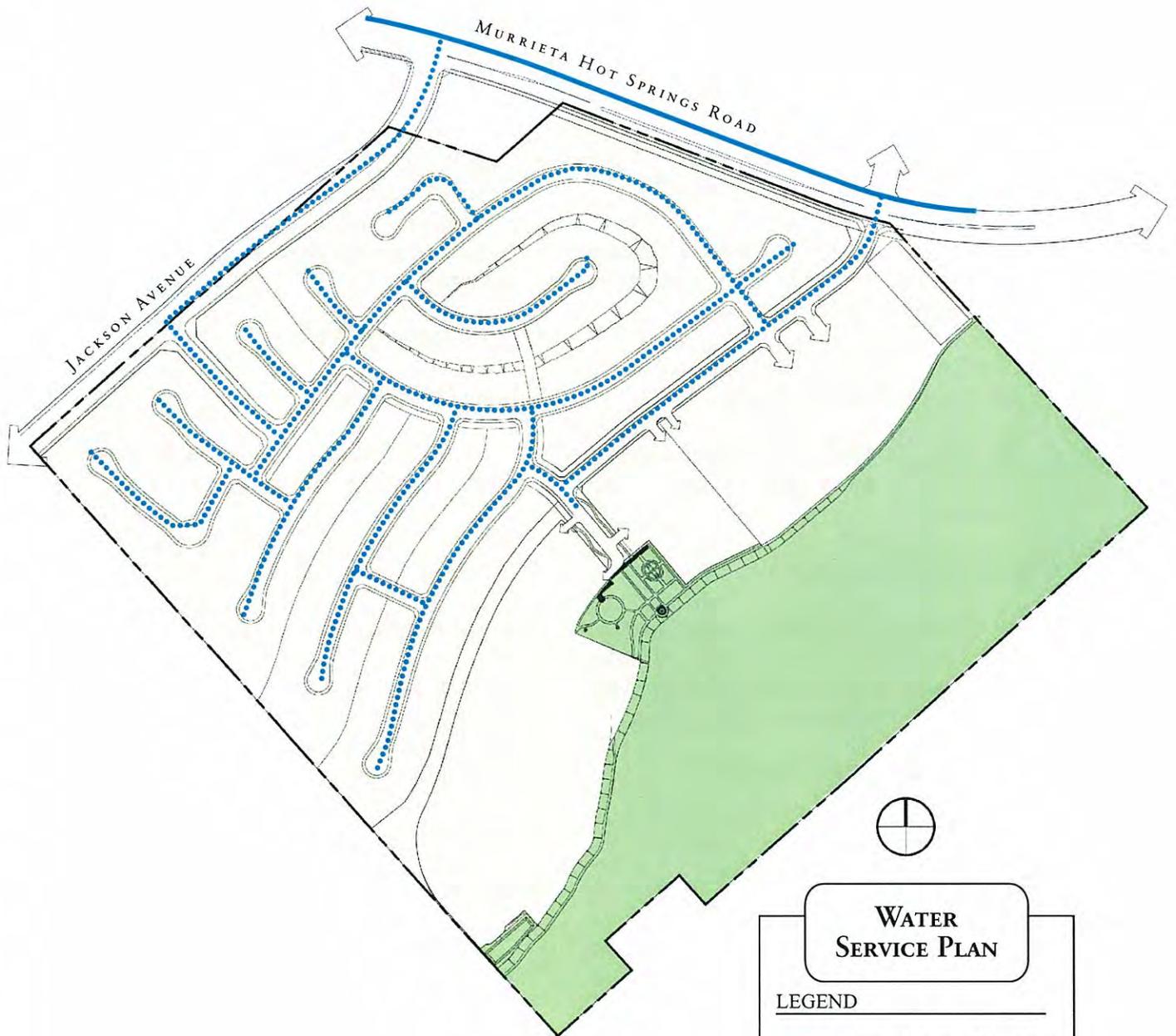
- The Murrieta Fire Protection District currently has 33 fire fighters/officers with three fire stations. The closest station to the project site is Murrieta Fire Station No. 3, located at 39985 Whitewood Road. This station is on the north side of Murrieta Hot Springs Road within a half-mile of the project site..



**EXHIBIT 44**



**EXHIBIT 45**



**WATER  
SERVICE PLAN**

---

**LEGEND**

- 16" EXISTING MAIN LINE
- 8" LATERAL LINES

**EXHIBIT 46**

### **Proposed Developed Conditions**

- Additional demand for services will be required. Section 7.4.5 of the PFFP evaluates the impacts and mitigation measures with respect to fire protection services.

### **5.6 LAW ENFORCEMENT**

#### **Existing Conditions**

- The Murrieta Police Department, located at 40080 California Oaks Road provides law enforcement services for the City.
- The City of Murrieta has been cited as the safest city in Riverside County.
- The Murrieta Police Department provides dispatch services for all police, fire and medical calls.

#### **Proposed Developed Conditions**

- Additional demand for services will be required. Section 7.4.6 of the PFFP evaluates the impacts and mitigation measures with respect to law enforcement and services.

### **5.7 GENERAL GOVERNMENT FACILITIES**

#### **Existing Conditions**

- The City of Murrieta is organized as a general law California city that operates under a city council and city manager form of government.
- The City of Murrieta provides administration services for general government operations, the Police Department, the MFPD and the Community Services District (Parks and Recreation).

- The City of Murrieta maintains a city hall with associated city offices, public works maintenance yard, and other public building and support equipment needed to continue the operations of the city.

#### **Proposed Development Conditions**

- Additional demand for services will be required. Section 7.4.7 of the PFFP evaluates the impacts and mitigation measures with respect to general government facilities and services.

### **5.8 LIBRARY SERVICES**

#### **Existing Conditions**

- The Murrieta Public Library is located at 39589 Los Alamos Road.
- Murrieta library cards are honored at any Riverside County branch.

#### **Proposed Developed Conditions**

- Additional demand for services will be required. Section 7.4.8 of the PFFP evaluates the impacts and mitigation measures with respect to library facilities and services.

### **5.9 SCHOOLS**

#### **Existing Conditions**

- The Murrieta Valley Unified School District provides public elementary, junior high school and high school education for the area surrounding Creekside Village.
- Thompson Middle School serves the elementary age school children and has an excess capacity of approximately 150 students.

- Murrieta Valley High School serves the high school age school children and has an excess capacity of 200 students. (See section 7.4.9 of the PFFP).

#### **Proposed Developed Condition**

- Additional demand on school facilities is expected. Section 7.4.9 of the PFFP evaluates the impacts and mitigation measures with respect to school facilities.
- A 10.03-acre elementary school site has been identified by the Creekside Village Specific Plan.
- The MVUSD has informally stated that they wish an elementary school located in Creekside Village, and has initially indicated support of the school site as shown in this Specific Plan.

#### **5.10 UTILITIES**

All utilities will be provided to future customers by the existing public utility companies.

- **Electric Service** - Southern California Edison (SCE) has indicated that service can be provided.
- **Natural Gas Service** - Southern California Gas Service (SCGS) has indicated that service can be provided.
- **Telephone Service** - General Telephone Electronics (GTE) has indicated that service can be provided.
- **Cable Television Service** - Media One Cable Company has indicated that service can be provided.

- **Solid Waste Disposal Service** - USA Waste Management has indicated that service and capacity are available.

- **Public Transit** - The Riverside Transit Agency (RTA) provides public transportation services. They will probably want a bus turnout on Murrieta Hot Springs Road, on the south side of the road, west of the main Creekside Village entrance (near-side bus location)



## 6.0 PHASING

Phasing of Creekside Village will be based on a logical succession of providing infrastructure and balancing grading cut and fill. Phase size and characteristics will also be heavily influenced by market opportunities and needs. This specific plan does not attempt to schedule a set phasing program, but rather to identify the infrastructure requirements which are likely to be needed for development within each phase. These identified improvements are major backbone infrastructure facilities only; additional site specific facility improvements will be required for individual projects.

grading two phases at the same time, or by “borrowing” earth from identified areas of excess cut, or stockpiling excess earth on areas identified as needing additional fill.

### 6.1 Infrastructure Phasing Policies

- All new development must provide the appropriate level of services and utilities to adequately serve the proposed phase.
- Specific improvements will need to be evaluated as part of the subsequent development approval process, and are to consider the extent of improvements provided as part of any previous phase(s) of the project. If improvements are already in place as a result of prior phases, then only the additional improvements not already completed shall be constructed.
- Adequate public facilities to serve proposed project development shall be assured prior to the issuance of building permits.
- In the event improvements are constructed as part of a particular phase which are also required to serve all or part of other phases, reimbursement agreements may be entered into between the respective parties.
- In order to balance cut and fill on site, it will be necessary to grade the site in its entirety or transfer excess cut from one phase to another. This may be accomplished by



## 7.0 PUBLIC FACILITIES FINANCING PLAN

This chapter of the Murrieta Creekside Village Specific Plan represents the Public Facilities Financing Plan (PFFP) for the project. The PFFP identifies the project impacts, the proposed public facility improvements, the cost for improvements and the financing mechanisms available to fund the facilities and improvements necessary for the proposed development of the Murrieta Creekside Village Specific Plan area.

### 7.1 INTRODUCTION

The PFFP specifically identifies the impacts on:

- Circulation Facilities
- Storm Water Drainage Facilities
- Sewer Facilities
- Water Facilities
- Fire Protection Facilities
- Law Enforcement Facilities
- General Facilities and Equipment
- Library Facilities
- School Facilities
- Open Space
- Park Land and Facilities
- Utilities

### 7.2 ASSUMPTIONS

The following section summarizes the buildout potential for the Murrieta Creekside Village Specific Plan Area. It includes the total acreage, the maximum number of dwelling units, buildout population and projected yearly phasing of development.

Acreage:	145.12
Max. Dwelling Units:	500 S.F. Units
Population Generation Rate:	3.32 Persons /DU
Est. Maximum Population:	1,660 Persons

**Other Assumptions:** Any additional assumptions are provided throughout the PFFP. As shown in Table 7-1, approximately 65 percent

of the project area consists of residential use, with the remainder devoted to open space, an elementary school, and roadway access.

### 7.3 FACILITY FINANCING

As part of the requirement for preparing a Public Facilities Financing Plan, this chapter identifies the various financing mechanisms available to fund the public facilities and improvements required for the development of the Murrieta Creekside Village Specific Plan. The Developer/Builder is subject to credit and reimbursement from the City of Murrieta for construction of specified facilities. The City of Murrieta will make the ultimate determination of the amount of any reimbursement or credit that exceeds the developer's required contribution. No facilities subject to credit reimbursement are identified at this time.

Several financing mechanisms will be used to fund future facilities as development occurs. The following financing mechanisms may be used to guarantee the public facilities needed to serve future development within the Murrieta Creekside Village Specific Plan:

#### A. Capital Facilities

To the greatest extent possible, funding for public facility improvements will come from sources other than the City of Murrieta's General Fund or Federal/State monies. Although these can be sources for public facility improvements, the City of Murrieta prefers to use other funding sources to meet the demand incurred from new development.

**Developer/Builder Contribution.** Many of the drainage, sewer, water and circulation improvements will be directly funded and constructed by the developer and/or builder through private funding sources. Facilities identified for

**TABLE 7-1  
CREEKSIDE VILLAGE SPECIFIC PLAN  
CITY OF MURRIETA  
PROPOSED LAND USE SUMMARY AFTER FULL BUILDOUT**

Land Use	No. of Lots	No. of Units	Total Acres	% of Acreage
<u>Residential (Lot Size sq.ft.)<sup>1</sup></u>				
7,200	50	50	13.33	13.6%
6,000	170	170	29.82	30.5%
5,500	110	110	20.25	20.7%
5,000	<u>170</u>	<u>170</u>	<u>34.34</u>	<u>35.1%</u>
Total	500	500	97.74	67.4% of Total Acres
<u>Non-Residential</u>				
Collector/Major Road ROWs			6.49	13.7%
Elementary School			10.03	21.2%
Runoff Treatment Basins			2.33	4.9%
Village Green			3.00	6.3%
Greenways			1.82	3.8%
Natural Area				
Natural creek and vegetation			8.15	17.2%
Natural creek buffer			11.13	23.5%
Landscaped Creek Banks			<u>4.43</u>	<u>9.3%</u>
Total			47.38	32.6% of Total Acres
Total Project Acreage			145.12	100.0%

1. Lot pad size.

Source: Stanley R. Hoffman Associates, Inc.  
PDS West.

developer/builder funding are typically those which normally would have been imposed as a condition of approval of a tentative map under the City's existing development review process.

**Development Impact Fees.** The City has used this method of financing to pay for many capital improvements. In concept, the City charges the development community a series of fees which provide the source of income to pay for capital projects. When enough funds have been collected, the City constructs capital facility projects pursuant to the City's Capital Improvement Plan. Development impact fees cover the following public services:

- Law Enforcement
- Fire Protection
- Streets and Minor Bridges
- Traffic Signals
- Storm Drainage
- General Facilities
- Open Space Acquisition
- Park Land and Facilities
- Community Center
- Public Library

**Mello-Roos Community Facilities District.** The Mello-Roos Community Facilities Act allows a legislative body to create a community facilities district. Once a community facilities district is created, special taxes can be levied to fund various facilities and services. The funds obtained through the special taxes can finance facilities or services directly, or go toward the payment of bonds issued for capital facility improvements. The Mello-Roos financing mechanism is designed to be flexible and allow for a variety of scenarios for the funding of facilities.

**Special Assessment Districts.** Special Assessment Districts are formed for the purpose of financing specific improvements for the benefit of a specific area. A detailed report prepared by a qualified engineer is required and it must demonstrate that the assessment amount is of

special benefit to the parcel upon which the assessment is levied. There are many assessment acts that govern the formation of assessment districts, such as the Improvement Act of 1911, Municipal Improvement Act of 1913, Improvement Bond Act of 1915, Benefit Assessment Act of 1982, Integrated Financing Act, as well as other specific facility improvement acts. The provisions of Proposition 218 have altered the procedures and facilities that can be financed through some of these acts. Any assessment district formed must follow all applicable state laws, including the provisions set forth in Proposition 218.

**Dedications.** The City may acquire land when a property owner chooses to voluntarily give a portion of his land to the City for public use. Dedicated land is commonly used for new public roadways, parks or open space areas. In the case of the Murrieta Creekside project, the developer is proposing to dedicate land for roadways, a park, open space, trails and make available a school site. Fee credits and reimbursements may be made available to the developer/builder for certain dedications. The City of Murrieta will make the final determination regarding the availability of credits and reimbursements for these dedications.

## **B. Operations and Maintenance**

**General Fund.** The City's General Fund is a type of government fund used to support various improvements and services, including general government operations, development services, public safety and community services. Revenue sources for the General Fund include property taxes, sales taxes, franchise fees, fines and forfeitures, intergovernmental revenues and miscellaneous fees.

**State and Federal Funding.** Various government programs are available at the State and Federal levels to assist local jurisdictions in financing public facilities and services. Most funding sources at the State level require an application

requesting assistance and specify the projects or purposes for which the funds can be used. Financial assistance from the state can also include grants, low interest loans and matching funds. At the Federal level financial assistance includes grants and federal matching funds for state-run assistance programs.

**Murrieta Fire Protection District.** The Murrieta Fire Protection District (MFPD) receives funding for the operation and maintenance of the fire protection services and facilities through property taxes and a voter-approved yearly assessment.

**Community Service District.** The City of Murrieta formed the Murrieta Community Services District (CSD) in 1992 to provide its residents with special benefit services and improvements. Currently the CSD provides parks and recreation services, flood/drainage control, street sweeping, street lighting and landscape maintenance services. Funding for the CSD is generated by annual levies on properties located within the district.

**Eastern Municipal Water District.** The Eastern Municipal Water District (EMWD) will provide for the necessary operation and maintenance of the water and sewer systems needed to serve the Murrieta Creekside Specific Plan area. Funding for this service will be primarily through monthly service charges that will be paid by future residents within the Murrieta Creekside Village community.

**7.3.1 Financing Summary**

The appropriate funding mechanism was determined for all impacts to public facilities resulting from development of the proposed Murrieta Creekside Village project. The determination was based on the scale, scope and timing of the projected demand for services and improvements. Table 7-2 summarizes the costs and financing strategy for each public facility identified for the proposed project.

**7.4 INDIVIDUAL FACILITY ANALYSIS**

Individual facilities analyzed include circulation, storm water drainage, sewer facilities, water facilities, fire protection facilities, law enforcement facilities, general facilities and equipment, library facilities, school facilities, open space facilities, and park facilities.

**7.4.1 Circulation Facilities**

For a complete description of circulation, refer to Section 5.1 of this specific plan. In addition, the “Traffic Impact Analysis for Creekside Village Specific Plan,” dated August 23, 2000, provides a complete analysis of the projected circulation impacts created by development of the Murrieta Creekside Village Specific Plan.

**A. Performance Standard**

City street intersections shall be maintained at a Level of Service (LOS) “D” or higher during peak hour periods.

**B. Project Impacts**

A full analysis of the existing roadway and signalized conditions and the project impacts are provided in the “Traffic Impact Analysis for Creekside Village Specific Plan,” dated August 23, 2000. A description of the roadways to be constructed within this project is provided in Section 5.1 of this specific plan. The following are the projected traffic impacts from development of the Murrieta Creekside Village project, based on the traffic analysis:

Average Daily Trips (ADT)	5,652
ADT Miles	7.4 miles at 34 mph
ADT Length of Time	13.1 minutes
Increased Traffic	5,652 vehicles per day(24-hour period)
Level of Service (LOS)	LOS of “C” or better for all impacted intersections

**TABLE 7-2  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN  
FINANCE SUMMARY**

DESCRIPTION	COST	REIMBURSEMENT/ CREDIT	TOTAL COST	FINANCING MECHANISM
<b>CIRCULATION</b>				
Street Improvement - Jackson Ave.	\$ 336,784.32	\$0.00	\$ 336,784.32	CFD <sup>1</sup>
Street Improvement - Murrieta Hot Springs Rd.	\$ 184,797.98	\$0.00	\$ 184,797.98	CFD
Street Improvement - internal streets	\$ 3,233,781.83	\$0.00	\$ 3,233,781.83	CFD
Overlot Grading	<u>\$ 1,972,779.01</u>	\$0.00	<u>\$ 1,972,779.01</u>	Developer
Total	\$ 5,728,143.14		\$ 5,728,143.14	
<b>DRAINAGE</b>				
	\$ 920,616.40	\$0.00	\$ 920,616.40	Developer/CFD
<b>SANITARY SEWER SYSTEM</b>				
	\$ 1,167,892.88	\$0.00	\$ 1,167,892.88	Developer/Assessment District
<b>DOMESTIC WATER</b>				
	\$ 1,331,010.23	\$0.00	\$ 1,331,010.23	Developer/Assessment District
<b>DRY UTILITIES</b>				
	\$ 467,417.50	\$65,000.00	\$ 402,417.50	Developer
<b>CITY/COUNTY ASSESMENTS &amp; FEES<sup>2</sup></b>				
	<u>\$ 13,347,242.24</u>	<u>\$0.00</u>	<u>\$ 13,347,242.24</u>	Developer
Total	\$ 22,962,322.39	\$ 65,000.00	\$ 22,897,322.39	

1. Community Facilities District.
2. Includes the City of Murrieta Development Impact fees as calculated on Tables 7-17 and 7-18.

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March 2001.

### **C. Project Improvement**

Descriptions of the roadways are provided in the Circulation section of this Specific Plan. The specific improvements and costs are shown in Tables 7-3 through 7-6.

### **D. Financing**

**Capital Facilities.** Circulation capital facilities are projected to total \$5,728,143.14. These costs include those related to improvements for, Jackson Avenue, Murrieta Hot Springs Road and internal streets as well as overlot grading. Circulation related improvements may be financed by the Developer/Builder and/or a Mello-Roos Community Facilities District.

Development within the Murrieta Creekside Village Specific Plan will mitigate project impacts to the Streets and Minor Bridges Facilities and Traffic Signals and Controllers by the payment of development impact fees at the time of building permit issuance. Based on a maximum number of 500 dwelling units, the amount of funding contributed to the Streets/Minor Bridges/Culverts Facilities Fund and the Traffic Signals/Controllers Fund is projected at \$281,350. This amount is determined by multiplying the 500 family dwelling units by the total fees of \$562.70 (the sum of the two fees: the Streets/Minor Bridges/Culverts fee -\$480.88; and Traffic Signals/Controllers fee -\$81.82).

