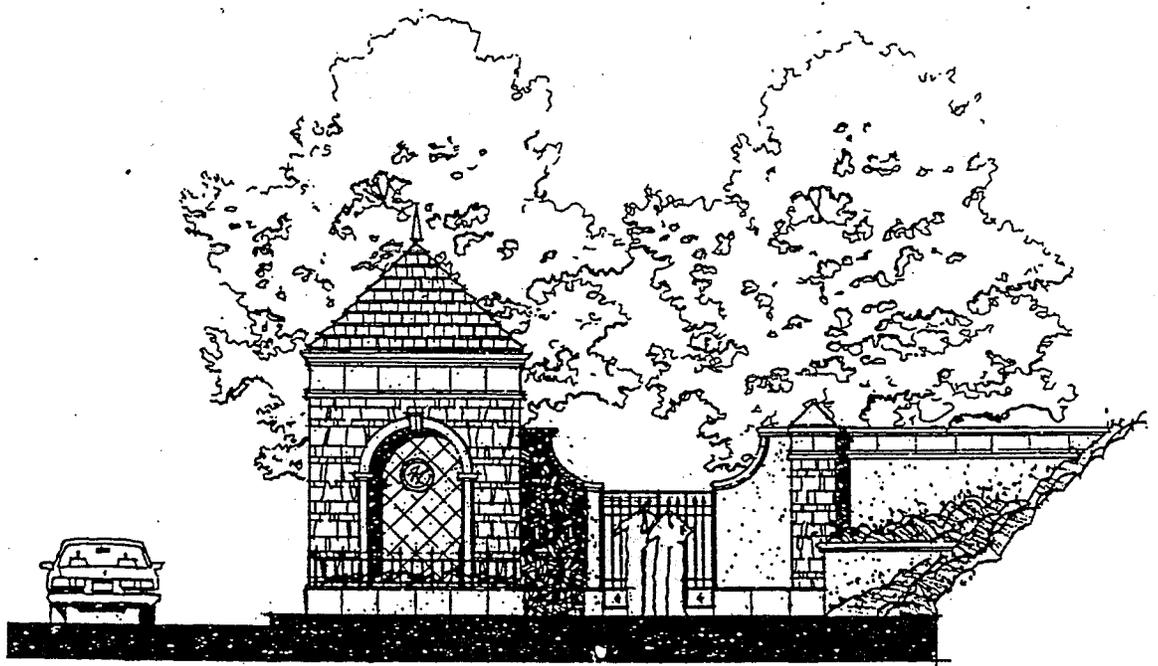


The Vineyard



Substantial Conformance No. 4

**THE VINEYARD
SPECIFIC PLAN 215 & EIR NO. 228
SUBSTANTIAL CONFORMANCE NO. 4**

For:

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HISTORY

<u>ACTION</u>	<u>DATE OF ACTION</u>
Screen Check SP/EIR Submitted	7/31/87 (COUNTY OF RIVERSIDE)
Draft SP/EIR Submitted	9/21/87 (COUNTY OF RIVERSIDE)
Proposed Final SP/EIR Approved	2/03/88 (COUNTY OF RIVERSIDE)
Proposed Final Revised & Submitted	5/16/88 & 9/6/88 (COUNTY OF RIVERSIDE)
Final SP/EIR Certified Complete	9/06/88 (COUNTY OF RIVERSIDE)

AMENDMENTS

<u>AMENDMENT NO.</u>	<u>DATE ADOPTED</u>	<u>RESOLUTION NO.</u>	<u>SUMMARY OF REVISIONS</u>
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SUBSTANTIAL CONFORMANCE DETERMINATIONS

<u>REQUEST NO.</u>	<u>RESOLUTION NO.</u>	<u>DATE OF ACTION</u>
1	68-420	5/24/88 (COUNTY OF RIVERSIDE)
2		6/25/91 (COUNTY OF RIVERSIDE)
3	--	4/21/92 (CITY OF MURRIETA)
4	--	4/14/99 (CITY OF MURRIETA)

TABLE OF CONTENTS

TABLE OF CONTENTS

<u>NO.</u>	<u>SECTION</u>	<u>PAGE</u>
I.	<u>SUMMARY</u>	1
A.	Summary of Substantial Conformance No. 4	2
A1.	Summary of Substantial Conformance No. 3	3
A2.	Summary of Substantial Conformance No. 2	5
A3.	Summary of Substantial Conformance No. 1	5
B.	Project Summary	6
C.	Mitigation Monitoring and Reporting Program	7
II.	<u>SPECIFIC PLAN</u>	11
A.	<u>DEVELOPMENT PLANS AND STANDARDS</u>	12
1.	Specific Land Use Plan	15
a.	Project Description	15
b.	Development Standards	16
2.	Circulation Plan	22
a.	Circulation Plan Description	22
b.	Circulation Plan Development Standards	23
3.	Drainage Plan	28
a.	Drainage Plan Description	28
b.	Drainage Plan Development Standards	28
4.	Water and Sewer Plans	31
a.	Water and Sewer Plans Description	31
b.	Water and Sewer Plans Development Standards	31
5.	Public Facility Sites Phasing Plan	34
a.	Public Facility Phasing Description	34
b.	Public Facility Phasing Schedule	34
6.	Grading Plan	35
a.	Grading Plan Description	35
b.	Grading Plan Development Standards	35
B.	<u>NEIGHBORHOOD AREA DEVELOPMENT STANDARDS</u>	39
1.	Neighborhood Area 1-A	39
a.	Descriptive Summary	39
b.	Land Use and Development Standards	39
c.	Neighborhood Standards	39
2.	Neighborhood Areas 1-D, 1-G, 1-H, 1-K and 2-D	42
a.	Descriptive Summary	42
b.	Land Use and Development Standards	42
c.	Neighborhood Standards	42

<u>NO.</u>	<u>SECTION</u>	<u>PAGE</u>
3.	Neighborhood Areas 1-B, 1-C, 1-E, 1-F, 1-I and 1-J	45
a.	Descriptive Summary	45
b.	Land Use and Development Standards	45
c.	Neighborhood Standards	45
4.	Neighborhood Areas 3-A, 3-B, 3-C, 3-D and 3-F	47
a.	Descriptive Summary	47
b.	Land Use and Development Standards	47
c.	Neighborhood Standards	47
5.	Neighborhood Areas 2-A, 2-B, 2-C, 3-E and 3-G	49
a.	Descriptive Summary	49
b.	Land Use and Development Standards	49
c.	Neighborhood Standards	49
C.	OPEN SPACE DEVELOPMENT PLAN	51
1.	Specific Land Use Plan	51
a.	Descriptive Summary	51
D.	PROJECT PHASING	51
1.	Phasing Plan	51
a.	Plan Description	51
b.	Phasing Standards	51
E.	MAINTENANCE DISTRICTS	55
1.	Master Homeowners' Association	55
2.	Residential Neighborhood Associations	55
3.	Open Space Areas	55
4.	Project Roadways	55
III.	<u>DESIGN GUIDELINES</u>	56
A.	PURPOSE AND INTENT	57
B.	GENERAL GUIDELINES	57
1.	Project Theme	57
2.	Project Setting	58
C.	COMMUNITY ELEMENTS	60
1.	Project Entry Treatments	60
a.	Major Entry (North/South)	60
b.	Major Entry (East)	60
c.	Secondary Entry	61
d.	Neighborhood Entries	61

<u>NO.</u>	<u>SECTION</u>	<u>PAGE</u>
2.	Land Use Transitions	66
a.	Drainage Course/Pad Interfaces	66
b.	Channel/Pad Interface	66
c.	Open Space/Slope Transition Area	66
d.	Open Space/Pad Transition Area	67
e.	Residential/Commercial Interface	67
f.	Residential/Recreation Interface	67
3.	Streetscapes	75
4.	Community Parks, Open Space and Trails	79
a.	Cultural Resource Park	79
b.	Park	79
c.	Recreation Area	79
d.	Trail System	79
5.	Community Walls and Fencing	85
6.	Signage	88
a.	General Intent	88
b.	Prohibited Signs	88
c.	Retail Commercial Monument Signs	89
d.	Building Mounted Signs: Retail Commercial Buildings	90
e.	Community Entry Monumentation	90
f.	Directional Signage	91
g.	Temporary Signage	91
D.	ARCHITECTURAL GUIDELINES	92
1.	Residential Criteria	92
2.	Retail Commercial Criteria	95
E.	LANDSCAPE GUIDELINES	98
1.	Miscellaneous Planting Guidelines	98
a.	Planting Time	98
b.	Suggested Plant Palette	98
c.	Maintenance	99
d.	Horticultural Soils Test	99
e.	Irrigation	99
F.	SPECIAL CONDITIONS	102
1.	Flood Channels	102

IV. **GENERAL PLAN/ENVIRONMENTAL ANALYSIS**

V. **TECHNICAL APPENDICES**

Sections IV and V are contained in the original Specific Plan document under separate cover on file with the City of Murrieta.

LIST OF FIGURES

<u>NO.</u>	<u>TITLE</u>	<u>PAGE</u>
1.	Regional Map	9
2.	Vicinity Map	10
3.	Visual Landform Analysis	13
4.	Opportunities & Constraints Summary	14
5.	Specific Land Use Plan	20
6.	Circulation Plan	25
7A.	On-Site Roadway Cross-Sections	26
7B.	Off-Site Roadway Cross-Sections	27
8.	Drainage Plan	30
9.	Water Plan	32
10.	Sewer Plan	33
11.	Conceptual Grading Plan	38
12A.	Neighborhood Area 1-A	41
12B.	Neighborhood Area 1-D, 1-G, 1-H, 1-K and 2-D	44
12C.	Neighborhood Area 1-B, 1-C, 1-E, 1-F, 1-I and 1-J	46
12D.	Neighborhood Area 3-A, 3-B, 3-C, 3-D, 3-F and 3-G	48
12E.	Neighborhood Area 2-A, 2-B, 2-C and 3-E	50
13.	Phasing Plan	54
14.	Landscape Concept Plan	59
15.	Major Entry (Southeast)	62
16.	Major Entry (North/South)	63
17.	Secondary Entry (Guard Gate)	64
18.	Neighborhood Entries	65
19A.	Natural Drainage Course/Pad Interface	68
19B.	Manufactured Drainage Course/Pad Interface	69
19C.	Channel/Pad Interface	70
19D.	Open Space/Slope Transition Area	71
19E.	Open Space/Pad Transition Area	72
19F.	Residential/Commercial Interface	73
19G.	Residential/Recreation Interface	74
20A.	Roadway Landscape Treatment	76
20B.	Roadway Landscape Treatment	77
20C.	Roadway Landscape Treatment	78
21A.	Community Parks, Open Space & Trails	81
21B.	Cultural Resource/Park Concept	82
21C.	Park Concept	83
21D.	Daycare/Recreation Area Concept	84
21E.	Fencing Plan	86
22.	Community Walls and Fencing	87
23.	Typical Medium Density Residential Site Plan	93
24.	Typical Medium Density Elevations	94
25.	Conceptual Retail Commercial Site Plan	97

<u>NO.</u>	<u>TITLE</u>	<u>PAGE</u>
26.	Purposely Omitted	--
27.	Purposely Omitted	--
28.	Conceptual Channel Treatment	104

The following figures are contained in the original Specific Plan document under separate cover on file with the City of Murrieta.

29.	Geotechnical Map	172
30.	Elevation Analysis	177
31.	Slope Analysis	178
32.	Hydrology Analysis	182
33.	Wildlife/Vegetation	204
34.	Master Plan of Highways	216
35.	Existing Daily Traffic Volumes	218
36.	Circulation Plan	222
37.	Existing Plus Project Daily Traffic Volumes	225
38.	Cumulative Plus Project Daily Traffic Volumes	228
39.	Existing Water, Sewer and Utilities Plan	233

LIST OF TABLES

<u>NO.</u>	<u>TITLE</u>	<u>PAGE</u>
I.	Specific Land Use Plan Summary	21
II.	Public Facilities Phasing	33
III.	Plant Palette	100

The following tables are contained in the original Specific Plan document under separate cover on file with the City of Murrieta.

IV.	Distance to Faults	173
V.	Preliminary Noise Contours	187
VI.	Air Quality Summary	188
VII.	Air Quality Emission for Proposed Project	191
VIII.	Power Plant Emissions	192
IX.	Natural Gas Emissions	192
X.	1987 Emissions Inventory (Tons/Day)	193
XI.	Existing Intersection Capacity Utilization and Land Geometrics	219
XII.	Project Traffic Generation Intersection	223
XIII.	Existing Plus Project Intersection Capacity Utilization and Recommended Land Geometrics	226
XIV.	Cumulative Plus Project Intersection Capacity Utilization and Recommended Land Geometrics	229

I. SUMMARY

I. SUMMARY

A. SUMMARY OF SUBSTANTIAL CONFORMANCE NO. 4

The purpose for the fourth substantial conformance to Specific Plan No. 215 (The Vineyard) is to facilitate minor modifications to planning area boundaries while remaining consistent with the intent of the approved Specific Plan. This request is sought to accomplish the following:

- To combine planning areas to reflect the single type of residential unit density;
- To modify neighborhoods to reflect proposed phasing;
- To relocate the commercial and community park site, formerly within Planning Area No. 2; and,
- To enable the development of a more efficient internal circulation design.

All other changes are a result of these modifications. A highlight of the affected changes follows on the accompanying pages.

1. General Modifications:

- Specific Plan No. 215 was originally approved with three distinct types of unit densities. These were Low Density, Medium Density and Medium-High Density. Planning Area boundaries were used to identify the specific unit type applicable to each planning area and to control the development of the project so that the total unit count never exceeds the maximum approved unit count of 1,306 dwelling units. Under Substantial Conformance No. 3, the project was converted to a uniform development density of Medium-High. Therefore, the necessity to retain Planning Area (PA) designations to control development conformance with each density type became obsolete. The current Substantial Conformance proposes a variety of lot sizes ranging from 7,200 square feet to greater than 56,000 square feet. However, it strictly conforms to the minimum 7,200 square feet per lot requirement, with a majority of lots exceeding this minimum requirement.
- Delineate former Planning Area No. 4 of Substantial Conformance No. 3 (current Neighborhood Areas 2-A and 2-C) as an area which will include lots of an estate size in keeping with the intent of the original SP 215.
- Project phasing text and the exhibit (Figure 13) will be modified to more accurately reflect the proposed new phasing on a neighborhood level. The phases would be divided into subareas according to the proposed development neighborhoods. To allow for product diversity throughout the life of the project, it is emphasized that development may occur in any of the phases, in any sequence or timing, provided that the Phasing Standards in Section C.b. are met and subject to the approval of the City.

- Relocate the Commercial Area (previously shown in Planning Area No. 2) to former Planning Area No. 10 of Substantial Conformance No.3 and locate the new Recreation/Day Care Center in former Planning Area 10 (current Neighborhood Area 1-A). This change is to coincide with the relocation of the potential school site to portion of Planning Area No. 10 and to provide for proper zoning for the potential operation of a day care center and private recreation facility as provided in Substantial Conformance No. 3. The public park will be relocated adjacent to the Neighborhood Area 1-J to continue the potential of the joint use school and park configuration as required in earlier versions of the Specific Plan and to facilitate greater public access to the park..
- Update the project circulation plan. As per the new traffic study performed by RKJK & Associates (RKJK) dated July 30, 1998, the RKJK study recommends the construction of Tenaja Road, including a bridge at Murrieta Creek, between Washington Avenue and the project site at its ultimate cross-section width. Tenaja Road is proposed to be improved to a 66-foot section within an 88-foot right-of-way. This road will be constructed in conjunction with the development. A northern extension of Tenaja (Vineyard Parkway) is also cited for the project in conjunction with development.

The traffic study prepared in support of the Substantial Conformance No. 4 concluded that the extension of Kalmia Street from its existing terminus to the project site is not needed to serve the cumulative conditions with buildout of the project. An on-site reservation is proposed for Kalmia Street to conform to the City's current General Plan Circulation Plan. In the event that Kalmia Street is deleted from the City's General Plan, the Specific Plan allows for an alternate lot design within Neighborhood Area 3-A.

The fire road, identified in earlier documents, will continue to be accessed through the westerly terminus of the property for emergency purposes.

A1. SUMMARY OF SUBSTANTIAL CONFORMANCE NO. 3

The purpose of the third substantial conformance to Specific Plan 215 is to facilitate modifications to planning area boundaries to include open space areas, delete a portion of Kalmia Street, relocate the commercial area and amend several guidelines relating to perimeter lot widths due to approval of adjacent off-site tract maps. All other modifications are a result of these revisions.

1. GENERAL MODIFICATIONS

Any written text or exhibit modified pursuant to Substantial Conformance No. 3 shall be accompanied by a statement indicating that changes have been made pursuant to Substantial Conformance No. 3. The changes made to text or exhibits have either replaced or supplemented the original text of Specific Plan 215 Substantial Conformance Nos. 1 and 2.

A summary of modifications are listed below.

- Reconfigure planning area boundaries to more closely adhere to subsequent tentative map filing applications. The specific change being to include adjacent open space area into related planning areas rather than showing open space as a planning area in and of itself. A number of planning area boundaries have been consolidated to more realistically reflect subsequent filing applications. Additionally, many of the Planning Area Designations (PA 1, 2, 3,) have been revised to reflect new Planning Area Designations. The end result is a revised set of Planning Areas numbering consecutively from 1-13 which reflect the redesignated Planning Area numbers, the consolidated Planning Areas, and the Planning Areas omitted per Substantial Conformances 1 and 3. A summary of the revised Planning Area designations is shown below:

CONSOLIDATED/REVISED PLANNING AREA (PA) DESIGNATIONS:

Existing PA (Per Sub. Conf. No. 1)	Consolidated PA (Per Sub. Conf. No. 3)
1 and 2	1
3 and 9	3
5 and 6	4
7 and 13	5
12 and 16	8
17 and 19	11

REVISED PLANNING AREA DESIGNATIONS:

Existing PA (Per Sub. Conf. No. 1)	Consolidated PA (Per Sub. Conf. No. 3)
4	13
8	9
10	2
11	10
14	7
15	12
18	Omitted per Sub. Conf. No. 1
20	6
21	Omitted per Sub. Conf. No. 1
22	Omitted per Sub. Conf. No. 3

- Modify interior local street configurations, which are conceptual in nature, but comply more realistically to infrastructure improvement constraints.
- Delete Planning Area 22 (Open Space). Open Space will now be itemized within the individual planning areas. An open space exhibit will be retained to indicate where open space occurs.
- Delete a portion of Kalmia Street. This is being done because Kalmia will no longer continue west of the site. A fire road will be retained at the western terminus for purposes of emergency access.
- Delete references to 100-foot lot widths required along Hayes Avenue, Tenaja Road and project boundary adjacent to proposed Planning Areas 1, 2, 10 and 11 (per Substantial Conformance No. 3). Recent approval of adjacent (offsite) tract maps for 7,200 square foot minimum lot sizes delete any reason for providing a large lot buffer zone for adjacent off -site property. Exhibit No. 19I reflects the 100-foot lot width requirement and will be omitted pursuant to Substantial Conformance No. 3.
- Delete reference to a buffer zone between the Commercial Planning Area (existing Planning Area No. 19 per Substantial Conformance No. 1) and off-site residential development. The Commercial Planning Area is proposed to be relocated to PA 13 pursuant to Substantial Conformance No. 3, the reason the buffer zone no longer applies. Exhibit No. 19F-1 reflects the required buffer zone which references the commercial site. Reference to the commercial buffer will be omitted pursuant to Substantial Conformance No. 3. A buffer will be retained in proposed PA No. 11 (per Sub. Conf. No. 3) between on-site residential and offsite residential at the project boundary.

A2. SUMMARY OF SUBSTANTIAL CONFORMANCE NO. 2

The purpose of the second Substantial Conformance to Specific Plan No. 215 is to relocate the school site from Planning Area No. 9 to another planning area within the Specific Plan. The future location will be determined at a later date. Planning Area No. 9 will remain as a park site.

A3. SUMMARY OF SUBSTANTIAL CONFORMANCE NO. 1

The purpose of the first Substantial Conformance to Specific Plan No. 215 is to facilitate certain minor modifications to the plan as it relates to a revision in the alignment of Kalmia Street. All of the modifications included within the Substantial Conformance arise from a direct response to this revision.

1. GENERAL MODIFICATIONS

All of the pages amended from the original Specific Plan document per Substantial Conformance No. 1, have been indicated with a statement either at the bottom of the page (if it is text), or near the legend of a particular graphic. These pages are intended to either replace or supplement the substantive sections of the original Specific Plan Text modified by the revision to Kalmia Street.

In brief summation, the changes include the following:

- The realignment of certain internal streets to provide for proper access to and intersections with Kalmia Street in its new alignment.
- Modifications to the size and location of Planning Areas 11, 14, 15, 17, 19, 20, and 22 in order to respond to changes in circulation and to correspond to the underlying Specific Plan zones adopted in conjunction with Specific Plan No. 215.
- The deletion of Planning Areas 18 and 21 resulting from circulation modifications and a desire to retain underlying zoning patterns in a cohesive manner.
- Modifications to the Design Guidelines as they relate to the need to revise entry locations, the Tcnaja Road interface and the conceptual design of the retail commercial site.

B. PROJECT SUMMARY

In January 1980, the Riverside County Board of Supervisors adopted the Joaquin Ranch and Bear Creek Village Specific Plan (SP 128W, Resolution 80-8, January 8, 1980). That plan provided for the future development of 2,130 acres. About 521 acres of this project area, which had been employed for agricultural purposes, was generally set aside for development but no specific development guidelines were established in the Plan except for a small area at the southwest edge. The Vineyard Specific Plan provides those specific guidelines while creating a new, contemporary development plan for the site.

The Vineyard, as noted in the Regional Map (Figure 1) and illustrated on the Vicinity Map (Figure 2), is located in the City of Murrieta just west of Interstate 15. When developed, the Vineyard will provide a unique setting with a mix of single family residential uses. The minimum lot size is 7,200 square-feet with average planned lot sizes exceeding 9,000 square feet. The development pattern allows for a wide range of single family home settings between the traditional single family neighborhood and gated custom homes areas. At total buildout, a maximum of 1,306 dwellings may be constructed and the plan will include a commercial recreational facility and day-care center in addition to local parks and a series of pedestrian paths in linking various Neighborhood Areas. One of the parks will be designed to link to a potential equestrian trail system that would meander along Murrieta Creek, then along Tenaja Road/Kalmia Street. A bike path system also is proposed as an additional recreation amenity.

In marketing the Vineyard, the objective will be to provide a unique living opportunity in a range of dwelling units that will serve as a natural and consistent extension of the existing and planned development of Bear Creek Village, Copper Canyon and Joaquin Ranch. Many of the future residents, who are anticipated to include first time buyers, move-up purchasers and retirees, will be able to take advantage of an extensive, panoramic view amenity provided by the site which is tucked up against the foothills of the Santa Rosa Mountains. The Vineyard will allow residents and others throughout the region to enjoy in excess of 155 acres of on-site open space.

The Vineyard Specific Plan land uses can briefly be summarized as follows:

<u>Use</u>	<u>Acreage</u>	<u>Percentage</u>
Single Family Residential	332.5	64%
Neighborhood Commercial	4.8	1%
Roads	12	2%
Recreation/Park	16.1	3%
Open Space (Natural & Manufactured)	155.6	30%
TOTAL	521	100%

Single Family Residential acreage includes the potential school site that was formerly designated as commercial under Substantial Conformance No. 3. Acreage of the local roads servicing the individual neighborhoods are also included within the acreage totals for Single Family Residential.

C. MITIGATION MONITORING AND REPORTING PROGRAM

The previous EIR Summary Matrix has been replaced in its entirety by an updated Mitigation Monitoring and Reporting Program prepared by Tom Dodson & Associates.

SUMMARY OF MITIGATIONS AND MITIGATION MONITORING PLAN¹

GENERAL IMPACT	MITIGATION MEASURE	SPECIFIC PROCESS	MITIGATION MILESTONE	RESPONSIBLE MONITORING PARTY	PREREQUISITE ACTION FOR	CITY VERIFICATION
<p><u>1. Seismic Safety</u> The area is subject to seismic activity from movement along the Elsinore, San Jacinto and/or San Andreas fault zones.</p>	<p>Conformance with the latest Uniform Building Code and County ordinances can be expected to satisfactorily mitigate the effects of seismic ground shaking on structures.</p>	<p>Review and approval of the building construction plans by the City after the engineering geologist has reviewed the plans. Onsite construction inspection of the cut slopes by the engineering geologist.</p>	<p>Prior to issuance of building permit(s). During construction for the onsite inspection.</p>	<p>Licensed Engineering Geologist and City of Murrieta Building & Safety Division</p>	<p>Review of building construction plan by the engineering geologist prior to submittal to the City. Initiating construction.</p>	
<p><u>2. Seismic Safety</u> The project site is traversed by several inactive faults.</p>	<p>Although trenching conducted by geologists in February 1978 confirmed that all fault traces are inactive, the project shall implement seismic hazard mitigations, if any, recommended in conjunction with actual grading activity.</p>	<p>Review and approval of the structural seismic design requirements by engineering geologist.</p>	<p>Approvals of seismic design for structures shall be obtained prior to initiating construction on any specific structures. Conformance with building plans shall be monitoring during construction of the structures.</p>	<p>City of Murrieta Building & Safety Division</p>	<p>Submittal of the building plans. Initiating construction of building.</p>	
<p><u>3. Slopes and Erosion</u> Project implementation will alter existing landforms through site grading. This will permanently alter the visual appearance of the site both onsite and from surrounding areas.</p>	<p>Approximately 104 acres of the site will be retained as natural open space, or about 20% of the site. This includes all slopes in excess of 24% and will retain significant visual topographic features of the site.</p>	<p>Review and approval of the grading plan to verify retention of open space. Engineer or geologist shall provide written field verification of the slope stability to the City, or provide alternative design requirements during construction.</p>	<p>Submittal of grading plan showing retention of open space.</p>	<p>City of Murrieta Development Services Department and Licensed Engineering Geologist</p>	<p>Review of the grading plan by the engineering geologist prior to the submittal to the City. Submittal of grading plan to the City for review and approval. Initiating field review during construction.</p>	

¹ The text of the original mitigation measures has been retained in this Summary, even though the City will be the monitoring and implementing agency instead of the County. Because of the long delay in implementing the project, several measures have already been implemented and several of the impact discussions in this summary differ from the text in the Initial Study. The measures discussed above will be implemented by the City and as outlined in this monitoring plan, they are still capable of reducing impacts to a nonsignificant level as substantiated in the Initial Study.