**TABLE 7-3**  
**CREEKSIDE VILLAGE SPECIFIC PLAN**  
**JACKSON AVE IMPROVEMENTS (76'/100'R.O.W.)**  
(In Constant 2001 Dollars)

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
Traffic Signal	Each	1	\$120,000	\$120,000.00	CFD
3" A.C. Pavement @144#/Cubic Foot	Ton	1,158.95	\$30.00	\$34,768.50	CFD
6" Aggreregate Base CL II	Cubic Yard	1,605.07	22.00	35,311.54	CFD
Asphaltic Emulsion (Fog Seal)	Square Foot	86,673.75	0.05	4,333.69	CFD
Type A-6 Curb & Gutter	Linear Foot	1,647.98	7.50	12,359.85	CFD
Sidewalk 6'	Square Foot	9,887.88	2.50	24,719.70	CFD
Handicap Ramp	Each	2	300.00	600.00	CFD
Stop Sign	Each	1	500.00	500.00	CFD
Street Lights	Each	5	2,000.00	10,000.00	CFD
Signing & Striping	Lump	1	2,000.00	2,000.00	CFD
Cross Gutter and Spandrels	Square Foot	975.54	3.50	3,414.39	CFD
Street Name Signs	Each	1	225.00	225.00	CFD
Median	Linear Foot	2,400.00	7.50	<u>18,000.00</u>	CFD
<b>Sub-Total</b>				<b>\$266,232.67</b>	
Fees & Services @ 15%				<u>\$39,934.90</u>	
<b>Sub-Total</b>				<b>\$306,167.57</b>	
Contingency @ 10 %				<u>\$30,616.76</u>	
<b>Total</b>				<b>\$336,784.32</b>	

**TABLE 7-4**  
**CREEKSIDE VILLAGE SPECIFIC PLAN**  
**MURRIETA HOT SPRINGS ROAD IMPROVEMENTS (110'/134' R.O.W.)**  
(In Constant 2001 Dollars)

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
Traffic Signal modification	Each	1	\$50,000.00	\$50,000.00	CFD
3" A.C. Pavement @ 144#/Cubic Foot	Ton	557.79	\$30.00	\$16,733.70	CFD
6" Aggregate Base CL II	Cubic Yard	573.86	22.00	12,624.92	CFD
Asphaltic Emulsion (Fog Seal)	Square Foot	30,988.24	0.05	1,549.41	CFD
Type A-6 Curb & Gutter	Linear Foot	1,244.33	7.50	9,332.48	CFD
Sidewalk 6'	Square Foot	7,465.98	2.50	18,664.95	CFD
Handicap Ramp	Each	2	300.00	600.00	CFD
Street Lights	Each	4	2,000.00	8,000.00	CFD
Signing & Striping	Lump	1	2,000.00	2,000.00	CFD
Cross Gutter and Spandrels	Square Foot	672.83	3.50	2,354.91	CFD
Street Sign	Each	1	225.00	225.00	CFD
Median	Linear Foot	3,200.00	7.50	<u>24,000.00</u>	CFD
<b>Sub-Total</b>				<b>\$146,085.36</b>	
Fees & Services @ 15%				<u>\$21,912.80</u>	
<b>Sub-Total</b>				<b>\$167,998.17</b>	
Contingency @ 10 %				<u>\$16,799.82</u>	
<b>Total</b>				<b>\$184,797.98</b>	

**TABLE 7-5**  
**CREEKSIDE VILLAGE SPECIFIC PLAN**  
**INTERNAL STREETS WITH SCHOOL (40'/60' R.O.W.)**  
**(In Constant 2001 Dollars)**

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
3" A.C. Pavement @ 144#/Cubic Foot	Ton	14,313.00	\$30.00	\$429,390.00	CFD
6" Aggregate Base CL II	Cubic Yard	12,547.07	22.00	276,035.54	CFD
Asphaltic Emulsion (Fog Seal)	Square Foot	677,500.01	0.05	33,875.00	CFD
Type A-6 Curb & Gutter	Linear Foot	39,109.69	7.50	293,322.68	CFD
Sidewalk 6'	Square Foot	210,658.14	2.50	526,645.35	CFD
PCC Drive Approach	Each	500.00	1,500.00	750,000.00	CFD
Handicap Ramp	Each	58.00	300.00	17,400.00	CFD
Stop Sign	Each	29.00	500.00	14,500.00	CFD
Street Lights	Each	81.00	2,000.00	162,000.00	CFD
Signing & Striping	Lump	1	8,000.00	8,000.00	CFD
Cross Gutter and Spandrels	Square Foot	10,851.63	3.50	37,980.71	CFD
Street Name Signs	Each	32.00	225.00	<u>7,200.00</u>	CFD
<b>Sub-Total</b>				\$2,556,349.27	
Fees & Services @ 15%				<u>\$383,452.39</u>	
Sub-Total				\$2,939,801.66	
Contingency @ 10 %				<u>\$293,980.17</u>	
<b>Total</b>				\$3,233,781.83	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc., March 2001.

**TABLE 7-6**  
**CREEKSIDE VILLAGE SPECIFIC PLAN**  
**CIRCULATION FACILITY IMPROVEMENTS - OVERLOT GRADING**  
**(In Constant 2001 Dollars)**

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
MOBILIZATION/CLEAR AND GRUBBING	Lump Sum	1	\$ 110,000.00	\$ 110,000.00	CFD
EARTHWORK:(Balance Site)					
CUT (RAW)	Cubic Yd.	1,258,246	\$ 0.85	\$ 1,069,509.10	CFD
FILL (RAW)	Cubic Yd.	1,204,550	\$ -	\$ -	CFD
FILL (14% SHRINKAGE)	Cubic Yd.	1,373,187	\$ -	\$ -	CFD
OVER-EXCAVATION	Lump Sum	1	\$ 350,000.00	\$ 350,000.00	CFD
(COLLUVIAL/ALLUVIAL DEPOSITS)					
EROSION CONTROL/SLOPE STABILIZATION	Lump Sum	1	\$ 20,000.00	\$ 20,000.00	CFD
TRASH/DUMP FEES	Lump Sum	1	\$ 10,000.00	\$ 10,000.00	CFD
<b>Sub-Total</b>				<b>\$ 1,559,509.10</b>	
Fees & Services @ 15%				<u>\$ 233,926.37</u>	
Sub-Total				<b>\$ 1,793,435.47</b>	
Contingency @ 10 %				<u>\$ 179,343.55</u>	
<b>Total</b>				<b>\$ 1,972,779.01</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March, 2001.

Additionally, impacts to regional roads and bridges will be mitigated by payment of the Regional Road and Bridge fee. This fee amount is \$1,169.59 per lot. Assuming a total of 500 dwelling units, this project is projected to generate \$584,795 toward regional road and bridge improvements.

**Operations and Maintenance.** The cost for continued maintenance for existing and future roadways will be financed by monies obtained from the State Gas Tax, Measure A and other monies decided upon by the City of Murrieta. Maintenance of the medians will be funded by the CSD. The State Gas Tax funds are currently committed to funding of the Slurry Seal program for road maintenance, and re-payment of an existing Bond measure.

**E. Special Conditions**

1. Prior to the recordation of the first final map, the Murrieta Creekside Village Specific Plan area shall be annexed into the CSD.
2. Prior to the commencement of grading operations, the formation of a community facilities district, if desired by the developer/builder, shall be completed.
3. Prior to the issuance of each individual building permit, a Development Impact Fee must be paid for each dwelling unit.
4. Prior to the issuance of each individual building permit, a Regional Road and Bridge Fee must be paid for each dwelling unit.
5. Prior to the issuance of a building permit for residential units, the developer shall modify, at developer's expense, the existing traffic signal at Murrieta Hot Springs Road and Whitewood Road to accommodate project development traffic.
6. Prior to the issuance of a building permit for residential units, the Circulation Plan for

the proposed elementary school should include on-site "turn-a-round" provisions for "drop-off" and "pick-up" vehicles that enter the school from Murrieta Hot Springs Road at Whitewood Road and return in the opposite direction.

7. All roadways identified on the Circulation Facility Improvements tables shall be graded and constructed to the appropriate widths specified in the Circulation chapter of the specific plan and in accordance with the City of Murrieta's Engineering Design Standards. Prior to issuance of grading permit, the alignment of Jackson Avenue shall be approved by the City Engineer.

8. Roadway improvements must be completed prior to occupancy of the first unit within each future development area.

9. All dry utilities necessary to service the Murrieta Creekside Village Specific Plan area shall be installed underground within the street right-of-way or other appropriate easement prior to completion of each phased roadway.

**7.4.2 Storm Water Drainage Facilities**

An entire description of Storm Water Drainage Facilities is in Section 5.2 of the specific plan.

**A. Performance Standard**

Mitigate storm water runoff to ensure that developed and undeveloped downstream parcels will not be adversely affected by storm water.

**B. Project Impacts**

The project will significantly increase impervious surfaces, thus resulting in an increase in storm water runoff. Impacts include:

Developed Lots:	97.74 acres
Road R/W:	6.49 acres
Elementary School	10.00 acres

Development of the Creekside Village Specific Plan will alter the shape, gradient and surface conditions of all the existing on-site drainage basins thus increasing the amount of storm water runoff.

### C. Project Improvement

The specific improvements and costs for storm water drainage are shown in Table 7-7.

### D. Financing

**Capital Facilities.** Local Storm Water Drainage capital facilities related to the project are projected to total \$920,616.40. Storm water drainage related improvements may be financed by the Developer/Builder and/or a Mello-Roos Community Facilities District.

Development within the Murrieta Creekside Village Specific Plan will mitigate project impacts to the citywide Storm Water Drainage Facilities by the payment of development impact fees at the time of building permit issuance. Based on a maximum number of 500 dwelling units, the amount of funding contributed to the Storm Drainage Facilities Fund is projected at \$470,885. This amount is determined by multiplying the 500 family dwelling units by \$941.77.

An additional Area Drainage fee is also required to mitigate against storm water impacts. The Creekside Village project is located within the Warm Springs Valley drainage area that requires a fee amount of \$677.00 per gross acre for residential lots that are less than one acre. A total Area Drainage Fee of \$98,246.24 is projected based on 145.12 project acres. The fee is paid by the developer prior to issuance of a grading permit or a building permit. There are no reimbursements or credits available to the developer or builder for drainage improvements.

**Operations and Maintenance.** The cost for continued maintenance of the flood drainage

facilities will be financed by the CSD. An estimated annual special tax of approximately \$45 will be added to the property tax for each dwelling unit. This special tax will generate approximately \$22,500 per year toward operation and maintenance of the drainage facilities, roadway medians, parks, trails, modified slopes, and open space areas within the Murrieta Creekside Village Specific Plan area.

### E. Special Conditions

1. Prior to the recordation of the first final map, the Murrieta Creekside Village Specific Plan area shall be annexed into the CSD.
2. Prior to the issuance of a grading permit, a Type A - Area Drainage Fee for the Warm Springs Valley area shall be paid.
3. Prior to the commencement of grading operations, the formation of a community facilities district, if desired by the developer/builder, shall be completed.
4. Prior to the issuance of each individual building permit, a Development Impact Fee must be paid for each dwelling unit.
5. There shall be no net increase in storm water runoff exiting the Creekside Village Specific Plan area.
6. All drainage facilities shall be constructed to ensure that there will be no adverse impacts to downstream properties.
7. All drainage facilities identified on the Drainage Facility Improvements table shall be installed as specified in the Drainage Conditions chapter of the specific plan and in accordance with the City of Murrieta's Engineering Design Standards.
8. All drainage facility improvements must be completed prior to occupancy of the first unit contributing to the drainage facility.

**TABLE 7-7  
CREEKSIDE VILLAGE SPECIFIC PLAN  
DRAINAGE SYSTEM**

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
18" Rcp	Linear Ft.	1,320	\$ 41.00	\$ 54,120.00	Developer
24" Rcp	Linear Ft.	2,130	\$ 57.00	\$ 121,410.00	Developer
30" Rcp	Linear Ft.	400	\$ 65.00	\$ 26,000.00	Developer
36" Rcp	Linear Ft.	610	\$ 74.00	\$ 45,140.00	Developer
42" Rcp	Linear Ft.	820	\$ 82.00	\$ 67,240.00	Developer
48" Rcp	Linear Ft.	950	\$ 90.00	\$ 85,500.00	CFD
54" Rcp	Linear Ft.	450	\$ 110.00	\$ 49,500.00	CFD
66" Rcp	Linear Ft.	140	\$ 140.00	\$ 19,600.00	CFD
Headwalls D90	Each	5	\$ 7,500.00	\$ 37,500.00	Developer/CFD
Catch Basin W= 7.00	Each	3	\$ 4,000.00	\$ 12,000.00	Developer/CFD
Catch Basin W= 14.00	Each	11	\$ 6,000.00	\$ 66,000.00	Developer/CFD
Catch Basin W= 21.00	Each	6	\$ 8,000.00	\$ 48,000.00	Developer/CFD
Catch Basin W= 28.00	Each	3	\$ 10,000.00	\$ 30,000.00	Developer/CFD
Manhole No. 1	Each	2	\$ 2,000.00	\$ 4,000.00	Developer/CFD
Manhole No. 2	Each	5	\$ 4,000.00	\$ 20,000.00	Developer/CFD
Manhole No. 4	Each	4	\$ 4,000.00	\$ 16,000.00	Developer/CFD
Junction Structure	Each	12	\$ 1,500.00	\$ 18,000.00	Developer/CFD
1/2 Ton Riprap	Cubic Yd.	95	\$ 75.00	\$ 7,125.00	Developer/CFD
Filter Fabric	Sq. Ft.	1,250	\$ 0.50	\$ 625.00	Developer/CFD
<b>Sub-Total</b>				<b>\$ 727,760.00</b>	
Fees & Services @ 15%				\$ 109,164.00	
<b>Sub-Total</b>				<b>\$ 836,924.00</b>	
Contingency @ 10 %				\$ 83,692.40	
<b>Total</b>				<b>\$ 920,616.40</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March, 2001.

9 All drainage facilities shall comply with the National Pollution Discharge Elimination System (NPDES) and Clean Water Act programs.

**7.4.3 Sewer Facilities**

The complete description of Sewer Facilities is in Section 5.3 of this specific plan.

**A. Performance Standard**

The sewer system is to be designed in accordance with Eastern Municipal Water District (EMWD) requirements.

**B. Project Impacts**

A total of 179,700 gallons per day is projected from the household and the school development of the Murrieta Creekside Village project. Household use is estimated based on 3.32 persons per household and 105 gallons per person per day; for 500 housing units the projected total is 174,300 gallons.<sup>1</sup> The school is estimated to use about 5,400 gallons per day, based on discussion with EMWD personnel.<sup>2</sup>

**C. Project Improvements**

Specific improvements and costs for Sewer Facility Improvements are shown in Table 7-8.

**D. Financing**

**Capital Facilities.** Sewer related capital facilities are projected to total \$1,167,892.88. Sewer related improvements may be financed by the following mechanisms:

Developer/Builder - the Developer/Builder is subject to credit and/or reimbursement from the

EMWD for construction of oversized facilities. All facilities must be verified by EMWD, and may be part of an assessment district at the City's discretion.

Assessment District - Development within the Murrieta Creekside Village Specific Plan will mitigate project impacts to the wastewater disposal system by the payment of all applicable fees as required by EMWD.

**Operations and Maintenance.** Monies obtained from the monthly service charges collected by EMWD, as well as other monies deemed appropriate by EMWD, will finance the costs of continued maintenance for system improvements.

**E. Special Conditions**

1. All sewer facilities shall be designed and constructed in accordance with the design standards of EMWD.
2. EMWD shall review all tentative maps and provide applicable conditions related to said tentative maps.
3. EMWD shall review and approve all improvement plans relating the design and construction of all sewer facilities.
4. Prior to recordation of the first final map, a letter from EMWD is required confirming that wastewater treatment facilities are available.
5. Prior to the commencement of grading operations, the formation of an assessment district, if desired by the developer/builder, shall be completed.

<sup>1</sup> Eastern Municipal Water District usage standards, October 2000.

<sup>2</sup> Usage standard for school is 15 gpd per student.  $.718 \text{ students/du} = .718 * 500 = 359 \text{ students}$ .  
 $15 \text{ gpd/student} * 359 \text{ students} = 5,385 \text{ total gallons}$ .

**TABLE 7-8  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN  
SANITARY SEWER SYSTEM**

ITEM	DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
1	36" Spirolite Sewer Pipe	Linear Ft.	1,432.41	\$ 108.00	\$ 154,700.28	Assessment District
2	8" PVC SDR35 Sewer Pipe	Linear Ft.	17,611.76	\$ 20.00	\$ 352,235.20	Developer/Assessment District <sup>1</sup>
3	Standard Manhole 60"	Each	7	\$ 3,400.00	\$ 23,800.00	Assessment District
4	Standard Manhole 48"	Each	79	\$ 2,500.00	\$ 197,500.00	Assessment District
5	Cleanout	Each	500	\$ 90.00	\$ 45,000.00	Assessment District
6	Lateral 4"	Each	500	\$ 300.00	\$ 150,000.00	Developer/Assessment District
	<b>Sub-Total</b>				<b>\$ 923,235.48</b>	
	Fees & Services @ 15%				\$ 138,485.32	
	Sub-Total				\$ 1,061,720.80	
	Contingency @ 10 %				\$ 106,172.08	
	<b>Total</b>				<b>\$ 1,167,892.88</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. September 5, 2000.

1. Facilities less than 12 inches may be included in an assessment district at the discretion of the City.

6 Prior to the issuance of each individual building permit, applicable Sewer Capacity Fees shall be paid to EMWD.

7 All other applicable fees shall be paid at the appropriate time as required by EMWD.

8 EMWD will make the ultimate determination regarding the amount of any reimbursement or credit upon the request by the developer or builder.

9 EMWD shall monitor the capacity of the Temecula Valley Regional Water Reclamation Facility to ensure that adequate treatment facilities are available.

#### **7.4.4 Water Facilities**

A complete description of Water Facilities is found in Section 5.4 of this specific plan.

##### **A. Performance Standard**

The water supply system is to be designed in accordance with Eastern Municipal Water District (EMWD) requirements. Additionally, water supply must meet the fire flow requirements specified by the Murrieta Fire Protection District.

##### **B. Project Impacts**

A total of 362,500 gallons per day is projected from the household and the school development of the Murrieta Creekside Village project. Household use is estimated based on 3.32 persons per household and 200 gallons per person per day; for 500 housing units the projected total is 332,000 gallons. The school is estimated to use 30,500 gallons based on discussion with EMWD personnel.

##### **C. Project Improvements**

The specific improvements and costs for water facilities are shown on Table 7-9 Water Facility Improvements.

##### **D. Financing**

**Capital Facilities:** Water related capital facilities are projected to total \$1,331,010. Water facility related improvements may be financed by the Developer/Builder and/or Assessment Districts.

Development within the Murrieta Creekside Village Specific Plan will mitigate project impacts to the potable water system by the payment of all water connection fees as required by EMWD.

**Operations and Maintenance:** Monies obtained from the monthly service charges collected by EMWD will finance the cost for continued maintenance for system improvements and other monies deemed appropriate by EMWD.

##### **E. Special Conditions**

1. All water facilities shall be designed and constructed in accordance with the design standards of EMWD.

2. EMWD shall review all tentative maps and provide applicable conditions related to said tentative maps.

3. EMWD shall review and approve all improvement plans relating the design and construction of all water facilities.

4. Prior to recordation of the first final map, a letter from EMWD is required confirming that potable water is available.

5. Prior to the commencement of grading operations, the formation of an assessment district, if desired by the developer/builder, shall be completed.

6. Prior to the issuance of each individual building permit, applicable Water Capacity Fees shall be paid to EMWD.

7. All other applicable fees shall be paid at the

**TABLE 7-9  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN  
WATER FACILITY IMPROVEMENTS**

ITEM	DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
1	8" PVC (C-900 CL 150)	Linear Ft.	18,309.28	\$ 25.00	\$ 457,732.00	Assessment District
2	12" R.S.G.V.	Each	69	\$ 2,000.00	\$ 138,000.00	Developer
2	8" R.S.G.V.	Each	10	\$ 2,000.00	\$ 20,000.00	Developer
5	6" Blow-off	Each	5	\$ 1,500.00	\$ 7,500.00	Developer
6	2" A.V. & A.R. Assy.	Each	7	\$ 1,500.00	\$ 10,500.00	Developer
7	6" Fire Hydrant (Including 6" G.V)	Each	54	\$ 2,500.00	\$ 135,000.00	Developer
8	3/4" Meter Service	Each	500	\$ 420.00	\$ 210,000.00	Developer
9	12" Tee	Each	23	\$ 750.00	\$ 17,250.00	Developer
10	12"x8" Tee	Each	53	\$ 750.00	\$ 39,750.00	Developer
11	8" Tee	Each	1	\$ 600.00	\$ 600.00	Developer
12	12" Cross	Each	1	\$ 750.00	\$ 750.00	Developer
13	12"x8" Reducer	Each	1	\$ 750.00	\$ 750.00	Developer
14	12"- 45 Bend	Each	9	\$ 750.00	\$ 6,750.00	Developer
15	8" - 45 Bend	Each	1	\$ 600.00	\$ 600.00	Developer
16	Hot Tap Connections @ MHS Road	Each	2	\$ 3,500.00	\$ 7,000.00	Developer
<b>Sub-Total</b>					<b>\$ 1,052,182.00</b>	
Fees & Services @ 15%					\$ 157,827.30	
Sub-Total					\$ 1,210,009.30	
Contingency @ 10 %					\$ 121,000.93	
<b>Total</b>					<b>\$ 1,331,010.23</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March, 2001.

appropriate time as required by EMWD.

8. EMWD will make the ultimate determination regarding the amount of any reimbursement or credit upon the request by the developer or builder.

#### 7.4.5 Fire Protection Facilities

A complete description of Fire Protection Facilities is in Section 5.5 of this specific plan.

##### A. Performance Standard

- 1.38 Career Uniform Firefighters per 1,000 population
- For medical emergencies, maintain a 7.5

Minute or Less Response Time from the time the 911 Call is made for 90% of the calls

- For fire, maintain an 8-Minute or Less Response Time from the time the 911 Call is made for 90% of the calls
- Ensure Water Main Capabilities Provide Adequate Fire Flows

##### B. Project Impacts

- 37 total estimated annual calls for assistance<sup>3</sup>
- Total demand for additional firefighters is 2.30 career firefighters<sup>4</sup>
- Project site is within 8-minute response time

<sup>3</sup> Based on an average of 0.075 calls per year per single-family dwelling unit according to *Development Impact Fee Calculation Report*, August 1998, page 41.

<sup>4</sup> Based on 1.38 firefighters per 1,000 population.

from Firefighter's Park Station Number 3.

**C. Project Improvements**

- Water Distribution System providing adequate fire flow capability.
- Demand for facilities is provided on the Demand for Fire Protection Facilities Table 7-10.

**D. Financing**

**Capital Facilities** - Financing for the water distribution system is provided for under the Water Facilities section.

Development within the Creekside Village Specific Plan will mitigate impacts to the fire protection capital facilities by the payment of Development Impact Fees at the time of building permit issuance. In accordance with the Development Impact Fee Calculation Report dated August 1998, the Development Mitigation Fees collected for Fire Protection Facilities will finance future impacts to fire protection capital facilities created by development. As specified on page 46 of the Development Impact Fee Calculation Report, "no developer will be required to construct any portion of the facility as a condition of development. All contributions will be in the form of an impact fee payment amount representing their fiscal contribution."

Based on a maximum number of 500 dwelling units, the amount of funding contributed to the Fire Protection Facilities fund could be up to \$205,210. This amount is determined by

multiplying the 500 family dwelling units by \$410.42, the fire mitigation fee per single-family unit.

**Operations and Maintenance** - Funding for the continued operation and maintenance of the Murrieta Fire Protection District will be provided through property taxes (10.1 percent of the basic 1 percent levy <sup>5</sup>) and a voter-approved assessment (\$40 per year per household <sup>6</sup>).

**E. Special Conditions**

1. Prior to the issuance of each individual building permit, a Development Impact Fee must be paid for each dwelling unit.
2. MFPD shall review all tentative maps and provide applicable conditions related to said tentative maps.
3. MFPD shall review and approve all improvement plans relating to the water facilities to ensure that adequate fire flows are provided.
4. Any applicable fees shall be paid at the appropriate time as required by MFPD.

**7.4.6 Law Enforcement Facilities**

A complete description of Law Enforcement Facilities is in Section 5.6 of this specific plan.

**A. Performance Standard**

- Desired standard is 1 Sworn Officer per 1,000 Population <sup>7</sup>
- Existing ratio is 0.80 Sworn Offices per 1,000 Population <sup>8</sup>
- 220 square feet per Sworn Officer <sup>9</sup>

<sup>5</sup> Riverside Auditor Controller - Tax Rate Area 010-024, September 2000

<sup>6</sup> Murrieta Fire Protection District, October 2000

<sup>7</sup> Desired performance standard is 1 officer per 1,000 population per conversation with Murrieta Police Chief Higganbotham, March 2001.

<sup>8</sup> Based on January 2000 population of 43,989, and current staff of 35 officers per Creekside Village Specific Plan, the existing ratio is .80.

**TABLE 7-10  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN  
DEMAND FOR FIRE PROTECTION FACILITIES**

YEAR	DWELLING UNITS	POPULATION	FIREFIGHTER DEMAND			ADDITIONAL CALLS PER YR.		
			STANDARD <sup>1</sup> FIREFIGHTERS/1,000	PROJECTED	CUMULATIVE	STANDARD CALLS/DU <sup>1</sup>	PROJECTED	CUMULATIVE
1999	0	0	0.00	0.00	0.00	0.000	0	0
2000	0	0	0.00	0.00	0.00	0.000	0	0
2001	0	0	0.00	0.00	0.00	0.000	0	0
2002	95	315	1.38	0.44	0.44	0.075	7	7
2003	95	315	1.38	0.44	0.88	0.075	7	14
2004	95	315	1.38	0.44	1.32	0.075	7	21
2005	105	349	1.38	0.48	1.80	0.075	8	29
2006	<u>110</u>	<u>365</u>	1.38	<u>0.50</u>	<u>2.30</u>	0.075	<u>8</u>	<u>37</u>
Total	500	1,660		2.30	2.30		37	37

Notes: 1. City of Murrieta Fire Department, Gary Whisenand Battalion Chief, January, 2001.

Source: Stanley R. Hoffman Associates, Inc.

- 0.81 vehicles per Sworn Officer <sup>10</sup>

**B. Project Impacts**

- Total annual calls for assistance - 568 <sup>11</sup>
- Demand for additional officers - 1.7 officers based on desired performance standard
- Demand for additional sq. ft. - 364 sq. ft.
- Demand for additional vehicles - 1.3 Vehicles

**C. Project Improvements**

- None provided.
- The demand for facilities is provided on the Demand for Law Enforcement Facilities Table 7-11. Law enforcement facilities will be provided as determined appropriate by the Police Department and the City of Murrieta.

**D. Financing**

**Capital Facilities.** Development within the Murrieta Creekside Village Specific Plan will mitigate impacts to the law enforcement capital facilities by the payment of Development Impact Fees at the time of building permit issuance. In accordance with the Development Impact Fee Calculation Report dated August 1998, the Development Impact Fees collected for Law Enforcement Facilities will finance future impacts

created by development. As specified on page 31 of the Development Impact Fee Calculation Report, “No developer will be required to construct any portion of the law enforcement facility as a condition of development. All contributions will be in the form of an impact fee representing their fiscal contribution matching their increased demand.”

Based on a maximum number 500 dwelling units, the amount of funding contributed to the Law Enforcement Facilities fund should be \$70,950. This amount is determined by multiplying the 500 family dwelling units by \$141.90 the Law Enforcement Facilities/Equipment impact fee.

**Operations and Maintenance.** Funding for the continued operation and maintenance of the Murrieta Police Department will be provided by the City of Murrieta’s General Fund and through the City’s special revenue funds such as Seized Assets Forfeiture and the Supplemental Law Enforcement Services Fund.

**E. Special Conditions**

Prior to the issuance of each individual building permit, a Development Impact Fee must be paid for each dwelling unit.

**7.4.7 General Facilities and Equipment**

Section 5.7 of this specific plan has a complete description of General Facilities and Equipment.

**A. Performance Standard**

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<sup>9</sup> *Development Impact Fee Report*, August 1998, page 31.

<sup>10</sup> *Development Impact Fee Report*, August 1998, page 30.

<sup>11</sup> Total calls were based on a sample two-month call volume (May-June 2000) of 4,520 obtained from the Murrieta Police Department. Residential calls represented 61.2 % of the total call volume. This distribution was applied to the 1999 total call volume of 27,000 to estimate a total residential call volume of 16,523. Formula: 16,523 residential calls/14,528 housing units = 1.14 call for service/dwelling unit. 500 units \* 1.14 = 568

**TABLE 7-11  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN  
DEMAND FOR LAW ENFORCEMENT**

YEAR	DWELLING UNITS	POPULATION	OFFICER DEMAND			POLICE FACILITY DEMAND		
			DESIRED STND. OFFICERS/1,000	PROJECTED # OFFICERS	CUMULATIVE # OFFICERS	STANDARD Sq.ft./OFFICER <sup>1</sup>	PROJECTED SQUARE FEET <sup>2</sup>	CUMULATIVE SQUARE FEET
1999	0	0	0.00	0.00	0.00	0	0	0
2000	0	0	0.00	0.00	0.00	0	0	0
2001	0	0	0.00	0.00	0.00	0	0	0
2002	95	315	1.00	0.32	0.32	220	69	69
2003	95	315	1.00	0.32	0.64	220	69	138
2004	95	315	1.00	0.32	0.96	220	69	207
2005	105	349	1.00	0.35	1.31	220	77	284
2006	110	365	1.00	0.37	1.68	220	80	364
Total	500	1,660		1.68	1.68		364	364

YEAR	DWELLING UNITS	POPULATION	POLICE VEHICLE DEMAND			ADDITIONAL CALLS		
			STANDARD VEHICLE/OFFICER <sup>1</sup>	PROJECTED # VEHICLES	STANDARD CALLS/DU	PROJECTED # OF CALLS		
1999	0	0	0.00	0.00	0.00	0	0	
2000	0	0	0.00	0.00	0.00	0	0	
2001	0	0	0.00	0.00	0.00	0	0	
2002	95	315	0.81	0.26	1.14	108	108	
2003	95	315	0.81	0.26	1.14	108	108	
2004	95	315	0.81	0.26	1.14	119	119	
2005	105	349	0.81	0.28	1.14	125	125	
2006	110	365	0.81	0.30	1.14	125	125	
Total	500	1,660		1.34		568	568	

Notes: 1. City of Murrieta Development Fee Impact Report. August, 1998.

Source: Stanley R. Hoffman Associates, Inc.

- 391.6 Square Feet per 1,000 Population <sup>12</sup>

**B. Project Impacts**

- 500 Dwelling Units - 650 Square Feet of Demand <sup>13</sup>

**C. Project Improvements**

- None provided
- Demand for facilities is shown in Table 7-12, Demand for General City Facilities

**D. Financing**

**Capital Facilities.** Development within the Murrieta Creekside Village Specific Plan will mitigate impacts to the General Facilities and Equipment by the payment of Development Impact Fees at the time of building permit issuance. In accordance with the Development Impact Fee Calculation Report dated August 1998, “No developer will be required to construct any portion of any general facility as a condition of development. All contributions will be in the form of a dollar amount representing their fiscal contributions.”

Based on a maximum number of 500 dwelling units, the amount of funding contributed to the General Facilities and Equipment Fund should be \$82,585.00. This amount is determined by multiplying the 500 single-family dwelling units by \$165.17, the General Facilities/Vehicles/Equipment impact fee.

**Operations and Maintenance.** The City of Murrieta’s General Fund will provide funding for the continued operations and maintenance of the City of Murrieta’s General Facilities and Equipment.

**E. Special Conditions**

Prior to the issuance of each individual building permit, a Development Impact Fee must be paid for each dwelling unit.

**7.4.8 Library Facilities**

A complete description of Library Facilities is in Section 5.8 of this specific plan.

**A. Performance Standard**

- 245 Square Feet per 1,000 Population <sup>14</sup>
- 154 Books per 1,000 Population <sup>15</sup>

**B. Project Impacts**

- Total demand for additional library facility space - 407 square feet
- Total demand for additional books - 256

**C. Project Improvements**

- None provided.
- The demand for facilities is provided on the Demand for Library Facilities as shown in Table 7-13.

**D. Financing**

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<sup>12</sup> Based on a buildout population of 103,164 and the assumed need for a 30,000 sq. ft. city hall and 10,400 sq. ft. General Maintenance facility for a total of 40,400 sq. ft. of general facilities area.  
 $(30,000 \text{ sf} + 10,400 \text{ sf}) / 103,164 \text{ population} / 1,000 \text{ population} = 391.6 \text{ sf per } 1,000 \text{ population}.$

<sup>13</sup>  $500 \text{ du} * 3.32 \text{ population/du} = 1,660 / 1,000 * 391.6 \text{ sq.ft.} = \text{ft.} / 1,000 \text{ population} = 650.06 \text{ sq. ft.}$

<sup>14</sup> Impact Fee for Library Facilities and Collection, Development Impact Fee Calculation Report, August, 1998, page 128.

<sup>15</sup> Impact Fee for Library Facilities and Collection, Development Impact Fee Calculation Report, August, 1998, page 129.

**TABLE 7-12  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN  
DEMAND FOR GENERAL CITY FACILITIES AND EQUIPMENT**

YEAR	DWELLING UNITS	POPULATION	FACILITY DEMAND SQUARE FEET		
			STANDARD SQ. FT./1,000 pop. <sup>1</sup>	PROJECTIONS	CUMULATIVE
1999	0	0	0.0	0	0
2000	0	0	0.0	0	0
2001	0	0	0.0	0	0
2002	95	315	391.6	124	124
2003	95	315	391.6	124	248
2004	95	315	391.6	124	372
2005	105	349	391.6	136	508
2006	<u>110</u>	<u>365</u>	391.6	<u>142</u>	<u>650</u>
Total	500	1,660		650	650

Notes: 1. *City of Murrieta Master Facilities Plan*. August, 1998.

Source: Stanley R. Hoffman Associates, Inc.  
PDS West.

**Capital Facilities.** Development within the Murrieta Creekside Village Specific Plan will mitigate impacts to the Library Facilities by the payment of Development Impact Fees at the time of building permit issuance.

Based on a maximum number of 500 dwelling units, the amount of funding contributed to the Library Facilities fund should be \$64,805.00. This amount is determined by multiplying the 500 single-family dwelling units by \$129.61, the Library Facilities/Collection impact fee.

**Operations and Maintenance.** The Murrieta Public Library receives 1.6 percent of the basic 1 percent property tax levy.

Assuming an average per unit valuation of

\$210,000 and a 1.00% TRA 024-010, the per dwelling unit property tax revenue is about \$2,100.00. Therefore, at \$0.016 for every property tax dollar, every unit within the Murrieta Creekside Village Specific Plan would contribute approximately \$33.60 per year toward library services, or a total of \$16,800.

**E. Special Conditions**

Prior to the issuance of each individual building permit, a Development Impact Fee must be paid for each dwelling unit.

**7.4.9 School Facilities**

A complete description of School Facilities is in Section 5.9 of this specific plan.

**A. Performance Standard**

**TABLE 7-13  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN  
DEMAND FOR LIBRARY FACILITIES**

YEAR	DWELLING UNITS	POPULATION	PERFORMANCE DEMAND SQUARE FEET			BOOK DEMAND		
			STANDARD SQ. FT/1,000 pop. <sup>1</sup>	PROJECTED	CUMULATIVE	STANDARD BOOKS/1,000 <sup>1</sup>	PROJECTED	CUMULATIVE
1999	0	0	0	0	0	0	0	0
2000	0	0	0	0	0	0	0	0
2001	0	0	0	0	0	0	0	0
2002	95	315	245	77	77	154	49	49
2003	95	315	245	77	155	154	49	97
2004	95	315	245	77	232	154	49	146
2005	105	349	245	85	317	154	54	199
2006	110	365	245	89	407	154	56	256
Total	500	1,660		407	407		256	256

Notes: 1. City of Murrieta Development Fee Impact Report. August, 1998.

Source: Stanley R. Hoffman Associates, Inc.  
PDS West.

The current student generation rate for grades K-12 is .718 students per single-family dwelling unit.<sup>16</sup> School capacity to meet projected enrollment as determined by the Murrieta Valley Unified School District (MVUSD) is described below.

**B. Project Impacts**

According to MVUSD, the new elementary school to be built on the project site will provide capacity for about 850 students. A total capacity of 1,104 is provided with the new school based on the existing capacity of 254 students.

- Total existing excess capacity - 254 students
- Capacity provided by new school - 850 students<sup>17</sup>
- Total demand - 359 Students (0.718 students/du \* 500 units)

The impacts on school facilities are provided on the Demand for School Facilities Table 7-14.

**Alta Murrieta Elementary School:**

Current Capacity 1,225 Students  
 Current Enrollment 1,046 Students  
 Excess Capacity 179 Students

**Thompson Middle School:**

Current Capacity 1,323 Students  
 Current Enrollment 1,250 Students  
 Excess Capacity 73 Students

**Murrieta Valley High School:**

Current Capacity 3,165 Students  
 Current Enrollment 3,163 Students

Excess Capacity 2 Students

**C. Financing**

The MVUSD currently requires a total mitigation payment of \$4.60 per square foot. If the State has money to contribute their 50% of construction costs, then a mitigation payment of \$2.30 per square foot is required. For the purposes of this plan, the average dwelling unit size anticipated for Creekside Village is assumed to be about 1,956 square feet. Based on that average, the maximum and minimum per unit school fee will be \$8,998 and \$4,499 respectively. If the proposed school site is accepted by MVUSD, the school fee required may be negotiated based on the value of the land provided.

Assuming the maximum fee of \$8,998 per dwelling unit and a maximum of 500 units, the school district could anticipate \$4,499,000 to be paid to mitigate against impacts to school facilities. With an assumed value of \$160,000 per acre<sup>18</sup> and a 10.0-acre site proposed, the value of the school site to be dedicated is assumed to be \$1,600,000. By subtracting the value of the school site (\$1,600,000) from the school fees (\$4,499,000) the remaining amount of \$2,899,000 would be paid by the developer/builder prior to the issuance of building permits. If the minimum fee is charged, the school fees would be \$649,500 after subtraction of the school value.

Prior to the issuance of building permits the developer must pay to the district, the school fee in effect at that time. While the current fee is as detailed above, it is re-evaluated each year and the district is currently in the process of an increase.

**D. Special Conditions**

<sup>16</sup> Source: Murrieta Valley Unified School District, October 2000.

<sup>17</sup> Source: Murrieta Valley Unified School District, March 2001. Approximate capacity of elementary school.

<sup>18</sup> Source: Land valuation provided by Bob Lacoss of PDS West, October 2000

**TABLE 7-14  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN  
DEMAND FOR SCHOOL FACILITIES**

YEAR	DWELLING UNITS	K-12 GEN. RATE	STUDENT PROJECTIONS	CUMULATIVE STUDENTS
1999	0	0.000	0	0
2000	0	0.000	0	0
2001	0	0.000	0	0
2002	95	0.718	68	68
2003	95	0.718	68	136
2004	95	0.718	68	205
2005	105	0.718	75	280
2006	<u>110</u>	0.718	<u>79</u>	<u>359</u>
Total	500		359	359

Source: Stanley R. Hoffman Associates, Inc.  
PDS West.  
Murrieta Valley Unified School District, October 2000.

1. Any school mitigation agreement must specify the timing of the construction of the school site (if applicable), the specific amount of land dedication credit (if any), and/or the specific amount of any school facilities impact mitigation fees.
2. Prior to the issuance of individual building permits, applicable mitigation fees shall be paid to MVUSD.

**7.4.10 Open Space Acquisition Facilities**

A complete description of Open Space is in Sections 2.2.3 and 3.4 of this specific plan.

**A. Performance Standard**

- 0.107 OS Acres per Developed Acre <sup>19</sup>

**B. Project Impacts**

- Total Demand for Open Space - 12.23 Acres <sup>20</sup>

**C. Project Improvements**

- Open Space to be Provided - 23.71 Acres (natural area and creek banks)
- Various open space areas will be available as development occurs.
- 1.2 miles of trails will be constructed in the greenway/creek system.
- Warm Springs Creek will be maintained in an undeveloped condition, to the degree feasible.

**D. Financing**

**Capital Facilities.** Development within the Murrieta Creekside Village Plan will mitigate impacts to the city’s ability to acquire open space by deeding in fee title to the City of Murrieta a total of 23.71 acres of open space. This includes natural creek and vegetation, natural creek buffer and landscaped creek banks. This amount of acreage exceeds the proportionate share contribution for open space.

Payment of Development Impact Fees for Open Space Acquisition at the time of building permit issuance is typically required for residential development. However, since this project is contributing 23.71 acres, no dwelling unit shall be required to pay the impact fee for Open Space Acquisition. No reimbursement for Open Space dedication is available.