GENERAL IMPACT	MITIGATION MEASURE	SPECIFIC PROCESS	MITIGATION MILESTONE	RESPONSIBLE MONITORING PARTY	PREREQUISITE ACTION FOR	CITY VERIFICATION
<p><u>4. Slopes and Erosion</u></p> <p>Project implementation will alter existing landforms through site grading. This will permanently alter the visual appearance of the site both onsite and from surrounding areas.</p>	<p>Development standards outlined in Section II.A.6., Grading Plan, will be implemented.</p>	<p>Review and approval of grading plan for conformance with grading plan standards.</p> <p>Monitor the plan during construction and operation of the facilities. Require erosion/sedimentation remediation where erosion control measures fail and erosion occurs until onsite and offsite erosion is eliminated.</p>	<p>Prior to issuance of grading permits for the review and approval of the plans.</p> <p>During construction and when operations are initiated.</p>	<p>City of Murrieta Public Works Division</p>	<p>Review and approval of the grading plan prior to initiating the grading plan by the City.</p>	
<p><u>5. Slopes and Erosion</u></p> <p>Project implementation will alter existing landforms through site grading. This will permanently alter the visual appearance of the site both onsite and from surrounding areas.</p>	<p>Prior to initial grading activities, a soils report and geotechnical study shall be prepared that further analyzes onsite soil conditions and includes appropriate measures to control erosion and dust.</p>	<p>Review and approval of the grading and erosion control plan(s).</p> <p>Monitor the plan during construction and operation of the facilities. Require erosion/sedimentation remediation where erosion control measures fail and erosion occurs until onsite and offsite erosion is eliminated.</p>	<p>Prior to issuance of grading permits for the review and approval of plans.</p> <p>During construction and when operations are initiated.</p>	<p>City of Murrieta Public Works Division</p>	<p>Review and approval of the grading and erosion control plan prior to initiating the grading plan.</p>	
<p><u>6. Flooding</u></p> <p>Project development will increase runoff to major channels by approximately 1 to 2%.</p>	<p>Implementation of The Vineyard Specific Plan will response to floodplain hazards onsite. Major features of the flood control system are shown on Figure 8, Drainage Plan.</p>	<p>Implement site drainage plan. Conditions contained in permits or waivers from permits shall be monitored during construction for compliance.</p>	<p>Approval for flood control design shall be obtained prior to initiating construction on the drainage plan.</p> <p>Drainage plan conditions shall be monitored during construction.</p>	<p>City of Murrieta Public Works Division Regulatory agencies issuing permits</p>	<p>Review and approval of drainage plan components by City of Murrieta Flood Control System by the County.</p>	
<p><u>7. Flooding</u></p> <p>Project implementation will require construction of an onsite drainage system which alters natural drainage patterns.</p>	<p>All improvements will be constructed in accordance with the Riverside County Flood Control District.</p>	<p>The improvement plans shall be submitted to County Flood Control and City.</p> <p>The City shall monitor the plan implementation during construction and operation of the facilities to ensure it meets the goals identified in this measure.</p>	<p>The plan shall be approved prior to initiating any grading. This shall include the bond or equivalent commitment to ensure adequate funds are available to revegetate disturbed areas.</p> <p>Monitoring shall occur by inspections during construction and facility operation.</p>	<p>Riverside County Flood Control District and City of Murrieta Public Works Division</p>	<p>Review and approval of the improvement plans prior to initiating project grading.</p>	

GENERAL IMPACT	MITIGATION MEASURE	SPECIFIC PROCESS	MITIGATION MILESTONE	RESPONSIBLE MONITORING PARTY	PREREQUISITE ACTION FOR	CITY VERIFICATION
<p>8. Flooding</p> <p>Cole Canyon Creek crosses the proposed Vineyard Parkway right-of-way approximately 500 feet northwest of the project. Vineyard Parkway will require a dip crossing or bridge at this location.</p>	<p>Where flood control facilities are required, these will be designed to minimize runoff from the site, increase the aquifer recharge potential of the site and will not cause damage to downstream areas.</p>	<p>Review and approval of the channel construction schedules and the channel erosion control plan.</p> <p>Monitoring the plan during construction and following installation of the bridges. Require erosion/sedimentation remediation where erosion control measures fail and erosion occurs within the channel during or after bridge construction.</p>	<p>Approvals of channel crossing construction schedules and channel erosion control plan shall be obtained prior to initiating construction on any of the channel crossing segments.</p> <p>Plan measures and effectiveness shall be monitored during construction of the bridges and following bridge completion until one winter has passed.</p>	<p>City of Murrieta Public Works Division</p>	<p>Review and approval of the schedule and plan prior to initiating construction in the channel.</p> <p>Review of erosion following a winter with normal flows in the creek.</p>	
<p>9. Flooding</p> <p>The majority of the project drains to the Murrieta Creek, which creates a 100-year floodplain onsite. Murrieta Creek crosses Tenaja Road at the project boundary and a bridge or dip crossing will be required at this location.</p>	<p>Erosion control devices will be utilized in hillside development areas to mitigate the effect of increased runoff at points of discharge. Possible devices may include temporary berms, culverts, sandbagging or desilting basins.</p>	<p>The City shall review and approve the surface drainage system design from hillside areas, including the destination facilities and the information upon which they are designed.</p> <p>Monitoring during construction to verify construction proceeds as identified on drainage system plans.</p>	<p>Approval of the surface drainage system from the hillside areas upstream of Murrieta Creek.</p> <p>Conformance with building plans shall be monitored during construction of the pads.</p>	<p>City of Murrieta Public Works Division</p>	<p>Submittal of drainage system design, and grading and building plans for areas upstream Murrieta Creek.</p>	
<p>10. Flooding</p> <p>The construction of streets, closed conduits, and open channels all concentrate runoff at their discharge points.</p>	<p>The State of California Department of Fish and Game will be notified per Section 1603 of the Fish and Game Code, if any diversion of natural flow is planned in onsite channels, if any changes will occur in the bed or banks of the onsite streams courses, or in connection with installation of future potential flood control facilities.</p>	<p>Applicant shall acquire regulatory permits for channel alteration.</p> <p>Monitoring during construction to verify construction proceeds as identified on Department of Fish and Game plans.</p>	<p>Approval of the regulatory permits and submittal to the City as verification.</p> <p>Conformance with channel alterations plans shall be monitored during construction of structures.</p>	<p>City of Murrieta Public Works Division</p>	<p>Submittal of applications. Initiating construction activities in the channel.</p>	

GENERAL IMPACT	MITIGATION MEASURE	SPECIFIC PROCESS	MITIGATION MILESTONE	RESPONSIBLE MONITORING PARTY	PREREQUISITE ACTION FOR	CITY VERIFICATION
<p><u>11. Noise</u></p> <p>Construction noise generated by construction equipment can reach high levels. Noise levels for equipment which might be used for the excavation and construction of the proposed project range to approximately 65 to 105 dBA at the distance of 50 feet. The noise levels increase at a rate of approximately 6 dBA per doubling of the distance.</p>	<p>Limit construction activities to weekday, daytime hours.</p>	<p>The applicant shall submit a copy of all construction contracts with this requirement identified in the contract and the method of compliance by the contractor identified.</p>	<p>A copy of the contract shall be provided to the City prior to initiating any construction. During construction inspections equipment noise operating data shall be provided to the City at least one time per month to verify compliance with this requirement.</p>	<p>City of Murrieta Public Works and/or Building & Safety Divisions</p>	<p>Approval of construction plans for specific projects. Initiating construction activities.</p>	
<p><u>12. Noise</u></p> <p>The 11,498 vehicle trips per day generated by the project will increase noise levels on the surrounding street system as well as onsite. The greatest concentration of vehicles will occur on Kalmia Street, between Washington Avenue and I-15. This area will, therefore, experience the greatest offsite noise impacts due to project traffic. However, no onsite areas in excess of 65 CNEL are anticipated.</p>	<p>A noise analysis should be prepared by an acoustical engineer, if deemed necessary by the City of Murrieta.</p>	<p>With trip generation reduction project noise impacts are not considered significant and a noise analysis does not need to be prepared.</p>	<p>None required</p>	<p>N/A</p>	<p>N/A</p>	
<p><u>13. Air Quality</u></p> <p>It is expected that 100 pounds of dust per acre per day of construction activity will be generated by project development.</p>	<p>The quantity of particulate matter emitted during the grading phase of the project may be reduced through watering graded surfaces and planting groundcover as dust palliatives.</p>	<p>The applicant shall submit a fugitive dust control plan to the City for review and approval. Monitoring during construction to verify that the plan is implemented as proposed.</p>	<p>The plan shall be filed with the City prior to initiating any construction activities in support of the project. During construction inspections disturbed areas shall verify that the fugitive dust measures contained in the plan are being implemented.</p>	<p>City of Murrieta Public Works Division</p>	<p>Submission of the plan to the City for review and approval. Initiating construction of the project.</p>	

GENERAL IMPACT	MITIGATION MEASURE	SPECIFIC PROCESS	MITIGATION MILESTONE	RESPONSIBLE MONITORING PARTY	PREREQUISITE ACTION FOR	CITY VERIFICATION
<p>14. Air Quality</p> <p>The greatest project-related air quality impact results from the 11,498 daily vehicle trips the project will generate at build-out. Estimated emissions are as follows: carbon monoxide - 2,459 lbs/day; nitrogen dioxide - 409 lbs/day; sulfur dioxide - 66 lbs/day; THC particulates - 88 lbs/day; THC - 4 lbs/day; Non-Methane Hydrocarbons - 213 lbs/day.</p> <p>Additional amounts of emissions will be generated to produce the electricity and natural gas needed to serve the Vineyard Specific Plan project.</p>	<p>Where feasible, the project will incorporate the following features into the project design: transit facilities, such as benches, shelters and turnouts; solar access orientation of structures; solar heated and cooled structures and swimming pools.</p>	<p>The applicant shall provide a list of features that will be incorporated into the project design.</p> <p>Monitoring during operations to verify that the bus shutdown requirement has been implemented as identified in the plan.</p>	<p>The copy of the list shall be filed with the City prior to initiating operation of any facilities.</p> <p>Random inspections by the City shall verify the features are being installed.</p>	<p>City of Murrieta Planning Division</p>	<p>Submittal of the list and notification to the City for review and approval.</p>	
<p>15. Water Quality</p> <p>Implementation of the Vineyard Specific Plan will alter the composition of surface runoff by grading the site surfaces, by construction of impervious streets, roofs, and parking facilities, and by the irrigation of landscaped areas. Runoff entering the Murrieta Creek will contain minor amounts of pollutants typical of urban uses.</p>	<p>In accordance with the requirements of the Riverside County Flood Control District and the City of Murrieta, the project will employ erosion control devices during grading, such as temporary berms, culverts, sandbagging or desilting basins.</p>	<p>The City shall review and approve the erosion control system design from these facilities to Murrieta Creek and determine that redirected flows will not cause erosion or sedimentation damage based on standard erosion control design requirements.</p> <p>Monitoring during construction to verify construction proceeds as identified on drainage system plans.</p>	<p>Approval for the erosion control system for the project shall be obtained prior to initiating grading.</p> <p>Conformance with grading plans shall be monitoring during construction of the structures.</p>	<p>City of Murrieta Public Works Division</p>	<p>Submittal of the erosion control system design and building plans for the site grading plan.</p> <p>Initiating grading.</p>	

GENERAL IMPACT	MITIGATION MEASURE	SPECIFIC PROCESS	MITIGATION MILESTONE	RESPONSIBLE MONITORING PARTY	PREREQUISITE ACTION FOR	CITY VERIFICATION
<p>16. Water Quality</p> <p>The development of the facilities west of Murrieta Creek could cause adverse water quality impacts due to urban pollutants.</p>	<p>Urban runoff impacts can be mitigated by employing the program outline in <u>Water Pollution Aspects of Street Surface Contaminants</u>, published by the U.S. Environmental Protection Agency. This program provides recommendations for street cleaning and prevention of pollutant generation. Its implementation rests with local agencies, Homeowner Associations, and individual residents.</p>	<p>The City shall review and approve the water quality program based on the U.S. EPA publication.</p>	<p>Approval of water quality program shall be obtained prior to initiating occupancy of project facilities.</p>	<p>City of Murrieta Services Development Department</p>	<p>Submittal of water quality program. Initiating construction of facilities.</p>	
<p>17. Open Space and Conservation</p> <p>The Vineyard Specific Plan will reduce the amount of open space found on the project site.</p> <p>The overall residential density of about 2.7 units per acre is proposed, with housing types spread over 5 density categories varying from Low (1.6) to Medium High Density (5.1) for a total of 1,306 dwelling units.</p> <p>The densities proposed by this project offer a significant increase in level of urbanization to the uses originally approved by the Bear Creek/Joaquin Ranch Specific Plan. The Bear Creek/Joaquin Ranch Specific Plan included an overall density of one unit per acre.</p> <p>The densities proposed by this project exceed the densities found in surrounding rural areas to the southeast.</p>	<p>The project will retain 104 acres of the site (20% of site acreage) as natural open space. This open space is intended to create an attractive natural back-drop along the western edge and at the northern and southwestern portions of the project. Virtually all significant slopes of 24% or greater will be maintained by the plan.</p> <p>The Vineyard Specific Plan proposes Low density lots and Medium density development along the outer portions of the project site, to provide a transition of offsite uses.</p>	<p>Incorporation of open space requirements in Vesting Tentative Map 28903.</p>	<p>The approval of Vesting Map incorporates more than 104 acres of site. Conformance with building plans shall be monitoring during construction of the structures.</p>	<p>City of Murrieta Services Development Department</p>	<p>Submittal of applications.</p>	

GENERAL IMPACT	MITIGATION MEASURE	SPECIFIC PROCESS	MITIGATION MILESTONE	RESPONSIBLE MONITORING PARTY	PREREQUISITE ACTION FOR	CITY VERIFICATION
<p><u>18. Wildlife / Vegetation</u></p> <p>The onsite chaparral and limited riparian vegetation possesses no significant features; therefore, their loss due to project implementation is not considered significant. The same can be said for the wildlife which inhabit these areas onsite.</p>	<p>The 104 acres of open space proposed by the project include Murrieta Creek and several smaller tributary drainages, as well as many hillside areas. These features will adequately alleviate the loss of moderately valuable resources.</p>	<p>Incorporation of open space requirements in Vesting Tentative Map 28903.</p>	<p>The approval of Vesting Map incorporates more than 104 acres of site.</p> <p>Conformance with building plans shall be monitoring during construction of the structures.</p>	<p>City of Murrieta Development Department</p>	<p>Submittal of applications.</p>	
<p><u>19. Wildlife / Vegetation</u></p> <p>As regionally significant riparian habitats are present downstream from the project site, erosion/siltation impacts created by this project are potentially significant.</p> <p>Long-term habitation and use of the Vineyard project will have the potential to harass wildlife in surrounding undeveloped areas. However, the density and resilience of chaparral habitat will reduce this impact to a level of non-significance.</p>	<p>Construction of the project should incorporate adequate erosion controls and other measures to restrict sediments from leaving the site and impacting downstream riparian habitats. Such measures should be detailed and submitted as part of the grading plan to be monitored, as necessary, by the City of Murrieta.</p>	<p>The erosion control plan shall be submitted and demonstrate that damage will not impact the riparian area.</p> <p>The City shall monitor channel erosion and sedimentation downstream of the site following completion of initial grading to verify compliance with the erosion control plan.</p>	<p>Submittal of the erosion control plan.</p> <p>Monitoring shall occur during routine inspections during construction.</p>	<p>City of Murrieta Public Works Division</p>	<p>Submittal of plan to the City for review and retention.</p> <p>Initiating construction.</p>	
<p><u>20. Energy Resources</u></p> <p>The project will increase consumption of energy for motor vehicle movement, space and water heating, cooking refrigeration and air conditioning, operation of construction equipment, use of miscellaneous home appliances, etc.</p>	<p>Passive solar techniques will be employed whenever possible within the project. Passive systems involve orienting building properly, planting trees to take advantage of the sun, seeing that roof overhangs are adequate, making sure the walls are properly insulated and installing simple heat storage systems.</p>	<p>Passive solar incorporation into the project shall be identified at each stage of construction and operation.</p>	<p>Submittal of solar incorporation plans.</p>	<p>City of Murrieta Building & Safety Division</p>	<p>Submittal of plans to the City for review.</p> <p>Verification following completion of the passive solar systems.</p>	

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<p><u>21. Energy Resources</u></p> <p>The project will increase consumption of energy for motor vehicle movement, space and water heating, cooking refrigeration and air conditioning, operation of construction equipment, use of miscellaneous home appliances, etc.</p>	<p>Space and water heating should be provided by gas instead of electricity.</p>	<p>The developer shall require the use of natural gas appliances by individual developers.</p>	<p>Submittal of individual building permits.</p>	<p>City of Murrieta Building & Safety Division</p>	<p>Approval of individual tract maps.</p>	
<p><u>22. Energy Resources</u></p> <p>The project will increase consumption of energy for motor vehicle movement, space and water heating, cooking refrigeration and air conditioning, operation of construction equipment, use of miscellaneous home appliances, etc.</p>	<p>Building energy conservation will be largely achieved by compliance with Title 24 of the California Administrative Code.</p>	<p>The developer shall incorporate all design components that are required by Title 24.</p>	<p>Submittal of individual building permits.</p>	<p>City of Murrieta Building & Safety Division</p>	<p>Approval of individual tract maps.</p>	
<p><u>23. Historic and Prehistoric Resources</u></p> <p>Without proper mitigation, implementation of the Vineyard Specific Plan could result in the disturbance or destruction of the twelve archaeological or historical sites which are known to exist on the project site.</p>	<p>Ten of the twelve identified sites are classified as "Type A", requiring no further mitigation. A single "Type B" with recommended mitigations, surface materials at this site will be mapped, collected, and recorded. One "Type C2" resource, a historical ranch-style barbeque will be preserved onsite as part of the proposed 5-acre public park in the northeastern portion of the site. This resource will be conveyed along with the entire park site to an appropriate agency with an easement deed dedicating the future preservation and administration of this resource.</p>	<p>A qualified archaeologist shall submit a mitigation plan for the Type B site that will record, collect and curate resources as appropriate.</p> <p>The applicant shall preserve the Type C2 resource within a park site and convey this site and resources to the City or a designated entity for long term preservation and maintenance.</p>	<p>The mitigation plan shall be submitted to the City for review and approval prior to any disturbance of the Type B site.</p> <p>The submittal of the Final Tract Map shall identify the numbered parcel for the park protecting the Type C2 site and shall indicate conveyance of the parcel to the City or designated entity.</p>	<p>City of Murrieta Services Department or Parks and Recreation Department</p>	<p>Submittal of the grading plans for City review and approval.</p> <p>Submittal of the Final Tract Map for recordation.</p>	

GENERAL IMPACT	MITIGATION MEASURE	SPECIFIC PROCESS	MITIGATION MILESTONE	RESPONSIBLE MONITORING PARTY	PREREQUISITE ACTION FOR	CITY VERIFICATION
<p><u>Circulation</u></p> <p>All measures proposed in the original EIR to reduce circulation system impacts have been replaced by proposed project circulation system improvements. These measures are not summarized in this document since they will not be implemented.</p>						
<p><u>24. Water and Sewer</u></p> <p>The project will require water service from the Rancho California Water District (RCWD). It is anticipated that the project with 1,587 units will need 661 gallons of water per minute to meet storage day demand, while demand for a maximum day is approximately 1,322 gallons per minute.</p>	<p>The proposed Master Sewer Plan (Figure 10) and Master Water Plan (Figure 9) will adequately provide the project site with water and sewer facilities.</p>	<p>Water supply system design shall meet the Water Master Plan requirements.</p>	<p>Submission of the water utility design plans.</p>	<p>City of Murrieta Public Works Division</p>	<p>Submission of individual tract maps.</p>	
<p><u>25. Water and Sewer</u></p> <p>The existing 30" water main adjacent to Murrieta Creek can serve the site to a maximum elevation of 1,500 feet. The highest proposed pad elevation for the Vineyard Specific Plan is 1,390 feet. The Water District is uncertain at this time whether an additional storage tank may be needed to serve this project.</p>	<p>The project engineer is working with RCWD to determine if a proposed 2.2 million gallon tank facility at the western portion of the project is necessary to serve higher elevation pads onsite.</p>	<p>The developer shall submit a letter to the City verifying the need or no need for the tank.</p>	<p>Completion of technical analysis for site water supply.</p>	<p>City of Murrieta Public Works Division</p>	<p>Submission of the individual tract maps for approval.</p>	

GENERAL IMPACT	MITIGATION MEASURE	SPECIFIC PROCESS	MITIGATION MILESTONE	RESPONSIBLE MONITORING PARTY	PREREQUISITE ACTION FOR	CITY VERIFICATION
<p><u>26. Water and Sewer</u></p> <p>The Vineyard Specific Plan is estimated to generate approximately 475,000 gallons of waste effluent per day, with 1,587 units. This would exceed the design capacity of the Joaquin Ranch Wastewater Treatment Facility. However, RCWD has indicated that it will be able to provide service to the Vineyard project as it develops.</p>	<p>RCWD has planned for an 18" or 21" major sewer main to be converted in Washington Avenue approximately 1,200 feet east of the project site. The District has indicated that this line could be used for the Vineyard project. RCWD also indicated the possibility of pumping early stages of the Vineyard project through the existing force main to the Joaquin Ranch Water Treatment Facility and later utilizing the proposed sewer main in Washington as the final sewer service point for the Vineyard Specific Plan. This proposed main will ultimately flow to the proposed Santa Rosa SBR Wastewater Treatment Facility at the corner of Elm Street and Washington Avenue.</p>	<p>The applicant shall obtain concurrence with the RCWD regarding the sewer interceptor main design for the site.</p>	<p>Submittal of the water utility design plans.</p>	<p>City of Murrieta Public Works Division</p>	<p>Submittal of individual tract maps.</p>	
<p><u>27. Water and Sewer</u></p> <p>The Vineyard Specific Plan is estimated to generate approximately 475,000 gallons of waste effluent per day, with 1,587 units. This would exceed the design capacity of the Joaquin Ranch Wastewater Treatment Facility. However, RCWD has indicated that it will be able to provide service to the Vineyard project as it develops.</p>	<p>Per State of California requirements, toilets with low volume holding tanks and low-flow plumbing should be used throughout the project to reduce water consumption.</p>	<p>The developer shall incorporate water conserving design components.</p>	<p>Submittal of individual building permits.</p>	<p>City of Murrieta Building & Safety Division</p>	<p>Approval of individual tract maps.</p>	

GENERAL IMPACT	MITIGATION MEASURE	SPECIFIC PROCESS	MITIGATION MILESTONE	RESPONSIBLE MONITORING PARTY	PREREQUISITE ACTION FOR	CITY VERIFICATION
<p><u>28. Fire Protection</u></p> <p>The Vineyard Specific Plan is considered Development Urban Category II, requiring an initial fire station within 3 miles, with second or backup station within 8 miles.</p>	<p>The fire station on Clinton Keith Road is within 3 miles of the project site and will adequately serve the site. The existing Murrieta Fire Station or other fire stations planned in the area will be able to provide backup service to the site. The project site is within the limits of an Assessment District for a fire station site on Clinton Keith Road.</p>	<p>Fund Assessment District fees.</p> <p>Note that the Clinton Keith Road fire station has been constructed and is in operation.</p>	<p>Submittal of individual building permits.</p>	<p>City of Murrieta Services Development Department</p>	<p>Submittal of traffic safety plan for review and approval.</p> <p>Initiating construction of facilities.</p> <p>Approval of individual tract maps.</p>	
<p><u>29. Fire Protection</u></p> <p>The Vineyard Specific Plan is considered Development Urban Category II, requiring an initial fire station within 3 miles, with second or backup station within 8 miles.</p>	<p>The developer may be required to anticipate in the fire protection impact mitigation program as approved by the County Board of Supervisors, which includes a fee of \$400 per dwelling unit.</p>	<p>Determine if fees are required, and pay them.</p>	<p>Submittal of individual building permits.</p>	<p>City of Murrieta Services Development Department</p>	<p>Approval of individual tract maps.</p>	
<p><u>30. Fire Protection</u></p> <p>The Vineyard Specific Plan is considered Development Urban Category II, requiring an initial fire station within 3 miles, with second or backup station within 8 miles.</p>	<p>The project will be required to conform to all applicable fire prevention provisions of City ordinances.</p>	<p>Identify the applicable fire prevention provisions of City ordinances.</p>	<p>Submittal of individual building permits.</p>	<p>City of Murrieta Services Development Department</p>	<p>Approval of individual tract maps.</p>	
<p><u>31. Police Services</u></p> <p>An increase in development and population will result in an increase in crime. The specific law enforcement needs which would result from the Vineyard Specific Plan cannot be estimated, but can be expected to increase commensurate with the level of build-out that occurs.</p>	<p>The applicant will coordinate with the Police Department to assure proper protection facilities and personnel are available.</p>	<p>Initiate coordination on adequacy of Police Protection resources from the City of Murrieta Police Department since they have replaced the Sheriff as the law enforcement agency in the City.</p>	<p>Submittal of individual tract maps.</p>	<p>City of Murrieta Services Development Department</p>	<p>Approval of Substantial Conformance No. 4.</p>	

GENERAL IMPACT	MITIGATION MEASURE	SPECIFIC PROCESS	MITIGATION MILESTONE	RESPONSIBLE MONITORING PARTY	PREREQUISITE ACTION FOR	CITY VERIFICATION
<p><u>32. Police Services</u></p> <p>An increase in development and population will result in an increase in crime. The specific law enforcement needs which would result from the Vineyard Specific Plan cannot be estimated, but can be expected to increase commensurate with the level of build-out that occurs.</p>	<p>The Specific Plan development concept should include appropriate lighting, street patterns, security hardware, building placement, visibility of doors and windows, fencing heights and materials, and other appropriate design features to promote crime prevention and provide optimal security for persons and structures onsite.</p>	<p>Submittal of final tract map with security features.</p>	<p>Approval of Tentative Tract Map.</p>	<p>City of Murrieta Building & Safety Division</p>	<p>Approval of Substantial Conformance No. 4.</p>	
<p><u>33. Schools</u></p> <p>The project with 1,587 units will generate an estimated 667 students within the Murrieta Unified School District generally seeks to house 640 students on a 15-acre site, the District is requiring that this project dedicate 15 usable acres for a school site.</p>	<p>The Vineyard Specific Plan includes an approximately 15-acre joint school/park site within the northeastern portion of the site.</p>	<p>Process the Vesting Map with school site intact.</p>	<p>Approval of the Vesting Map.</p>	<p>City of Murrieta Development Department</p>	<p>Processing of Vesting Map.</p>	
<p><u>34. Schools</u></p> <p>The project with 1,587 units will generate an estimated 333 students within the Elsinore Union High School District. These students will be accommodated at either existing or future high schools within the area.</p>	<p>The applicant may be required to pay school impact mitigation fees recently adopted by the affected school districts. Mitigation fees of \$1.50 per square foot of residential space and \$0.25 per square foot of industrial/commercial space have been approved by the State.</p>	<p>Initiate coordination with the school district.</p>	<p>Submittal of building permits.</p>	<p>City of Murrieta Development Department</p>	<p>Approval of individual tract maps.</p>	

GENERAL IMPACT	MITIGATION MEASURE	SPECIFIC PROCESS	MITIGATION MILESTONE	RESPONSIBLE MONITORING PARTY	PREREQUISITE ACTION FOR	CITY VERIFICATION
<p>35. Parks and Recreation</p> <p>Project implementation will create a demand for parks and recreation facilities.</p> <p>The Quimby Act requires that acres of park be provided per 1,000 population. As the project with 1,587 units will generate an estimated 4,094 persons, 12.28 acres of park land would be required.</p>	<p>An approximately 3-acre private recreation center is proposed in Planning Area 16. A 5-acre public park, located in Planning Area 2 in the northeastern portion of the site, will be focused around a historic barbeque center of local interest. A second public park will be provided as part of a 15-acre joint school/park site to be located within Planning Area 9. Pedestrian access to the two public parks will be provided via a foot path and combined equestrian/pedestrian trail.</p> <p>Approximately 104 acres of open space or approximately 20% of total site acreage will remain in a natural condition.</p> <p>Including half of the 15-acre school/park site acreage (7.5 acres), the Vineyard Specific Plan proposes a total of 15.5 acres of park land, which is in excess of the 12.28 acres required by the Quimby Act.</p>	<p>Submittal of final tract map for processing with recreation and open space.</p> <p>Note that the current area allocated to parks is 16 acres and the open space area is now 155+ acres of the site, instead of 104 acres.</p>	<p>Approval of Tentative Tract Map.</p>	<p>City of Murrieta Development Services Department.</p>	<p>Approval of Substantial Conformance No. 4.</p>	
<p>Library, Health Services, and Disaster Preparedness</p> <p>Library, Health Services, and Disaster Preparedness measures did not provide any mitigation and are therefore not carried forward in this Summary and Mitigation Monitoring Plan.</p>						

GENERAL IMPACT	MITIGATION MEASURE	SPECIFIC PROCESS	MITIGATION MILESTONE	RESPONSIBLE MONITORING PARTY	PREREQUISITE ACTION FOR	CITY VERIFICATION
<p><u>36. Utilities</u></p> <p>The Vineyard Specific Plan with 1,587 units will create a demand for an estimated 9,264,906 kwh of electricity per year and an estimated 10,577,355 cubic feet of natural gas per month.</p> <p>General Telephone has indicated their ability to provide phone service to the site.</p>	<p>In order to insure adequate supply of natural gas, electricity, and telephone service to the Vineyard Specific Plan project, the project applicant will provide these utility companies with detailed project plans and phasing information as soon as possible. In addition, the project applicant will comply with the guidelines provided by the Southern California Gas Company in regard to easement restrictions, construction guidelines, protection of pipeline easements, etc.</p> <p>A number of energy saving features could be incorporated into the project design, as described in Section IV.C.13., Energy Resources.</p>	<p>Applicant will submit the utilities project plans as they are generated for review and approval.</p>	<p>Approval of Final Tract Map.</p>	<p>City of Development Department Murieta Services</p>	<p>Submittal and approval of tract maps.</p>	
<p><u>37. Solid Waste</u></p> <p>The Vineyard Specific Plan with 1,587 units will increase the amount of solid waste generated on the project site to an estimated 13.79 tons per day.</p> <p>This increased solid waste will proportionately shorten the life span of the El Sobramte Disposal site.</p>	<p>The Riverside County Solid Waste Management Plan has proposed several programs to deal with solid waste Countywide. They are:</p> <ol style="list-style-type: none"> 1. Encourage the developer to include buy back and drop-off recycling centers operated by private enterprises and civic organizations; 2. Pursue regional development of a waste-to-energy facility in the western Riverside area; and 3. Address the possibility of developing transfer stations to haul wastes over long distances to regional landfill sites. 	<p>Participate in City Source Reduction and Recycling Programs.</p>	<p>Approval of individual tract maps.</p>	<p>City of Development Department Murieta Services</p>	<p>Approval of Substantial Conformance No. 4.</p>	

MIT-03-05 Summary of Mitigation

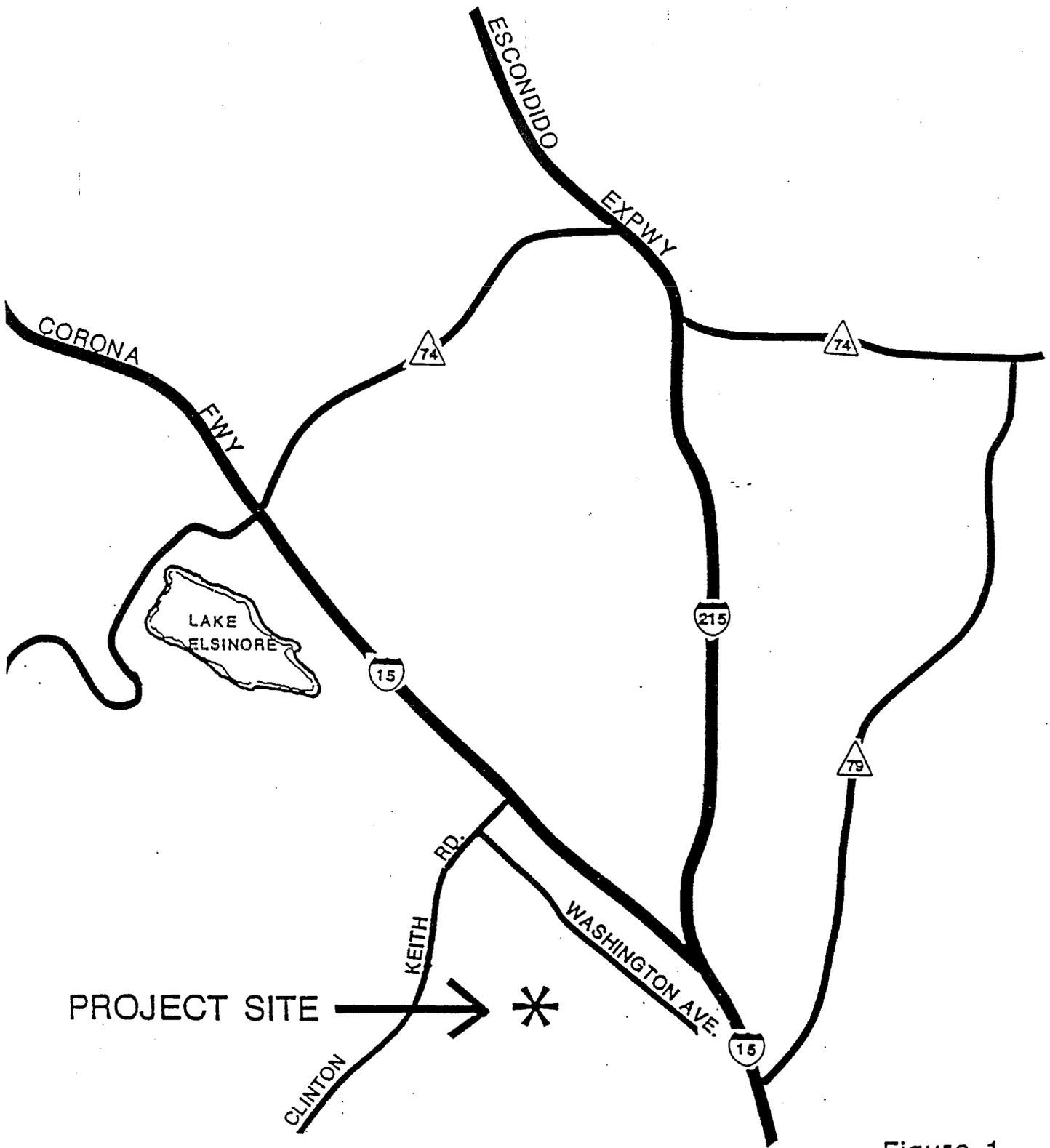


Figure 1

REGIONAL MAP

the vineyard



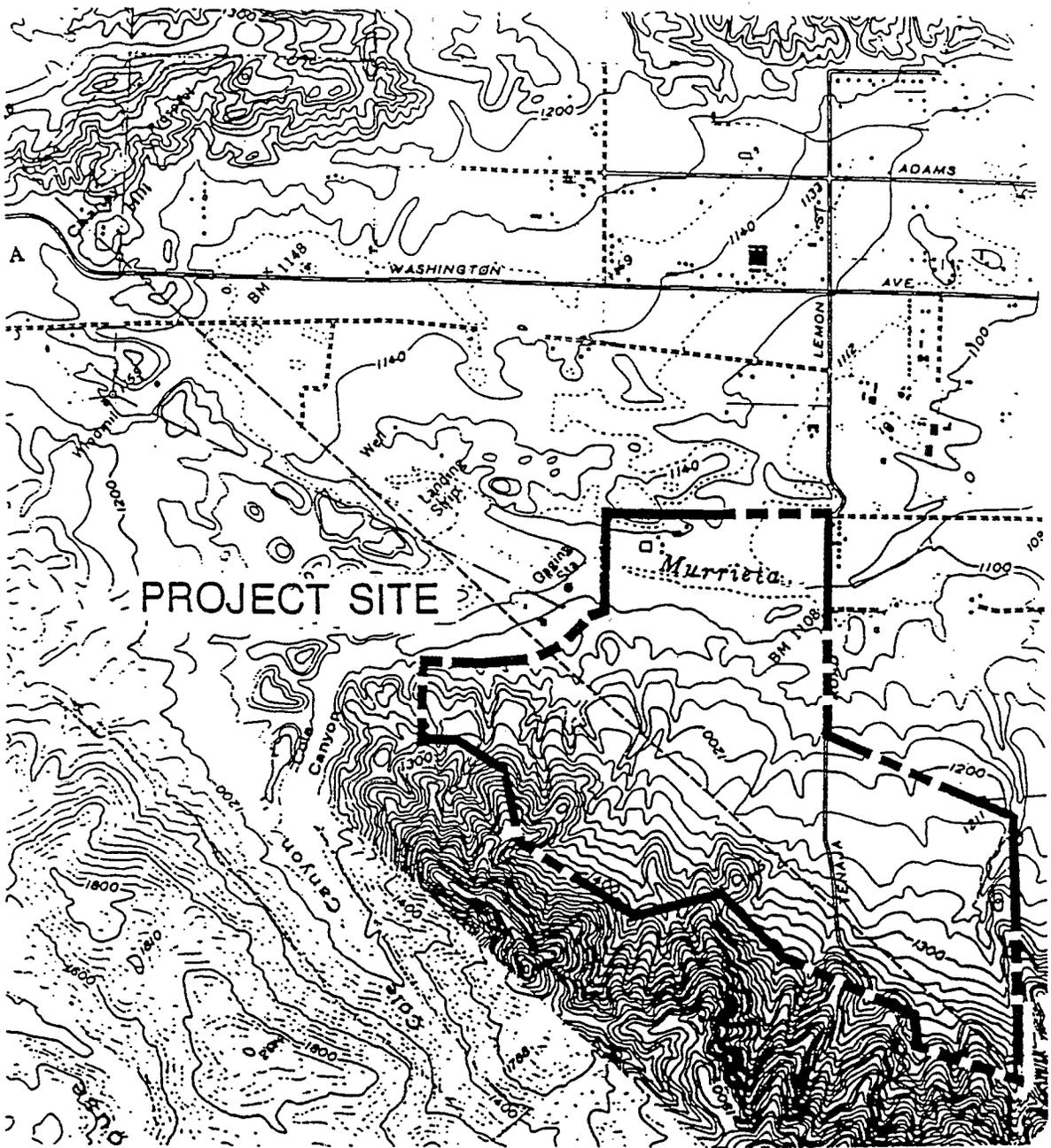


Figure 2

VICINITY MAP
 the vineyard



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II. SPECIFIC PLAN

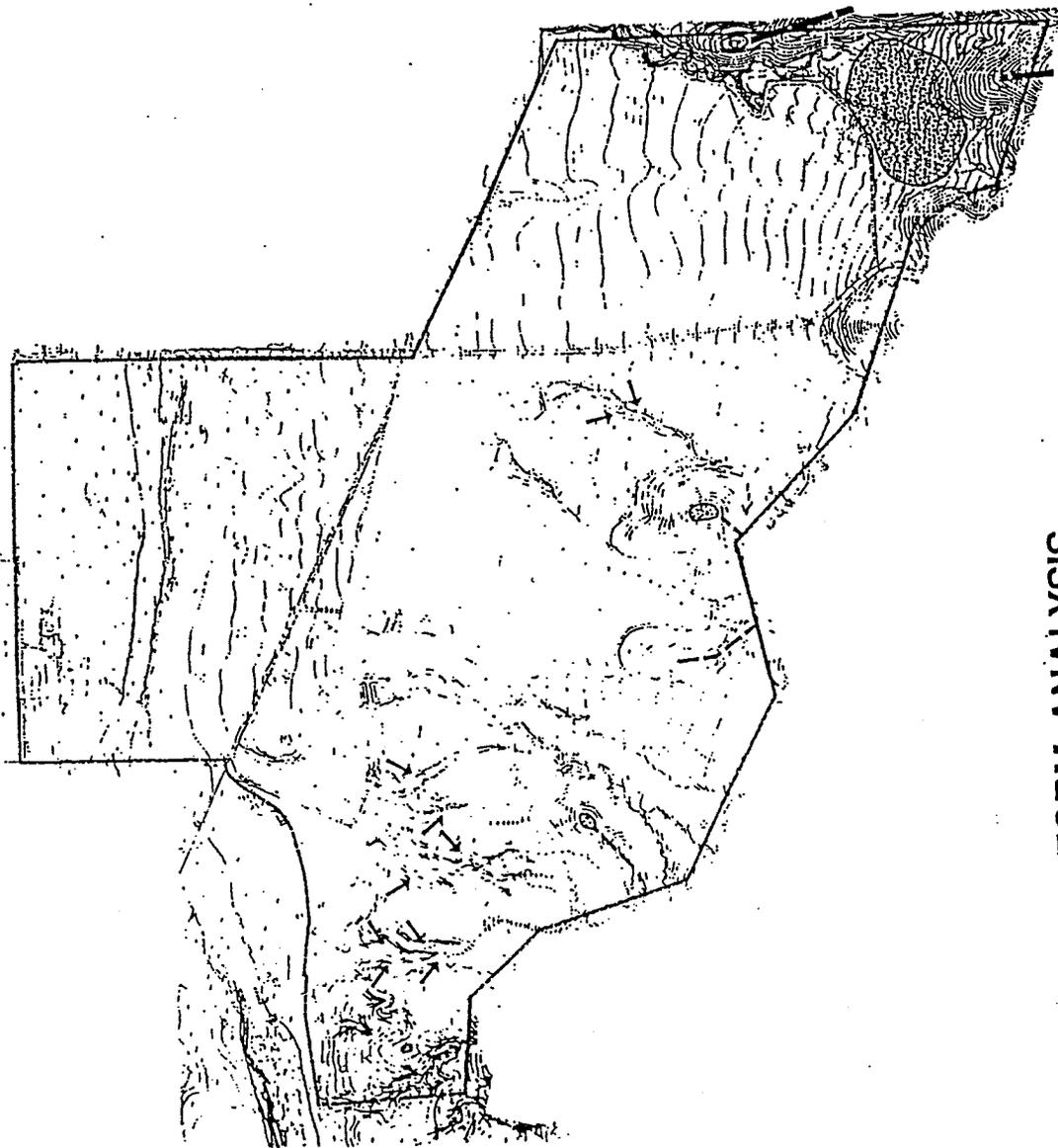
II. SPECIFIC PLAN

A. DEVELOPMENT PLANS AND STANDARDS

- Planning Objectives

This Specific Land Use Plan is being prepared within the framework of a detailed and comprehensive multi-disciplinary planning program. Issues such as engineering feasibility, market acceptance, economic viability, City Comprehensive General Plan goals and objectives, development phasing and local community goals have been fully examined and considered. To further ensure the environmental compatibility, aesthetic satisfaction and functional integrity of the plan, specific planning goals and objectives were identified. These were defined and identified in part by a careful analysis illustrated by a Visual/Landform Analysis (Figure 3) and an Opportunities & Constraints Study (Figure 4). With this analysis and the site goals and objectives in mind, the Vineyard Specific Plan attempts to:

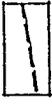
- Consider topographic, geologic, hydrologic and environmental opportunities and constraints to create a design that generally conforms to the character of the land by retaining and utilizing basic existing landforms as much as possible.
- Reflect anticipated marketing needs and public demand by providing a range of housing types which will be marketable within the developing economic profile of Murrieta area as well as the County of Riverside generally.
- Provide residential uses with specific emphasis on employing natural open space for a heightened aesthetic environment.
- Provide direct and convenient access to clustered neighborhoods via a convenient and efficient circulation system.
- Create a unique residential character that provides for a distinct environment through architectural treatment, viewshed and natural terrain.
- Establish a unique open space/environment that unifies a natural and man-made drainage greenbelt with Murrieta Creek and integrates this feature with a unified equestrian trail, footpath and park system.



LEGEND



MAJOR RIDGELINE



MINOR RIDGELINE



CANYON VIEW



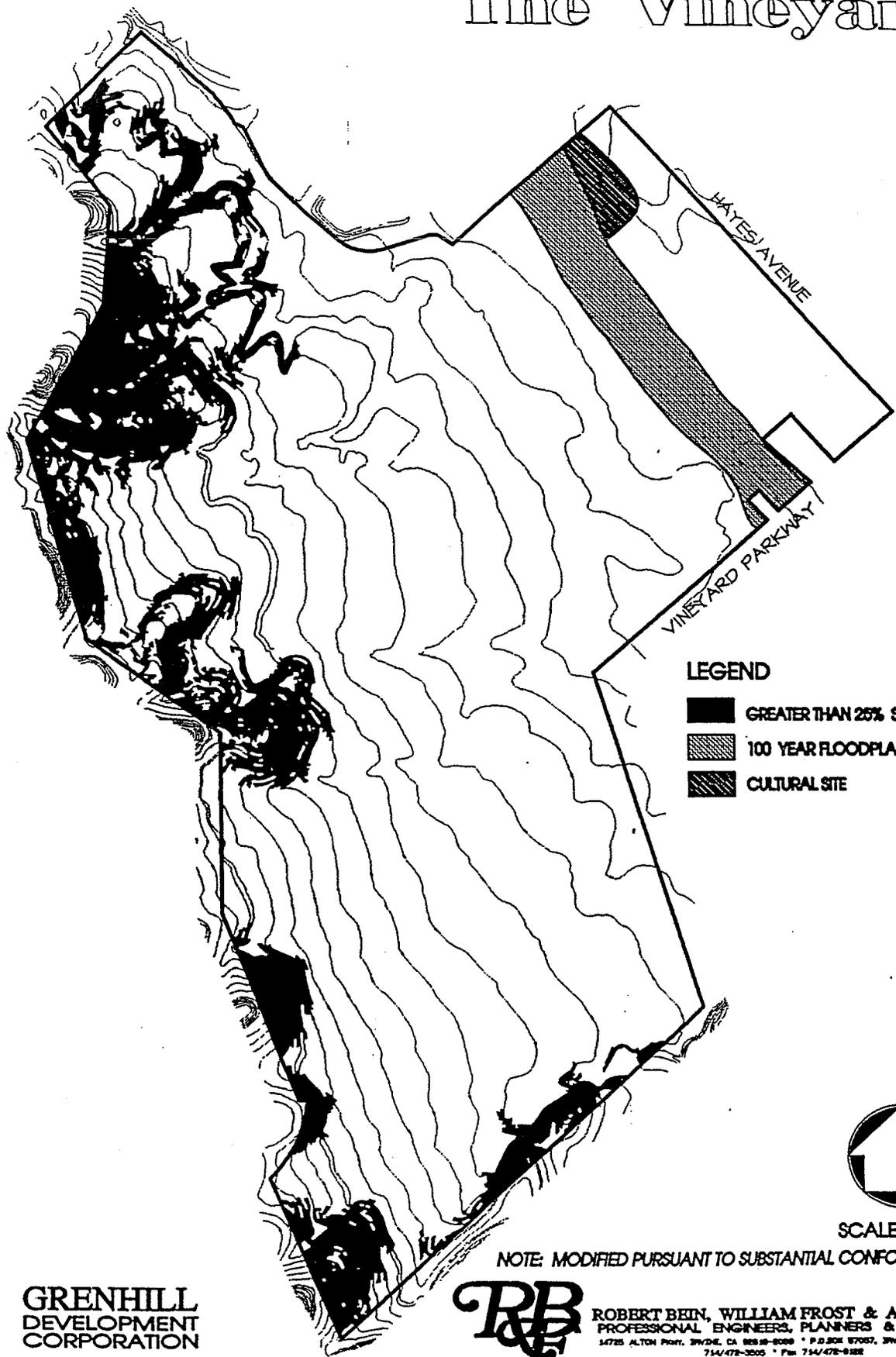
AREAS PRESENTING PANORAMIC VIEWS

VISUAL/LANDFORM ANALYSIS
the vineyard

Figure 3



Opportunities & Constraints Summary The Vineyard



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FIGURE 4

1. Specific Land Use Plan

a. Project Description

When completed, the Vineyard will be composed of high-quality residential uses constructed in compliance with a site design that concentrates on preserving panoramic view amenities through existing elevation differentials. Special emphasis has been directed to sensitive use of natural topography, especially at the western edge of the site which rests against the Santa Rosa foothills. When completed up to a maximum of 1,306 homes could be constructed at the Vineyard. The residential units will be developed as 7,200 square foot minimum size lot single family homes. The plan proposes a limited amount of commercial/recreational development to serve the nearby residents. The Vineyard Specific Plan allows for a potential elementary school site for Murrieta Valley Unified School District. Altogether about 171.7 acres of open space will be maintained, including passive open space (155.6 acres) and active park areas (16.1 acres). Specific information on each of the Neighborhood Areas within the Vineyard is provided within the Neighborhood Area Development Standards (Section II.B.), and in the Land Use Summary (Table I).

The intended land uses include:

- **RESIDENTIAL**—Development within the project will generate a density of about 2.5 units per acre overall and housing types of density categories with a minimum of 7,200 square foot lots.
- **NEIGHBORHOOD COMMERCIAL**—The community will be served by a proposed 4.8-acre commercial center located near the project entry along Vineyard Parkway in Neighborhood Area 1-A. The intent of the commercial site is to provide limited commercial with a planned recreational facility/day-care center/informational center for the local residents.
- **RECREATION**—In addition to the recreation facility noted above, two large public parks have been proposed for the Vineyard. It is anticipated that the 10.9 acre park located in Neighborhood 1-K will provide active and passive recreation pursuits. A 5.2-acre public facility, located in Neighborhood 2-D and focused around an historic homestead of local interest, could be enjoyed not only by local residents but developed as part of a regional system linked to the Murrieta Creek Channel by a greenbelt and/or an equestrian trail that extends off-site. Pedestrian access will be provided throughout the project via an extensive footpath system, and bike trail.
- **DRAINAGE - FLOOD CONTROL**—Specific Plan 128-W proposed that drainage collect as run-off from the western mountains and flow into three large catch basins or ponds. This Specific Plan proposes to alter that original scheme by having water drain more efficiently to catch basins and also be partially dissipated by the proposed Vineyard Parkway, a fundamental north-south artery.

- OPEN SPACE—About 155.6 acres, or about 30% of the site, will remain in open space. This open space will create an attractive backdrop along the western edge and at the northern and southwestern portions of the Vineyard. Other open space is generally spread throughout the project so as to preserve significant slopes when possible, provide a scenic amenity for surrounding residences and to enhance the pedestrian linkages.
- ROADS—The project will be served by an efficient circulation system, which provides primary access to the site via Vineyard Parkway, a north-south, 66-foot right-of-way collector; and Tenaja Road, an east-west 66-foot wide improved section of an 88-foot right-of-way secondary highway. An on-site reservation is proposed for Kalmia Street to conform to the City's current General Plan Circulation Plan. In the event that Kalmia Street is deleted from the City's General Plan, the Specific Plan allows for an alternate lot design within Neighborhood Area 3-A. An additional system of local streets completes the safe, convenient, transportation network. Future traffic volumes will be adequately served by the City of Murrieta Master Plan of Streets and Highways. The Vineyard Circulation Plan is depicted on Figure 6.

b. Land Use Development Standards

Three levels of development standards and guidelines have been established that, when combined together, ensure an orderly, sensitive methodology for implementation and development of the permitted uses established for the Vineyard.

At one level, special techniques and mitigations have been designed for application, as appropriate, to each Neighborhood Area. These specific standards are discussed at length in the Neighborhood Area Development Standards in Section II.B. of this Specific Plan and will be employed to insure high development quality consistency and provide provisions for proper transition between the varying land uses and product intensity.

A second level encompasses design techniques relative to architectural, landscape and community-wide development guidelines. These measures are discussed extensively in the Design Guidelines, Section III of this Specific Plan.

At a third, broader level, general project-wide provisions have been established. These standards, which will work in coordination with the Neighborhood Area standards and Design Guidelines to insure overall project sensitivity, are:

- 1) This Specific Plan may be developed with a maximum of 1,306 dwelling units within a total 521-acre area. Generally, the uses to be permitted shall include residential, neighborhood commercial, recreation, open space and circulation. These uses are more specifically delineated in the Neighborhood Area Concepts.
- 2) Uses and development standards will be in accordance with the Specific Plan Zoning Ordinance established for this Specific Plan, and will be defined by Specific Plan objectives, future detailed plot plans and potential conditional use permits as appropriate.

- 3) Standards relating to signage, landscaping, parking and other related design elements will conform to the Specific Plan Zoning Ordinance established for this Specific Plan and the Design Guidelines, Section III. When appropriate and necessary to meet the goals of this Specific Plan, the standards will exceed the Specific Plan Zoning Ordinance provided.
- 4) The development of the property shall be in accordance with the mandatory requirements of all City of Murrieta Ordinances and state laws. It also shall conform substantially with this approved Specific Plan No. 215, as filed in the office of the City of Murrieta Development Service Department, unless otherwise amended.
- 5) Prior to issuance of a building permit for construction of any use contemplated by this approval, the applicant shall first obtain clearance from the City of Murrieta Development Service Department verifying that all pertinent conditions of Specific Plan approval have been satisfied for the phase of development in question.
- 6) Any potential public open space/recreation areas on the site will be developed per appropriate zoning requirements and operated to maintain public access to recreation facilities.
- 7) Design features such as special architectural treatment, perimeter and interior landscaping and buffering of parking lot/loading zone areas will be incorporated into project design to minimize any potential conflict between higher intensity commercial uses and any abutting residential enclaves. (See the Design Guidelines, Section III.)
- 8) An environmental assessment shall be conducted for each tract, change of zone, plot plan, specific plan amendment or any other discretionary permit required to implement the specific plan. At a minimum, the environmental assessment shall utilize the evaluation of impacts addressed in the EIR and Addendum prepared for this Specific Plan No. 215.
- 9) A City change of zone application may be required, as determined by the Development Services Department, with a subsequent development application if the proposed use varies substantially from the use(s) provided for by the Specific Plan Zoning Ordinance established for this Specific Plan.
- 10) Lots created pursuant to this Specific Plan and any subsequent tentative maps shall be in conformance with the development standards of the zones applied to the property by the Specific Plan Zoning Ordinance.
- 11) Flag lots shall not be permitted except as approved by the Development Services Director.
- 12) Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures and circulation (vehicular and pedestrian and/or bicycle).

- 13) Passive solar heating techniques will be employed whenever possible within the project. Passive solar systems do not utilize sophisticated hardware. Passive systems involve orienting buildings properly, planting trees to take advantage of the sun, seeing that roof overhangs are adequate, making sure that walls are properly insulated, and installing simple heat storage systems.
- 14) If necessary, roadways, infrastructure, open space and any other public facilities will be coordinated by and paid for through an assessment of community services district or area to facilitate construction, maintenance and management.
- 15) Final development densities for each Planning Area shall be determined through the appropriate development application up to the maximum density identified based upon, but not limited to, the following:
 - a) Adequate availability of services.
 - b) Adequate access and circulation.
 - c) Sensitivity to landforms.
 - d) Innovation in housing types, design, conservation or opportunities.
 - e) Sensitivity to neighborhood design through appropriate lot and street layouts including minimization of the use of flag lots.
- 16) Areas designated as open space that will be conveyed within parcel boundaries to individual property purchases shall be deed restricted so as to create open space easements and prohibit grading, construction or other development activity in such open space.
- 17) Prior to the issuance of building permits, improvement plans for developed common open space areas, including irrigation plans, shall be submitted for Planning Division approval for the stage of development in question. Irrigation plans shall be certified by a landscape architect.
- 18) For the security and safety of future residents the applicant and/or developer shall incorporate the following design concepts within each individual tract:
 - a) Circulation for pedestrians, vehicles and police patrols.
 - b) City-required lighting of streets, walkways, bikeways and commercial area.
 - c) Visibility of doors and windows from the street and between buildings.

19) Any common areas identified in the specific plan shall be owned and maintained by a permanent master maintenance organization which shall assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas (including those in the commercial area). The organization may be public or private. The maintenance organization shall be established prior to or concurrent with the recordation of the first land division or issuance of any building permits for any approved development permit.

20) It is anticipated that maintenance associations, if formed, will be established as follows:

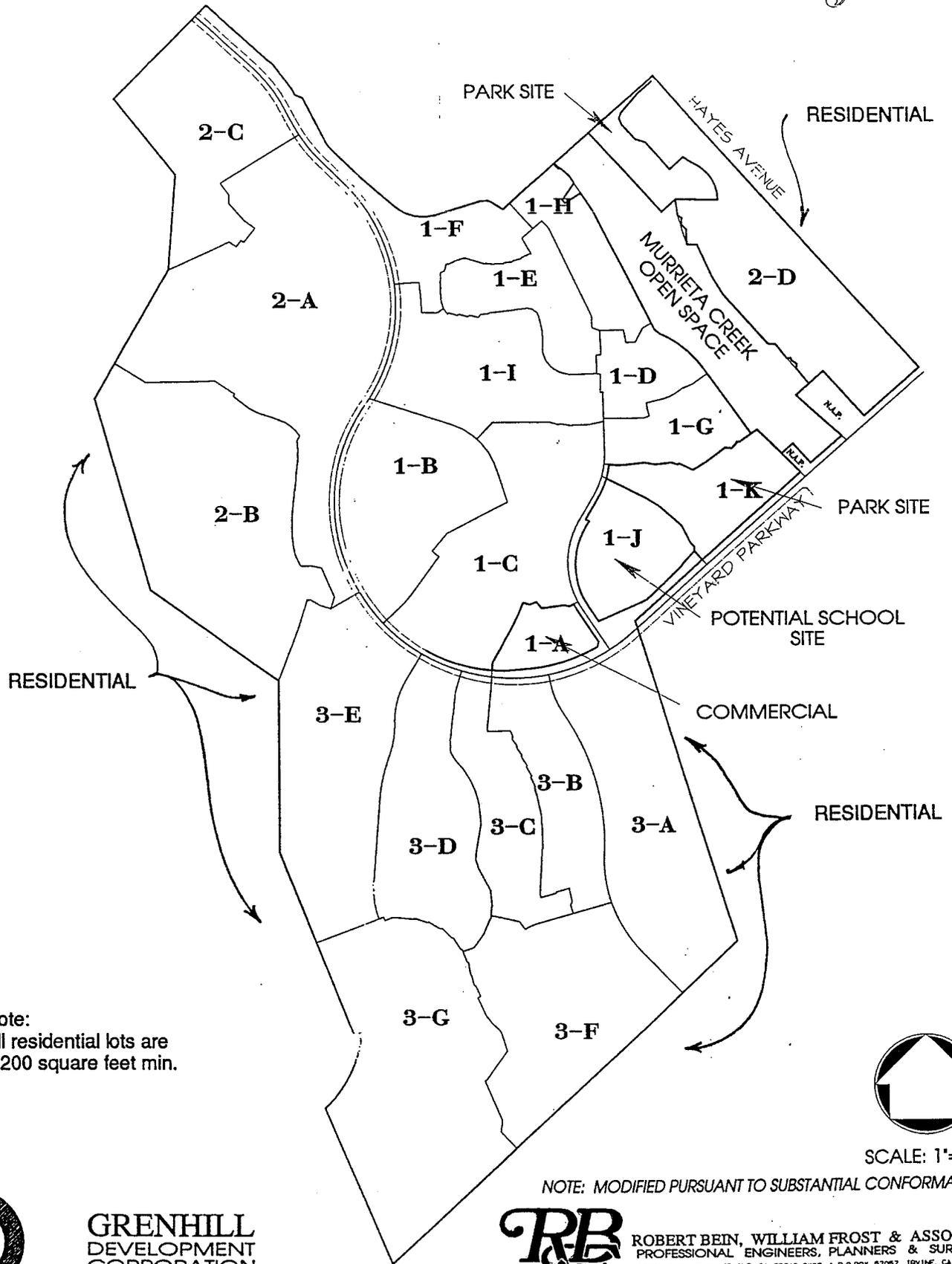
The master property owners association and the commercial property owners association shall be charged with the unqualified right to assess their own individual owners who own individual units for reasonable maintenance and management costs which shall be established and continuously maintained.

The property owners association shall be responsible for private roads, parking, open space areas, signing, landscaping, irrigation, common areas and other facilities as necessary.

21) The future on-site location of the school site has been relocated to Neighborhood 1-J and will depend on future action by the Murrieta Valley Unified School District.

22) All lighting shall comply with the applicable City lighting ordinance. Lighting plans shall include the location of all outdoor lighting fixtures, the type and description of the fixtures, and a written statement on the plans signed by a lighting contractor or engineer that the plans meet the requirements of the Mount Palomar lighting restrictions.

Specific Land Use Plan The Vineyard



Note:
All residential lots are
7,200 square feet min.



SCALE: 1"=900'

NOTE: MODIFIED PURSUANT TO SUBSTANTIAL CONFORMANCE #4



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FIGURE 5

TABLE I
SPECIFIC LAND USE SUMMARY

DESIGNATION	NEIGHBORHOOD AREA	ACREAGE	MAXIMUM D.U.
Residential (7,200 square foot min.)	1-B	23.2	81
	1-C	34.3	106
	1-D	6.7	30
	1-E	11.2	47
	1-F	13.8	37
	1-G	8.5	44
	1-H	9.1	42
	1-I	20.2	79
	1-J ¹	13.2	44
	2-A	55.3	66
	2-B	42.1	91
	2-C	22.1	19
	2-D ²	28.7	115
	3-A	31.3	92
	3-B	14.3	46
	3-C	14.1	46
	3-D	23.2	81
3-E	32.4	91	
3-F	29.4	81	
3-G	42.0	68	
RESIDENTIAL TOTALS³		475.1	1306⁴
Commercial	1-A	4.8	
Parks ²	1-K	10.9	
	2-D	5.2	
Creek-Open Space		25.0	
NON-RESIDENTIAL TOTALS		45.9	
PROJECT TOTALS		521.0	1306

¹ Potential elementary school site.

² Park acreage of 5.2 not included with Neighborhood Area 2-D residential acreage.

³ Includes acreage of streets to centerline.

⁴ In no case shall the total number of units exceed 1,306 nor shall the maximum target density exceed 3.5 dwelling units per acre.

2. Circulation Plan

a. Circulation Plan Description

The project roadway concept depicted in the Circulation Plan (Figure 6) was developed as a result of an updated traffic analysis conducted by RKJK & Associates. (See Revised Vineyard Traffic Study).