**Operations and Maintenance.** Operations and maintenance of the open space areas will be financed by the CSD. An annual special tax of approximately \$45.00 will be added to the property tax for each dwelling unit. This special tax will generate approximately \$22,500 per year toward operation and maintenance of the drainage facilities, roadway medians, park, trails, modified slopes and open space areas within the Murrieta Creekside Village Specific Plan area.

**E. Special Conditions**

1. Prior to the recordation of the first final map, the Creekside Village Specific Plan shall annex into the CSD.
2. Trails shall be in place and open to the public prior to the occupancy of the adjacent dwelling units.
3. No Development Impact Fee for Open Space

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<sup>19</sup> Development Impact Fee Calculation Report, August 1998, pgs. 106-108.

<sup>20</sup> Standard of 0.107 OS acres per developed acre = 0.107 \* (97.74 + 6.49 +0.00) = 0.107 \* 114.26 = 12.23 acres of demand.

Acquisition is required.

#### 7.4.11 Park Land And Facilities

A description of Park Land and Facilities is in Sections 3.4.1 and 3.4.2 of this specific plan.

##### A. Performance Standard

- \$2,354.57 per Dwelling Unit<sup>21</sup>

##### B. Project Impacts

- Project Demand for Improvements- \$1,177,285<sup>22</sup>

##### C. Project Improvements

- Park Land to be Provided - Dedication of 3.00 Acres
- Greenways to be Provided - Dedication and Construction of 1.82 Acres
- Total Value of Dedication - \$771,200<sup>23</sup>
- The demand for facilities is provided on the Park Land Demand Table 7-15.

##### D. Financing

Capital Facilities. Development within the Creekside Village Specific Plan can mitigate against impacts to the Park Land and Facilities by the payment of Development Impact Fees at the time of building permit issuance. Based on a maximum number of 500 dwelling units, the amount of funding contributed to the Park Land and Facilities Fund should be \$1,177,285.00. This amount is determined by multiplying the 500 family dwelling units by \$2,354.57, the Parkland/Facilities impact fee.

Pursuant to future negotiations between the developer and the City of Murrieta, a credit or reimbursement may be available if the valuations of the land dedication and/or park improvements are greater than the impact fee amount.

##### ***Operations and Maintenance.*** Operation and

<sup>21</sup> Based on Park Land & Facilities Development Impact Fee, January 5, 2001.

<sup>22</sup> 500 du \* \$2,354.57/du = \$1,177,285.00

<sup>23</sup> This is an estimate for the purpose of this study only. Future negotiations will be required between the developer and the City of Murrieta. Assumes land valuation of \$160,000 per acre and total of 4.82 acres park/greenways. Source: Bob Lacoss, PDS West, October 2000.

maintenance of the park site will be financed by the CSD. An annual special tax of approximately \$45.00 will be added to the property tax for each dwelling unit. This special tax will generate approximately \$22,500 per year toward operation and maintenance of the drainage facilities, roadway medians, park, trails, modified slopes and open space areas within Creekside Village.

##### E. Special Conditions

1. Prior to the recordation of the first final map, the Murrieta Creekside Village Specific Plan shall annex into the CSD.
2. Until a parks facility improvement agreement is approved, a Development Impact Fee shall be paid for each dwelling unit prior to the issuance of each individual building permit.

#### 7.4.12 Utilities

All dry utilities in the Creekside Village area shall be installed underground within the street right-of-way or other appropriate easement prior to completion of each phased roadway. Utilities include Southern California Gas Company, Southern California Edison Company and General Telephone & Electric. The costs and potential reimbursement for dry utilities are shown on Table 7-16 and are estimated at \$402,417.50 after reimbursements of \$65,000.00.

#### 7.4.13 Summary of Assessments/Fees

A summary of the City/County/District Assessments and fees that apply to the Creekside Village project is summarized in Table 7-17. These fees total \$13,347,242.24. Several of the fees discussed throughout this report are included in this amount, including the City of Murrieta Development Impact Fees. Table 7-18 provides a summary of the City of Murrieta Development Impact Fees.

**TABLE 7-15**  
**MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN**  
**DEMAND FOR PARK LAND AND FACILITIES**

YEAR	DWELLING UNITS	POPULATION	FACILITY DEMAND (DOLLARS)		
			DEVELOPMENT IMPACT FEE/DU <sup>1</sup>	PER YEAR PROJECTED	CUMULATIVE
1999	0	0	\$0.00	\$0.00	\$0.00
2000	0	0	\$0.00	\$0.00	\$0.00
2001	0	0	\$0.00	\$0.00	\$0.00
2002	95	315	\$2,354.57	\$223,684.15	\$223,684.15
2003	95	315	\$2,354.57	\$223,684.15	\$447,368.30
2004	95	315	\$2,354.57	\$223,684.15	\$671,052.45
2005	105	349	\$2,354.57	\$247,229.85	\$918,282.30
2006	<u>110</u>	<u>365</u>	\$2,354.57	<u>\$259,002.70</u>	<u>\$1,177,285.00</u>
Total	500	1,660		\$1,177,285.00	\$1,177,285.00

**TABLE 7-16**  
**MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN**  
**DRY UTILITIES - GAS, ELECTRIC, TELEPHONE**

ITEM	DESCRIPTION	COST	POTENTIAL REIMBURSEMENT	TOTAL COST
1	Contractor Charges	\$ 105,000.00		\$ 105,000.00
2	S.CE. ITCC Tax	\$ 8,000.00		\$ 8,000.00
3	Street Light Differential Fee	\$ 12,000.00		\$ 12,000.00
4	Street Light Energy Fee	\$ 11,000.00		\$ 11,000.00
5	G.T.E. Substructure Reimbursement		\$ 15,000.00	\$ (15,000.00)
6	S.CE. Substructure Reimbursement		\$ 8,000.00	\$ (8,000.00)
7	S.C.E. Poleline Conversion Charge	\$ 110,000.00		\$ 110,000.00
8	G.T..E. Poleline Conversion Charge	\$ 16,500.00		\$ 16,500.00
9	Contractor Charges - Conversion (Electric & Telephone)	\$ 58,000.00		\$ 58,000.00
10	S.C.G. Main	\$ 35,000.00	\$ 35,000.00	\$ -
11	S.C.G. Stubs	\$ 14,000.00	\$ 7,000.00	\$ 7,000.00
	<b>Sub-Total</b>	<b>\$ 369,500.00</b>		
	Fees & Services @ 15%	\$ 55,425.00		
	<b>Sub-Total</b>	<b>\$ 424,925.00</b>		
	Contingency @ 10 %	\$ 42,492.50		
	<b>Total</b>	<b>\$ 467,417.50</b>	<b>\$ 65,000.00</b>	<b>\$ 402,417.50</b>

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March 2001.

**TABLE 7-17  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN  
CITY/COUNTY/DISTRICT ASSESMENTS & FEES**

ITEM	DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST
1	City of Murrieta Inspector (3%)	LUMP SUM	1	\$ 120,269.00	\$ 120,269.00
2	Annexation Charges (MWD)	ACRE	140	\$ 3,500.00	\$ 490,000.00
3	Processing Fees:				
	MWD	LUMP SUM	1	\$ 5,000.00	\$ 5,000.00
	EMWD/RCWD	LUMP SUM	1	\$ 1,500.00	\$ 1,500.00
	LAFCO	LUMP SUM	1	\$ 5,120.00	\$ 5,120.00
	SBE	LUMP SUM	1	\$ 2,000.00	\$ 2,000.00
4	EMWD/RCWD Plan Check	LUMP SUM	1	\$ 3,500.00	\$ 3,500.00
5	EMWD/RCWD INSPECTION (7.5%)	LUMP SUM	1	\$ 160,195.00	\$ 160,195.00
6	EMWD/RCWD Annexation Water/ Sewer Improvement Dists. 22 & 23	LUMP SUM	1	\$ 2,500.00	\$ 2,500.00
7	EMWD Sewer Back-up Fee	LOT	500	\$ 1,955.00	\$ 977,500.00
8	EMWD Sewer Treatment Capacity Fee	LOT	500	\$ 1,890.00	\$ 945,000.00
9	EMWD Water Connection Fee	LOT	500	\$ 1,510.00	\$ 755,000.00
10	Grading Permit/Plan Check	LUMP SUM	1	\$ 15,072.00	\$ 15,072.00
11	Well Cap Mitigation	LUMP SUM	1	\$ 10,000.00	\$ 10,000.00
12	City of Murrieta Development Impact Fees <sup>1</sup>	UNIT	500	\$ 4,835.09	\$ 2,417,545.00
	Regional Road and Bridge Fee	LOT	500	\$ 1,169.59	\$ 584,795.00
13	Warm Springs Valley Drainage Area Fee	GROSS AC	145.12	\$ 677.00	\$ 98,246.24
	Murrieta Valley Unified School District	UNIT	8998.00	\$ 500.00	\$ 4,499,000.00
14	Enviromental Mitigation	LUMP SUM	1	\$ 2,000,000.00	\$ 2,000,000.00
15	Cultural Resources Mitigation (Paleontological/Cultural)	LUMP SUM	1	\$ 240,000.00	\$ 240,000.00
16	Enviromental Clean-up	LUMP SUM	1	\$ 10,000.00	\$ 10,000.00
17	NPDES/SWPP	LUMP SUM	1	\$ 5,000.00	\$ 5,000.00
<b>Total</b>					<b>\$ 13,347,242.24</b>

1. City Development Impact fees include all fees except for Open Space Acquisition: \$5,160.48 - \$325.39 = \$4,835.09

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March 2001.

*Note: Fee amounts and other cost amounts provided in this document are for informational purposes only and are subject to change. They may not be inclusive of all fees required to be paid or costs required to develop this project.*

**TABLE 7-18  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN  
SUMMARY OF CITY DEVELOPMENT IMPACT FEES<sup>1</sup>**

FEE DESCRIPTION	AMT. PER SINGLE FAMILY UNIT	TOTAL AMOUNT FROM PROJECT
Law Enforcement Facilities/Equipment	\$141.90	\$70,950.00
File Facilities/Equipment	410.42	205,210.00
Streets/Minor Bridges/Culverts	480.88	240,440.00
Traffic Signals/Controllers	81.82	40,910.00
Storm Drainage Facilities	941.77	470,885.00
General Facilities/Vehicles/Equipment	165.17	82,585.00
Open Space Acquisition	325.39	n/a
Park Land/Facilities	2,354.57	1,177,285.00
Community Center	128.95	64,475.00
Library Facilities/Collection	<u>129.61</u>	<u>64,805.00</u>
<b>Total<sup>2</sup></b>	<b>\$5,160.48</b>	<b>\$2,417,545.00</b>

Notes: 1. *City of Murrieta, Development Impact Fees.* January 5, 2001.

2. Open space acquisition is not applicable since developer is contributing acreage

## LAND USE ALTERNATIVE 2

### 7.5.1 Introduction

This section of the Murrieta Creekside Village Specific Plan represents the Public Facilities Financing Plan (PFFP) for Alternative 2 of the proposed development of the Murrieta Creekside Village Specific Plan project. This alternative includes 246 multi-family housing units and 480 single-family units. The proposed Specific Plan described in section 7.4 includes 500 single family housing units only. In addition, Alternative 2 does not include an elementary school. This section identifies the project impacts, the proposed public facility improvements, and the costs for improvements that differ from the proposed plan.

### 7.5.2 Assumptions

The following summarizes the buildout potential for Alternative 2 of the Murrieta Creekside Village Specific Plan Area.

**Acreage:** 145.12 acres

**Maximum Dwelling Units:**

480 Single Family Units

246 Multi-family Units

**Population Generation Rate:**

3.32 Persons Per Dwelling Unit

**Estimated Maximum Population:**

2,410 Persons

As shown in Table 7-19, approximately 74 percent of the Alternative 2 project area consists of residential use, with the remainder devoted to open space and roadway access. There is no school planned as part of Alternative 2.

### 7.5.3 Facility Financing

#### A. Financing Summary

Table 7-20 summarizes the costs and financing strategy for each public facility identified for Alternative 2 of the proposed project.

### 7.5.4 Individual Facility Analysis

Individual facilities analyzed include circulation, storm water drainage, sewer facilities, water facilities, fire protection facilities, law enforcement facilities, general facilities and equipment, library facilities, school facilities, open space facilities, and park facilities.

#### 7.5.4.1 Circulation Facilities

For a complete description of circulation, refer to Section 5.1 of this specific plan. In addition, the "Traffic Impact Analysis for Creekside Village Specific Plan," dated August 23, 2000 (updated for this alternative, July 17, 2001), provides a complete analysis of the projected circulation impacts created by development of the Murrieta Creekside Village Specific Plan.

#### A. Performance Standard

City street intersections shall be maintained at a Level of Service (LOS) "D" or higher during peak hour periods.

#### B. Project Impacts

The following are the projected traffic impacts from development of Alternative 2, based on the traffic analysis:

**Average Daily Trips** 6,604

**Average Daily Trip Miles**

7.4 miles at 34 miles per hour

**Average Daily Trip Length of Time**

13.1 minutes

**Increased Traffic**

6,604 vehicles per day (24-hour period)

**Level of Service (LOS)**

LOS of "C" or better on impacted intersections

#### C. Project Improvement

The specific improvements and costs are shown in Tables 7-21 through 7-24.

**TABLE 7-19  
CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2  
CITY OF MURRIETA  
PROPOSED LAND USE SUMMARY AFTER FULL BUILDOUT**

Land Use	No. of Lots	No. of Units	Total Acres	% of Acreage
<u>Residential (Lot Size sq.ft.)<sup>1</sup></u>				
7,200	50	50	13.33	12.4%
6,000	170	170	29.82	27.7%
5,500	90	90	16.59	15.4%
5,000	170	170	34.34	31.9%
Multi-Family	<u>246</u>	<u>246</u>	<u>13.69</u>	12.7%
Total	726	726	107.77	74.3% of Total Acres
<u>Non-Residential</u>				
Collector/Major Road ROWs			6.49	17.4%
Elementary School			0.00	0.0%
Runoff Treatment Basins			2.33	6.2%
Village Green			3.00	8.0%
Greenways			1.82	4.9%
Natural Area				
Natural creek and vegetation			8.15	21.8%
Natural creek buffer			11.13	29.8%
Landscaped Creek Banks			<u>4.43</u>	<u>11.9%</u>
Total			37.35	25.7% of Total Acres
Total Project Acreage			145.12	100.0%

1. Lot pad size.

Source: Stanley R. Hoffman Associates, Inc.  
PDS West.

**TABLE 7-20  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2  
FINANCE SUMMARY**

DESCRIPTION	COST	REIMBURSEMENT/ CREDIT	TOTAL COST	FINANCING MECHANISM
<b>CIRCULATION</b>				
Street Improvement - Jackson Ave.	\$ 336,784.32	\$0.00	\$ 336,784.32	CFD <sup>1</sup>
Street Improvement - Murrieta Hot Springs Rd.	\$ 184,797.98	\$0.00	\$ 184,797.98	CFD
Street Improvement - internal streets	\$ 3,301,721.25	\$0.00	\$ 3,301,721.25	CFD
Overlot Grading	<u>\$ 1,972,779.01</u>	\$0.00	<u>\$ 1,972,779.01</u>	Developer
Total	\$ 5,796,082.56		\$ 5,796,082.56	
<b>DRAINAGE</b>	\$ 920,616.40	\$0.00	\$ 920,616.40	Developer/CFD
<b>SANITARY SEWER SYSTEM</b>	\$ 1,279,389.98	\$0.00	\$ 1,279,389.98	Developer/Assessment District
<b>DOMESTIC WATER</b>	\$ 1,451,084.03	\$0.00	\$ 1,451,084.03	Developer/Assessment District
<b>DRY UTILITIES</b>	\$ 467,417.50	\$65,000.00	\$ 402,417.50	Developer
<b>CITY/COUNTY ASSESSMENTS &amp; FEES<sup>c</sup></b>	<u>\$ 17,050,396.26</u>	<u>\$0.00</u>	<u>\$ 17,050,396.26</u>	Developer
Total	\$ 26,964,986.73	\$ 65,000.00	\$ 26,899,986.73	

1. Community Facilities District.
2. Includes the City of Murrieta Development Impact fees.

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March 2001.

## D. Financing

**Capital Facilities.** Circulation capital facilities are projected to total \$5,796,083. These costs include those related to improvements for, Jackson Avenue, Murrieta Hot Springs Road and internal streets as well as overlot grading.

Development within the Specific Plan will mitigate project impacts to the Streets and Minor Bridges Facilities and Traffic Signals and Controllers by the payment of development impact fees at the time of building permit issuance. Based on a maximum number of 726 dwelling units, the amount of funding contributed to the Streets/Minor Bridges/Culverts Facilities Fund is \$306,009.84. This amount is determined by multiplying the 480 single family units by \$480.88 and the 246 multi-family units by \$305.64. The amount of funding contributed to the Traffic Signals/Controllers Fund is projected at \$52,065.60. This amount is determined by multiplying the 480 single family units by \$81.82 and the 246 multi-family units by \$52.00.

Additionally, impacts to regional roads and bridges will be mitigated by payment of the Regional Road and Bridge fee. This fee amount is \$1,169.59 per single-family residential unit and \$743.43 per multi-family residential unit. Assuming a total of 726 dwelling units, this project is projected to generate \$744,286.98 toward regional road and bridge improvements.

**Operations and Maintenance.** See Operations and Maintenance Section on page 7-8.

## E. Special Conditions

See Special Conditions on page 7-8

### 7.5.4.2 Storm Water Drainage Facilities

An entire description of Storm Water Drainage Facilities is in Section 5.2 of the specific plan.

#### A. Performance Standard

Mitigate storm water runoff to ensure that

developed and undeveloped downstream parcels will not be adversely affected by storm water.

## B. Project Impacts

The project will significantly increase impervious surfaces, thus resulting in an increase in storm water runoff. Impacts include:

Developed Lots:	107.77 acres
Road R/W:	6.49 acres
Elementary School	00.00 acres

## C. Project Improvement

The specific improvements and costs for storm water drainage are shown in Table 7-25.

## D. Financing

**Capital Facilities.** Local Storm Water Drainage capital facilities related to the project are projected to total \$920,616.40. Storm water drainage related improvements may be financed by the Developer/Builder and/or a Mello-Roos Community Facilities District.

Development within the Murrieta Creekside Village Specific Plan will mitigate project impacts to the citywide Storm Water Drainage Facilities by the payment of development impact fees at the time of building permit issuance. Based on a maximum number of 726 dwelling units, the amount of funding contributed to the Storm Drainage Facilities Fund is projected at \$521,328.12. This amount is determined by multiplying the 480 single-family dwelling units by \$941.77 and the 246 multi-family dwelling units by \$281.62.

An additional Area Drainage fee is also required to mitigate against storm water impacts. The Creekside Village project is located within the Warm Springs Valley drainage area that requires a fee amount of \$677.00 per gross acre for residential lots that are less than one acre. A total Area Drainage Fee of \$98,246.24 is projected

based on 145.12 project acres. The fee is paid by the developer prior to issuance of a grading permit or a building permit. There are no reimbursements or credits available to the developer or builder for drainage improvements.

**Operations and Maintenance.** The cost for continued maintenance of the flood drainage facilities will be financed by the CSD. An estimated annual special tax of approximately \$45 will be added to the property tax for each dwelling unit. Based on 726 total units, this special tax will generate approximately \$32,670 per year toward operation and maintenance of the drainage facilities, roadway medians, parks, trails, modified slopes, and open space areas within the Murrieta Creekside Village Specific Plan area.

#### **E. Special Conditions**

Special Conditions on page 7-9 apply to this alternative.

#### **7.5.4.3 Sewer Facilities**

The complete description of Sewer Facilities is in Section 5.3 of this specific plan.

#### **A. Performance Standard**

The sewer system is to be designed in accordance with Eastern Municipal Water District (EMWD) requirements.

#### **B. Project Impacts**

A total of 253,084 gallons per day is projected from the households of the Murrieta Creekside Village project. Household use is estimated based on 3.32 persons per household and 105 gallons per person per day for 726 housing units.<sup>1</sup>

#### **C. Project Improvements**

Specific improvements and costs for Sewer

Facility Improvements are shown in Table 7-26 and total about \$1,279,390.

#### **D. Financing**

Sewer Financing for this alternative is the same as found on page 7-11.

#### **E. Special Conditions**

Sewer Special Conditions on page 7-11 apply to this alternative

#### **7.5.4.4 Water Facilities**

A complete description of Water Facilities is found in Section 5.4 of this specific plan.

#### **A. Performance Standard**

The water supply system is to be designed in accordance with Eastern Municipal Water District (EMWD) requirements. Additionally, water supply must meet the fire flow requirements specified by the Murrieta Fire Protection District.

#### **B. Project Impacts**

A total of 482,064 gallons per day is projected from the 726 households of the Murrieta Creekside Village project. Household use is estimated based on 3.32 persons per household and 200 gallons per person per day.

#### **C. Project Improvements**

The specific improvements and costs for water facilities are shown on Table 7-27 Water Facility Improvements and total about \$1,445,084.

#### **D. Financing**

Water Financing for this alternative is the same as shown on page 7-13

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<sup>1</sup> Eastern Municipal Water District usage standards, October 2000.

## E. Special Conditions

Water Facilities for this alternative are the same as found on page 7-13.

### 7.5.4.5 Fire Protection Facilities

A complete description of Fire Protection Facilities is in Section 5.5 of this specific plan.

#### A. Performance Standard

- 1.38 Career Uniform Firefighters per 1,000 population
- For medical emergencies, maintain a 7.5-Minute or Less Response Time from the time the 911 Call is made for 90% of the calls
- For fire, maintain an 8-Minute or Less Response Time from the time the 911 Call is made for 90% of the calls
- Ensure Water Main Capabilities Provide Adequate Fire Flows

#### B. Project Impacts

- 54 total estimated annual calls for assistance
- Total demand for additional firefighters is 3.33 career firefighters
- Project site is within 8-minute response time from Firefighters Park Station #3.

#### C. Project Improvements

- Water Distribution System providing adequate fire flow capability.<sup>2</sup>
- Demand for facilities is provided on the Demand for Fire Protection Facilities Table 7-28.<sup>3</sup>

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<sup>2</sup> Based on an average of 0.075 calls per year per single-family dwelling unit according to Development Impact Fee Calculation Report, August 1998, page 41.

<sup>3</sup> Based on 1.38 firefighters per 1,000 population.

<sup>4</sup> Riverside Auditor Controller - Tax Rate Area 010-024, September 2000.

<sup>5</sup> Murrieta Fire Protection District, October 2000.

<sup>6</sup> Desired performance standard is 1 officer per 1,000 population per conversation with Murrieta Police Chief Higginbotham, March 2001.

## D. Financing

**Capital Facilities** - Development within the Creekside Village Specific Plan will mitigate impacts to the fire protection capital facilities by the payment of Development Impact Fees at the time of building permit issuance.

Based on a maximum number of 726 dwelling units, the amount of funding contributed to the Fire Protection Facilities fund could be up to \$346,427.92. This amount is determined by multiplying the 480 single-family dwelling units by \$410.42 and the 246 multi-family dwelling units by \$607.42, the annual fire facilities and equipment fees per unit.

**Operations and Maintenance** - Funding for the continued operation and maintenance of the Murrieta Fire Protection District will be provided through property taxes (10.1 percent of the basic 1 percent levy<sup>4</sup>) and a voter-approved assessment (\$40 per year per household<sup>5</sup>).

## E. Special Conditions

Fire Protection Special Conditions for this alternative are the same as found on page 7-15

### 7.5.4.6 Law Enforcement Facilities

A complete description of Law Enforcement Facilities is in Section 5.6 of this specific plan.

#### A. Performance Standard

- Desired standard is 1 Sworn Officer per 1,000 Population<sup>6</sup>
- Existing ratio is 0.80 Sworn Offices per

**TABLE 7-21**  
**CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2**  
**JACKSON AVE IMPROVEMENTS (76'/100'R.O.W.)**  
(In Constant 2001 Dollars)

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
Traffic Signal	Each	1	\$120,000	\$120,000.00	CFD
3" A.C. Pavement @144#/Cubic Foot	Ton	1,158.95	\$30.00	\$34,768.50	CFD
6" Aggreragate Base CL II	Cubic Yard	1,605.07	22.00	35,311.54	CFD
Asphaltic Emulsion (Fog Seal)	Square Foot	86,673.75	0.05	4,333.69	CFD
Type A-6 Curb & Gutter	Linear Foot	1,647.98	7.50	12,359.85	CFD
Sidewalk 6'	Square Foot	9,887.88	2.50	24,719.70	CFD
Handicap Ramp	Each	2	300.00	600.00	CFD
Stop Sign	Each	1	500.00	500.00	CFD
Street Lights	Each	5	2,000.00	10,000.00	CFD
Signing & Striping	Lump	1	2,000.00	2,000.00	CFD
Cross Gutter and Spandrels	Square Foot	975.54	3.50	3,414.39	CFD
Street Name Signs	Each	1	225.00	225.00	CFD
Median	Linear Foot	2,400.00	7.50	<u>18,000.00</u>	CFD
Sub-Total				\$266,232.67	
Fees & Services @ 15%				<u>\$39,934.90</u>	
Sub-Total				\$306,167.57	
Contingency @ 10 %				<u>\$30,616.76</u>	
<b>Total</b>				<b><u>\$336,784.32</u></b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc., March 2001.

**TABLE 7-22**  
**CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2**  
**MURRIETA HOT SPRINGS ROAD IMPROVEMENTS (110'/134' R.O.W.)**  
**(In Constant 2001 Dollars)**

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
Traffic Signal modification	Each	1	\$50,000.00	\$50,000.00	CFD
3" A.C. Pavement @ 144#/Cubic Foot	Ton	557.79	\$30.00	\$16,733.70	CFD
6" Aggregate Base CL II	Cubic Yard	573.86	22.00	12,624.92	CFD
Asphaltic Emulsion (Fog Seal)	Square Foot	30,988.24	0.05	1,549.41	CFD
Type A-6 Curb & Gutter	Linear Foot	1,244.33	7.50	9,332.48	CFD
Sidewalk 6'	Square Foot	7,465.98	2.50	18,664.95	CFD
Handicap Ramp	Each	2	300.00	600.00	CFD
Street Lights	Each	4	2,000.00	8,000.00	CFD
Signing & Striping	Lump	1	2,000.00	2,000.00	CFD
Cross Gutter and Spandrels	Square Foot	672.83	3.50	2,354.91	CFD
Street Sign	Each	1	225.00	225.00	CFD
Median	Linear Foot	3,200.00	7.50	<u>24,000.00</u>	CFD
Sub-Total				\$146,085.36	
Fees & Services @ 15%				<u>\$21,912.80</u>	
Sub-Total				\$167,998.17	
Contingency @ 10 %				<u>\$16,799.82</u>	
<b>Total</b>				<b>\$184,797.98</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc., March 2001.

**TABLE 7-23**  
**CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2**  
**INTERNAL STREETS WITHOUT SCHOOL (40'/60' R.O.W.)**  
(In Constant 2001 Dollars)

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
3" A.C. Pavement @ 144#/Cubic Foot	Ton	13,669.39	\$30.00	\$410,081.70	CFD
6" Aggregate Base CL II	Cubic Yard	13,651.00	22.00	300,322.00	CFD
Asphaltic Emulsion (Fog Seal)	Square Foot	737,118.45	0.05	36,855.92	CFD
Type A-6 Curb & Gutter	Linear Foot	37,979.92	7.50	284,849.40	CFD
Sidewalk 6'	Square Foot	227,879.52	2.50	569,698.80	CFD
Handicap Ramp	Each	60.00	300.00	18,000.00	CFD
Stop Sign	Each	30.00	500.00	15,000.00	CFD
Street Lights	Each	88.00	2,000.00	176,000.00	CFD
Cross Gutter and Spandrels	Square Foot	11,521.00	3.50	40,323.50	CFD
Street Name	Each	33.00	225.00	7,425.00	CFD
Driveway	Each	501.00	1,500.00	<u>751,500.00</u>	CFD
<b>Sub-Total</b>				\$2,610,056.32	
Fees & Services @ 15%				<u>\$391,508.45</u>	
Sub-Total				\$3,001,564.77	
Contingency @ 10 %				<u>\$300,156.48</u>	
<b>Total</b>				<b>\$3,301,721.25</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc., March 2001.

**TABLE 7-24**  
**CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2**  
**CIRCULATION FACILITY IMPROVEMENTS - OVERLOT GRADING**  
(In Constant 2001 Dollars)

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
MOBILIZATION/CLEAR AND GRUBBING	Lump Sum	1	\$ 110,000.00	\$ 110,000.00	CFD
EARTHWORK:(Balance Site)					
CUT (RAW)	Cubic Yd.	1,258,246	\$ 0.85	\$ 1,069,509.10	CFD
FILL (RAW)	Cubic Yd.	1,204,550	\$ -	\$ -	CFD
FILL (14% SHRINKAGE)	Cubic Yd.	1,373,187	\$ -	\$ -	CFD
OVER-EXCAVATION (COLLUVIAL/ALLUVIAL DEPOSITS)	Lump Sum	1	\$ 350,000.00	\$ 350,000.00	CFD
EROSION CONTROL/SLOPE STABILIZATION	Lump Sum	1	\$ 20,000.00	\$ 20,000.00	CFD
TRASH/DUMP FEES	Lump Sum	1	\$ 10,000.00	\$ 10,000.00	CFD
<b>Sub-Total</b>				<b>\$ 1,559,509.10</b>	
<b>Fees &amp; Services @ 15%</b>				<b>\$ 233,926.37</b>	
Sub-Total				\$ 1,793,435.47	
<b>Contingency @ 10 %</b>				<b>\$ 179,343.55</b>	
<b>Total</b>				<b>\$ 1,972,779.01</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March, 2001.

**TABLE 7-25  
CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2  
DRAINAGE SYSTEM**

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
18" Rcp	Linear Ft.	1,320	\$ 41.00	\$ 54,120.00	Developer
24" Rcp	Linear Ft.	2,130	\$ 57.00	\$ 121,410.00	Developer
30" Rcp	Linear Ft.	400	\$ 65.00	\$ 26,000.00	Developer
36" Rcp	Linear Ft.	610	\$ 74.00	\$ 45,140.00	Developer
42" Rcp	Linear Ft.	820	\$ 82.00	\$ 67,240.00	Developer
48" Rcp	Linear Ft.	950	\$ 90.00	\$ 85,500.00	CFD
54" Rcp	Linear Ft.	450	\$ 110.00	\$ 49,500.00	CFD
66" Rcp	Linear Ft.	140	\$ 140.00	\$ 19,600.00	CFD
Headwalls D90	Each	5	\$ 7,500.00	\$ 37,500.00	Developer/CFD
Catch Basin W= 7.00	Each	3	\$ 4,000.00	\$ 12,000.00	Developer/CFD
Catch Basin W= 14.00	Each	11	\$ 6,000.00	\$ 66,000.00	Developer/CFD
Catch Basin W= 21.00	Each	6	\$ 8,000.00	\$ 48,000.00	Developer/CFD
Catch Basin W= 28.00	Each	3	\$ 10,000.00	\$ 30,000.00	Developer/CFD
Manhole No. 1	Each	2	\$ 2,000.00	\$ 4,000.00	Developer/CFD
Manhole No. 2	Each	5	\$ 4,000.00	\$ 20,000.00	Developer/CFD
Manhole No. 4	Each	4	\$ 4,000.00	\$ 16,000.00	Developer/CFD
Junction Structure	Each	12	\$ 1,500.00	\$ 18,000.00	Developer/CFD
1/2 Ton Riprap	Cubic Yd.	95	\$ 75.00	\$ 7,125.00	Developer/CFD
Filter Fabric	Sq. Ft.	1,250	\$ 0.50	\$ 625.00	Developer/CFD
<b>Sub-Total</b>				<b>\$ 727,760.00</b>	
Fees & Services @ 15%				\$ 109,164.00	
Sub-Total				\$ 836,924.00	
Contingency @ 10 %				\$ 83,692.40	
<b>Total</b>				<b>\$ 920,616.40</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March, 2001.

**TABLE 7-26  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2  
SANITARY SEWER SYSTEM**

ITEM	DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
1	36" Spirolite Sewer Pipe	Linear Ft.	1,432.41	\$ 108.00	\$ 154,700.28	Assessment District
2	8" PVC SDR35 Sewer Pipe	Linear Ft.	17,611.76	\$ 20.00	\$ 352,235.20	Developer/Assessment District
3	Standard Manhole 60"	Each	7	\$ 3,400.00	\$ 23,800.00	Assessment District
4	Standard Manhole 48"	Each	79	\$ 2,500.00	\$ 197,500.00	Assessment District
5	Cleanout	Each	726	\$ 90.00	\$ 65,340.00	Assessment District
6	Lateral 4"	Each	726	\$ 300.00	\$ 217,800.00	Developer/Assessment District
	<b>Sub-Total</b>				<b>\$ 1,011,375.48</b>	
	Fees & Services @ 15%				\$ 151,706.32	
	Sub-Total				\$ 1,163,081.80	
	Contingency @ 10 %				\$ 116,308.18	
	<b>Total</b>				<b>\$ 1,279,389.98</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. September 5, 2000.

**TABLE 7-27  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2  
WATER FACILITY IMPROVEMENTS**

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
8" PVC (C-900 CL 150)	Linear Ft.	18,309.28	\$ 25.00	\$ 457,732.00	Assessment District
12" R.S.G.V.	Each	69	\$ 2,000.00	\$ 138,000.00	Developer
8" R.S.G.V.	Each	10	\$ 2,000.00	\$ 20,000.00	Developer
6" Blow-off	Each	5	\$ 1,500.00	\$ 7,500.00	Developer
2" A.V. & A.R. Assy.	Each	7	\$ 1,500.00	\$ 10,500.00	Developer
6" Fire Hydrant (Including 6" G.V)	Each	54	\$ 2,500.00	\$ 135,000.00	Developer
3/4" Meter Service	Each	726	\$ 420.00	\$ 304,920.00	Developer
12" Tee	Each	23	\$ 750.00	\$ 17,250.00	Developer
12"x8" Tee	Each	53	\$ 750.00	\$ 39,750.00	Developer
8" Tee	Each	1	\$ 600.00	\$ 600.00	Developer
12" Cross	Each	1	\$ 750.00	\$ 750.00	Developer
12"x8" Reducer	Each	1	\$ 750.00	\$ 750.00	Developer
12" - 45 Bend	Each	9	\$ 750.00	\$ 6,750.00	Developer
8" - 45 Bend	Each	1	\$ 600.00	\$ 600.00	Developer
Hot Tap Connections @ MHS Road	Each	2	\$ 3,500.00	\$ 7,000.00	Developer
<b>Sub-Total</b>				<b>\$ 1,147,102.00</b>	
Fees & Services @ 15%				\$ 172,065.30	
Sub-Total				\$ 1,319,167.30	
Contingency @ 10 %				\$ 131,916.73	
<b>Total</b>				<b>\$ 1,451,084.03</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March, 2001.

**TABLE 7-28  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2  
DEMAND FOR FIRE PROTECTION FACILITIES**

DWELLING UNITS AT BUILDOUT	POPULATION AT BUILDOUT	FIREFIGHTER DEMAND		ADDITIONAL CALLS PER YR	
		STANDARD <sup>1</sup> FIREFIGHTERS/1,000	PROJECTED	STANDARD CALLS/DU <sup>1</sup>	PROJECTED
726	2,410	1.38	3.33	0.075	54

Notes: 1. *City of Murrieta Fire Department, Gary Whisenand Battallion Chief. January, 2001.*

Source: Stanley R. Hoffman Associates, Inc.

3.32 Population generation rate: per unit  
1.38 Firefighters per 1,000 population

**TABLE 7-29  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2  
DEMAND FOR LAW ENFORCEMENT**

DWELLING UNITS AT BUILDOUT	POPULATION AT BUILDOUT	OFFICER DEMAND		POLICE FACILITY DEMAND	
		DESIRED STND. OFFICERS/1,000	PROJECTED # OFFICERS	STANDARD Sq.ft./OFFICER <sup>1</sup>	PROJECTED SQUARE FEET
726	2,410	1.00	2.41	220	530

DWELLING UNITS AT BUILDOUT	POPULATION AT BUILDOUT	POLICE VEHICLE DEMAND		ADDITIONAL CALLS	
		STANDARD VEHICLE/OFFICER <sup>1</sup>	PROJECTED # VEHICLES	STANDARD CALLS/DU	PROJECTED # OF CALLS
726	2,410	0.81	1.95	1.14	826

Notes: 1. *City of Murrieta Development Fee Impact Report. August, 1998.*

Source: Stanley R. Hoffman Associates, Inc.

1,000 Population<sup>7</sup>

- 220 square feet per Sworn Officer<sup>8</sup>
- 0.81 vehicles per Sworn Officer<sup>9</sup>

## B. Project Impacts

- Total annual calls for assistance - 826<sup>10</sup>
- Demand for additional officers - 2.4 officers based on desired performance standard
- Demand for additional sq. ft. - 530 sq. ft.
- Demand for additional vehicles - 1.95 Vehicles
- Demand is summarized in Table 7-29.

## C. Project Improvements

- None provided
- Law enforcement facilities will be provided as determined appropriate by the Police Department and the City of Murrieta.

## D. Financing

**Capital Facilities.** Development within the Murrieta Creekside Village Specific Plan will mitigate impacts to the law enforcement capital facilities by the payment of Development Impact Fees at the time of building permit issuance.

Based on a maximum number of 726 dwelling units, the amount of funding contributed to the the Law Enforcement Facilities fund could be up to \$104,234.64. This amount is determined by multiplying the 480 single-family dwelling units by \$141.90 and the 246 multi-family dwelling units by \$146.84, the Law Enforcement Facilities/Equipment impact fee.

**Operations and Maintenance** - Operations and maintenance for this alternative is the same as shown on page 7-17.

## E. Special Conditions

Law Enforcement Special Conditions for this alternative are as shown on page 7-17.

### 7.5.4.7 General Facilities and Equipment

Section 5.7 of this specific plan has a complete description of General Facilities and Equipment.

#### A. Performance Standard

- 391.6 Square Feet per 1,000 Population<sup>11</sup>

#### B. Project Impacts

- 726 Dwelling Units - 944 Square Feet of Demand

#### C. Project Improvements

- None provided
- Demand for facilities is shown in Table 7-30, Demand for General City Facilities.

#### D. Financing

**Capital Facilities.** Development within the Murrieta Creekside Village Specific Plan will mitigate impacts to the General Facilities and Equipment by the payment of Development Impact Fees at the time of building permit.

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<sup>7</sup> Based on January 2000 population of 43,989, and current staff of 35 officers per Creekside Village Specific Plan, the existing ratio is .80.

<sup>8</sup> Development Impact Fee Report, August 1998, page 31.

<sup>9</sup> Development Impact Fee Report, August 1998, page 30.

<sup>10</sup> Total calls were based on a sample two-month call volume (May-June 2000) of 4,520 obtained from the Murrieta Police Department. Residential calls represented 61.2 % of the total call volume. This distribution was applied to the 1999 total call volume of 27,000 to estimate a total residential call volume of 16,523. Formula: 16,523 residential calls/14,528 housing units = 1.14 calls for service/dwelling unit.

<sup>11</sup> Based on a buildout population of 103,164 and the assumed need for a 30,000 sq. ft. city hall and 10,400 sq. ft. General Maintenance facility for a total of 40,400 sq. ft. of general facilities area.  $(30,000 \text{ sf} + 10,400 \text{ sf})/103,164 \text{ population}/1,000 \text{ population} = 391.6 \text{ sf per } 1,000 \text{ population}$ .

Based on a maximum number of 726 dwelling units, the amount of funding contributed to the General Facilities and Equipment Fund should be \$119,913.42. This amount is determined by multiplying the 726 DUs by \$165.17, the General Facilities/Vehicles/Equipment impact fee.

**Operations and Maintenance** - Operations and maintenance for this alternative is the same as shown on page 7-19.

#### 7.5.4.8 Library Facilities

A complete description of Library Facilities is in Section 5.8 of this specific plan.

##### A. Performance Standard

- 245 Square Feet per 1,000 Population <sup>12</sup>
- 154 Books per 1,000 Population <sup>13</sup>

##### B. Project Impacts

- Total demand for additional library facility space - 591 square feet
- Total demand for additional books - 371

##### C. Project Improvements

- None provided.
- The demand for facilities is provided on the Demand for Library Facilities as shown in Table 7-31.

##### D. Financing

**Capital Facilities.** Development within the Murrieta Creekside Village Specific Plan will mitigate impacts to the Library Facilities by the payment of Development Impact Fees at the time of building permit issuance.

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<sup>12</sup> *Impact Fee for Library Facilities and Collection, Development Impact Fee Calculation Report, August, 1998, page 128.*

<sup>13</sup> *Impact Fee for Library Facilities and Collection, Development Impact Fee Calculation Report, August, 1998, page 129.*

<sup>14</sup> *Source: Murrieta Valley Unified School District, July 2001.*

Based on a maximum number of 726 dwelling units, the amount of funding contributed to the Library Facilities fund should be \$82,298.70. This amount is determined by multiplying the 480 single-family dwelling units by \$129.61 and the 246 multi-family units by \$81.65, the Library Facilities/Collection impact fee for each dwelling unit type.