Because the study also considers off-site circulation impacts not directly related to the Specific Plan Area, the discussion that follows attempts to delineate clearly between those improvements to be provided by the applicant and/or any subsequent developers as part of the development of the Vineyard and those improvements delineated in the traffic analysis but not included within the scope of this Specific Plan. Those improvements contemplated to be constructed in coordination with development of the Vineyard Specific Plan are specifically delineated in the Circulation Development Standards.

The Vineyard Circulation Plan, as depicted in Figure 6, will provide primary project access via three collectors and a secondary highway. A north-south, 66-foot right-of-way collector, Vineyard Parkway, will provide an efficient transportation link from Clinton Keith Road (via Calle del Oso Oro) into and through the site. Vineyard Parkway becomes Tenaja Road on the south side of the project. Vineyard Parkway (Tenaja Road) will be improved to a 66-foot section within an 88-foot right-of-way at the project entry. Vineyard Parkway is depicted on Figure 7A. The second collector, Street "XX" (Figures 6 and 7A), will be developed as a 66-foot right-of-way, and will serve as a primary access road to Neighborhood Areas 1-B and 1-C. The third collector, Street "PPP", will be developed as a 66 foot right-of-way and will extend in a north-south manner between Vineyard Parkway and Street "JJJ" providing access to Neighborhood Areas 1-A, 1-C, 1-D, 1-G, 1-I, 1-J, and 1-K shown in Figures 6 and 7A.

The traffic study prepared in support of the Substantial Conformance No. 4 concluded that the extension of Kalmia Street from its existing terminus to the project site is not needed to serve the cumulative conditions with buildout of the project. An on-site reservation is proposed for Kalmia Street to conform to the City's current General Plan Circulation Plan. In the event that Kalmia Street is deleted from the City's General Plan, the Specific Plan allows for an alternate lot design within Neighborhood Area 3-A.

An additional project circulation collector street will be provided by Hayes Avenue (Figures 6 and 7A). The remainder of the circulation system will be developed as a combination of public and private roadways ranging from 41-foot right-of-way private streets to 60-foot right-of-way public local streets and are conceptually shown on Figure 6. Typical roadway cross-sections depicting development standards for all of these streets are illustrated on Figures 7A and 7B.

Kunzman & Associates estimate in the Traffic Study that the Vineyard, originally proposed with 1,587 units, would generate about 21,490 daily vehicle trips, with 2,060 trips occurring in the evening peak hour. It is anticipated that this number will decrease significantly with development of only 1,306 maximum units. Based on the Updated Traffic Study performed by RKJK, the proposed development is projected to generate approximately 12,915 end-trips per

day with 1,161 vehicles per hour during the AM peak hour and 1,330 vehicles per hour during the PM peak hour. The proposed circulation plan and standards will insure that existing, vicinity intersections will provide a "C" level of service or better. (For further detail, please consult the Vineyard Traffic Study.)

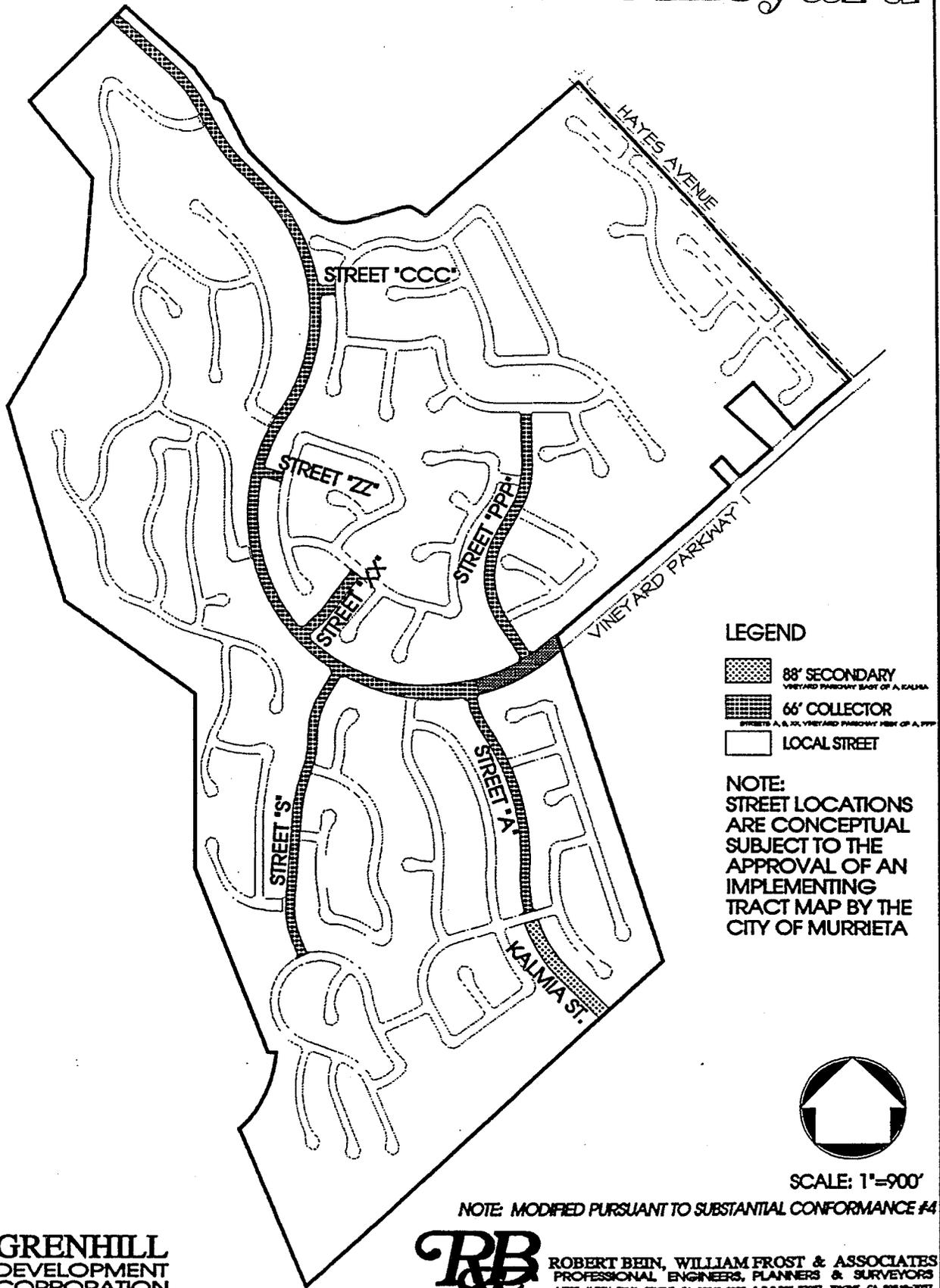
b. Circulation Plan Development Standards

- 1) The proposed Circulation Plan provides an efficient traffic design that meets or exceeds the public safety, security and transportation needs of the project. The on-site system depicted on the Circulation Plan (Figure 6) has been derived from the master circulation plan outlined in the project Updated Traffic Study and will serve as the composite circulation plan for the Vineyard Specific Plan. The illustrated, on-site roadway improvements will be phased in accordance with this plan.
- 2) Heavy through traffic should be eliminated from residential neighborhoods. Major roadways should be implemented as non-access roadways, with residential neighborhoods served by smaller residential collectors.
- 3) Any implementing subdivision shall comply with the street improvement recommendations/mitigations outlined in the project traffic study.
- 4) On-site roads will be constructed as:

Vineyard Parkway (Tenaja)	Secondary Highway	88' R.O.W.
Vineyard Parkway (West of A)	Collector	66' R.O.W.
Hayes Avenue and Streets "XX" & "PPP"	Collector	66' R.O.W.
	Local Streets	41' to 60' R.O.W.
- 5) Landscaping requirements will be based on street width in accordance with the Roadway Landscape Treatments depicted on Figures 20A and B in the Design Guidelines (Section III.C.3.).
- 6) Major roadway improvements and bridge(s) will be completed by the applicant and may be managed through an assessment district or similar financing mechanisms as approved by the City of Murrieta.
- 7) All roads shall be constructed to ultimate City standards in accordance with adopted City standards as a requirement of the implementing subdivisions for the specific plan, subject to approval by the City Engineer.
- 8) The project proponent shall participate in the Traffic Signal Mitigation Program as approved by the City Council.
- 9) The project shall comply with the conditions and requirements set forth by the City.

- 10) A bike path system as described in the Design Guidelines (Sec III.C.4.) shall be constructed along Vineyard Parkway in accordance with City standards for such facilities.
- 11) Prior to issuance of the 550th building permit, Kalmia Street shall be constructed on the project site. Kalmia Street shall be extended to Washington Avenue in accordance with a design approved by the City prior to issuance of the 1,118th building permit. Should Kalmia Street be eliminated by a Circulation Element amendment prior to the 550th building permit, the applicant will not be responsible for the construction and may implement the alternative lotting pattern.

Circulation Plan The Vineyard



LEGEND

-  88' SECONDARY
VINEYARD PARKWAY REST OF A, KALAMIA
-  66' COLLECTOR
STREETS A, S, XX, VINEYARD PARKWAY REST OF A, PPP
-  LOCAL STREET

NOTE:
STREET LOCATIONS
ARE CONCEPTUAL
SUBJECT TO THE
APPROVAL OF AN
IMPLEMENTING
TRACT MAP BY THE
CITY OF MURRIETA



SCALE: 1"=900'

NOTE: MODIFIED PURSUANT TO SUBSTANTIAL CONFORMANCE #4



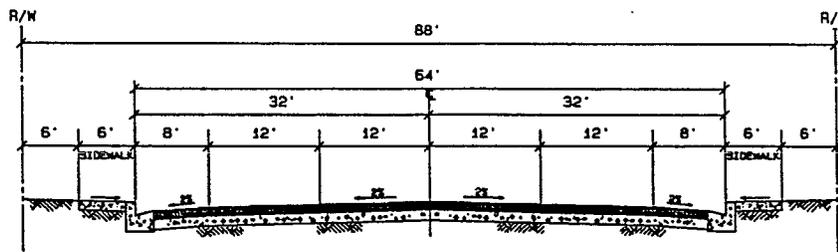
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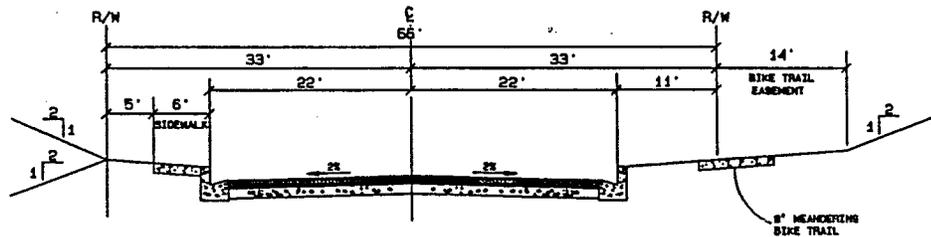
FIGURE 6

On-Site Roadway Cross Sections The Vineyard



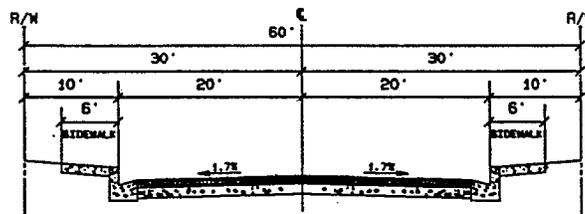
88' R/W PUBLIC

VINEYARD PARKWAY (East of St. "A") & KALMIA



66' R/W PUBLIC

STREETS "XX", "PP" & VINEYARD PARKWAY (West of St. "A")



60' R/W PUBLIC

STREETS B, D (BETWEEN B AND F), F, G (NORTH OF H), H, I, J, K, L, T, U (SOUTH OF T), V, W, PP, RR (SOUTH OF PP), W, YY (NORTH OF W), ZZ, AAA, CCC, DDD (NORTH OF NNN), FFF, HHH (NORTH OF JJJ), III, JJJ, QQQ, SSS (EAST OF TTT), TTT (BETWEEN SSS AND VVV), VVV, WWW (SOUTH OF YYY), YYY

NOTE: MODIFIED PURSUANT TO SUBSTANTIAL CONFORMANCE #4



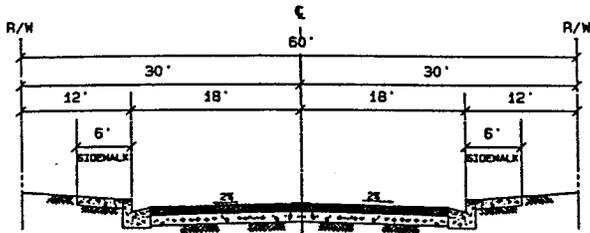
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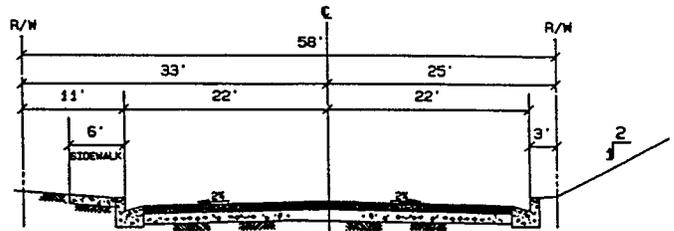
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FIGURE 7a

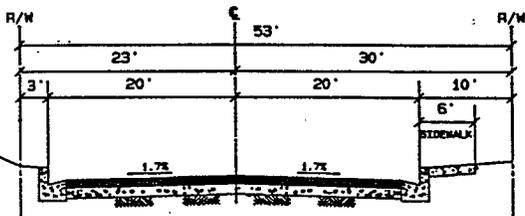
Off-Site Roadway Cross Sections The Vineyard



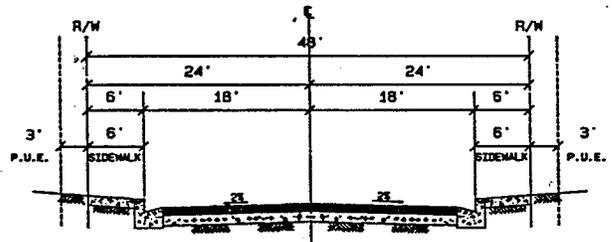
60' R/W PUBLIC



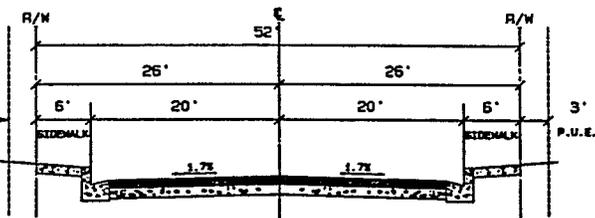
58' R/W PUBLIC



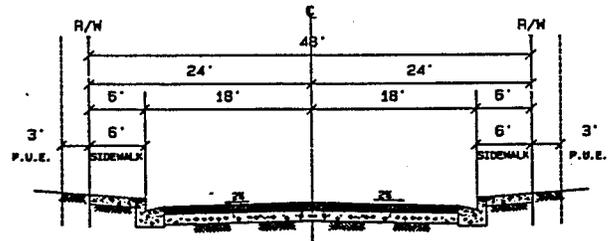
53' R/W PUBLIC



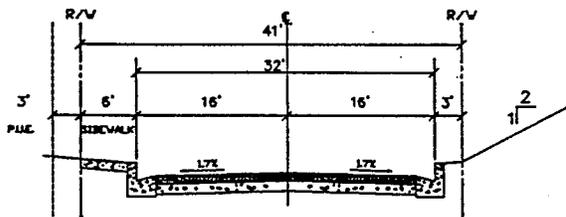
48' R/W PRIVATE



52' R/W PRIVATE



48' R/W PRIVATE



41' R/W PRIVATE

NOTE:
STREET CROSS-SECTIONS
TO BE UTILIZED WITH
IMPLEMENTING TRACT
MAP AS APPROVED BY
THE CITY OF MURRIETA

NOTE: MODIFIED PURSUANT TO SUBSTANTIAL CONFORMANCE #4



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FIGURE 7B

3. Drainage Plan

a. Drainage Plan Description

Development of the Vineyard will alter the existing drainage patterns, which primarily consist of tributary areas of about 10 to 50 acres. These areas drain from the southwest hills, through the project site via hillside channels and sheet flow and into Murrieta Creek. After development, new drainage courses would consist of streets, channels, underground storm drains and/or a combination of the above. These new courses are depicted in the Drainage Plan (Figure 8).

As a principal ultimate recipient of the drainage, Murrieta Creek becomes a central element of the plan. The Riverside County Flood Control and Water Conservation District proposes the creek to be maintained in its natural state.

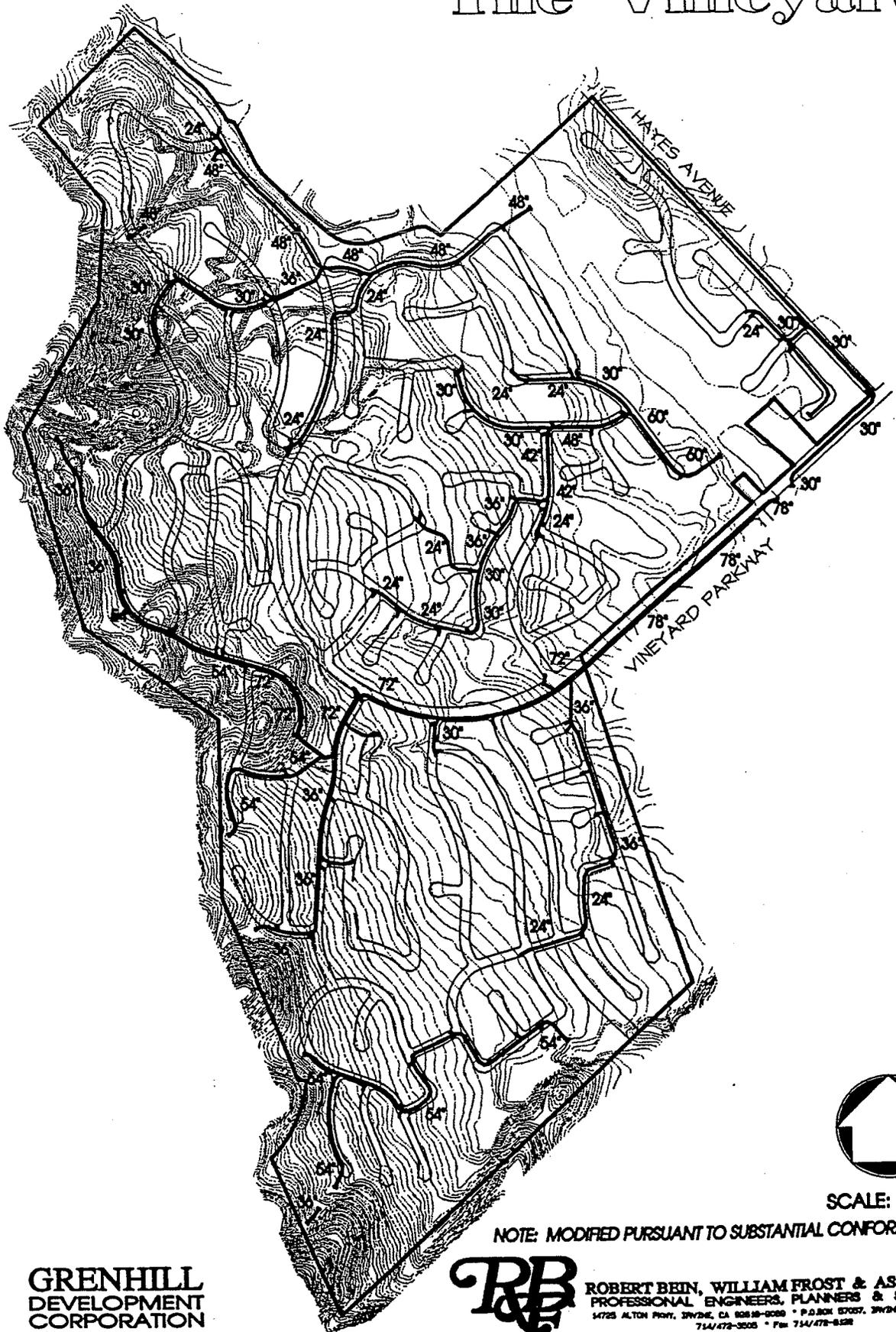
Cole Canyon Creek crosses just to the north of the project site and feeds into Murrieta Creek. The project engineer's report, contained in the Technical Appendices as Section V.C., addresses the City of Murrieta design standards for this off-site channel.

b. Drainage Plan Development Standards

- 1) It is anticipated that a network of trapezoidal channels will convey water to storm drains. The remainder of the off- and on-site flows will be conveyed through storm drains and streets.
- 2) Brow ditches shall be constructed in conjunction with development of hillside lots in order to catch sheet flow storm waters and transport them to streets and storm drains.
- 3) Storm drain facilities installed in the areas identified on the Drainage Plan (Figure 8) will be provided per City standards and provide protection from 100-year floods.
- 4) Drainage and flood control facilities and improvements, including any necessary channelization, shall be provided in accordance with City of Murrieta and/or Riverside County Flood Control and Water Conservation District requirements.
- 5) Bridges or dip crossings shall be provided where Vineyard Parkway crosses Cole Canyon Creek and Murrieta Creek, respectively.
- 6) Other mitigations that may be viewed as development standards for drainage are contained in the project engineer's report, Technical Appendices (Section V.C.).
- 7) Future subdivision shall be designed to accept and properly dispose of all off-site drainage flowing onto or through the site.

- 8) Protection all downstream properties from damages caused by alteration of the drainage patterns, i.e., concentration or diversion of flow shall be provided. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement.
- 9) For implementing subdivisions, a drainage study shall be prepared by a registered Civil Engineer identifying storm water runoff quantities expected from the site and upstream of the site. The study shall include a capacity analysis verifying the adequacy of the facilities.
- 10) The drainage system shall be designed to ensure that runoff resulting from a 10-year frequency storm of 3 hours duration under developed conditions, is equal to or less than the runoff from a storm of the same frequency and duration under existing conditions. Three hour storm duration shall be analyzed to determine the detention necessary to accomplish the desired results. Storm drain facilities and detention basins shall accommodate a 100-year storm condition.
- 11) Storm water detention basins shall be constructed outside of the 100-year floodplain of Murrieta Creek. Basins shall handle silts and water quality problems introduced by urbanization. Basins shall provide extended detention that meet the design guidelines provided in the California Storm Water BMP Handbook, pages 5-39 to 5-48, or its successor. Maintenance of the basins shall be by a public agency and shall be secured prior to Final Map approval. Maintenance shall be provided at the subdivider's expense, with evidence of such prior to Final Map approval. All weather access road (min. 12') and a turnaround shall be provided to the detention basin. Access roads for maintenance of drainage facilities and emergency vehicles shall be designed for a minimum Traffic Index of 4.0.

Drainage Plan The Vineyard



SCALE: 1"=900'

NOTE: MODIFIED PURSUANT TO SUBSTANTIAL CONFORMANCE #4



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FIGURE 8

4. Water and Sewer Plans

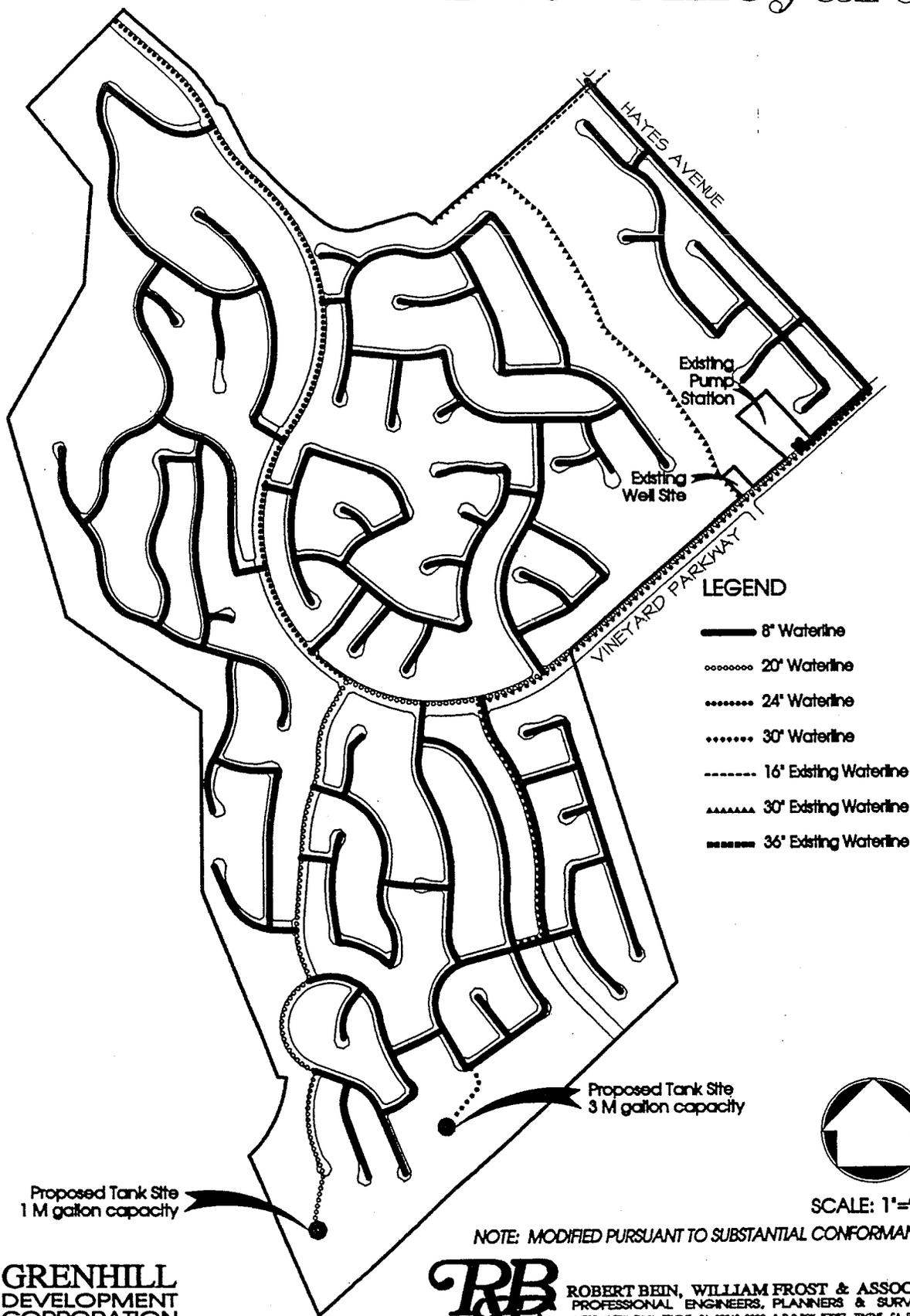
a. Water and Sewer Plans Description

The Rancho California Water District provides water and sewer service to the Vineyard area. A well is located at the southeast boundary. Two water tanks are proposed for the site and are shown in Figure 9. The location of all existing and proposed water and sewer services are depicted in the Water Plan (Figure 9) and the Sewer Plan (Figure 10). Data regarding existing facilities also appears in the Existing Water, Sewer and Utilities Plan (Figure 39 of the EIR).

b. Water and Sewer Plans Development Standards

- 1) All water and sewer lines will be placed underground.
- 2) All lines will be designed per Rancho California Water District Requirements.
- 3) The infrastructural system will be installed to the requirements of the City Engineering Department.
- 4) Water and sewerage disposal facilities shall be installed in accordance with the requirements and specifications of the Rancho California Water District.