**Operations and Maintenance.** The Murrieta Public Library receives 1.6 percent of the basic 1 percent property tax levy.

At an estimated weighted average per unit valuation of \$177,124 and a 1.00% TRA 024-010, the per dwelling unit property tax revenue is about \$1,771.24. Therefore, at \$0.016 for every property tax dollar, every unit within the Murrieta Creekside Village Specific Plan would contribute approximately \$28.34 per year toward library services, or a total of \$20,574.84.

##### E. Special Conditions

Library Special Conditions for this alternative are the same as shown on page 7-20

#### 7.5.4.9 School Facilities

A complete description of School Facilities is in Section 5.9 of this specific plan. Alternative 2 does not include a school.

##### A. Performance Standard

The current student generation rate for grades K-12 is 0.718 students per single-family dwelling unit and 0.381 per multi-family unit.<sup>14</sup> School capacity to meet projected enrollment as determined by the Murrieta Valley Unified School District (MVUSD) is described below.

**TABLE 7-30  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 1  
DEMAND FOR GENERAL CITY FACILITIES AND EQUIPMENT**

DWELLING UNITS AT BUILDOUT	POPULATION AT BUILDOUT	FACILITY DEMAND SQUARE FEET	
		STANDARD SQ. FT./1,000 pop. <sup>1</sup>	PROJECTED
726	2,410	391.6	944

Notes: 1. *City of Murrieta Master Facilities Plan*. August, 1998.

Source: Stanley R. Hoffman Associates, Inc.  
PDS West.

**TABLE 7-31  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2  
DEMAND FOR LIBRARY FACILITIES**

DWELLING UNITS AT BUILDOUT	POPULATION AT BUILDOUT	PERFORMANCE DEMAND SQUARE FEET		BOOK DEMAND	
		STANDARD SQ. FT/1,000 pop. <sup>1</sup>	PROJECTED	STANDARD BOOKS/1,000 <sup>1</sup>	PROJECTED
726	2,410	245	591	154	

Notes: 1. *City of Murrieta Development Fee Impact Report*. August, 1998.

Source: Stanley R. Hoffman Associates, Inc.  
PDS West.

## B. Project Impacts

According to MVUSD, existing excess capacity is 254 students. Alternative 2 of the Murrieta Creekside Village Specific Plan will generate demand of 438 students, resulting in a capacity deficit of 184 students.

- Total existing excess capacity - 254 students
- Total demand - 438 Students

The impacts on school facilities are provided on the Demand for School Facilities Table 7-32.

### ***Alta Murrieta Elementary School:***

Current Capacity 1,225 Students  
Current Enrollment 1,046 Students  
Excess Capacity 179 Students

### ***Thompson Middle School:***

Current Capacity 1,323 Students  
Current Enrollment 1,250 Students  
Excess Capacity 73 Students

### ***Murrieta Valley High School:***

Current Capacity 3,165 Students  
Current Enrollment 3,163 Students  
Excess Capacity 2 Students

## C. Financing

The MVUSD currently requires a total mitigation payment of \$4.60 per square foot. If the State has money to contribute its 50% of construction costs, then a mitigation payment of \$2.30 per square foot is required. For the purposes of Alternative 2, the average dwelling unit size anticipated for Creekside Village is assumed to

be about 1,956 for single-family units and 1,650 square feet for multi-family units. Based on these averages, the maximum and minimum per unit school fee will be \$8,998 and \$4,499 respectively for single-family units, and \$7,590 and \$3,795 for multi-family units. Assuming the maximum fee per dwelling unit, the school district could anticipate about \$6,186,180 to be paid to mitigate against impacts to school facilities.

## D. Special Conditions

School Special Conditions for this alternative will be the same as found on page 7-24

### 7.5.4.10 Open Space Acquisition Facilities

A complete description of Open Space is in Sections 2.2.3 and 3.4 of this specific plan.

#### A. Performance Standard

- 0.107 OS Acres per Developed Acre <sup>15</sup>

#### B. Project Impacts

- Total Demand for Open Space - 12.23 Acres <sup>16</sup>

#### C. Project Improvements

- Open Space to be Provided - 23.71 Acres (natural area and creek banks)
- Various open space areas will be available as development occurs.
- 1.2 miles of trails will be constructed in the greenway/creek system.
- Warm Springs Creek will be maintained in an undeveloped condition, to the degree feasible.

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<sup>15</sup> *Development Impact Fee Calculation Report, August 1998, pgs. 106-108*

<sup>16</sup> *Standard of 0.107 OS acres per developed acre = 0.107 \* (107.77 + 6.49) = 0.107 \* 114.26 = 12.23 acres of demand*

\$1,495,087.86

**D. Financing**

**Capital Facilities.** Payment of Development Impact Fees for Open Space Acquisition at the time of building permit issuance is typically required for residential development. However, since this project is contributing 23.71 acres, no residence shall be required to pay the impact fee for Open Space Acquisition. No reimbursement for Open Space dedication is available.

**Operations and Maintenance.** Operations and maintenance of the open space areas will be financed by the CSD. An annual special tax of approximately \$45.00 will be added to the property tax for each dwelling unit. Based on 726 total units, this special tax will generate approximately \$32,670 per year toward operation and maintenance of the drainage facilities, roadway medians, park, trails, modified slopes and open space areas within the Murrieta Creekside Village Specific Plan area.

**E. Special Conditions**

Open Space Special Conditions for this alternative are the same as shown on page 7-24

**7.5.4.11 Park Land And Facilities**

A description of Park Land and Facilities is in Sections 3.4.1 and 3.4.2 of this specific plan.

**A. Performance Standard**

- \$2,354.57 per Single Family Dwelling Unit <sup>17</sup>
- \$1,483.31 per Multi-Family Dwelling Unit

**B. Project Impacts**

- Project Demand for Improvements-

<sup>17</sup> Based on Park Land & Facilities Development Impact Fee, January 5, 2001

<sup>18</sup> This is an estimate for the purpose of this study only. Future negotiations will be required between the developer and the City of Murrieta. Assumes land valuation of \$160,000 per acre and total of 4.82 acres park/greenways. Source: Bob Lacoss, PDS West, October 2000.

**C. Project Improvements**

- Park Land to be Provided - Dedication of 3.00 Acres
- Greenways to be Provided - Dedication and Construction of 1.82 Acres
- Total Value of Dedication - \$771,200 <sup>18</sup>
- The demand for facilities is provided on the Park Land Demand Table 7-33.

**D. Financing**

**Capital Facilities.** Development within the Creekside Village Specific Plan can mitigate against impacts to the Park Land and Facilities by the payment of Development Impact Fees at the time of building permit issuance. Based on a maximum number of 726 dwelling units, the amount of funding contributed to the Park Land and Facilities Fund should be \$1,495,087.86. This amount is determined by multiplying the 726 dwelling units by the fees as shown in Table 7-33.

**Operations and Maintenance.** Operation and maintenance of the park site will be financed by the CSD. An annual special tax of approximately \$45.00 will be added to the property tax for each dwelling unit. This special tax will generate approximately \$32,670 per year toward operation and maintenance of the drainage facilities, roadway medians, park, trails, modified slopes and open space areas within the Murrieta Creekside Village Specific Plan area.

**E. Special Conditions**

Parkland and Facilities Special Conditions are the same as Shown on page 7-25

**7.5.4.12 Utilities**

The costs and potential reimbursement for dry utilities are estimated at \$402,417.50 after reimbursements of \$65,000.00 as shown in Table 7-34.

**7.5.4.13 Summary of Assessments/Development Impact Fees**

A summary of the City/County/District Assessments and development impact fees that apply to the Creekside Village project is summarized in Table 7-35. These fees total \$17,050,396.26. Several of the fees discussed throughout this report are included in this amount, including the City of Murrieta Development Impact Fees. Table 7-36 provides a summary of the City of Murrieta Development Impact Fees.

**TABLE 7-32  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2  
DEMAND FOR SCHOOL FACILITIES AT BUILDOUT**

	DWELLING UNITS	K-12 GEN. RATE	STUDENT PROJECTIONS
Single-Family	480	0.718	345
Multi-Family	<u>246</u>	0.381	<u>94</u>
Total	726		438

Source: Stanley R. Hoffman Associates, Inc.  
PDS West.  
Murrieta Valley Unified School District, July 2001.

**TABLE 7-33  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2  
DEMAND FOR PARK LAND AND FACILITIES**

	DWELLING UNITS AT BUILDOUT	FACILITY DEMAND (DOLLARS)	
		DEVELOPMENT IMPACT FEE/DU <sup>1</sup>	PROJECTED
Single-Family	480	\$2,354.57	\$1,130,193.60
Multi-Family	<u>246</u>	\$1,483.31	<u>\$364,894.26</u>
Total	726		\$1,495,087.86

Notes: 1. *City of Murrieta, Development Impact Fees.* January 5, 2001.

Source: Stanley R. Hoffman Associates, Inc.

**TABLE 7-34**  
**MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2**  
**DRY UTILITIES - GAS, ELECTRIC, TELEPHONE**

ITEM	DESCRIPTION	COST	POTENTIAL REIMBURSEMENT	TOTAL COST
1	Contractor Charges	\$ 105,000.00		\$ 105,000.00
2	S.CE. ITCC Tax	\$ 8,000.00		\$ 8,000.00
3	Street Light Differential Fee	\$ 12,000.00		\$ 12,000.00
4	Street Light Energy Fee	\$ 11,000.00		\$ 11,000.00
5	G.T.E. Substructure Reimbursement		\$ 15,000.00	\$ (15,000.00)
6	S.CE. Substructure Reimbursement		\$ 8,000.00	\$ (8,000.00)
7	S.C.E. Poleline Conversion Charge	\$ 110,000.00		\$ 110,000.00
8	G.T..E. Poleline Conversion Charge	\$ 16,500.00		\$ 16,500.00
9	Contractor Charges - Conversion (Electric & Telephone)	\$ 58,000.00		\$ 58,000.00
10	S.C.G. Main	\$ 35,000.00	\$ 35,000.00	\$ -
11	S.C.G. Stubs	\$ 14,000.00	\$ 7,000.00	\$ 7,000.00
	<b>Sub-Total</b>	<b>\$ 369,500.00</b>		
	Fees & Services @ 15%	\$ 55,425.00		
	Sub-Total	\$ 424,925.00		
	Contingency @ 10 %	\$ 42,492.50		
	<b>Total</b>	<b>\$ 467,417.50</b>	<b>\$ 65,000.00</b>	<b>\$ 402,417.50</b>

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March 2001.

**TABLE 7-35  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2  
CITY/COUNTY/DISTRICT ASSESMENTS & FEES**

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST
City of Murrieta Inspector (3%)	LUMP SUM	1	\$ 120,269.00	\$ 120,269.00
Annexation Charges (MWD)	ACRE	140	\$ 3,500.00	\$ 490,000.00
Processing Fees:				
MWD	LUMP SUM	1	\$ 5,000.00	\$ 5,000.00
EMWD/RCWD	LUMP SUM	1	\$ 1,500.00	\$ 1,500.00
LAFCO	LUMP SUM	1	\$ 5,120.00	\$ 5,120.00
SBE	LUMP SUM	1	\$ 2,000.00	\$ 2,000.00
EMWD/RCWD Plan Check	LUMP SUM	1	\$ 3,500.00	\$ 3,500.00
EMWD/RCWD INSPECTION (7.5%)	LUMP SUM	1	\$ 160,195.00	\$ 160,195.00
EMWD/RCWD Annexation Water/ Sewer Improvement Dists. 22 & 23	LUMP SUM	1	\$ 2,500.00	\$ 2,500.00
EMWD Sewer Back-up Fee	UNIT	726	\$ 1,312.00	\$ 952,512.00
EMWD Sewer Treatment Capacity Fee	UNIT	726	\$ 1,924.00	\$ 1,396,824.00
EMWD Water Connection Fee	UNIT	726	\$ 1,912.00	\$ 1,388,112.00
Grading Permit/Plan Check	LUMP SUM	1	\$ 15,072.00	\$ 15,072.00
Well Cap Mitigation	LUMP SUM	1	\$ 10,000.00	\$ 10,000.00
City of Murrieta Development Impact Fees <sup>1</sup>	SF UNIT	480	\$ 4,835.09	\$ 2,320,843.20
City of Murrieta Development Impact Fees <sup>1</sup>	MF UNIT	246	\$ 3,204.88	\$ 788,400.48
Regional Road and Bridge Fee	UNIT	726	\$ 1,169.59	\$ 849,122.34
Warm Springs Valley Drainage Area Fee	GROSS AC	145.12	\$ 677.00	\$ 98,246.24
Murrieta Valley Unified School District	SF UNIT	480.00	\$ 8,998.00	\$ 4,319,040.00
Murrieta Valley Unified School District	MF UNIT	246.00	\$ 7,590.00	\$ 1,867,140.00
Enviromental Mitigation	LUMP SUM	1	\$ 2,000,000.00	\$ 2,000,000.00
Cultural Resources Mitigation (Paleontological/Cultural)	LUMP SUM	1	\$ 240,000.00	\$ 240,000.00
Enviromental Clean-up	LUMP SUM	1	\$ 10,000.00	\$ 10,000.00
NPDES/SWPP	LUMP SUM	1	\$ 5,000.00	\$ 5,000.00
<b>Total</b>				<b>\$ 17,050,396.26</b>

1. City Development Impact fees include all fees except for Open Space Acquisition.  
Open space acquisition is not applicable since developer is contributing acreage.

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March 2001.

**TABLE 7-36**  
**MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 2**  
**SUMMARY OF CITY DEVELOPMENT IMPACT FEES<sup>1</sup>**

FEE DESCRIPTION	AMT. PER SINGLE FAMILY UNIT	AMT. PER MULTI- FAMILY UNIT	TOTAL AMOUNT FROM PROJECT
Law Enforcement Facilities/Equipment	\$141.90	\$146.84	104,234.64
Fire Facilities/Equipment	410.42	607.42	346,426.92
Streets/Minor Bridges/Culverts	480.88	305.64	306,009.84
Traffic Signals/Controllers	81.82	52.00	52,065.60
Storm Drainage Facilities	941.77	281.62	521,328.12
General Facilities/Vehicles/Equipment	165.17	165.17	119,913.42
Open Space Acquisition	325.39	64.03	171,938.58
Park Land/Facilities	2,354.57	1,483.31	1,495,087.86
Community Center	128.95	81.23	81,878.58
Library Facilities/Collection	<u>129.61</u>	<u>81.65</u>	<u>82,298.70</u>
Total	\$5,160.48	\$3,268.91	\$3,281,182.26
Less Open Space Acquisition <sup>2</sup>	\$325.39	\$64.03	171,938.58
Net Development Impact Fees	\$4,835.09	\$3,204.88	\$3,109,243.68

Notes: 1. *City of Murrieta, Development Impact Fees*. January 5, 2001.

2. Open space acquisition is not applicable since developer is contributing acreage.

Source: Stanley R. Hoffman Associates, Inc.

## LAND USE ALTERNATIVE 3

### 7.6.1 INTRODUCTION:

This section of the Murrieta Creekside Village Specific Plan represents the Public Facilities Financing Plan (PFFP) for Alternative 3 of the proposed development of the Murrieta Creekside Village Specific Plan project. This alternative includes 390 multi-family housing units and 390 single-family units for a total of 780 units. The proposed Specific Plan described in section 7.4 includes 500 single-family housing units only. This section identifies the project impacts, the proposed public facility improvements, and the costs for improvements that differ from the proposed plan.

### 7.6.2 ASSUMPTIONS

The following summarizes the buildout potential for Alternative 3 of the Murrieta Creekside Village Specific Plan Area.

***Acreage:***

145.12

***Maximum Dwelling Units:***

390 Single Family Units

390 Multi-family Units

***Population Generation Rate:***

3.32 Persons Per Dwelling Unit

***Estimated Maximum Population:***

2,590 Persons

As shown in Table 7-37, approximately 68 percent of the Alternative 3 project area consists of residential use, with the remainder devoted to open space and roadway access.

### 7.6.3 FACILITY FINANCING

#### 7.6.3.1 Financing Summary

Table 7-38 summarizes the costs and financing strategy for each public facility identified for Alternative 3 of the proposed project.

### 7.6.4 INDIVIDUAL FACILITY ANALYSIS

Individual facilities analyzed include circulation, storm water drainage, sewer facilities, water facilities, fire protection facilities, law enforcement facilities, general facilities and equipment, library facilities, school facilities, open space facilities, and park facilities.

#### 7.6.4.1 Circulation Facilities

For a complete description of circulation, refer to Section 5.1 of this specific plan. In addition, the "Traffic Impact Analysis for Creekside Village Specific Plan," dated August 23, 2000, provides a complete analysis of the projected circulation impacts created by development of the Murrieta Creekside Village Specific Plan.

#### A. Performance Standard

City street intersections shall be maintained at a Level of Service (LOS) "D" or higher during peak hour periods.

#### B. Project Impacts

The following are the projected traffic impacts from development of Alternative 3, based on the traffic analysis:

***Average Daily Trips***

6,872

***Average Daily Trip Miles***

7.4 miles at 34 miles per hour

***Average Daily Trip Length of Time***

13.1 minutes

***Increased Traffic***

6,872 vehicles per day (24-hour period)

#### C. Project Improvement

The specific improvements and costs are shown in Tables 7-39 through 7-42.

**TABLE 7-37  
CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3  
CITY OF MURRIETA  
PROPOSED LAND USE SUMMARY AFTER FULL BUILDOUT**

Land Use	No. of Lots	No. of Units	Total Acres	% of Acreage
<u>Residential (Lot Size sq.ft.)<sup>1</sup></u>				
7,200	50	50	13.33	13.4%
6,000	170	170	29.82	30.1%
5,500	0	0	0.00	0.0%
5,000	170	170	34.34	34.6%
Multi-Family	<u>390</u>	<u>390</u>	<u>21.65</u>	21.8%
Total	780	780	99.14	68.3% of Total Acres
<u>Non-Residential</u>				
Collector/Major Road ROWs			6.49	14.1%
Elementary School			10.03	21.8%
Runoff Treatment Basins			2.33	5.1%
Village Green			3.00	6.5%
Greenways			1.82	4.0%
<u>Natural Area</u>				
Natural creek and vegetation			8.15	17.7%
Natural creek buffer			11.13	24.2%
Landscaped Creek Banks			<u>3.03</u>	<u>6.6%</u>
Total			45.98	31.7% of Total Acres
Total Project Acreage			145.12	100.0%

1. Lot pad size.

Source: Stanley R. Hoffman Associates, Inc.  
PDS West.

## D. Financing

**Capital Facilities.** Circulation capital facilities are projected to total about \$5,519,418.14. These costs include those related to improvements for, Jackson Avenue, Murrieta Hot Springs Road and internal streets as well as overlot grading.

Development within the Murrieta Creekside Village Specific Plan will mitigate project impacts to the Streets and Minor Bridges Facilities and Traffic Signals and Controllers by the payment of development impact fees at the time of building permit issuance. Based on a maximum number of 780 dwelling units, the amount of funding contributed to the Streets/Minor Bridges/Culverts Facilities Fund is \$315,545.10. This amount is determined by multiplying the 390 single-family units by \$494.68 and the 390 multi-family units by \$314.41. The amount of funding contributed to the Traffic Signals/Controllers Fund is projected at \$53,695.20. This amount is determined by multiplying the 390 single-family units by \$84.17 and the 390 multi-family units by \$53.51.

Additionally, impacts to regional roads and bridges will be mitigated by payment of the regional Major Bridge, Freeway Overpass and Ramp fee. This fee amount is \$1,169.59 per single-family residential unit and \$743.43 per multi-family residential unit. Assuming a total of 780 dwelling units, this project is projected to generate \$746,077.80 toward regional road and bridge improvements.

### 7.6.4.2 Storm Water Drainage Facilities

An entire description of Storm Water Drainage Facilities is in Section 5.2 of the specific plan.

#### A. Performance Standard

Mitigate storm water runoff to ensure that

developed and undeveloped downstream parcels will not be adversely affected by storm water.

## B. Project Impacts

The project will significantly increase impervious surfaces, thus resulting in an increase in storm water runoff. Impacts include:

**Developed Lots:** 99.14 acres  
**Road R/W:** 6.49 acres  
**Elementary School** 10.03 acres

## C. Project Improvement

The specific improvements and costs for storm water drainage are shown in Table 7-43.

## D. Financing

**Capital Facilities.** Local Storm Water Drainage capital facilities related to the project are projected to total \$920,616.40. Storm water drainage related improvements may be financed by the Developer/Builder and/or a Mello-Roos Community Facilities District.

Development within the Murrieta Creekside Village Specific Plan will mitigate project impacts to the citywide Storm Water Drainage Facilities by the payment of development impact fees at the time of building permit issuance. Based on a maximum number of 780 dwelling units, the amount of funding contributed to the Storm Drainage Facilities Fund is projected at \$490,815.00. This amount is determined by multiplying the 390 single-family dwelling units by \$968.80 and the 390 multi-family dwelling units by \$289.70.

An additional Area Drainage fee is also required to mitigate against storm water impacts. The Creekside Village project is located within the Warm Springs Valley drainage area that requires a fee amount of \$677.00 per gross acre for residential lots that are less than one acre.

**TABLE 7-38  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3  
FINANCE SUMMARY**

DESCRIPTION	COST	REIMBURSEMENT/ CREDIT	TOTAL COST	FINANCING MECHANISM
CIRCULATION				
Street Improvement - Jackson Ave.	\$ 336,784.32	\$0.00	\$ 336,784.32	CFD <sup>1</sup>
Street Improvement - Murrieta Hot Springs Rd.	\$ 184,797.98	\$0.00	\$ 184,797.98	CFD
Street Improvement - internal streets	\$ 3,025,056.83	\$0.00	\$ 3,025,056.83	CFD
Overlot Grading	<u>\$ 1,972,779.01</u>	\$0.00	<u>\$ 1,972,779.01</u>	Developer
Total	\$ 5,519,418.14		\$ 5,519,418.14	
DRAINAGE				
	\$ 920,616.40	\$0.00	\$ 920,616.40	Developer/CFD
SANITARY SEWER SYSTEM				
	\$ 1,306,030.88	\$0.00	\$ 1,306,030.88	Developer/Assessment District
DOMESTIC WATER				
	\$ 1,775,781.19	\$0.00	\$ 1,775,781.19	Developer/Assessment District
DRY UTILITIES				
	\$ 467,417.50	\$65,000.00	\$ 402,417.50	Developer
CITY/COUNTY ASSESMENTS & FEES <sup>2</sup>				
	<u>\$ 17,642,744.74</u>	<u>\$0.00</u>	<u>\$ 17,642,744.74</u>	Developer
Total	\$ 27,632,008.85	\$ 65,000.00	\$ 27,567,008.85	

1. Community Facilities District.
2. Includes the City of Murrieta Development Impact fees.

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March 2001.

**TABLE 7-39**  
**CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3**  
**JACKSON AVE IMPROVEMENTS (76'/100'R.O.W.)**  
(In Constant 2001 Dollars)

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
Traffic Signal	Each	1	\$120,000	\$120,000.00	CFD
3" A.C. Pavement @144#/Cubic Foot	Ton	1,158.95	\$30.00	\$34,768.50	CFD
6" Aggrregate Base CL II	Cubic Yard	1,605.07	22.00	35,311.54	CFD
Asphaltic Emulsion (Fog Seal)	Square Foot	86,673.75	0.05	4,333.69	CFD
Type A-6 Curb & Gutter	Linear Foot	1,647.98	7.50	12,359.85	CFD
Sidewalk 6'	Square Foot	9,887.88	2.50	24,719.70	CFD
Handicap Ramp	Each	2	300.00	600.00	CFD
Stop Sign	Each	1	500.00	500.00	CFD
Street Lights	Each	5	2,000.00	10,000.00	CFD
Signing & Striping	Lump	1	2,000.00	2,000.00	CFD
Cross Gutter and Spandrels	Square Foot	975.54	3.50	3,414.39	CFD
Street Name Signs	Each	1	225.00	225.00	CFD
Median	Linear Foot	2,400.00	7.50	<u>18,000.00</u>	CFD
Sub-Total				\$266,232.67	
Fees & Services @ 15%				<u>\$39,934.90</u>	
Sub-Total				\$306,167.57	
Contingency @ 10 %				<u>\$30,616.76</u>	
<b>Total</b>				<b>\$336,784.32</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc., March 2001.

**TABLE 7-40**  
**CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3**  
**MURRIETA HOT SPRINGS ROAD IMPROVEMENTS (110'/134' R.O.W.)**  
**(In Constant 2001 Dollars)**

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
Traffic Signal modification	Each	1	\$50,000.00	\$50,000.00	CFD
3" A.C. Pavement @ 144#/Cubic Foot	Ton	557.79	\$30.00	\$16,733.70	CFD
6" Aggregate Base CL II	Cubic Yard	573.86	22.00	12,624.92	CFD
Asphaltic Emulsion (Fog Seal)	Square Foot	30,988.24	0.05	1,549.41	CFD
Type A-6 Curb & Gutter	Linear Foot	1,244.33	7.50	9,332.48	CFD
Sidewalk 6'	Square Foot	7,465.98	2.50	18,664.95	CFD
Handicap Ramp	Each	2	300.00	600.00	CFD
Street Lights	Each	4	2,000.00	8,000.00	CFD
Signing & Striping	Lump	1	2,000.00	2,000.00	CFD
Cross Gutter and Spandrels	Square Foot	672.83	3.50	2,354.91	CFD
Street Sign	Each	1	225.00	225.00	CFD
Median	Linear Foot	3,200.00	7.50	<u>24,000.00</u>	CFD
Sub-Total				\$146,085.36	
Fees & Services @ 15%				<u>\$21,912.80</u>	
Sub-Total				\$167,998.17	
Contingency @ 10 %				<u>\$16,799.82</u>	
<b>Total</b>				<b>\$184,797.98</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc., March 2001.

**TABLE 7-41**  
**CREEKSIDE VILLAGE SPECIFIC PLAN**  
**INTERNAL STREETS WITH SCHOOL (40'/60' R.O.W.)**  
**(In Constant 2001 Dollars)**

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
3" A.C. Pavement @ 144#/Cubic Foot	Ton	14,313.00	\$30.00	\$429,390.00	CFD
6" Aggregate Base CL II	Cubic Yard	12,547.07	22.00	276,035.54	CFD
Asphaltic Emulsion (Fog Seal)	Square Foot	677,500.01	0.05	33,875.00	CFD
Type A-6 Curb & Gutter	Linear Foot	39,109.69	7.50	293,322.68	CFD
Sidewalk 6'	Square Foot	210,658.14	2.50	526,645.35	CFD
PCC Drive Approach	Each	390.00	1,500.00	585,000.00	CFD
Handicap Ramp	Each	58.00	300.00	17,400.00	CFD
Stop Sign	Each	29.00	500.00	14,500.00	CFD
Street Lights	Each	81.00	2,000.00	162,000.00	CFD
Signing & Striping	Lump	1	8,000.00	8,000.00	CFD
Cross Gutter and Spandrels	Square Foot	10,851.63	3.50	37,980.71	CFD
Street Name Signs	Each	32.00	225.00	<u>7,200.00</u>	CFD
<b>Sub-Total</b>				<b>\$2,391,349.27</b>	
Fees & Services @ 15%				<u>\$358,702.39</u>	
Sub-Total				<b>\$2,750,051.66</b>	
Contingency @ 10 %				<u>\$275,005.17</u>	
<b>Total</b>				<b>\$3,025,056.83</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc., March 2001.

**TABLE 7-42**  
**CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3**  
**CIRCULATION FACILITY IMPROVEMENTS - OVERLOT GRADING**  
(In Constant 2001 Dollars)

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
MOBILIZATION/CLEAR AND GRUBBING	Lump Sum	1	\$ 110,000.00	\$ 110,000.00	CFD
EARTHWORK:(Balance Site)					
CUT (RAW)	Cubic Yd.	1,258,246	\$ 0.85	\$ 1,069,509.10	CFD
FILL (RAW)	Cubic Yd.	1,204,550	\$ -	\$ -	CFD
FILL (14% SHRINKAGE)	Cubic Yd.	1,373,187	\$ -	\$ -	CFD
OVER-EXCAVATION (COLLUVIAL/ALLUVIAL DEPOSITS)	Lump Sum	1	\$ 350,000.00	\$ 350,000.00	CFD
EROSION CONTROL/SLOPE STABILIZATION	Lump Sum	1	\$ 20,000.00	\$ 20,000.00	CFD
TRASH/DUMP FEES	Lump Sum	1	\$ 10,000.00	\$ 10,000.00	CFD
<b>Sub-Total</b>				<b>\$ 1,559,509.10</b>	
<b>Fees &amp; Services @ 15%</b>				<b>\$ 233,926.37</b>	
Sub-Total				<b>\$ 1,793,435.47</b>	
<b>Contingency @ 10 %</b>				<b>\$ 179,343.55</b>	
<b>Total</b>				<b>\$ 1,972,779.01</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March, 2001.

**TABLE 7-43  
CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3  
DRAINAGE SYSTEM**

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
18" Rcp	Linear Ft.	1,320	\$ 41.00	\$ 54,120.00	Developer
24" Rcp	Linear Ft.	2,130	\$ 57.00	\$ 121,410.00	Developer
30" Rcp	Linear Ft.	400	\$ 65.00	\$ 26,000.00	Developer
36" Rcp	Linear Ft.	610	\$ 74.00	\$ 45,140.00	Developer
42" Rcp	Linear Ft.	820	\$ 82.00	\$ 67,240.00	Developer
48" Rcp	Linear Ft.	950	\$ 90.00	\$ 85,500.00	CFD
54" Rcp	Linear Ft.	450	\$ 110.00	\$ 49,500.00	CFD
66" Rcp	Linear Ft.	140	\$ 140.00	\$ 19,600.00	CFD
Headwalls D90	Each	5	\$ 7,500.00	\$ 37,500.00	Developer/CFD
Catch Basin W= 7.00	Each	3	\$ 4,000.00	\$ 12,000.00	Developer/CFD
Catch Basin W= 14.00	Each	11	\$ 6,000.00	\$ 66,000.00	Developer/CFD
Catch Basin W= 21.00	Each	6	\$ 8,000.00	\$ 48,000.00	Developer/CFD
Catch Basin W= 28.00	Each	3	\$ 10,000.00	\$ 30,000.00	Developer/CFD
Manhole No. 1	Each	2	\$ 2,000.00	\$ 4,000.00	Developer/CFD
Manhole No. 2	Each	5	\$ 4,000.00	\$ 20,000.00	Developer/CFD
Manhole No. 4	Each	4	\$ 4,000.00	\$ 16,000.00	Developer/CFD
Junction Structure	Each	12	\$ 1,500.00	\$ 18,000.00	Developer/CFD
1/2 Ton Riprap	Cubic Yd.	95	\$ 75.00	\$ 7,125.00	Developer/CFD
Filter Fabric	Sq. Ft.	1,250	\$ 0.50	\$ 625.00	Developer/CFD
<b>Sub-Total</b>				<b>\$ 727,760.00</b>	
Fees & Services @ 15%				\$ 109,164.00	
Sub-Total				\$ 836,924.00	
Contingency @ 10 %				\$ 83,692.40	
<b>Total</b>				<b>\$ 920,616.40</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March, 2001.

A total Area Drainage Fee of \$98,246.24 is projected based on 145.12 project acres. The fee is paid by the developer prior to issuance of a grading permit or a building permit. There are no reimbursements or credits available to the developer or builder for drainage improvements.

**Operations and Maintenance.** The cost for continued maintenance of the flood drainage facilities will be financed by the CSD. An estimated annual special tax of approximately \$45 will be added to the property tax for each dwelling unit. This special tax will generate approximately \$35,100 per year toward operation and maintenance of the drainage facilities, roadway medians, parks, trails, modified slopes, and open space areas within the Murrieta Creekside Village Specific Plan area.

#### **7.6.4.3 Sewer Facilities**

The complete description of Sewer Facilities is in Section 5.3 of this specific plan.

##### **A. Performance Standard**

The sewer system is to be designed in accordance with Eastern Municipal Water District (EMWD) requirements.

##### **B. Project Impacts**

A total of 271,908 gallons per day is projected from the households of the Murrieta Creekside Village project. Household use is estimated based on 3.32 persons per household and 105 gallons per person per day for 780 housing units.<sup>1</sup>

##### **C. Project Improvements**

Specific improvements and costs for Sewer Facility Improvements are shown in Table 7-44 and total about \$1,306,030.88.

#### **7.6.4.4 Water Facilities**

A complete description of Water Facilities is found in Section 5.4 of this specific plan.

##### **A. Performance Standard**

The water supply system is to be designed in accordance with Eastern Municipal Water District (EMWD) requirements. Additionally, water supply must meet the fire flow requirements specified by the Murrieta Fire Protection District.

##### **B. Project Impacts**

A total of 517,920 gallons per day is projected from the 780 households of the Murrieta Creekside Village project. Household use is estimated based on 3.32 persons per household and 200 gallons per person per day.

##### **C. Project Improvements**

The specific improvements and costs for water facilities are shown on Table 7-45 Water Facility Improvements and total about \$1,775,781.19.

#### **7.6.4.5 Fire Protection Facilities**

A complete description of Fire Protection Facilities is in Section 5.5 of this specific plan.

##### **A. Performance Standard**

- 1.38 Career Uniform Firefighters per 1,000 population
- For medical emergencies, maintain a 7.5-Minute or Less Response Time from the time the 911 Call is made for 90% of the calls
- For fire, maintain an 8-Minute or Less Response Time from the time the 911 Call is made for 90% of the calls

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<sup>1</sup> Eastern Municipal Water District usage standards, October 2000.

**TABLE 7-44**  
**MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3**  
**SANITARY SEWER SYSTEM**

ITEM	DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
1	36" Spirolite Sewer Pipe	Linear Ft.	1,432.41	\$ 108.00	\$ 154,700.28	Assessment District
2	8" PVC SDR35 Sewer Pipe	Linear Ft.	17,611.76	\$ 20.00	\$ 352,235.20	Developer/Assessment District <sup>1</sup>
3	Standard Manhole 60"	Each	7	\$ 3,400.00	\$ 23,800.00	Assessment District
4	Standard Manhole 48"	Each	79	\$ 2,500.00	\$ 197,500.00	Assessment District
5	Cleanout	Each	780	\$ 90.00	\$ 70,200.00	Assessment District
6	Lateral 4"	Each	780	\$ 300.00	\$ 234,000.00	Developer/Assessment District
	<b>Sub-Total</b>				<b>\$ 1,032,435.48</b>	
	Fees & Services @ 15%				\$ 154,865.32	
	<b>Sub-Total</b>				<b>\$ 1,187,300.80</b>	
	Contingency @ 10 %				\$ 118,730.08	
	<b>Total</b>				<b>\$ 1,306,030.88</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. September 5, 2000.

1. Facilities less than 12 inches may be included in an assessment district at the discretion of the City.

**TABLE 7-45**  
**MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3**  
**WATER FACILITY IMPROVEMENTS**

ITEM	DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST	FINANCING MECHANISM
1	12" PVC (C-900 CL 150)	Linear Ft.	15,599.84	\$ 40.00	\$ 623,993.60	Assessment District
2	8" PVC (C-900 CL 150)	Linear Ft.	2,709.44	\$ 25.00	\$ 67,736.00	Assessment District
3	12" R.S.G.V.	Each	69	\$ 2,000.00	\$ 138,000.00	Developer
4	8" R.S.G.V.	Each	10	\$ 2,000.00	\$ 20,000.00	Developer
3	6" Blow-off	Each	5	\$ 1,500.00	\$ 7,500.00	Developer
4	2" A.V. & A.R. Assy.	Each	7	\$ 1,500.00	\$ 10,500.00	Developer
5	6" Fire Hydrant (Including 6" G.V)	Each	54	\$ 2,500.00	\$ 135,000.00	Developer
6	3/4" Meter Service	Each	780	\$ 420.00	\$ 327,600.00	Developer
7	12" Tee	Each	23	\$ 750.00	\$ 17,250.00	Developer
8	12"x8" Tee	Each	53	\$ 750.00	\$ 39,750.00	Developer
9	8" Tee	Each	1	\$ 600.00	\$ 600.00	Developer
10	12" Cross	Each	1	\$ 750.00	\$ 750.00	Developer
11	12"x8" Reducer	Each	1	\$ 750.00	\$ 750.00	Developer
12	12"- 45 Bend	Each	9	\$ 750.00	\$ 6,750.00	Developer
13	8" - 45 Bend	Each	1	\$ 600.00	\$ 600.00	Developer
14	Hot Tap Connections @ MHS Road	Each	2	\$ 3,500.00	\$ 7,000.00	Developer
	<b>Sub-Total</b>				<b>\$ 1,403,779.60</b>	
	Fees & Services @ 15%				\$ 210,566.94	
	<b>Sub-Total</b>				<b>\$ 1,614,346.54</b>	
	Contingency @ 10 %				\$ 161,434.65	
	<b>Total</b>				<b>\$ 1,775,781.19</b>	

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March, 2001.

- Ensure Water Main Capabilities Provide Adequate Fire Flows

**B. Project Impacts**

- 57 total estimated annual calls for assistance<sup>2</sup>
- Total demand for additional firefighters is 3.57 career firefighters<sup>3</sup>

**C. Project Improvements**

- Water Distribution System providing adequate fire flow capability.
- Demand for facilities is provided on the Demand for Fire Protection Facilities Table 7-46.

**D. Financing**

**Capital Facilities** - Development within the Creekside Village Specific Plan will mitigate impacts to the fire protection capital facilities by the payment of Development Impact Fees at the time of building permit issuance.

Based on a maximum number of 780 dwelling units, the amount of funding contributed to the Fire Protection Facilities fund could be up to \$408,349.50. This amount is determined by multiplying the 390 single-family dwelling units by \$422.202 and the 390 multi-family dwelling units by \$624.85, the annual fire facilities and equipment fees per unit.

**Operations and Maintenance** - Funding for the

<sup>2</sup> Based on an average of 0.075 calls per year per single-family dwelling unit according to Development Impact Fee Calculation Report, August 1998, page 41.  
<sup>3</sup> Based on 1.38 firefighters per 1,000 population.  
<sup>4</sup> Riverside Auditor Controller - Tax Rate Area 010-024, September 2000.  
<sup>5</sup> Murrieta Fire Protection District, October 2000.  
<sup>6</sup> Desired performance standard is 1 officer per 1,000 population per conversation with Murrieta Police Chief Higganbotham, March 2001.  
<sup>7</sup> Based on January 2000 population of 43,989, and current staff of 35 officers per Creekside Village Specific Plan, the existing ratio is .80.  
<sup>8</sup> Development Impact Fee Report, August 1998, page 31.  
<sup>9</sup> Development Impact Fee Report, August 1998, page 30.  
<sup>10</sup> Total calls were based on a sample two-month call volume (May-June 2000) of 4,520 obtained from the Murrieta

continued operation and maintenance of the Murrieta Fire Protection District will be provided through property taxes (10.1 percent of the basic 1 percent levy<sup>4</sup>) and a voter-approved assessment (\$40 per year per household<sup>5</sup>).

**7.6.4.6 Law Enforcement Facilities**

A complete description of Law Enforcement Facilities is in Section 5.6 of this specific plan.

**A. Performance Standard**

- Desired standard is 1 Sworn Officer per 1,000 Population<sup>6</sup>
- Existing ratio is 0.81 Sworn Offices per 1,000 Population<sup>7</sup>
- 220 square feet per Sworn Officer<sup>8</sup>
- 0.81 vehicles per Sworn Officer<sup>9</sup>

**B. Project Impacts**

- Total annual calls for assistance - 858<sup>10</sup>
- Demand for additional officers - 2.6 officers based on desired performance standard
- Demand for additional sq. ft. - 570 sq. ft.
- Demand for additional vehicles - 2.10 Vehicles
- Demand is summarized in Table 7-47.

**C. Project Improvements**

- None provided.
- Law enforcement facilities will be provided as determined appropriate by the Police Department and the City of Murrieta.

## D. Financing

**Capital Facilities.** Development within the Murrieta Creekside Village Specific Plan will mitigate impacts to the law enforcement capital facilities by the payment of Development Impact Fees at the time of building permit issuance.

Based on a maximum number of 780 dwelling units, the amount of funding contributed to the the Law Enforcement Facilities fund could be up to \$115,841.70. This amount is determined by multiplying the 390 single-family dwelling units by \$145.98 and the 390 multi-family dwelling units by \$151.05, the Law Enforcement Facilities/Equipment impact fee.

### 7.6.4.7 General Facilities and Equipment

Section 5.7 of this specific plan has a complete description of General Facilities and Equipment.

#### A. Performance Standard

- 391.6 Square Feet per 1,000 Population<sup>11</sup>

#### B. Project Impacts

- 780 Dwelling Units - 1,014 Square Feet of Demand

#### C. Project Improvements

- None provided
- Demand for facilities is shown in Table 7-48, Demand for General City Facilities

## D. Financing

**Capital Facilities.** Development within the Murrieta Creekside Village Specific Plan will mitigate impacts to the General Facilities and Equipment by the payment of Development Impact Fees at the time of building permit issuance.