Water Plan The Vineyard

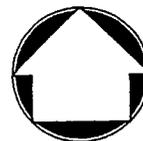


LEGEND

- 8" Waterline
- 20" Waterline
- 24" Waterline
- 30" Waterline
- 16" Existing Waterline
- 30" Existing Waterline
- 36" Existing Waterline

Proposed Tank Site
1 M gallon capacity

Proposed Tank Site
3 M gallon capacity



SCALE: 1"=900'

NOTE: MODIFIED PURSUANT TO SUBSTANTIAL CONFORMANCE #4



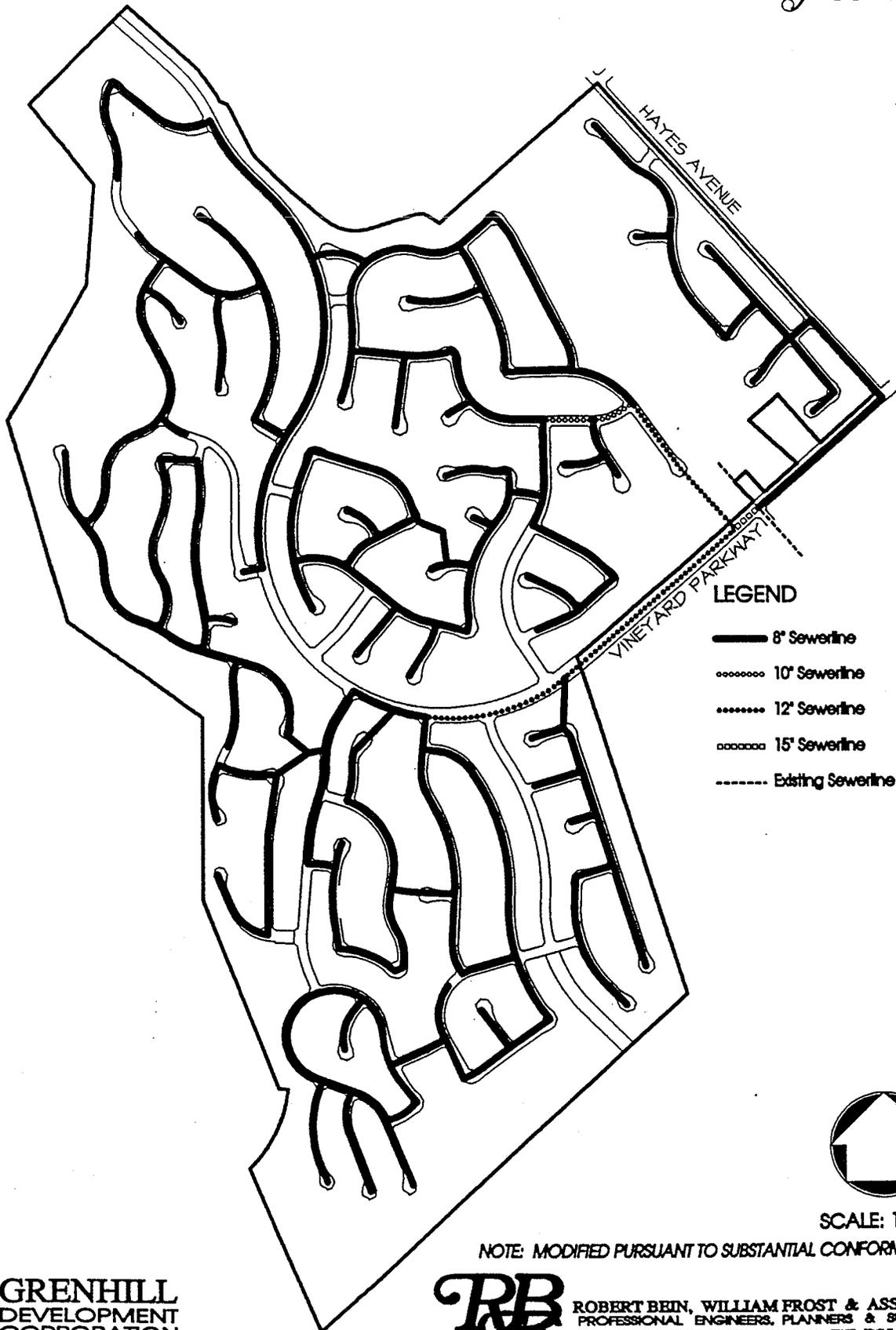
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FIGURE 9

Sewer Plan The Vineyard



LEGEND

- 8" Sewerline
- 10" Sewerline
- 12" Sewerline
- 15" Sewerline
- Existing Sewerline



SCALE: 1"=900'

NOTE: MODIFIED PURSUANT TO SUBSTANTIAL CONFORMANCE #4



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FIGURE 10

5. Public Facility Sites Phasing Plan

a. Public Facility Phasing Description

In order to insure timely development of public facilities, a phasing plan has been devised for the potential cultural resource public park, the public park, and the recreation area/ neighborhood commercial area, which are located in Neighborhood Areas 2-D, 1-K, 1-A respectively, and for the proposed bike path system that will be provided along Vineyard Parkway.

b. Public Facility Phasing Schedule

Public facility construction shall be phased as provided on the Public Facilities Phasing Table (Table II), which follows:

TABLE II
PUBLIC FACILITIES PHASING

<u>Neighborhood Area</u>	<u>Public Facility</u>	<u>Size of Site</u>	<u>Milestone and Requirements</u>
2-D	Cultural Resource Park	5.2 acres	Dedication to the City of Murrieta with recordation of Neighborhood Area 2-D.
1-K	Park	10.9 acres	Prior to occupancy of the 350th dwelling unit west of Murrieta Creek.
1-A	Recreation/Day care/ Information Center	4.8 acres	As determined by developer. City site plan approval required.
	Bike Path System		To be completed in conjunction with construction of Vineyard Parkway.
	Equestrian Trail		Prior to occupancy for the development phase incorporating these facilities.

6. Grading Plan

a. Grading Plan Description

The proposed land alteration scheme for the Vineyard, as depicted on the Conceptual Grading Plan (Figure 11), has been devised in a manner so as to preserve significant slopes and natural drainage courses when possible while using contemporary methods of contouring to topographically blend manufactured slopes and drainage courses with the natural features of the site. These natural and manmade features will be employed to provide aesthetic appeal while artfully separating and distinguishing separate development enclaves.

The grading plan will result in the movement of about 4 million cubic yards of material. An earthwork quantity takeoff, conducted by the project engineer, indicates that the site will balance and not require any export or import. It is important to note that the plan and quantities represent conceptual rough grading and, therefore, overall earthwork amounts will likely vary during fine grading.

Grading operations will be subject to the requirements of a Management Plan established for biological resources. The Management Plan will be established with an implementing tract map to assess the potential impacts to the Burrowing owl (*Athene cunicularia*), a State Species of Concern and the Quino checkerspot butterfly (*Euphydryas editha quino*), a federally endangered species. The Plan will identify a set of measures to be undertaken and an outline of the responsible parties for monitoring the measures.

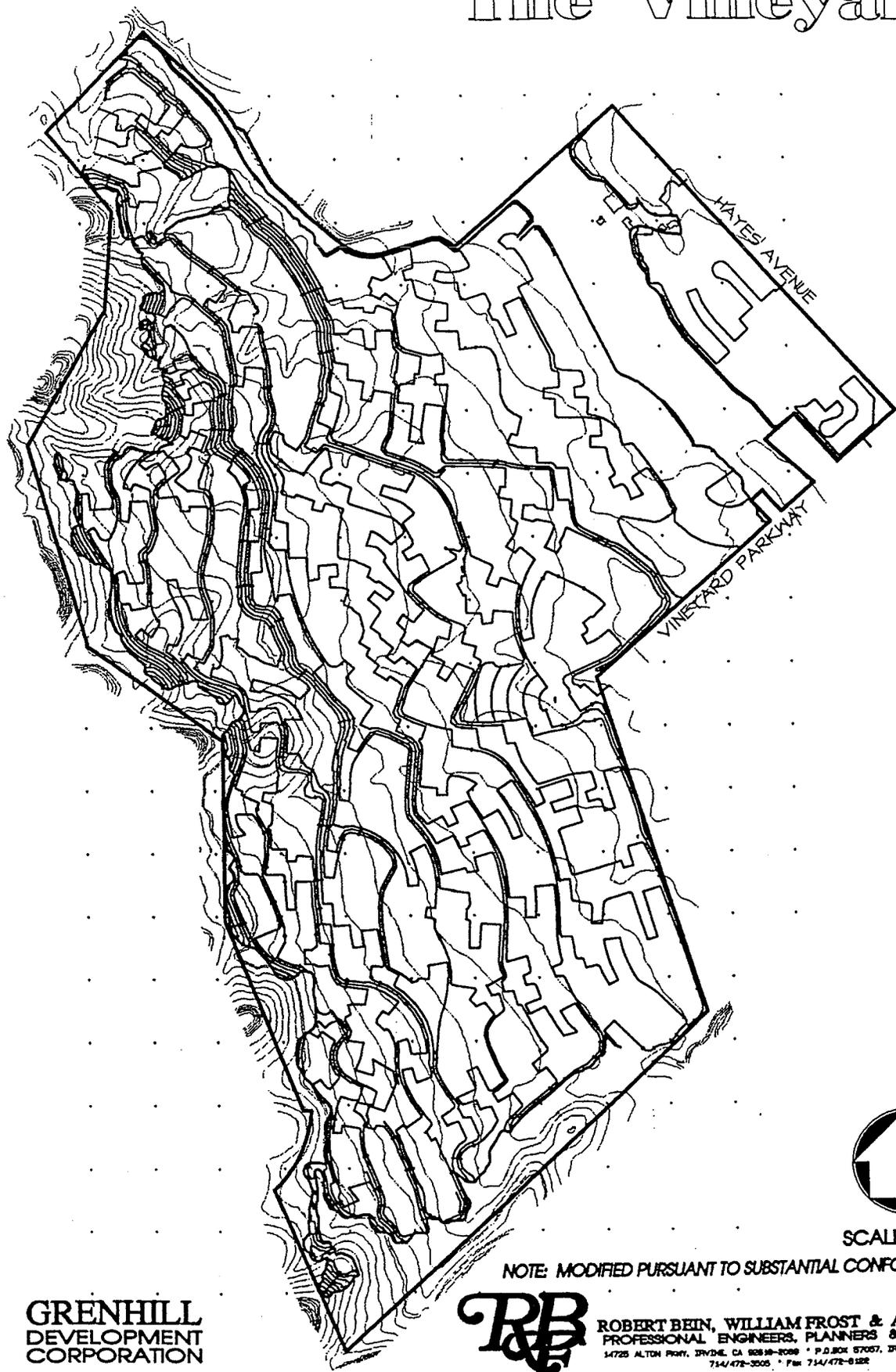
b. Grading Plan Development Standards

- 1) All grading activities shall be in substantial conformance with the Conceptual Grading Plan (Figure 11) and shall implement any grading-related mitigation measures provided in Seismic Safety (Section IV.C.1.), Slopes and Erosion (Section IV.C.2.), and, where feasible and applicable, the Joaquin Ranch and Bear Creek Village Specific Plan No. 128-W (Section 9.2).
- 2) Prior to any development within any area of the Specific Plan, an overall conceptual grading plan for the portion in process shall be submitted for City approval. The grading plan for each such area shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that area, and shall include techniques employed to prevent erosion and sedimentation during and after the grading process; approximate time frames for grading; identification of areas which may be graded during higher probability rain months (January through March) and preliminary pad and roadway elevations.
- 3) Topography, as depicted on the Opportunities & Constraints Summary (Figure 4), shall be retained as open space in those areas illustrated as such on the Community Parks, Open Space & Trails Plan (Figure 21A). About 155.6 acres, approximately 30% of the site, will be retained as open space.

- 4) All streets shall have a gradient not exceeding 15%.
- 5) Slopes exceeding ten feet in vertical height shall be hydromulched.
- 6) Although trenching conducted by geologists in February 1978 and a subsequent Supplemental Geotechnical Evaluation and Review prepared by Leighton and Associates in July 1998 confirmed that all fault traces are inactive, the project shall implement seismic hazard mitigations, if any, recommended in conjunction with actual grading activity.
- 7) Prior to initial grading activities, a soils report and geotechnical study shall be performed that further analyze on-site soil conditions and include appropriate measures to control erosion and dust.
- 8) As provided for by Specific Plan No. 128-W (Cultural Resources, Section 4.6), a qualified archaeologist should attend pregrading meetings and on-site grading activities as they relate to identified cultural resources. It is anticipated that the Level C-2 Cultural Resource, as defined by Specific Plan No. 128W, shall be preserved within Neighborhood 2-D and be dedicated to the City's Community Facilities District.
- 9) Detailed grading plans shall be prepared prior to any on-site grading for each project or group of projects and clearance shall be obtained from the City of Murrieta prior to development in areas that contain significant historical resources as they were identified in Specific Plan No. 128-W.
- 10) All dwelling units shall have a minimum 5' side setback and a minimum 10' rear setback from the toe of slopes higher than 10'. All other City ordinances and requirements will be observed regarding setback requirements.
- 11) Where cut and fill slopes are created higher than ten (10) feet, detailed landscaping and irrigation plans shall be submitted to the Planning Division when grading plans are submitted for approval. The plans shall be reviewed for type and density of groundcover, shrubs and trees.
- 12) The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibility of other parties.
- 13) Angular forms shall be discouraged. The graded form shall reflect natural terrain, where possible.
- 14) Graded slopes shall be oriented to minimize visual impacts to surrounding areas.
- 15) The overall shape, height and grade of any cut and fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of a particular site.

- 16) The toes and tops of all slopes higher than ten (10) feet shall be rounded with curves with radii designed in proportion to the total height of the slope, where drainage and stability permit such rounding.
- 17) Cut or fill slopes exceeding one hundred (100) feet in horizontal length, if any, shall be graded to meander the toe and top of the slope.
- 18) Potential brow ditches, terrace drains or other minor swales determined necessary at future stages of project review shall be lined with natural erosion control materials or concrete.
- 19) Grading work shall be balanced on-site wherever possible.
- 20) Graded but undeveloped land shall be maintained weed free and planted with interim landscaping.
- 21) All fill slopes shall be constructed at inclinations no steeper than 2 horizontal to 1 vertical (2:1). Cut slopes may be steeper than 2 horizontal to 1 vertical (2:1) provided they are recommended to be safe in a slope stability report written by either a registered soil engineer or a registered engineering geologist. The slope stability report will include recommendations for erosion control and landscaping. The grading plan will reflect a contouring and landscaping program intended to control erosion and slope.
- 22) All grading shall take place in accordance with the City of Murrieta Grading Policies.
- 23) Grading shall not be permitted prior to approval of grading permits for the development area in question.
- 24) A qualified paleontologist shall be retained and shall attend pregrading meetings and on-site grading activities as they relate to paleontological resources.
- 25) Grading operations will be subject to the requirements of the Management Plan established for biological resources.
- 26) Prior to the issuance of a grading permit, for the affected area, the applicant shall submit a Tree Preservation Plan (TPP). Such plan shall be prepared by a licensed arborist and shall identify all existing on-site Oak, Sycamore, and Western Cottonwood trees and any significant grove or stand of trees and their respective sizes.

Conceptual Grading Plan The Vineyard



SCALE: 1"=900'

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FIGURE 11

B. NEIGHBORHOOD AREA DEVELOPMENT STANDARDS

As noted earlier, development standards have been established at three levels: General Development Provisions, which were addressed in Section II.A.1.; Design Guidelines, which are provided in Section III; and Neighborhood Area Development Standards, to which this section is devoted.

Neighborhood Areas were selected on the basis of logical, separate units of development. Criteria considered in this process included uniformity of use as it pertains to the types of products envisioned to be constructed and relationship to adjoining uses and surrounding topography. The Neighborhood Area references for this section are provided on Figures 12A-12E.

1. Neighborhood Area 1-A

a. Descriptive Summary

Neighborhood Area 1-A, as depicted on Figure 12A, consists of about 4.8 gross acres to be devoted to Neighborhood Commercial, located off Vineyard Parkway at the southerly entry of the project site. The intent of the commercial site is to provide a recreational facility with active and passive activities and day-care/information center for the local residents.

b. Land Use and Development Standards

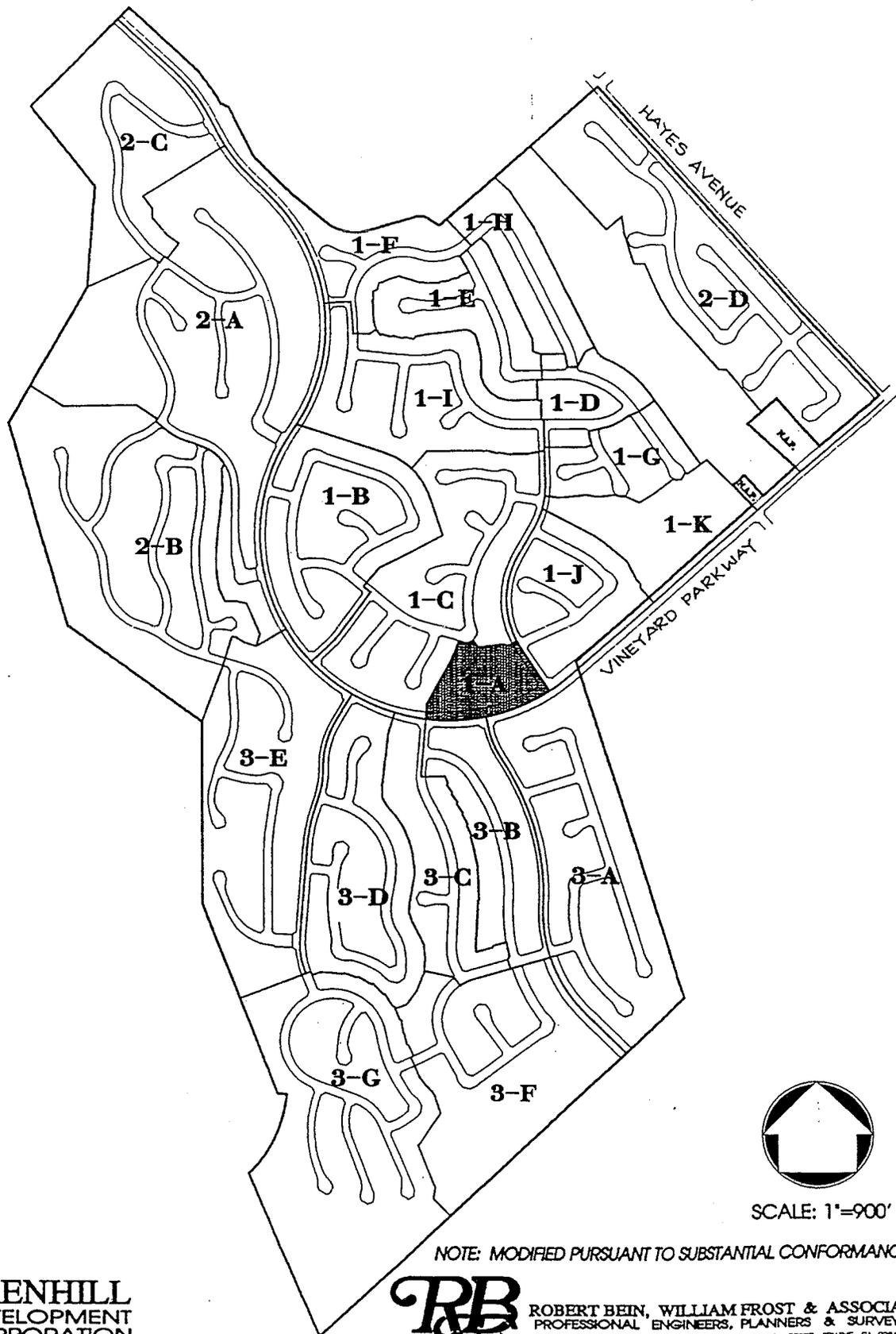
See Specific Plan Zoning Ordinance included in the original Specific Plan document.

c. Neighborhood Standards

- The commercial land uses within the neighborhood center may include, but are not necessarily limited to, a day care facility, informational center, offices, recreational facility, and/or other retail and service facilities. Individual uses will be determined based upon market demand and the actual plot plan for the commercial area.
- A development plan or conditional use permit of the neighborhood commercial area (by phase or in its entirety) will be required by the City of Murrieta for review and approval.
- Waste disposal containers will be limited to designated, confined areas set aside for solid waste collection.
- Energy consideration shall be incorporated into the design of the commercial area. Parking areas shall be heavily landscaped to reduce heat gain. Passive and active solar systems should be considered in the design of the project.
- A major entry, illustrated on Figure 15, shall be constructed southerly of this Neighborhood Area on Vineyard Parkway.

- Roadway landscape treatments will be incorporated along Vineyard Parkway as depicted in Figure 20C.
- Interfaces between the commercial/recreational uses and residential uses are depicted on Figures 19F and 19G.
- Please see Design Guidelines, Section III., for related criteria.

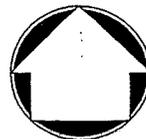
Neighborhood Areas 1-A The Vineyard



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SCALE: 1"=900'

NOTE: MODIFIED PURSUANT TO SUBSTANTIAL CONFORMANCE #4

FIGURE 12A

2. Neighborhood Areas 1-D, 1-G, 1-H, 1-K and 2-D

a. Descriptive Summary

Neighborhood Areas 1-D, 1-G, 1-H, and 2-D, as depicted in Figure 12B, consists of approximately 58.2 gross acres with a maximum of 231 units to be devoted to Single Family residential development. Two parks are provided. A 5.2-acre park site is located within Neighborhood Area 2-D and a 10.9 acre park site is provided in Neighborhood Area 1-K. A typical residential site plan and elevations are depicted in the Design Guidelines, Figures 23 and 24.

b. Land Use and Development Standards

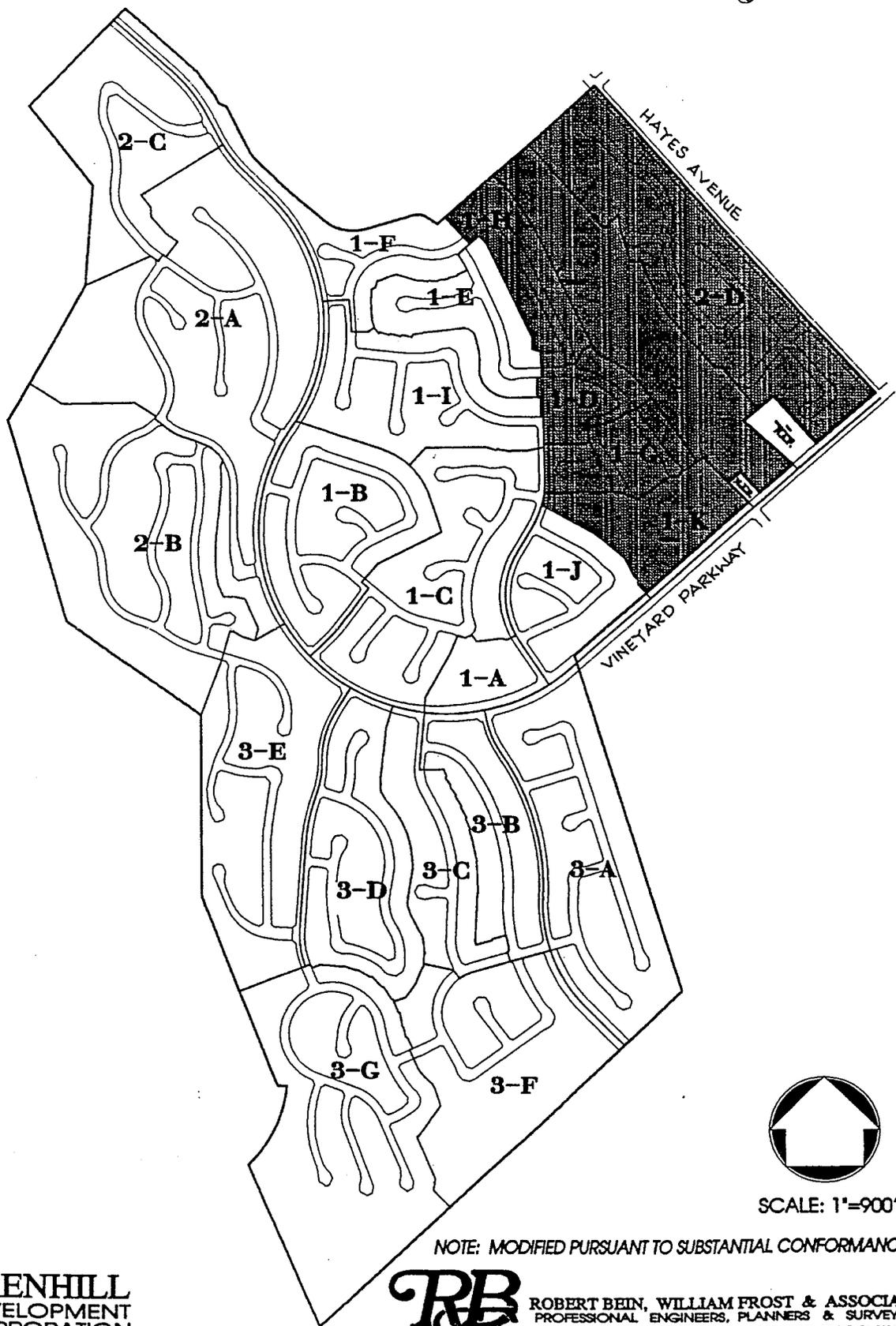
See Specific Plan Zoning Ordinance included in the original Specific Plan document.

c. Neighborhood Standards

- A channel/pad interface, as depicted on Figure 19C, shall be developed along the southeasterly edge of Neighborhood Areas 1-D, 1-G, 1-H and the northwestern edge of Neighborhood Area 2-D.
- As depicted in Figure 19B, a manufactured drainage course/pad interface shall be provided at various locations within these Neighborhood Areas.
- Pedestrian access is proposed to be provided to the park site within Neighborhood Area 1-K via an equestrian trail/footpath that runs along the eastern edge of Neighborhood Areas 1-D, 1-G, and 1-H. The conceptual equestrian trail/footpath is illustrated on Figure 19C.
- Pedestrian access is proposed to be provided to the 5.2-acre cultural resource site and from Hayes Avenue via a bikepath that runs along the western edge of Neighborhood Area 2-D. The conceptual bikepath is illustrated on Figure 19C.
- Neighborhood entries, conceptually shown in Figure 18, will occur at the entrances to individual Neighborhood Areas as depicted on Figure 14.
- Roadway landscape treatments will be incorporated, as depicted on Figures 20B and 20C.
- Open/View walls, as depicted on Figure 22 shall be constructed adjacent to the interface with the Murrieta Creek along the southeasterly edge of Neighborhood Areas 1-D, 1-G, 1-H and the northwestern edge of Neighborhood Area 2-D as shown on Figure 21E.

- The 5.2-acre cultural resource park site shall be deeded to the City, CSD, or other entity approved by the City, upon recordation of the adjoining development phase. The Skyes Ranch cultural resource shall be protected through the use of fencing, boarding of windows, and other means to prevent vandalism until the approved entity accepts title to the property.
- Appropriate park-related signage shall be developed at the point of ingress from Hayes Avenue to Neighborhood Area 2-D.
- Park improvement plans for the 10.9-acre park site shall be submitted and approved prior to grading permits. The site design and amenities depicted on Figure 21C is conceptual in nature. Actual design and amenities, likewise will be determined at a later stage of development.
- The 10.9-acre park site shall be constructed and operable prior to occupancy of 350 units west of Murrieta Creek.
- Appropriate park-related signage shall be developed at the point of ingress from Vineyard Parkway.
- Equestrian trail/footpath shall be constructed along Murrieta Creek per City Standard No. 218, at the time the adjacent lots are to be developed.
- Please see Design Guidelines, Section III., for related criteria.

Neighborhood Areas 1-D, 1-G, 1-H, 1-K, and 2-D The Vineyard



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FIGURE 12B

3. Neighborhood Areas 1-B, 1-C, 1-E, 1-F, 1-I, and 1-J

a. Descriptive Summary

Neighborhood Areas 1-B, 1-C, 1-E, 1-F, 1-I, and 1-J, as depicted in Figure 12C, consists of approximately 115.9 gross acres with a maximum of 394 units to be devoted to Single Family residential development. Neighborhood Area 1-J consisting of 13.2 acres and 44 residential units may be alternately utilized for a potential elementary school site should the Murrieta Valley Unified School District opt to purchase the property. The school site would be developed to Murrieta Valley School District and State standards. A typical residential site plan and elevations are depicted in the Design Guidelines, Figures 23 and 24.

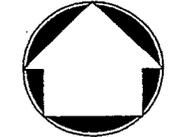
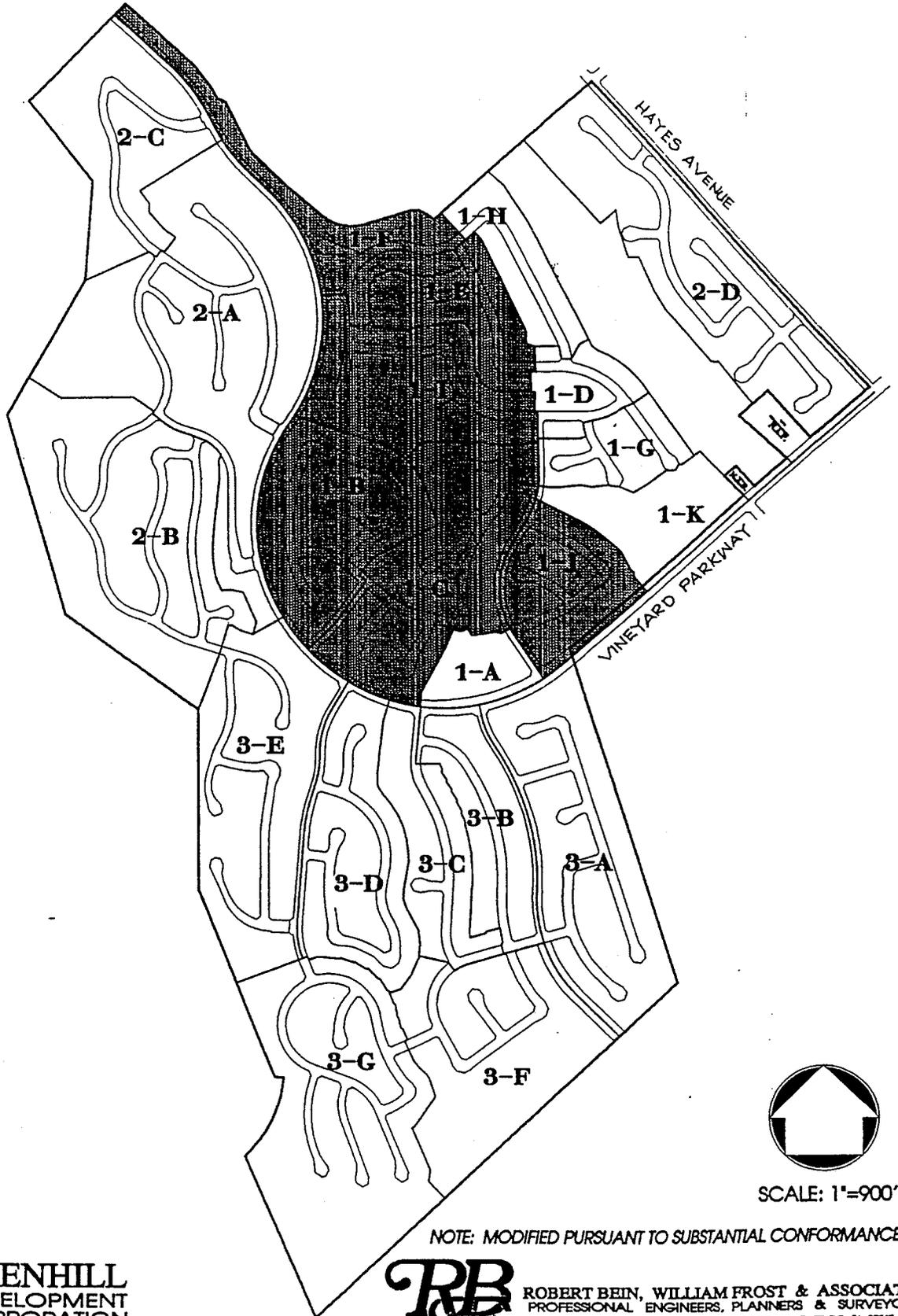
b. Land Use and Development Standards

See Specific Plan Zoning Ordinance included in the original Specific Plan document.

c. Neighborhood Standards

- As depicted in Figure 19B, a manufactured drainage course/pad interface shall be provided at various locations within these Neighborhood Areas.
- Neighborhood entries, conceptually shown in Figure 18, will occur at the entrances to individual Neighborhood Areas as depicted on Figure 14.
- Roadway landscape treatments will be incorporated, as depicted on Figures 20B and 20C.
- Combination Solid and Open/View walls, as depicted on Figure 22 shall be constructed adjacent to the interface with the Murrieta Creek along the southeasterly edge of Neighborhood Areas 1-D, 1-G, 1-H and the northwestern edge of Neighborhood Area 2-D as shown on Figure 21E.
- Please see Design Guidelines, Section III., for related criteria.

Neighborhood Areas 1-B, 1-C, 1-E, 1-F, 1-I, and 1-J The Vineyard



SCALE: 1"=900'

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FIGURE 12C

4. Neighborhood Areas 3-A, 3-B, 3-C, 3-D, 3-F and 3-G

a. Descriptive Summary

Neighborhood Areas 3-A, 3-B, 3-C, 3-D, 3-F and 3-G, as depicted in Figure 12D, consists of approximately 154.3 gross acres with a maximum of 414 units to be devoted to Single Family residential development. A typical residential site plan and elevations are depicted in the Design Guidelines, Figures 23 and 24.

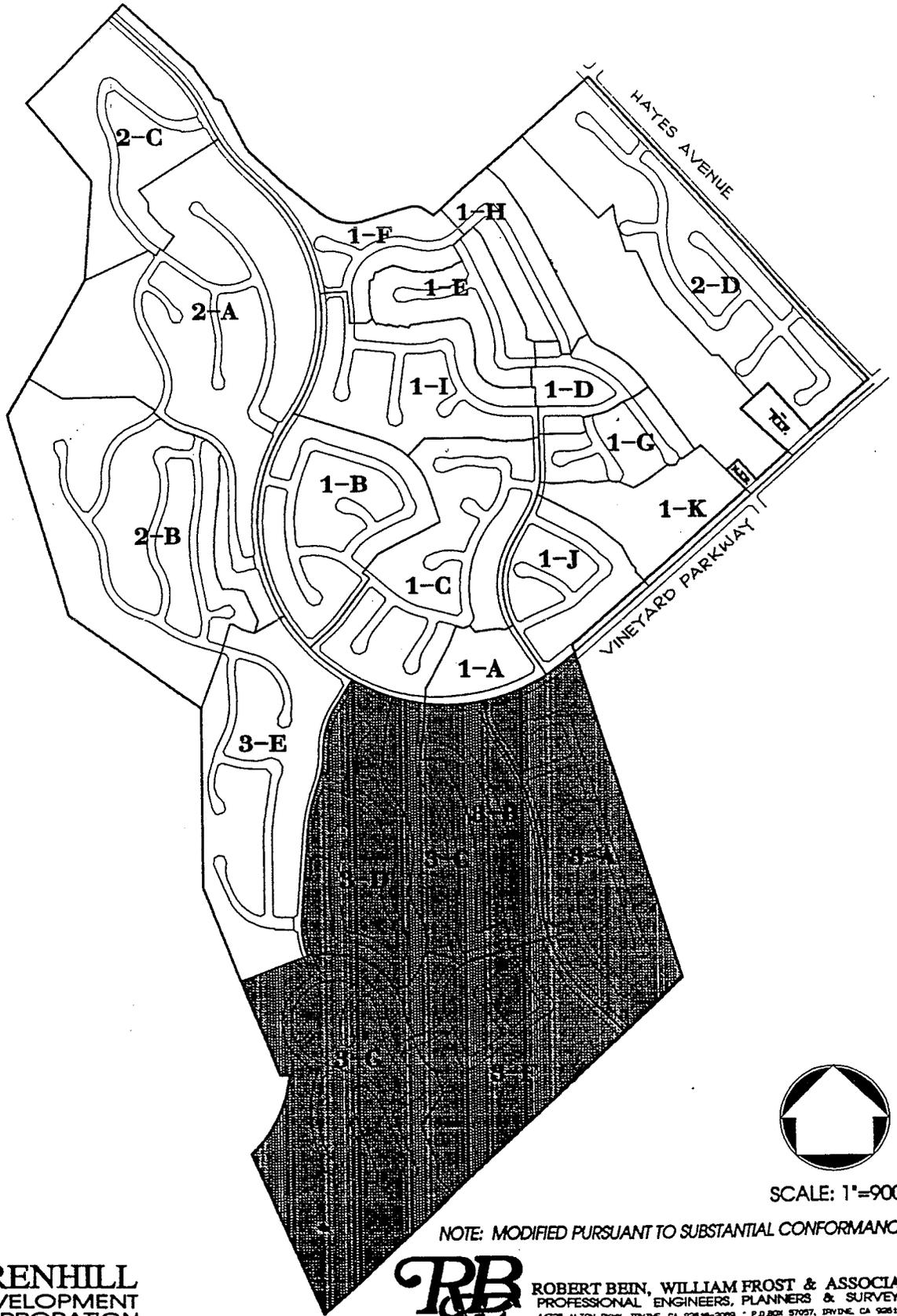
b. Land Use and Development Standards

See Specific Plan Zoning Ordinance included in the original Specific Plan document.

c. Neighborhood Standards

- As depicted in Figure 19A, a natural drainage course/pad interface shall be provided along the southerly boundaries within Neighborhood Areas 3-A, 3-F and 3-G.
- As depicted in Figure 19B, a manufactured drainage course/pad interface shall be provided at various locations within these Neighborhood Areas.
- As depicted in Figure 19E, an open space/pad transition will be provided along the eastern edge of the Neighborhood Area 3-A to serve as a 30-foot land use buffer.
- A major entry, illustrated on Figure 16, may be constructed at the project entry along Kalmia Street between Neighborhood Areas 3-A and 3-F if the extension of Kalmia Street is required.
- Neighborhood entries, conceptually shown in Figure 18, will occur at the entrances to individual Neighborhood Areas as depicted on Figure 14.
- Roadway landscape treatments will be incorporated, as depicted on Figures 20B and 20C.
- Solid walls, as depicted on Figure 22 shall be constructed along the westerly edge of Neighborhood Area 3-D as shown on Figure 21E.
- One water tank is proposed within Neighborhood 3-F and a second water tank is proposed within Neighborhood 3-G along the southerly project border.
- Please see Design Guidelines, Section III., for related criteria.

Neighborhood Areas 3-A, 3-B, 3-C, 3-D, 3-F, and 3-G The Vineyard



SCALE: 1"=900'

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FIGURE 12D

5. Neighborhood Areas 2-A, 2-B, 2-C and 3-E

a. Descriptive Summary

Neighborhood Areas 2-A, 2-B, 2-C and 3-E, as depicted in Figure 12E, consists of approximately 151.9 gross acres with a maximum of 267 units to be devoted to Single Family residential development. A typical residential site plan and elevations are depicted in the Design Guidelines, Figures 23 and 24.

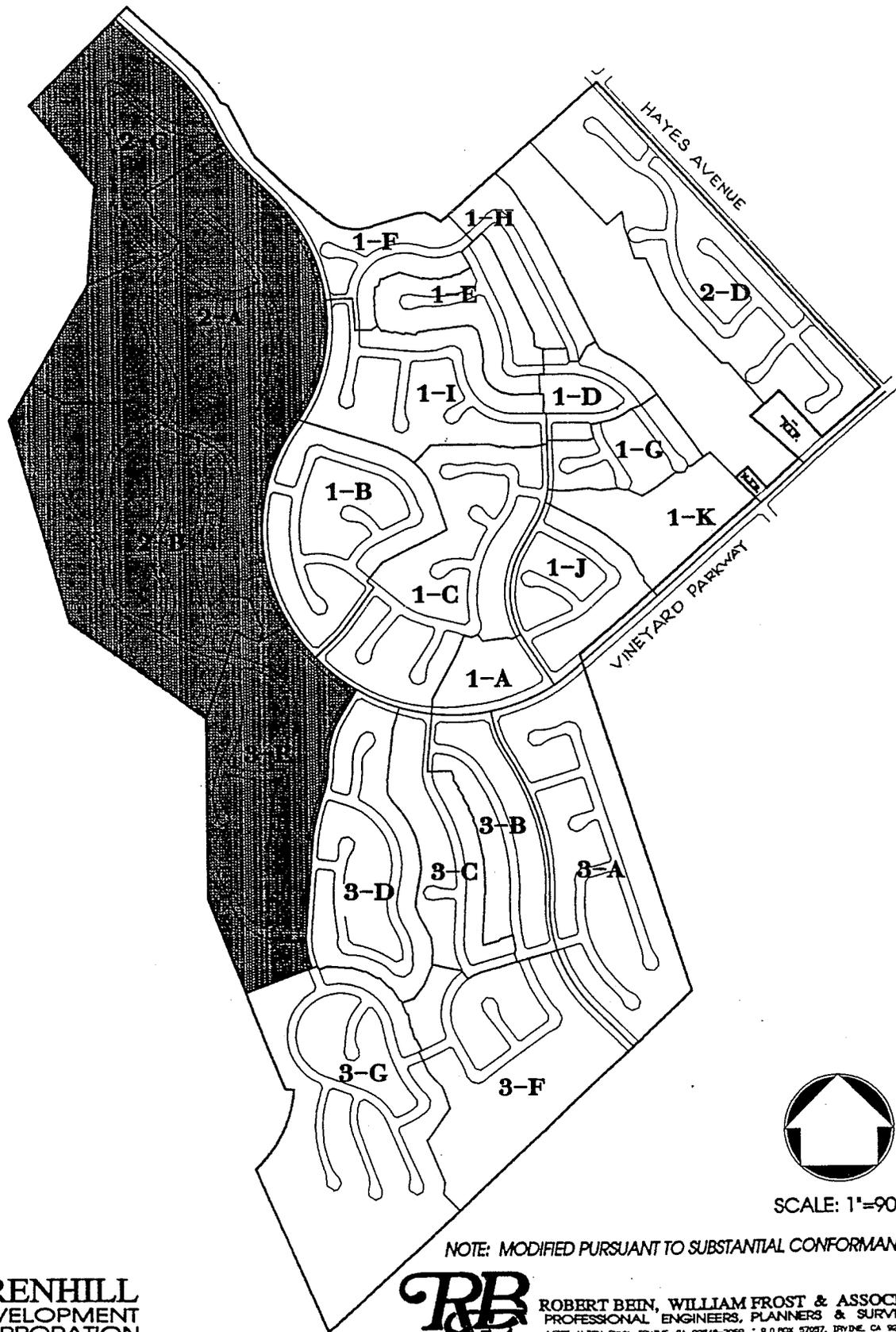
b. Land Use and Development Standards

See Specific Plan Zoning Ordinance included in the original Specific Plan document.

c. Neighborhood Standards

- As depicted in Figure 19A, a natural drainage course/pad interface shall be provided along the westerly boundaries within Neighborhood Areas 2-A, 2-B, 2-C and 3-E.
- As depicted in Figure 19B, a manufactured drainage course/pad interface shall be provided at various locations within these Neighborhood Areas.
- An open space/slope transition area shall be established along the western edge of these Neighborhoods and is depicted on Figures 19D and 19E.
- A major entry, illustrated on Figure 16, shall be constructed at the northern project entry along Vineyard Parkway.
- A secondary entry, illustrated on Figure 17, shall be constructed within Neighborhood Area 2-A. The guard gate will provide restricted access to the Neighborhood Areas.
- Neighborhood entries, conceptually shown in Figure 18, will occur at the entrances to individual Neighborhood Areas as depicted on Figure 14.
- Roadway landscape treatments will be incorporated along Vineyard Parkway and the local streets, as depicted on Figures 20A, 20B and 20C.
- Please see Design Guidelines, Section III., for related criteria.

Neighborhood Areas 2-A, 2-B, 2-C, and 3-E The Vineyard



SCALE: 1"=900'

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FIGURE 12E

C. OPEN SPACE DEVELOPMENT PLAN

1. Open Space Development Plan

a. Descriptive Summary

As depicted on Figure 21A, the open space plan shows the total area of land to be used for passive and active recreation. The total acreage for the project open space is approximately 155.6 acres. The uses within the open space will likely include but not be limited to equestrian, walking and biking trails, picnic areas, soccer, football, baseball, volleyball, tennis and racquetball. Open space areas will also include drainage facilities as deemed appropriate.

Many of the land use transitions will apply throughout the open space areas. These transitions are shown in Figures 19A through E. Additional information is also available on the project wide parks and recreation sites in Section III C, Community Elements.

Common open space areas shall be shown on the final subdivision maps as lettered lots and shall be improved according to the Murrieta CSD landscape standards and specifications. All common open space areas shall be managed by a master property owner's association, the Community Services District, and/or other entity approved by the City. The maintenance entity shall be established prior to issuance of any residential building permits.

The developer shall be responsible for maintenance of all slopes, including all slopes within each residential lot (interior rear and side yard), landscaped areas and irrigation systems until such time as those operations are the responsibilities of other parties (property owner association or other approved entity) as approved by the Planning Division.

D. PROJECT PHASING

1. Phasing Plan

a. Plan Description

The Vineyard will be phased over a 20-year period in accordance with a logical and orderly extension of roadways, public utilities and infrastructure. Phasing also will respond to market demand and as assumed rate of absorption. A Phasing Plan is depicted on Figure 13.

b. Plan Description

As project development proceeds, certain phasing standards will apply. These standards are as follows:

- Prior to the first tentative subdivision map approval in each Neighborhood Area, the applicant shall provide evidence to the Planning Division of substantial progress towards completing of mitigation measures outlined for the Neighborhood Area in question.

- The proposed number of dwelling units contained in an implementing residential application may exceed the maximum expressed in Neighborhood Areas by not more than 10% without an amendment to this plan provided that an equal or greater number was unused in a previously approved application within another planning area. Should the developer wish to exceed the maximum for a particular planning area, a tracking report will be submitted to the City Planning Division that demonstrates all dwelling unit shifts on a project-wide basis. Nothing contained herein shall limit the authority of the Planning Commission or City Council to reduce the number of dwelling units requested in an application.
- Prior to recordation of any final subdivision map, improvement plans for the respective landscaped areas, or plans to mitigate an environmental impact for that stage of development, shall be submitted to the City Planning Division for approval. The improvement plans shall include, but not be limited to, the following:
 - ❖ Final grading plan.
 - ❖ Irrigation plans certified by a landscape architect.
 - ❖ A landscaping plan with seed mixes for mulching and staking methods; locations, type, size and quantity of plantings.
 - ❖ A hardscaping plan with location, type and quantity of potential recreational amenities or facilities.
 - ❖ Fence treatment plans.
 - ❖ Special treatment/buffer area treatment plans.

Each Neighborhood Area shall include development of common open space areas and infrastructure. Prior to building permit issuance, each subsequent development phase shall submit to the Planning Division an administrative development plan for approval indicating plotting of structures, floor plans/elevations, walls/fences, and landscaping. Building elevations shall incorporate enhanced architectural treatment on all sides.

Community monumentation, walls, and fencing shall be installed as follows:

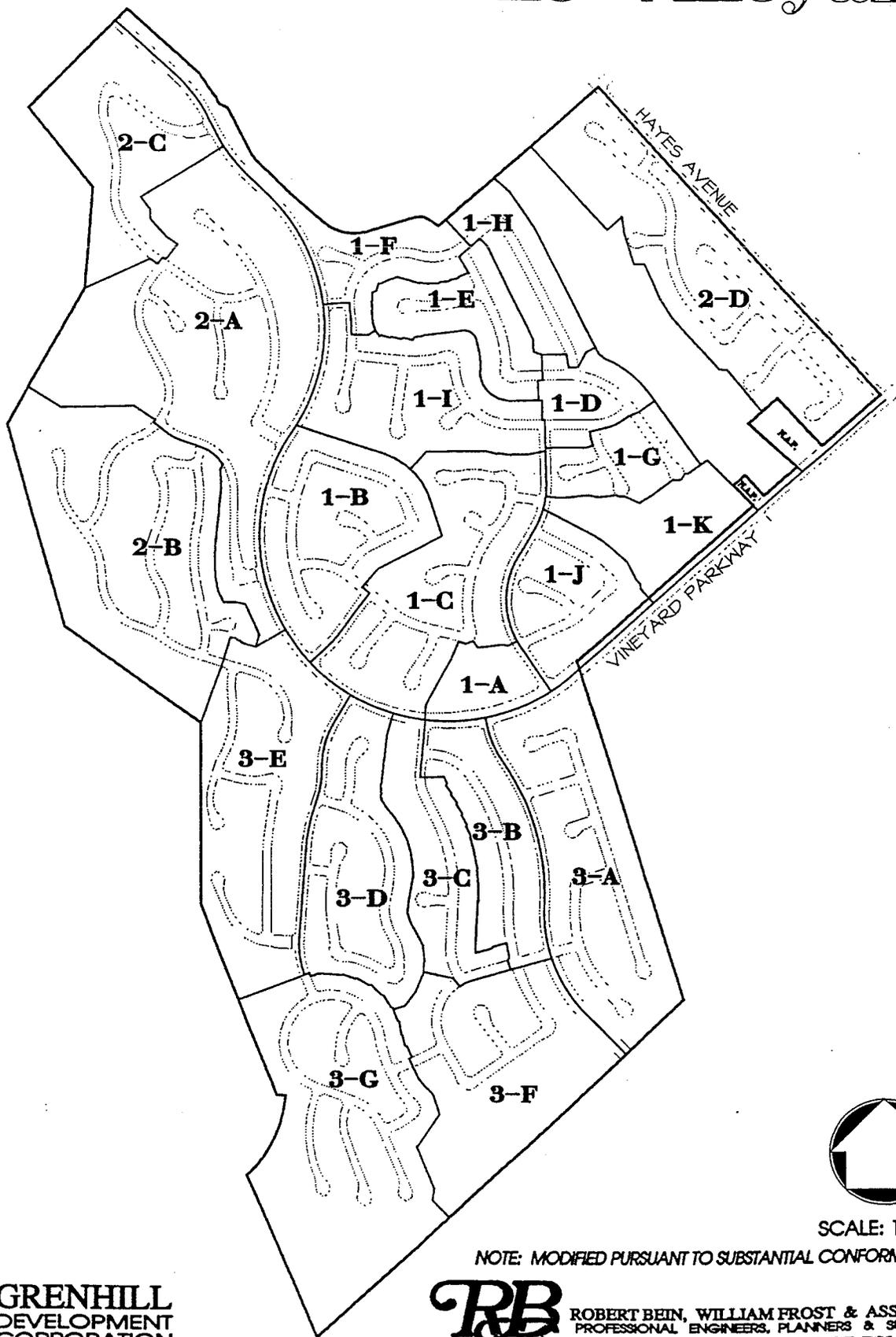
- a. Neighborhood Entries (Figure 18) including community walls, fences, and landscaping shall be installed prior to occupancy of any units within the applicable phases as shown on the Landscape Concept Plan (Figure 14).
- b. Major Entries (Southeast [Figure 15] and North/South [Figure 16]) shall be installed with community walls, fences, and landscaping prior to occupancy of any lots west of Murrieta Creek.

- c. The Secondary Entry Guardhouse (Figure 17) including community walls, fences, and landscaping shall be installed prior to occupancy of any units in Phases 2-A or 2-B.

Proposed locations and materials of community monumentation, walls, and fences shall be submitted to the Planning Division for approval prior to grading permit for the subject areas.

Construction of the development permitted hereby, including recordation of final subdivision maps, may be done progressively in stages, provided adequate vehicular access is constructed for all dwelling units in each stage of development and further provided that such phase of development conforms substantially with the intent and purpose of the Specific Plan phasing program.

Phasing Plan The Vineyard



SCALE: 1"=900'

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FIGURE 13

E. MAINTENANCE DISTRICTS

Successful operation of maintenance districts and associations are important in maintaining quality in a project area. It is anticipated that maintenance responsibilities for common project facilities may be divided among a Master Homeowner's Association, Neighborhood Associations, a Community Services District (CSD) or similar financing mechanism. A decision regarding which assessment program(s) will be employed, shall be made at a future stage of project design and review, and in concert with the City of Murrieta or other appropriate entity.

1. Master Homeowner's Association

Common areas identified in the Specific Plan shall be owned and maintained by a permanent public or private master maintenance organization, to assume ownership and maintenance responsibility for all common recreation, open-space, circulation systems and landscaped areas. Areas of responsibility may include the open-space slope areas, recreation center, parks, the Murrieta Creek and landscaped areas located along roadways.

2. Residential Neighborhood Associations

In certain residential areas of the project, smaller associations may be formed to assume maintenance responsibility for common areas and facilities that benefit only residents in those areas. Potential private recreation centers, common open space areas and potential private roadways exemplify facilities that may come under the jurisdiction of a neighborhood association.

3. Open Space Areas

Any open space area not directly associated with a particular neighborhood will be the responsibility of either a Master Homeowner's Association, a neighborhood association or public facilities maintenance area.

4. Project Roadways

All public project roadways will be designed and constructed to standards acceptable to the City of Murrieta and will therefore be entered into the City system of roads for operation and maintenance.

III. DESIGN GUIDELINES

III. DESIGN GUIDELINES

A. PURPOSE AND INTENT

Generally speaking, these guidelines have been devised as a method for achieving a high quality, cohesive design fabric for the community that will develop within the Vineyard.

More specifically, the purpose of these Design Guidelines is:

- To provide the City of Murrieta with the necessary assurance that the Specific Plan area will develop in accordance with the quality and character proposed herein;
- To provide guidance to developers, builders, engineers, architects, landscape architects, and other professionals in order to maintain the desired design quality;
- To provide guidance to City staff, the Planning Commission and the City Council in the review of future development projects in the Specific Plan area;
- To provide guidance in the formulation of Covenants, Conditions and Restrictions for the use of land in the Specific Plan area;
- To provide guidance in the formulation of concise development guidelines for the various neighborhood areas within the Specific Plan boundaries.

The Design Guidelines provided herein are intended as a living document. They are subject to modification over time so as to allow for response to unanticipated conditions, such as changes in taste, community desires and the marketplace.

B. GENERAL GUIDELINES

As demonstrated by the Landscape Concept Plan (Figure 14), careful thought has been given to integrate the structural and aesthetic elements of a balanced, active community. To ensure that this carefully considered plan is implemented in a manner that will bring the Vineyard a sense of its own character and ambiance, a central theme has been devised. It is further intended that this theme be expressed in coordination with the project setting, which serves as a basis around which key elements of the community can be developed.

1. Project Theme

In conceiving a theme for the Vineyard, the intent has been to establish an environment that responds to an increasing urban setting within an existing ranch and equestrian community. For this reason, the Vineyard should reflect or draw upon a "neo-contemporary" theme, which allows for a harmonious blend of European, Mediterranean and rural California aspects that can be reflected in the architecture, signage, landscaping and entry treatments.

2. Project Setting

Three key elements of the land use plan help to establish the Vineyard's setting and provide a basis for implementation of the overall land use plan.

a. Preservation of Views and Open Space

Significant view amenities exist throughout the project because of the natural stepping of the topography. Most dramatic of these vistas are those offered from the foothills along the extreme western edge of the project.

Interspersed among the residential enclaves in the foothills are expanses of rolling natural terrain and drainage courses that will be preserved as an aesthetic amenity and as a continuing expression of the ranch-like, rural character of the project area.

b. Integration of Existing Recreation Opportunities

Because of the desire to preserve a local, historically significant cultural resource and incorporate the rural character of the adjacent creek, the Specific Plan proposes the creation of a public park focusing on the old, ranch style barbeque area and integrating it with an equestrian trail, thus linking equestrian activity to the park and the project in total. An adjoining footpath also has been proposed to provide pedestrian access.

Linking the existing creek and cultural resource in this manner offers an opportunity to create an active recreational setting of both practical and historical value. This opportunity is further enhanced by an extensive footpath system that will connect pedestrians directly or indirectly to their homes, the school/park and other recreation activities.

c. Creation of Entry Statements

In designing the land use plan for the Vineyards, it was intended that several opportunities be created as a means to provide a sense of arrival and to establish the overall theme. The three major entries of the project, located on Vineyard Parkway near the Cole Creek crossing to the north, the Kalmia entrance to the south, and the Vineyard Parkway/Tenaja entrance to the east (see Figure 14), are intended to establish a thematic sense of grand arrival. Secondary and neighborhood entries help to underscore the sense of arrival on a more specific locational basis. As described in the following pages, these entries will serve as logical statement points for the expression of the project's overall theme.

LEGEND

- MAJOR ENTRY FEATURE (SOUTHEAST)
- MAJOR ENTRY FEATURE (NORTH / SOUTH)
- SECONDARY ENTRY FEATURE (GUARD GATE)
- NEIGHBORHOOD ENTRY
- EQUESTRIAN TRAIL
- BIKE / FOOTPATH
- SLOPE TREATMENT

- GRASS PLAY AREA
- NEIGHBORHOOD ENTRY (See Figure 18)
- ACCENT STREET TREES TYP.
- SLOPE TREATMENT (TYP.) (See Figure 19D)
- 3.8 ACRE RECREATION AREA (See Figure 21D)
- 1.0 ACRE DAYCARE/INFORMATION CENTER (See Figure 21D)
- POSSIBLE KALMA STREET CONNECTION
- MAJOR ENTRY (SOUTH) (See Figure 16)
- CUL-DE-SAC TO BE VACATED
- 30' LANDSCAPE BUFFER
- MAJOR ENTRY (SOUTHEAST) (See Figure 15)
- 10.9 ACRE PARK SITE (See Figure 21C)

FUEL MODIFICATION SETBACK OF 100' ALONG OPEN SPACE AREAS WHERE APPLICABLE

SLOPE TREATMENT (See Figure 19D)

SECONDARY ENTRY (GUARD GATE) (See Figure 17)

SLOPE TREATMENT (See Figure 19D)

MAJOR ENTRY (NORTH) (See Figure 16)

BIKE TRAIL (See Figure 20C-1)

SLOPE TREATMENT (See Figure 19E)

40' O.C. TYP.

ACCENT STREET TREES TYP.

SCREENING ALONG SITE BOUNDARY

OPEN SPACE TRAIL CONNECTION

EQUESTRIAN TRAIL (See Figure 19C)

FOOTPATH (See Figure 19C)

CULTURAL RESOURCE PARK (See Figure 21B)

CREEK AREA (See Figure 19C)

40' O.C. TYP.

EXISTING WATER TANK & WELL SITE

BRIDGE DETAIL

PLANTING LEGEND

CATEGORY/DESCRIPTION	COMMON NAMES
COLLECTOR STREET TREES	SOUTHERN MAGNOLIA, CALIFORNIA POWER TREE, CALIFORNIA TREE
ACCESS/BIODIVERSITY STREET TREES	SOUTHERN MAGNOLIA, CALIFORNIA POWER TREE, CALIFORNIA TREE
MAJOR ENTRY (SOUTH)	SOUTHERN MAGNOLIA, CALIFORNIA POWER TREE, CALIFORNIA TREE
MAJOR ENTRY (NORTH)	SOUTHERN MAGNOLIA, CALIFORNIA POWER TREE, CALIFORNIA TREE
SECONDARY ENTRY (GUARD GATE)	SOUTHERN MAGNOLIA, CALIFORNIA POWER TREE, CALIFORNIA TREE
NEIGHBORHOOD ENTRY	SOUTHERN MAGNOLIA, CALIFORNIA POWER TREE, CALIFORNIA TREE
EQUESTRIAN TRAIL	SOUTHERN MAGNOLIA, CALIFORNIA POWER TREE, CALIFORNIA TREE
BIKE / FOOTPATH	SOUTHERN MAGNOLIA, CALIFORNIA POWER TREE, CALIFORNIA TREE
SLOPE TREATMENT	SOUTHERN MAGNOLIA, CALIFORNIA POWER TREE, CALIFORNIA TREE

- LANDSCAPE NOTES:
1. PLANTING: ALL PLANTING AND INSTALLATION TO BE COMPLETED FOR THE CITY OF MURRIETA TECHNICAL, SURVEY AND ART REVIEW APPROVALS. ALL PLANTING SHALL BE INSTALLED AND MAINTAINED FOR THE LANDSCAPE TECHNICAL, SURVEY AND ART REVIEW APPROVALS.
 2. MAJOR ENTRY: ALL MAJOR ENTRY TREES SHALL BE INSTALLED AND MAINTAINED FOR THE LANDSCAPE TECHNICAL, SURVEY AND ART REVIEW APPROVALS.
 3. ALL OTHER TREES TO BE PLANTED AT A MINIMUM OF 100 FEET FROM ANY PUBLIC STREET FRONTAGE.
 4. SCREENING: ALL SCREENING TREES SHALL BE INSTALLED AND MAINTAINED FOR THE LANDSCAPE TECHNICAL, SURVEY AND ART REVIEW APPROVALS. A MINIMUM OF 100 FEET FROM ANY PUBLIC STREET FRONTAGE SHALL BE MAINTAINED FOR THE LANDSCAPE TECHNICAL, SURVEY AND ART REVIEW APPROVALS.
 5. LANDSCAPE: ALL LANDSCAPE TREES SHALL BE INSTALLED AND MAINTAINED FOR THE LANDSCAPE TECHNICAL, SURVEY AND ART REVIEW APPROVALS.
 6. SCREENING: THE SCREENING TREES TO BE INSTALLED AND MAINTAINED FOR THE LANDSCAPE TECHNICAL, SURVEY AND ART REVIEW APPROVALS.
 7. SCREENING: THE SCREENING TREES TO BE INSTALLED AND MAINTAINED FOR THE LANDSCAPE TECHNICAL, SURVEY AND ART REVIEW APPROVALS.
 8. ALL OTHER TREES TO BE PLANTED AT A MINIMUM OF 100 FEET FROM ANY PUBLIC STREET FRONTAGE.
 9. ALL OTHER TREES TO BE PLANTED AT A MINIMUM OF 100 FEET FROM ANY PUBLIC STREET FRONTAGE.
 10. ALL OTHER TREES TO BE PLANTED AT A MINIMUM OF 100 FEET FROM ANY PUBLIC STREET FRONTAGE.
 11. ALL OTHER TREES TO BE PLANTED AT A MINIMUM OF 100 FEET FROM ANY PUBLIC STREET FRONTAGE.
 12. ALL OTHER TREES TO BE PLANTED AT A MINIMUM OF 100 FEET FROM ANY PUBLIC STREET FRONTAGE.