Based on a maximum number of 780 dwelling units, the amount of funding contributed to the General Facilities and Equipment Fund should be \$132,529.80. This amount is determined by multiplying the 780 dwelling units by \$169.91, the General Facilities/Vehicles/Equipment impact fee.

### 7.6.4.8 Library Facilities

A complete description of Library Facilities is in Section 5.8 of this specific plan.

#### A. Performance Standard

- 245 Square Feet per 1,000 Population<sup>12</sup>
- 154 Books per 1,000 Population<sup>13</sup>

#### B. Project Impacts

- Total demand for additional library facilities pace - 634 square feet
- Total demand for additional books - 399

#### C. Project Improvements

- None provided.
- The demand for facilities is provided on the Demand for Library Facilities as shown in Table 7-49.

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<sup>11</sup> Based on a buildout population of 103,164 and the assumed need for a 30,000 sq. ft. city hall and 10,400 sq.ft. General Maintenance facility for a total of 40,400 sq. ft. of general facilities area.  $(30,000 \text{ sf} + 10,400 \text{ sf})/103,164 \text{ population}/1,000 \text{ population} = 391.6 \text{ sf per } 1,000 \text{ population}$ .

<sup>12</sup> Impact Fee for Library Facilities and Collection, Development Impact Fee Calculation Report, August, 1998, page 128.

<sup>13</sup> Impact Fee for Library Facilities and Collection, Development Impact Fee Calculation Report, August, 1998, page 129.

**TABLE 7-46  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3  
DEMAND FOR FIRE PROTECTION FACILITIES**

DWELLING UNITS AT BUILDOUT	POPULATION AT BUILDOUT	FIREFIGHTER DEMAND		ADDITIONAL CALLS PER YR	
		STANDARD <sup>1</sup> FIREFIGHTERS/1,000	PROJECTED	STANDARD CALLS/DU <sup>1</sup>	PROJECTED
780	2,590	1.38	3.57	0.075	59

Notes: 1. City of Murrieta Fire Department, Gary Whisenand Battallion Chief. January, 2001.

Source: Stanley R. Hoffman Associates, Inc.

3.32 Population generation rate: per unit  
1.38 Firefighters per 1,000 population

**TABLE 7-47  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3  
DEMAND FOR LAW ENFORCEMENT**

DWELLING UNITS AT BUILDOUT	POPULATION AT BUILDOUT	OFFICER DEMAND		POLICE FACILITY DEMAND	
		DESIRED STND. OFFICERS/1,000	PROJECTED # OFFICERS	STANDARD Sq.ft./OFFICER <sup>1</sup>	PROJECTED SQUARE FEET
780	2,590	1.00	2.59	220	570

DWELLING UNITS AT BUILDOUT	POPULATION AT BUILDOUT	POLICE VEHICLE DEMAND		ADDITIONAL CALLS	
		STANDARD VEHICLE/OFFICER <sup>1</sup>	PROJECTED # VEHICLES	STANDARD CALLS/DU	PROJECTED # OF CALLS
780	2,590	0.81	2.10	1.14	887

**TABLE 7-47  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3  
DEMAND FOR LAW ENFORCEMENT**

Notes: 1. City of Murrieta Development and Planning Department Report, August 1998.

Source: Stanley R. Hoffman Associates, Inc.

**TABLE 7-48  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3  
DEMAND FOR GENERAL CITY FACILITIES AND EQUIPMENT**

DWELLING UNITS AT BUILDOUT	POPULATION AT BUILDOUT	FACILITY DEMAND SQUARE FEET	
		STANDARD SQ. FT./1,000 pop. <sup>1</sup>	PROJECTED
780	2,590	391.6	1,014

Notes: 1. *City of Murrieta Master Facilities Plan*. August, 1998.

Source: Stanley R. Hoffman Associates, Inc.  
PDS West.

**TABLE 7-49  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3  
DEMAND FOR LIBRARY FACILITIES**

DWELLING UNITS AT BUILDOUT	POPULATION AT BUILDOUT	PERFORMANCE DEMAND SQUARE FEE		BOOK DEMAND	
		STANDARD SQ. FT/1,000 pop. <sup>1</sup>	PROJECTED	STANDARD BOOKS/1,000 <sup>1</sup>	PROJECTED
780	2,590	245	634	154	399

Notes: 1. *City of Murrieta Development Fee Impact Report*. August, 1998.

Source: Stanley R. Hoffman Associates, Inc.  
PDS West.

## D. Financing

**Capital Facilities.** Development within the Murrieta Creekside Village Specific Plan will mitigate impacts to the Library Facilities by the payment of Development Impact Fees at the time of building permit issuance.

Based on a maximum number of 780 dwelling units, the amount of funding contributed to the Library Facilities fund should be \$84,754.80. This amount is determined by multiplying the 390 single-family dwelling units by \$133.33 and the 390 multi-family units by \$83.99, the Library Facilities/Collection impact fee for each dwelling unit type.

**Operations and Maintenance.** The Murrieta Public Library receives 1.6 percent of the basic 1 percent property tax levy.

At an estimated weighted average per unit valuation of \$156,490 and a 1.00% TRA 024-010, the per dwelling unit property tax revenue is about \$1,564.90. The Murrieta Public Library receives 1.6 percent of the basic 1 percent property tax levy. Therefore, at \$0.016 for every property tax dollar, every unit within the Murrieta Creekside Village Specific Plan would contribute approximately \$25.04 per year toward library services, or a total of \$19,531.20.

### 7.6.4.9 School Facilities

A complete description of School Facilities is in Section 5.9 of this specific plan.

#### A. Performance Standard

The current student generation rate for grades K-12 is 0.718 students per single-family dwelling unit and 0.381 per multi-family unit.<sup>14</sup> School capacity to meet projected enrollment as determined by the Murrieta Valley Unified School District (MVUSD) is described below.

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<sup>4</sup> Source: Murrieta Valley Unified School District, July 2001.

## B. Project Impacts

According to MVUSD, existing excess capacity is 254 students. Alternative 3 of the Murrieta Creekside Village Specific Plan will generate demand of 429 students, resulting in a capacity deficit of 175 students.

- Total existing excess capacity - 254 students
- Total demand - 429 Students

The impacts on school facilities are provided on the Demand for School Facilities Table 7-50.

#### **Alta Murrieta Elementary School:**

Current Capacity	1,225 Students
Current Enrollment	1,046 Students
Excess Capacity	179 Students

#### **Thompson Middle School:**

Current Capacity	1,323 Students
Current Enrollment	1,250 Students
Excess Capacity	73 Students

#### **Murrieta Valley High School:**

Current Capacity	3,165 Students
Current Enrollment	3,163 Students
Excess Capacity	2 Students

## C. Financing

The MVUSD currently requires a total mitigation payment of \$4.60 per square foot. If the State has money to contribute its 50% of construction costs, then a mitigation payment of \$2.30 per square foot is required. For the purposes of Alternative 3, the average dwelling unit size anticipated for Creekside Village is assumed to be about 1,956 for single-family units and 1,650 square feet for multi-family units. Based on these averages, the maximum and minimum per unit school fee will be \$8,998 and \$4,499 respectively for single-family units, and \$7,590 and \$3,795

for multi-family units. Assuming the maximum fee per dwelling unit, the school district could anticipate about \$6,469,164 to be paid to mitigate against impacts to school facilities. If the proposed school site is accepted by MVUSD, the school fee required may be negotiated based on the value of the land provided.

#### 7.6.4.10 Open Space Acquisition Facilities

A complete description of Open Space is in Sections 2.2.3 and 3.4 of this specific plan.

##### A. Performance Standard

- 0.107 OS Acres per Developed Acre<sup>15</sup>

##### B. Project Impacts

- Total Demand for Open Space - 11.30 Acres<sup>16</sup>

##### C. Project Improvements

- Open Space to be Provided - 22.31 Acres (natural area and creek banks)
- Various open space areas will be available as development occurs.
- 1.2 miles of trails will be constructed in the greenway/creek system.
- Warm Springs Creek will be maintained in an undeveloped condition, to the degree feasible.

##### D. Financing

**Capital Facilities.** Payment of Development Impact Fees for Open Space Acquisition at the

time of building permit issuance is typically required for residential development. However, since this project is contributing 22.31 acres, no dwelling unit shall be required to pay the impact fee for Open Space Acquisition. No reimbursement for Open Space dedication is available.

**Operations and Maintenance.** Operations and maintenance of the open space areas will be financed by the CSD. An annual special tax of approximately \$45.00 will be added to the property tax for each dwelling unit. This special tax will generate approximately \$35,100 per year toward operation and maintenance of the drainage facilities, roadway medians, park, trails, modified slopes and open space areas within the Murrieta Creekside Village Specific Plan area.

#### 7.6.4.11 Park Land And Facilities

A description of Park Land and Facilities is in Sections 3.4.1 and 3.4.2 of this specific plan.

##### A. Performance Standard

- 3.0 Acres of parks per 1,000 population<sup>17</sup>

##### B. Project Impacts

- Project Demand for Improvements- \$1,539,731.70

##### C. Project Improvements

- Park Land to be Provided - Dedication of 3.00 Acres

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<sup>15</sup> Development Impact Fee Calculation Report, August 1998, pgs. 106-108

<sup>16</sup> Standard of 0.107 OS acres per developed acre =  $0.107 * (107.77 + 6.49) = 0.107 * 114.26 = 12.23$  acres of demand

<sup>17</sup> Based on Park Land & Facilities Development Impact Fee, January 5, 2001.

<sup>18</sup> This is an estimate for the purpose of this study only. Future negotiations will be required between the developer and the City of Murrieta. Assumes land valuation of \$160,000 per acre and total of 4.82 acres park/greenways. Source: Bob Lacoss, PDS West, October 2000.

- Greenways to be Provided - Dedication and Construction of 1.82 Acres
- Total Value of Dedication - \$771,200<sup>18</sup>
- The demand for facilities is provided on the Park Land Demand Table 7-51.

#### **D. Financing**

**Capital Facilities.** Development within the Creekside Village Specific Plan can mitigate against impacts to the Park Land and Facilities by the payment of Development Impact Fees at the time of building permit issuance. Based on a maximum number of 780 dwelling units, the amount of funding contributed to the Park Land and Facilities Fund should be \$1,539,731.70. This amount is determined by multiplying the 390 single-family dwelling units and the 390 multi-family units by the fees as shown in Table 7-51.

**Operations and Maintenance.** Operation and maintenance of the park site will be financed by the CSD. An annual special tax of approximately \$45.00 will be added to the property tax for each dwelling unit. This special tax will generate approximately \$35,100 per year toward operation and maintenance of the drainage facilities, roadway medians, park, trails, modified slopes and open space areas within the Murrieta Creekside Village Specific Plan area.

#### **7.6.4.12 Utilities**

The costs and potential reimbursement for dry utilities are estimated at \$402,417.50 after reimbursements of \$65,000.00 as shown in Table 7-52.

#### **7.6.4.13 Summary of Assessments/ Development Impact Fees**

A summary of the City/County/District Assessments and development impact fees that apply to the Creekside Village project is summarized in Table 7-53. These fees total \$17,642,744.74. Several of the fees discussed throughout this report are included in this amount, including the City of Murrieta Development Impact Fees. Table 7-54 provides a summary of the City of Murrieta Development Impact Fees.

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<sup>18</sup> *This is an estimate for the purpose of this study only. Future negotiations will be required between the developer and the City of Murrieta. Assumes land valuation of \$160,000 per acre and total of 4.82 acres park/greenways. Source: Bob Lacoss, PDS West, October 2000.*

**TABLE 7-50  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3  
DEMAND FOR SCHOOL FACILITIES AT BUILDOUT**

	DWELLING UNITS	K-12 GEN. RATE	STUDENT PROJECTIONS
Single-Family	390	0.718	280
Multi-Family	<u>390</u>	0.381	<u>149</u>
Total	780		429

Source: Stanley R. Hoffman Associates, Inc.  
PDS West.  
Murrieta Valley Unified School District, July 2001.

**TABLE 7-51  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3  
DEMAND FOR PARK LAND AND FACILITIES**

	DWELLING UNITS AT BUILDOUT	FACILITY DEMAND (DOLLARS)	
		DEVELOPMENT IMPACT FEE/DU <sup>1</sup>	PROJECTED
Single-Family	390	\$2,422.15	\$944,638.50
Multi-Family	<u>390</u>	\$1,525.88	<u>\$595,093.20</u>
Total	780		\$1,539,731.70

Notes: 1. *City of Murrieta, Development Impact Fees.* January 5, 2001.

**TABLE 7-52**  
**MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3**  
**DRY UTILITIES - GAS, ELECTRIC, TELEPHONE**

ITEM	DESCRIPTION	COST	POTENTIAL REIMBURSEMENT	TOTAL COST
1	Contractor Charges	\$ 105,000.00		\$ 105,000.00
2	S.C.E. ITCC Tax	\$ 8,000.00		\$ 8,000.00
3	Street Light Differential Fee	\$ 12,000.00		\$ 12,000.00
4	Street Light Energy Fee	\$ 11,000.00		\$ 11,000.00
5	G.T.E. Substructure Reimbursement		\$ 15,000.00	\$ (15,000.00)
6	S.C.E. Substructure Reimbursement		\$ 8,000.00	\$ (8,000.00)
7	S.C.E. Poleline Conversion Charge	\$ 110,000.00		\$ 110,000.00
8	G.T..E. Poleline Conversion Charge	\$ 16,500.00		\$ 16,500.00
9	Contractor Charges - Conversion (Electric & Telephone)	\$ 58,000.00		\$ 58,000.00
10	S.C.G. Main	\$ 35,000.00	\$ 35,000.00	-
11	S.C.G. Stubs	\$ 14,000.00	\$ 7,000.00	\$ 7,000.00
	<b>Sub-Total</b>	<b>\$ 369,500.00</b>		
	Fees & Services @ 15%	\$ 55,425.00		
	Sub-Total	\$ 424,925.00		
	Contingency @ 10 %	\$ 42,492.50		
	<b>Total</b>	<b>\$ 467,417.50</b>	<b>\$ 65,000.00</b>	<b>\$ 402,417.50</b>

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March 2001.

**TABLE 7-53  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3  
CITY/COUNTY/DISTRICT ASSESSMENTS & FEES**

DESCRIPTION	UNIT	QUANTITY	COST	TOTAL COST
City of Murrieta Inspector (3%)	LUMP SUM	1	\$ 120,269.00	\$ 120,269.00
Annexation Charges (MWD)	ACRE	145.12	\$ 3,500.00	\$ 507,920.00
Processing Fees:				
MWD	LUMP SUM	1	\$ 5,000.00	\$ 5,000.00
EMWD/RCWD	LUMP SUM	1	\$ 1,500.00	\$ 1,500.00
LAFCO	LUMP SUM	1	\$ 5,120.00	\$ 5,120.00
SBE	LUMP SUM	1	\$ 2,000.00	\$ 2,000.00
EMWD/RCWD Plan Check	LUMP SUM	1	\$ 3,500.00	\$ 3,500.00
EMWD/RCWD INSPECTION (7.5%)	LUMP SUM	1	\$ 160,195.00	\$ 160,195.00
EMWD/RCWD Annexation Water/ Sewer Improvement Dists. 22 & 23	LUMP SUM	1	\$ 2,500.00	\$ 2,500.00
EMWD Sewer Back-up Fee	UNIT	780	\$ 1,312.00	\$ 1,023,360.00
EMWD Sewer Treatment Capacity Fee	UNIT	780	\$ 1,924.00	\$ 1,500,720.00
EMWD Water Connection Fee	UNIT	780	\$ 1,912.00	\$ 1,491,360.00
Grading Permit/Plan Check	LUMP SUM	1	\$ 15,072.00	\$ 15,072.00
Well Cap Mitigation	LUMP SUM	1	\$ 10,000.00	\$ 10,000.00
City of Murrieta Development Impact Fees <sup>1</sup>	SF UNIT	390	\$ 4,973.87	\$ 1,939,809.30
City of Murrieta Development Impact Fees <sup>1</sup>	MF UNIT	390	\$ 3,296.86	\$ 1,285,775.40
Major Bridge, Freeway Overpass & Ramp	SF UNIT	390	\$ 1,169.59	\$ 456,140.10
Major Bridge, Freeway Overpass & Ramp	MF UNIT	390	\$ 743.43	\$ 289,937.70
Warm Springs Valley Drainage Area Fee	GROSS AC	145.12	\$ 677.00	\$ 98,246.24
Murrieta Valley Unified School District	SF UNIT	390	\$ 8,998.00	\$ 3,509,220.00
Murrieta Valley Unified School District	MF UNIT	390	\$ 7,590.00	\$ 2,960,100.00
Enviromental Mitigation	LUMP SUM	1	\$ 2,000,000.00	\$ 2,000,000.00
Cultural Resources Mitigation (Paleontological/Cultural)	LUMP SUM	1	\$ 240,000.00	\$ 240,000.00
Enviromental Clean-up	LUMP SUM	1	\$ 10,000.00	\$ 10,000.00
NPDES/SWPP	LUMP SUM	1	\$ 5,000.00	\$ 5,000.00
<b>Total</b>				<b>\$ 17,642,744.74</b>

1. City Development Impact fees include all fees except for Open Space Acquisition.  
Open space acquisition is not applicable since developer is contributing acreage.

Source: Stanley R. Hoffman Associates, Inc.  
Engineering Ventures, Inc. March 2001.

**TABLE 7-54  
MURRIETA CREEKSIDE VILLAGE SPECIFIC PLAN ALTERNATIVE 3  
SUMMARY OF CITY DEVELOPMENT IMPACT FEES<sup>1</sup>**

FEE DESCRIPTION	AMT. PER SINGLE FAMILY UNIT	AMT. PER MULTI- FAMILY UNIT	TOTAL AMOUNT FROM PROJECT
Law Enforcement Facilities/Equipment	\$145.98	\$151.05	115,841.70
Fire Facilities/Equipment	422.20	624.85	408,349.50
Streets/Minor Bridges/Culverts	494.68	314.41	315,545.10
Traffic Signals/Controllers	84.17	53.51	53,695.20
Storm Drainage Facilities	968.80	289.70	490,815.00
General Facilities/Vehicles/Equipment	169.91	169.91	132,529.80
Open Space Acquisition	334.73	65.87	156,234.00
Park Land/Facilities	2,422.15	1,525.88	1,539,731.70
Community Center	132.65	83.56	84,321.90
Library Facilities/Collection	<u>133.33</u>	<u>83.99</u>	<u>84,754.80</u>
Total	\$5,308.60	\$3,362.73	\$3,381,818.70
Less Open Space Acquisition <sup>2</sup>	\$334.73	\$65.87	156,234.00
Net Development Impact Fees	\$4,973.87	\$3,296.86	\$3,225,584.70

Notes: 1. *City of Murrieta, Development Impact Fees*. February 14, 2002.

2. Open space acquisition is not applicable since developer is contributing acreage.

Source: Stanley R. Hoffman Associates, Inc.

## **8.0 IMPLEMENTATION AND ADMINISTRATION**

### **8.1 Specific Plan Amendments**

The following changes require Specific Plan Amendments

- A. Increase in density /number of units.
- B. Overall area and exterior boundary adjustment of Specific Plan.

### **8.2 Substantial Conformance/Minor Adjustments**

The following may be approved by a Substantial Conformance by the Planning Manager without a public hearing. The Manager may refer any of these items to the Planning Commission for a Public Hearing:

- A. Changes in location of infrastructure (such as roadways, drainage facilities, etc.) that alters the spatial relationship of land uses.
- B. Changes in park amenities or locations (Changes can include but are not limited to the deletion of playing fields and/or equipment, or the addition of lighted fields, etc.).
- C. Combine Planning Area.
- D. The addition or deletion of text and graphics within the Specific Plan that do not fall within a scope of a Specific Plan Amendment as identified in Section 8.1 above..
- E. Density Transfer
- F. The reduction in density or units within the Specific Plan.
- G. Change of fence/wall type, location and material.
- H. Change in landscaping materials and/or

locations.

I. Changes in neighborhood areas and boundaries.

J. Other changes that are similar in scope to the ones identified above.

### **8.3 Processing Applications**

A. All applications for implementing the project (i.e. Tentative Tract Maps, Development Plans, etc.) shall be processed per the Murrieta Municipal Code.

### **8.4 Processing Multi-Family**

A. Multi-Family submittals that are consistent with the Creekside Village Specific Plan and the City of Murrieta Development Code, may be approved administratively by the Planning Manager without public hearing. The Manager may, at his discretion, refer these items to the Planning Commission (public hearing required).