LANDSCAPE CONCEPT PLAN

THE VINEYARD AT MURRIETA

TYPE	ACREAGE
NATURAL	64.8 AC
PERMANENT MANUFACTURED	32.4 AC
CREEK AREA	36.8 AC
SUB-TOTAL	134.0 AC
RECREATION AREA (INCLUDES SLOPES)	42.8 AC
CULTURAL PARK	3.8 AC
PARK SITE	99.9 AC
SUB-TOTAL	146.5 AC
TOTAL	170.5 AC

STREET SECTION	ROW / PAVEMENT WIDTH
10'	66' / 66'
15'	66' / 66'
20'	66' / 66'
25'	66' / 66'
30'	66' / 66'
35'	66' / 66'
40'	66' / 66'
45'	66' / 66'
50'	66' / 66'
55'	66' / 66'
60'	66' / 66'
65'	66' / 66'
70'	66' / 66'
75'	66' / 66'
80'	66' / 66'
85'	66' / 66'
90'	66' / 66'
95'	66' / 66'
100'	66' / 66'

LOT TABULATION	NUMBER OF LOTS
10' X 100'	846 LOTS
10' X 100' (7,200 SQ. FT. MIN.)	850 LOTS
10' X 100'	80 LOTS
10' X 100' X 100'	14 LOTS
SUB-TOTAL	1770 LOTS
SCHOOL SITE	64 LOTS
TOTAL	1834 LOTS

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C. COMMUNITY ELEMENTS

Community Elements constitute those features which will occur on a repetitive basis throughout the project. These features include project entries, land use transitions, streetscapes, parks, trail systems and community walls and fencing.

1. Project Entry Treatments

A hierarchy of entry treatments, as discussed generally above and detailed below, has been established for the Vineyards. Locations of these entries are depicted on the Landscape Concept Plan (Figure 14).

a. Major Entry (North/South)

At the northern project entry because of its relationship to surrounding, existing, or proposed development, and the fact that it will serve as a primary project threshold through the project, this major entry at the northern, on-site terminus of Vineyard Parkway plays an essential role in announcing a grand arrival to the project. A second major entry is proposed along the extension of Kalmia Street. This southern project entry, if constructed, will mirror the design of the major entry at the northern project boundary.

In keeping with and in an attempt to underline the project's "neocontemporary" theme, a European style monumentation is proposed at both locations. The informal clustering and spacing of trees will further enhance this effect and underscore the entry's relationship to the adjoining Cole Creek riparian setting and adjacent rural setting to the south. Mounded turf along with judiciously and appropriately clustered shrubs, situation in selected areas, will complete the treatment.

Major entries shall be installed with community walls, fences, and landscaping prior to occupancy of any lots west of Murrieta Creek. Plan and elevation sketches are provided on the Major Entry North/South, Figure 14 and 16.

b. Major Entry (East)

This major eastern entry located on Vineyard Parkway/Tenaja Road suggests a slightly more formal statement of the project theme with a median feature along with the gate features.

This major entry shall be installed with community walls, fences, and landscaping prior to occupancy of any lots west of Murrieta Creek.

The major entry for the east is depicted on Figures 14 and 15.

c. Secondary Entry

As depicted typically on Figure 17 with the location shown on Figure 14, the secondary entry will attempt to achieve a greater level of formality than the major entries. The secondary entry will feature a manned guard gate structure with gated access to Neighborhood Areas 2-A through 2-C and 3-E. The entry will include enhanced paving and enhanced landscaping through a combination of trees and shrubs. Monumentation again reflects an European character stated in a more formal manner.

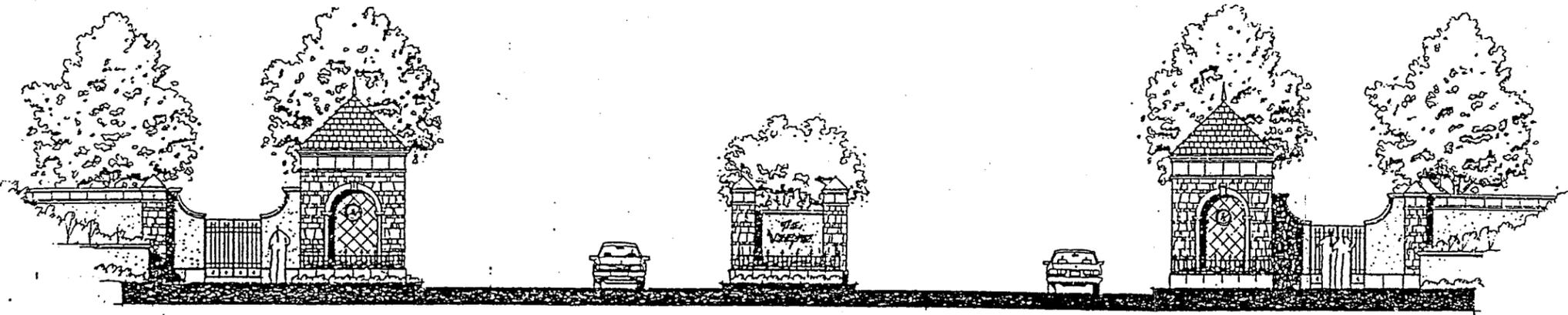
The Secondary Entry Guardhouse (Figure 17), including community walls, fences, and landscaping shall be installed prior to occupancy of any units in Phases 2-A or 2-B.

d. Neighborhood Entries

As the internal streets will reflect a formal tree spacing composed primarily of evergreens, Southern Magnolia, California Pepper and Camphor trees, so will that formality be extended to the neighborhood entries. Accent plantings will enhance the entries which will include 18-inch planter walls and neighborhood identification signage. Tentative locations of the neighborhood entries can be seen on Figure 14. Area to be dedicated for neighborhood entries will be achieved through the use of easements.

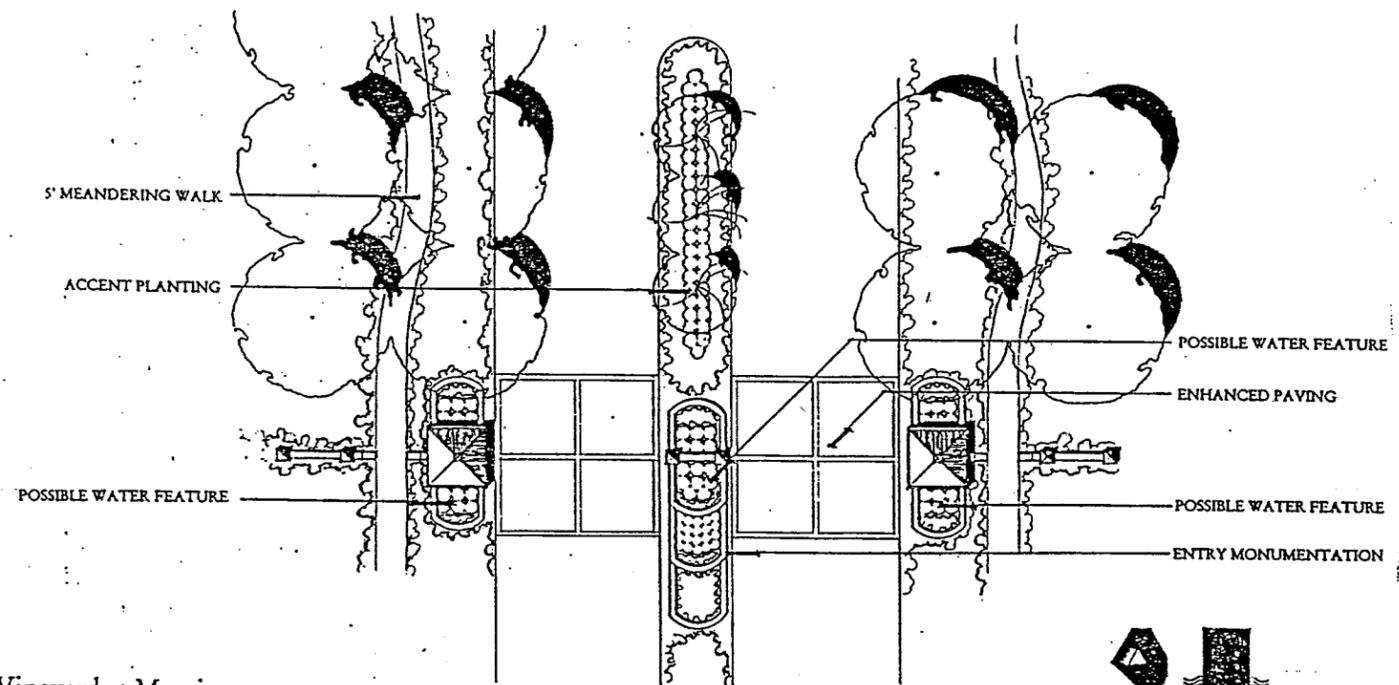
Neighborhood entries including community walls, fences, and landscaping shall be installed prior to occupancy of any units within the applicable phases as shown on the Landscape Concept Plan (Figure 14).

A typical neighborhood entry is conceptually depicted on Figure 18.

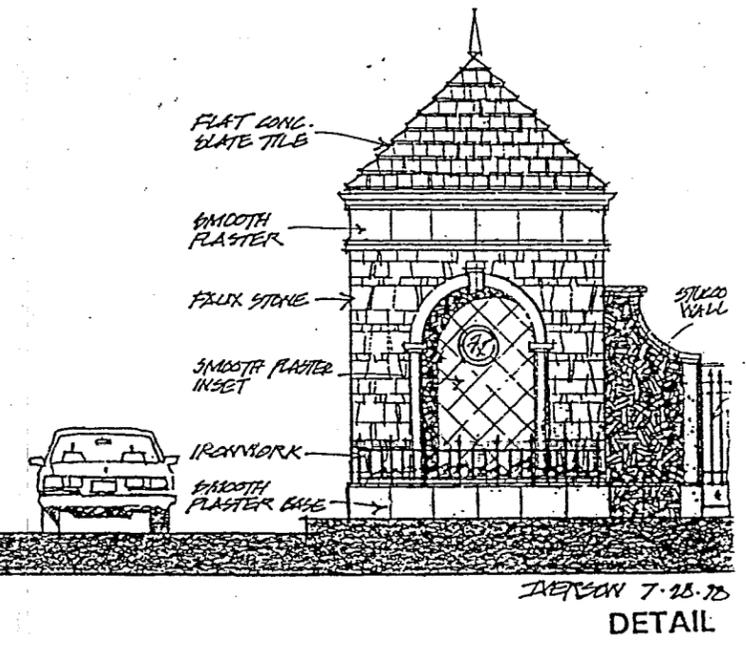
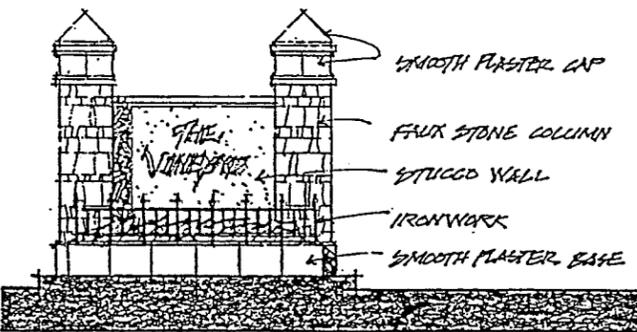


The Vineyard at Murrieta
Major Entry (Southeast)

ELEVATION



PLAN



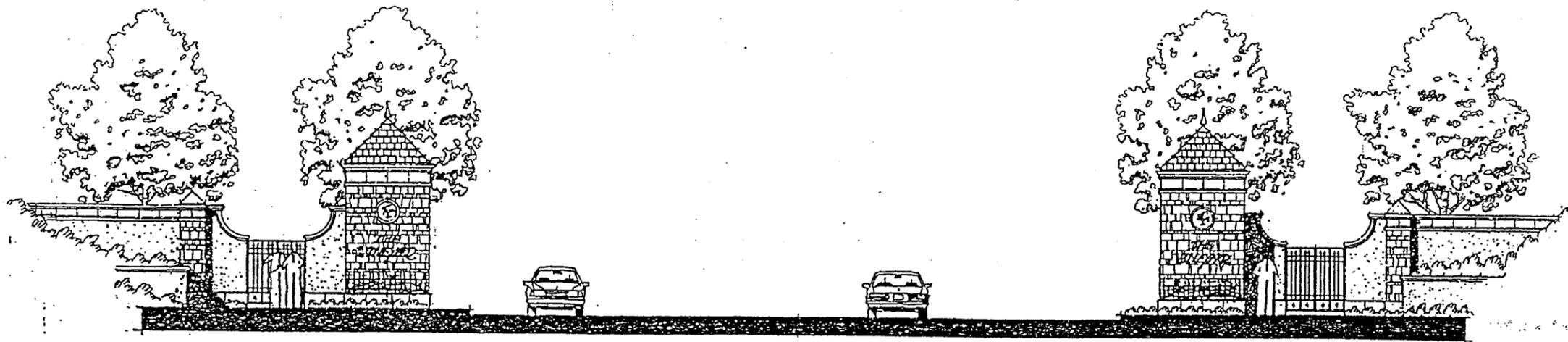
The Vineyard at Murrieta
Major Entry (Southeast)

Note:
Modified Pursuant to Substantial Conformance #4.
This is an illustrative only and is subject to change.
All entry features to be similar in characteristic and materials.

MAJOR ENTRY (SOUTHEAST)
the vineyard

Figure 15

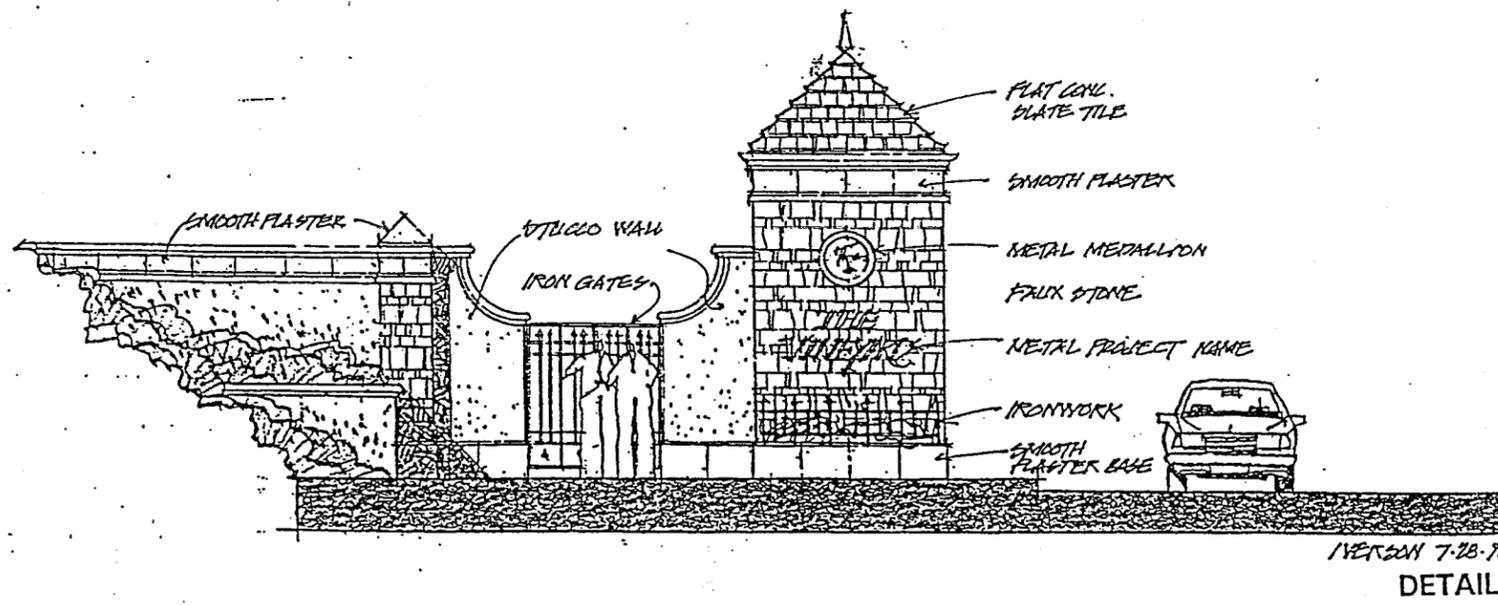
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The Vineyard at Murrieta
Major Entry (North/South)



ELEVATION

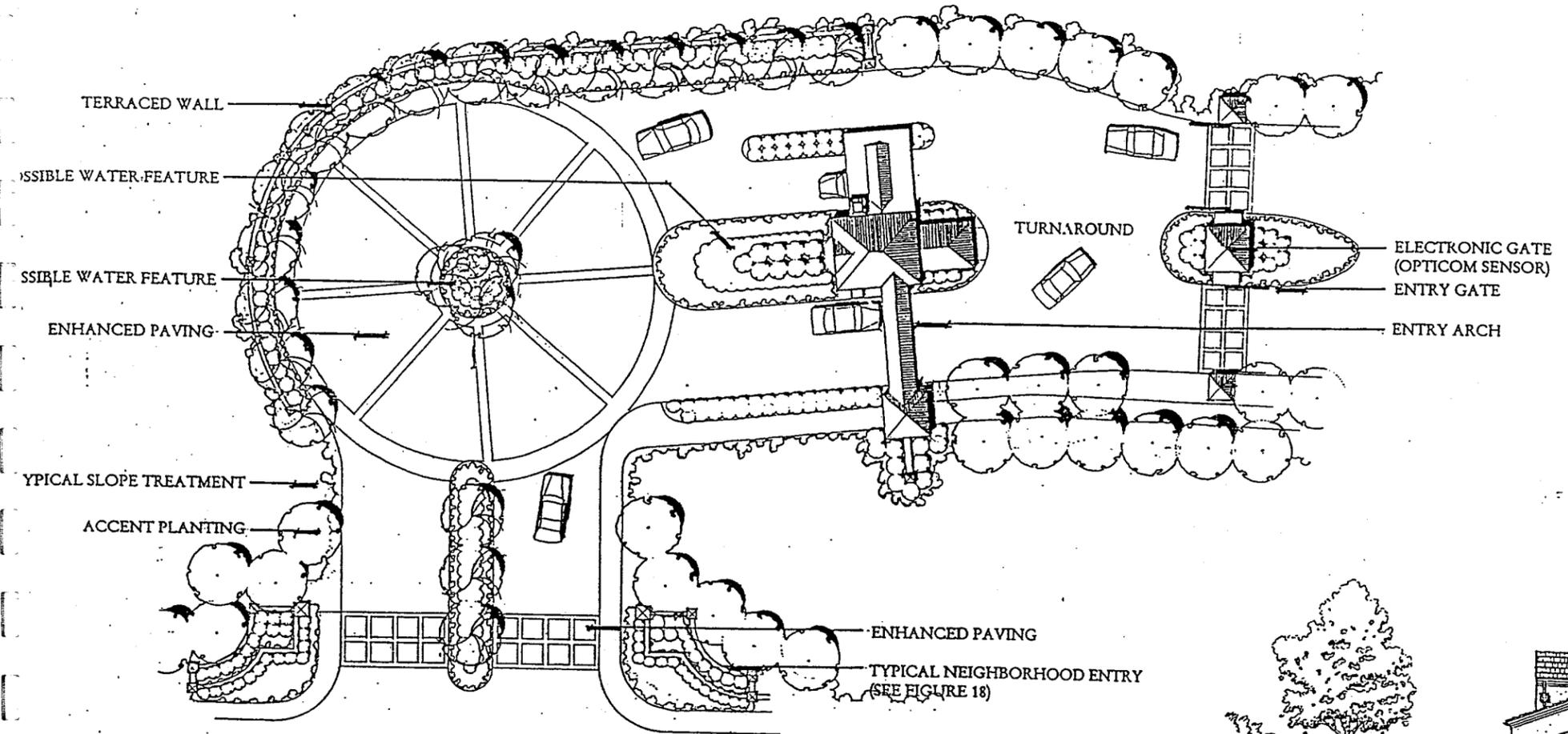


Note:
Modified Pursuant to Substantial Conformance #4.
This is an illustrative only and is subject to change.
All entry features to be similar in characteristic and materials.

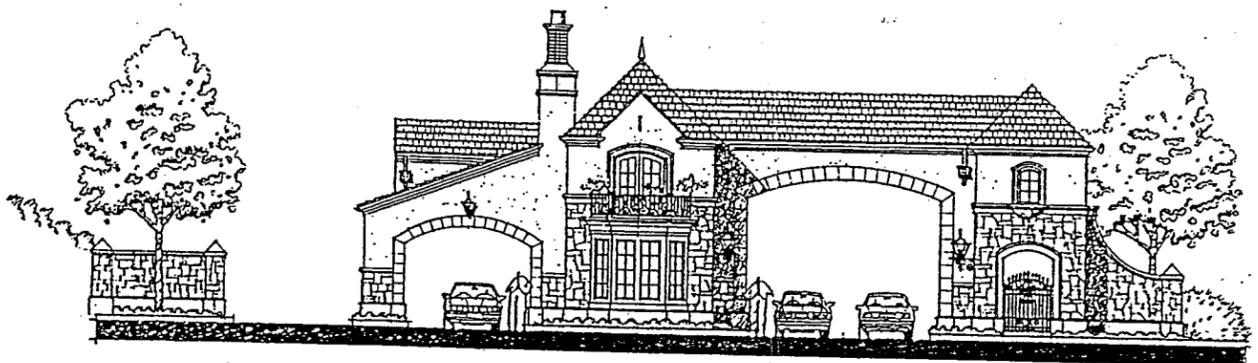
MAJOR ENTRY (NORTH / SOUTH)
the vineyard

Figure 16

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The Vineyard at Murrieta
Secondary Entry (Guard Gate)



The Vineyard at Murrieta
Secondary Entry (Guard Gate)
ELEVATION

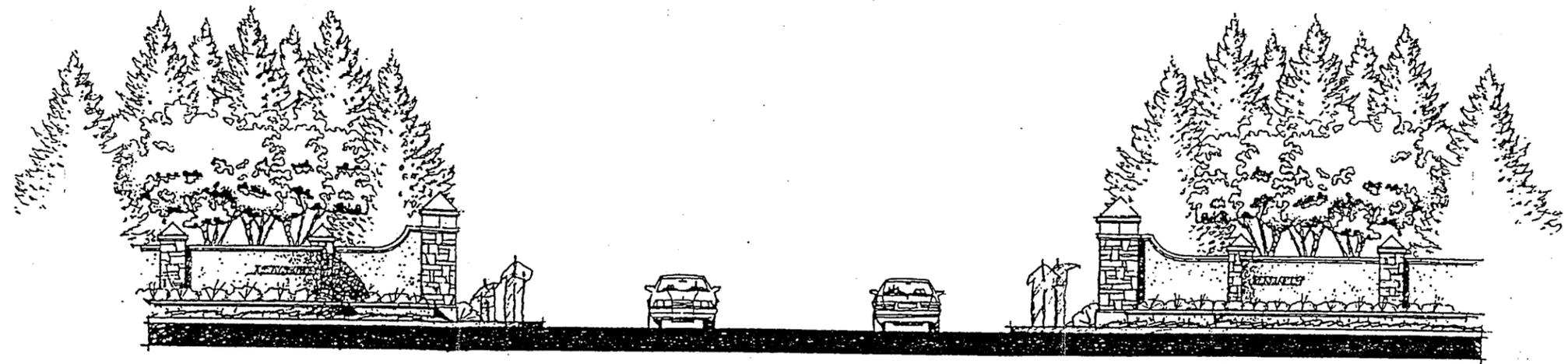


Note:
Modified Pursuant to Substantial Conformance #4.
This is an illustrative only and is subject to change.
All entry features to be similar in characteristic and materials.

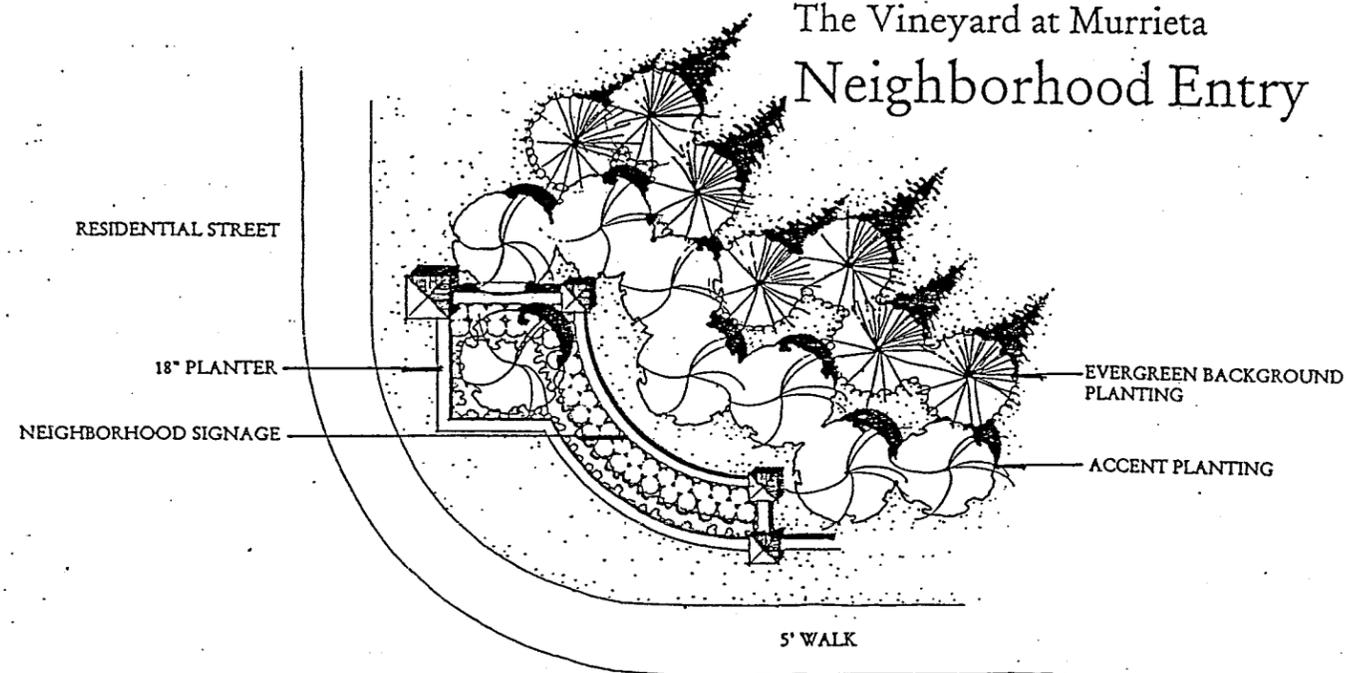
SECONDARY ENTRY (GUARD GATE)
The vineyard

Figure 17

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The Vineyard at Murrieta
Neighborhood Entry



Note:
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This is an illustrative only and is subject to change.
All entry features to be similar in characteristic and materials.

The Vineyard at Murrieta
Neighborhood Entry (TYPICAL)

NEIGHBORHOOD ENTRY
The vineyard

Figure 18

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2. Land Use Transitions

In an attempt to create a high quality, environmentally sensitive and aesthetically pleasing community, the Vineyard Specific Plan proposes different types of transition treatments that are intended to:

- Use existing or man-made conditions to separate and buffer dissimilar uses.
- Ensure proper treatment of sensitive areas, such as drainage courses.
- Establish techniques for linking natural and man-made conditions, such as edge treatments between open space and manufactured slopes.

Recommended locations for each of these interface or transition treatments are detailed in the Neighborhood Area Development Standards. A brief description of each of the treatments follows.

a. Drainage Course/Pad Interfaces

As depicted on Figures 19A and B, these treatments are proposed as a recommended technique for interfacing residential lot edges with both natural and manufactured drainage conditions. These treatments are proposed primarily in the foothill areas, where natural drainage courses will be preserved when possible, and in the low lands, where manufactured conditions will ensure proper drainage between land uses.

b. Channel/Pad Interface

This treatment, as illustrated on Figure 19C, provides a recommended treatment for the condition that will exist on either side of Murrieta Creek. A footpath and equestrian trail is proposed for the western edge, and a footpath/bike trail is suggested for the east. The equestrian element will be developed only if off-site linkage to a regional system can be implemented. Specific treatment of the channelization is discussed under Special Conditions, Section III. F. 1.

c. Open Space/Slope Transition Area

In those areas where grading will be required between residential pad and up-hill natural slopes, an Open Space/Slope Transition Area, such as that shown on Figure 19D, is proposed. This treatment will ensure proper revegetated edge conditions, provide for an aesthetic transition between natural and man-made conditions and, if and when necessary, reduce fire hazards by creating a fuel modification zone.

d. Open Space/Pad Transition Area

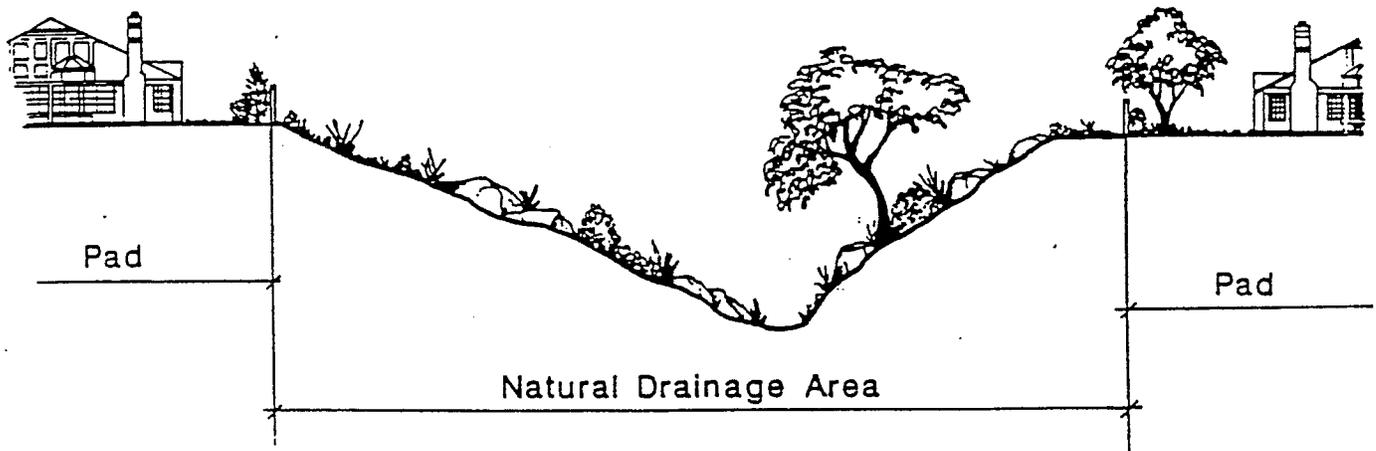
This treatment, as depicted on Figure 19E, will arise when residential pads day-light to natural downhill slopes or where pads run adjacent to downhill manufactured slopes. A fuel modification zone is proposed for implementation in any area where fire is a potential hazard. This interface serves a purpose very similar in nature to the open space/slope transition.

e. Residential/Commercial Interface

This condition, shown on Figure 19F, arises where the commercial site (Neighborhood Area 1-A) abuts residential land use (Neighborhood Area 1-C). Additionally, where commercial uses abut on-site residential uses, a minimum of 25-feet of landscaping shall be used to complete the transition.

f. Residential/Recreation Interface

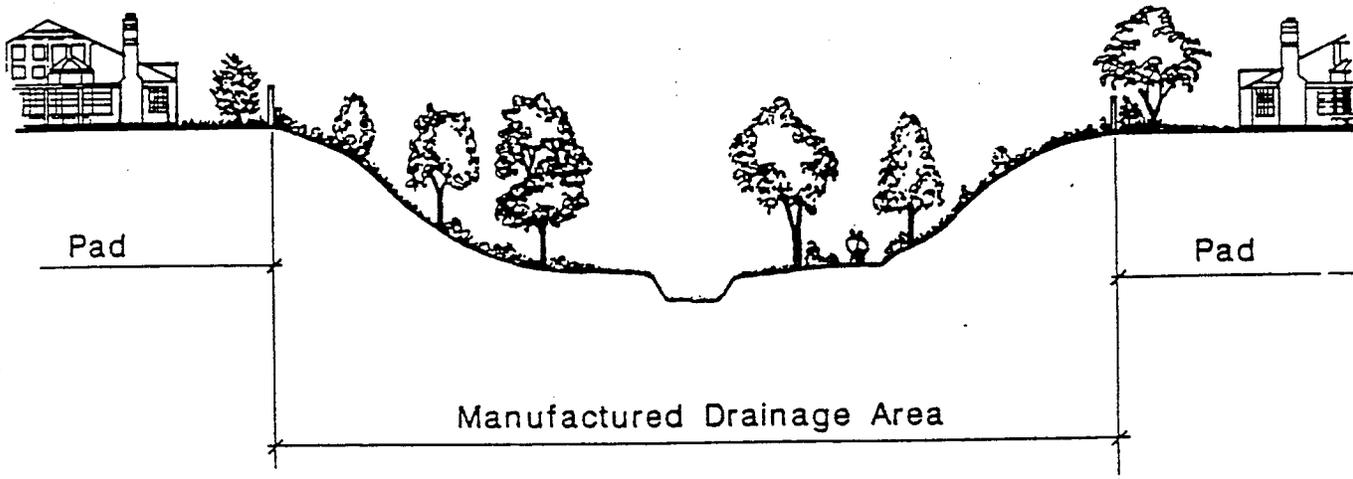
This treatment, as shown on Figure 19G, will incorporate manufactured slopes or berming with heavy landscaping to provide appropriate transition and a buffer between the recreational uses proposed for Neighborhood Area 1-A and the residential uses of Neighborhood Areas 1-C and 1-J.



NATURAL DRAINAGE COURSE/ PAD INTERFACE the vineyard

Figure 19A

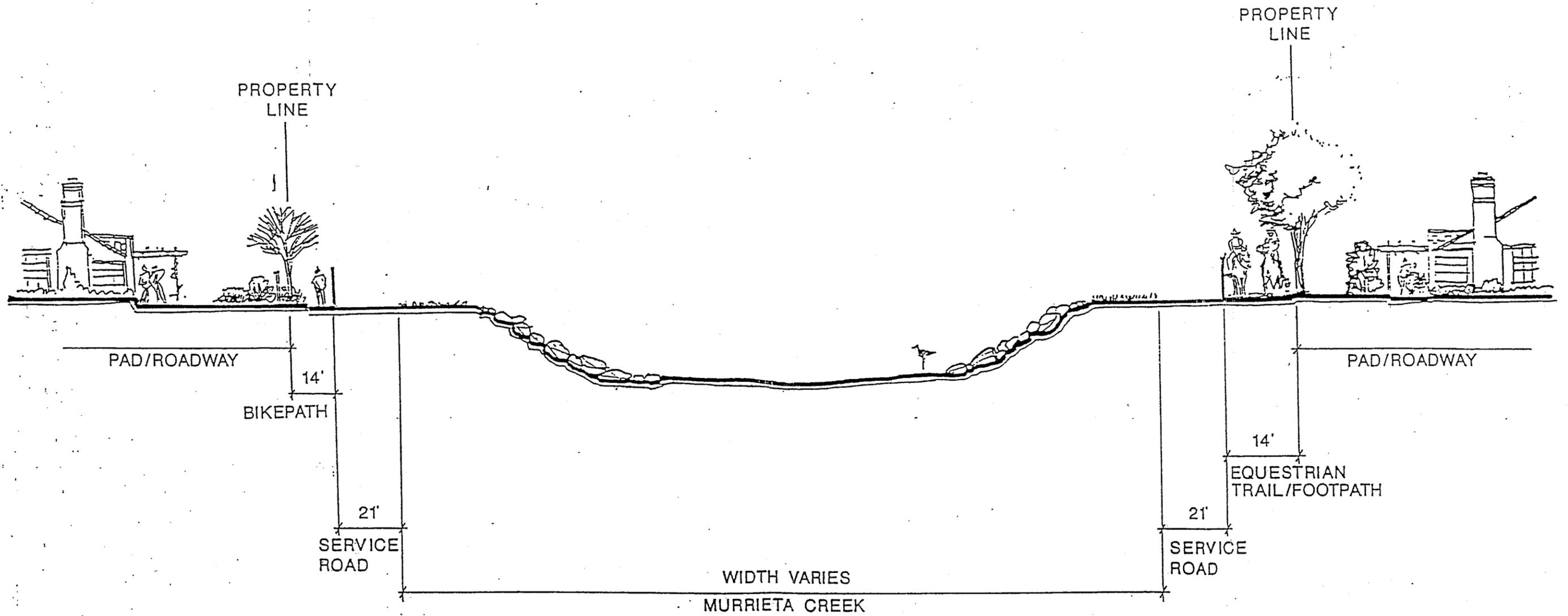
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MANUFACTURED DRAINAGE COURSE/ PAD INTERFACE the vineyard

Figure 19B

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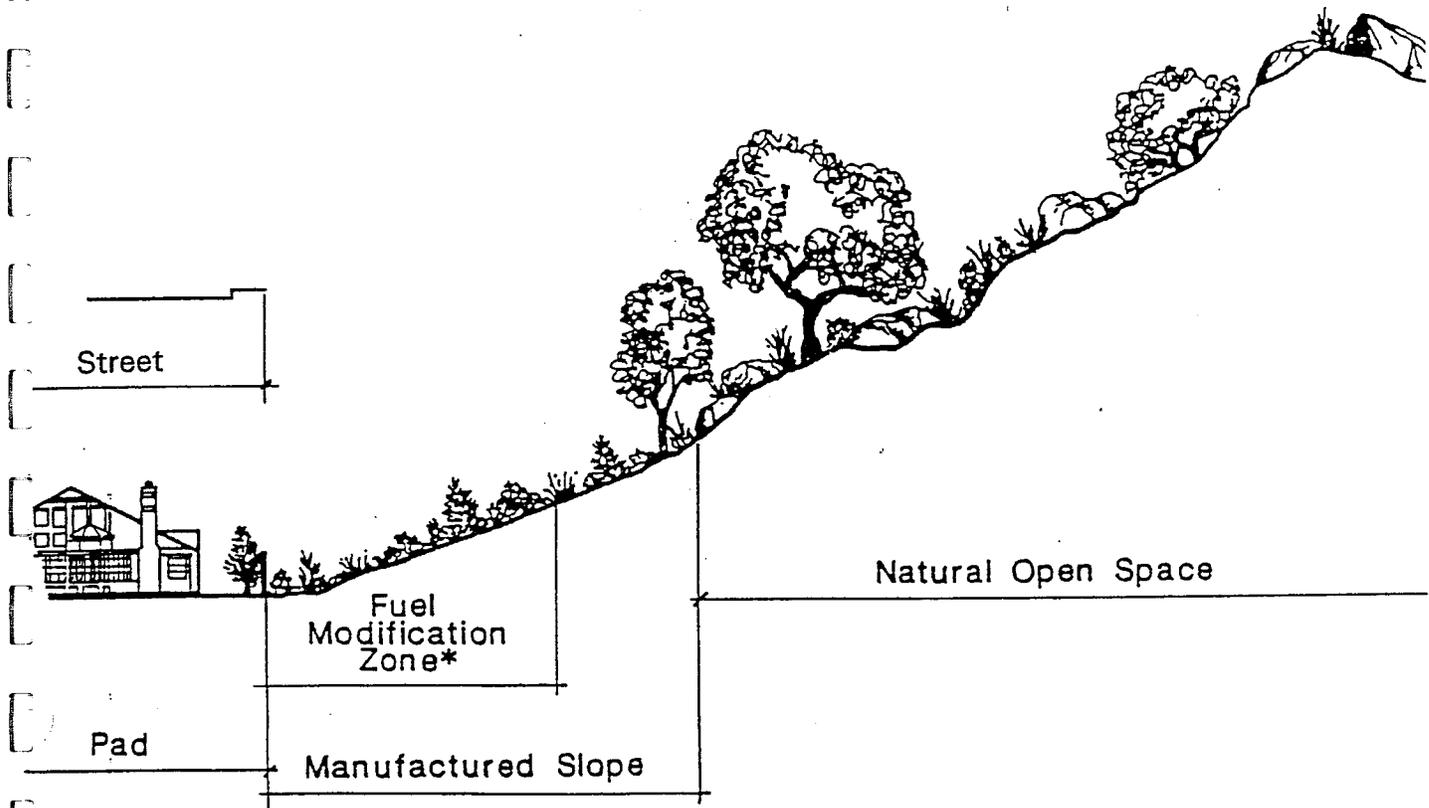


Note:
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CHANNEL / PAD INTERFACE
 the vineyard

Figure 19C

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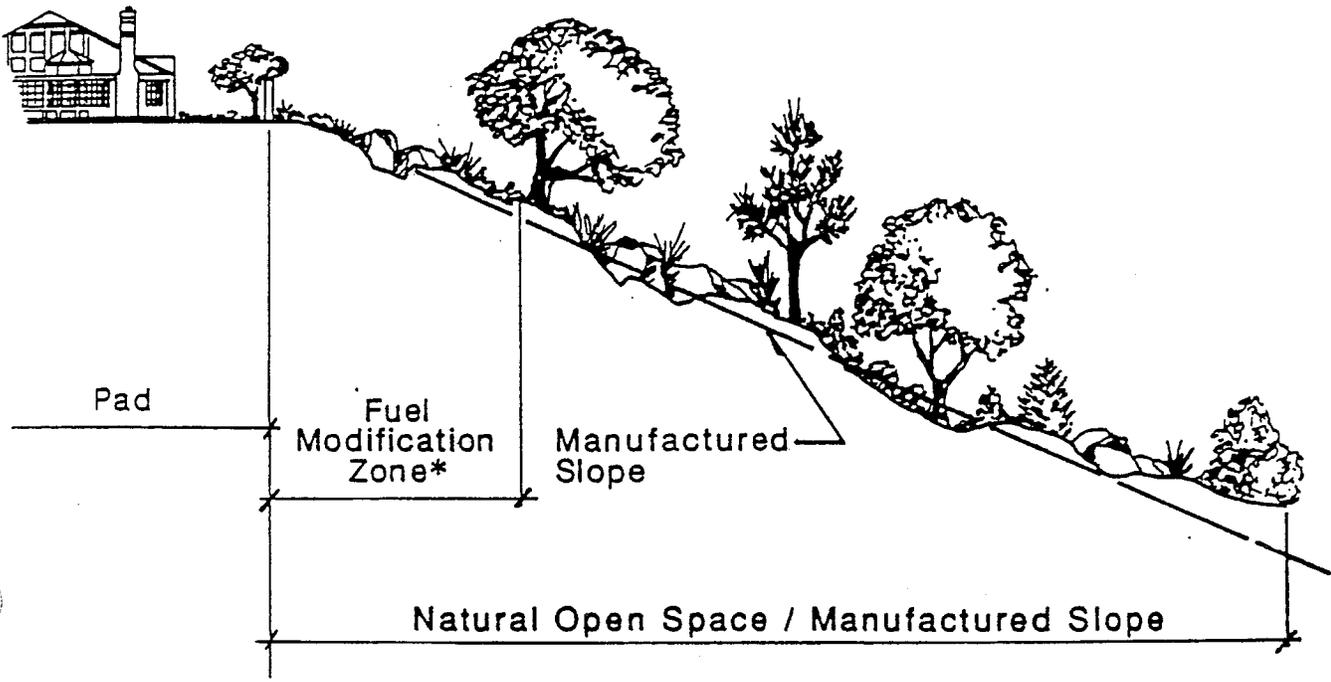


Note:
 *Nothing in this zone should be over 18" high,
 and a regular program of watering and weed control is necessary.
 This is an illustrative plan only and is subject to change.

OPEN SPACE/ SLOPE TRANSITION AREA the vineyard

Figure 19D

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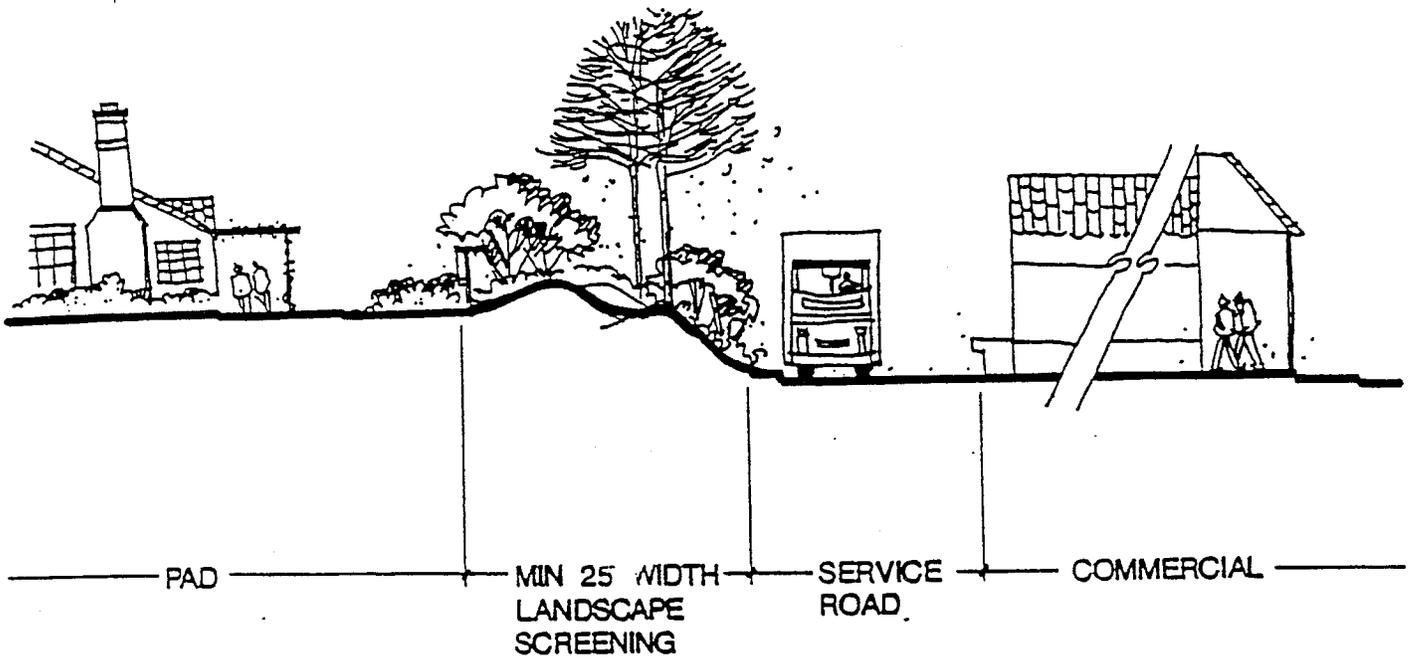


Note:
 *Nothing in this zone should be over 18" high,
 and a regular program of watering and weed control is necessary.
 This is an illustrative plan only and is subject to change.

OPEN SPACE/ PAD TRANSITION AREA the vineyard

Figure 19E

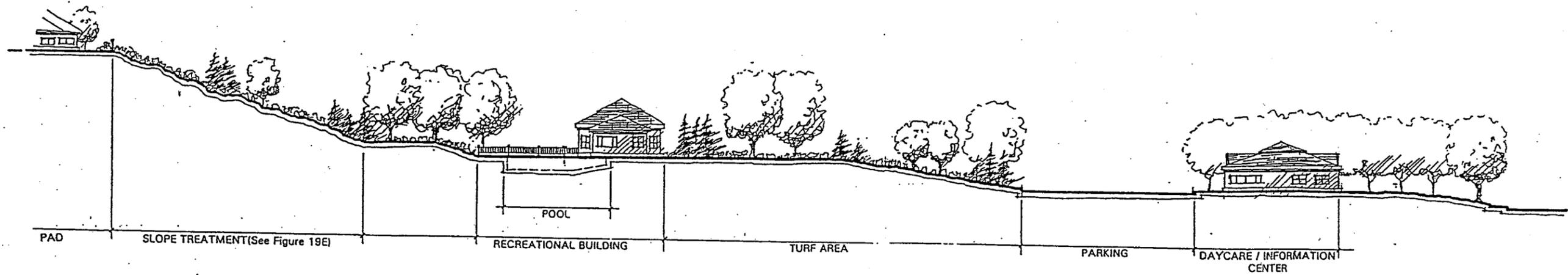
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**RESIDENTIAL/COMMERCIAL
INTERFACE**
the vineyard

Figure 19F

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Note:
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RESIDENTIAL/RECREATION INTERFACE
 the vineyard

Figure 19G

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3. Streetscapes

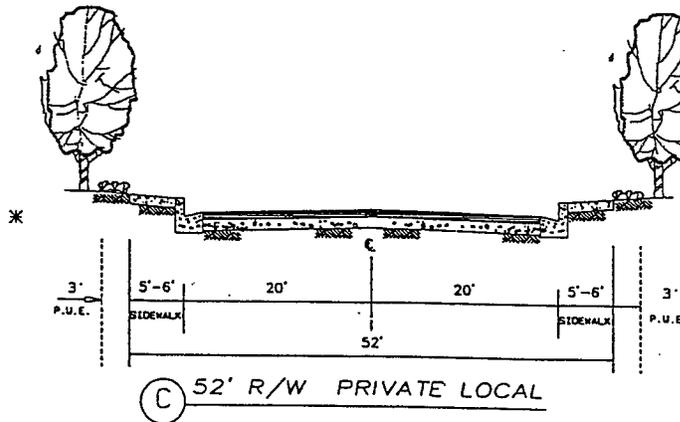
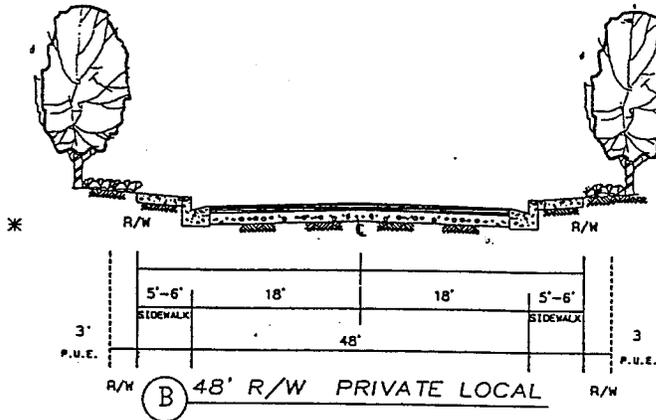
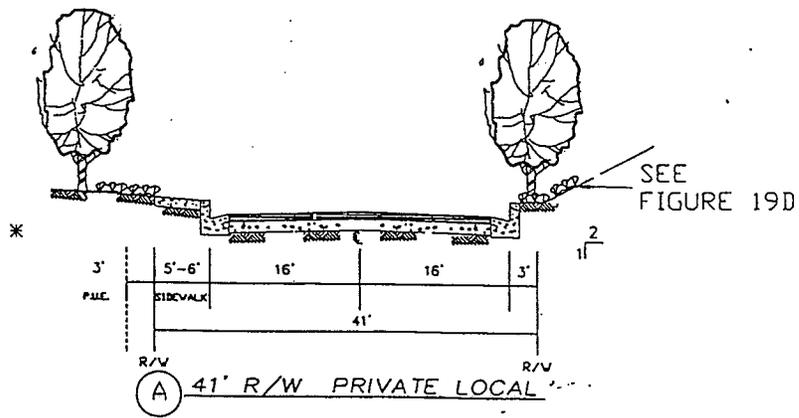
Landscaping, chosen to reflect the project's overall "neo-contemporary" theme, provide variety and identify the street system hierarchy, will create definite landscaped corridors. These corridors will be established in part by careful consideration of the relationship between street and plant material characteristics, such as size, form, texture and color. Specific arrangement of plant materials will establish a character that will reinforce this identity.

A definitive hierarchy has been selected in order to bring a clear distinction between the relative level of streets and to emphasize certain key aspects of each corridor. This recommended hierarchy is depicted, in general format terms, on the Landscape Concept Plan (Figure 14).

Because Vineyard Parkway will serve as the focal point for a sense of grand arrival from the east, special attention has been drawn to important hardscape elements like a proposed bike lane and a thematically-landscaped parkway in an enhanced right-of way setting. Southern Magnolia, California Pepper and Camphor trees will be employed as the major street tree and be informally spaced.

Likewise levels of import have been assigned to Vineyard Parkway, Hayes Avenue, and the other collectors. Special landscape treatments in conjunction with secondary and neighborhood entries, where appropriate, help to establish a sense of distinction to each of these streets while relating each to its adjacent land use and general level of importance within the community.

Typical Roadway Landscape Treatments (Figures 20A, B and C) depict this sense of hierarchy which the project attempts to achieve through judicious and appropriate use of landscape and a array of tree and plant species.



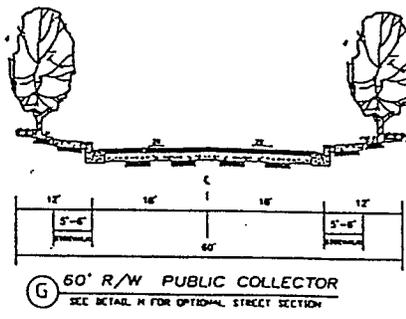
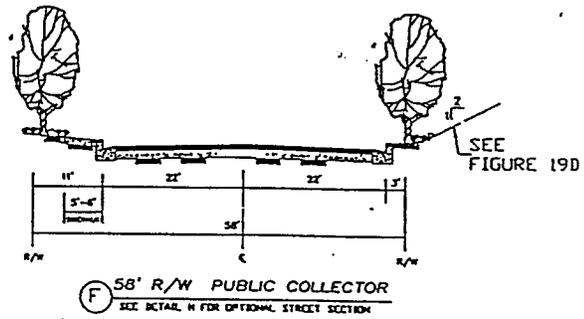
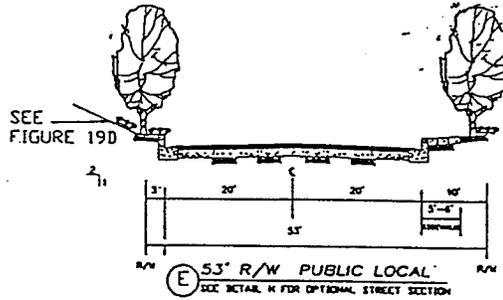
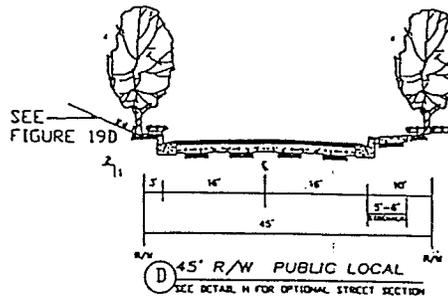
Note:
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 This is an illustrative only and is subject to change.

ROADWAY LANDSCAPE TREATMENT

the vineyard

Figure 20A

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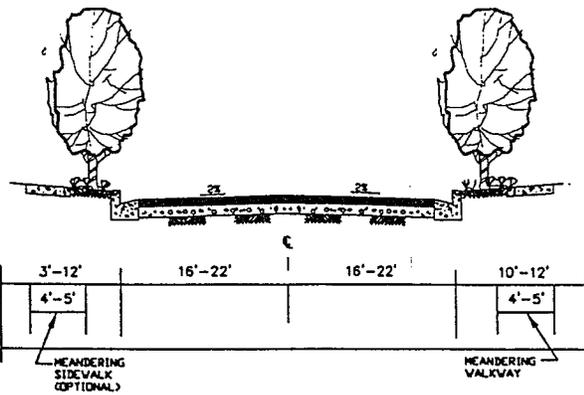
Note:
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ROADWAY LANDSCAPE TREATMENT

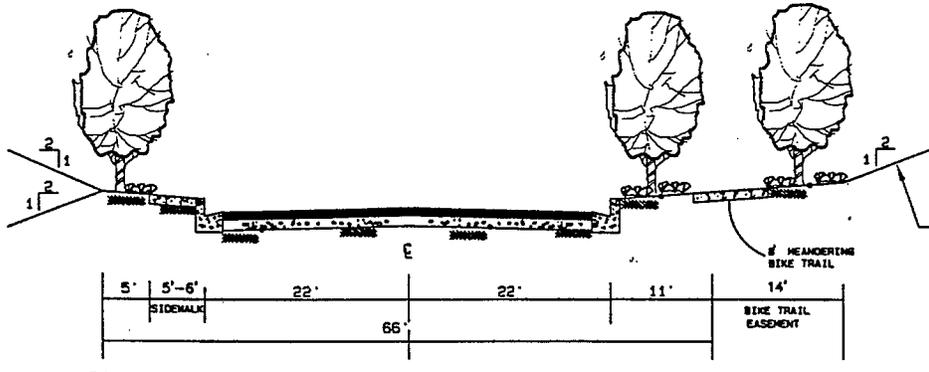
the vineyard

Figure 20B

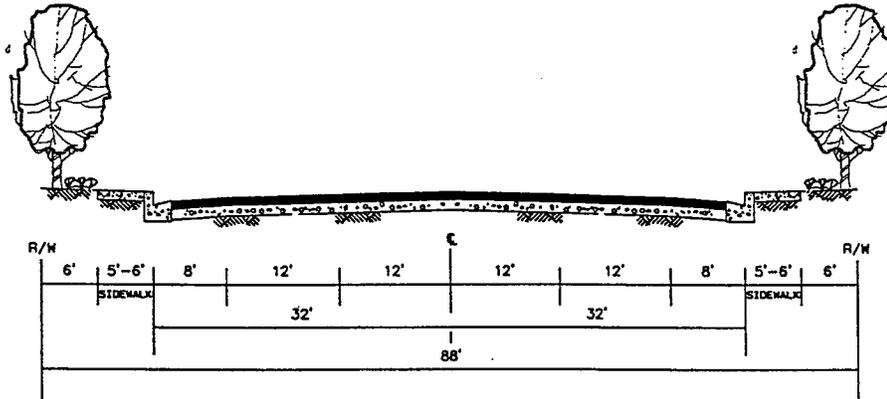
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H TYPICAL OPTIONAL STREET SECTION



I 66' R/W. VINEYARD PARKWAY



J 88' R/W VINEYARD PARKWAY (TYPICAL)
STREET 'A' TO SOUTHEAST ENTRANCE

Note:
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This is an illustrative only and is subject to change.

ROADWAY LANDSCAPE TREATMENT

the vineyard

Figure 20C

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4. Community Parks, Open Space and Trails

As noted in the previous discussion regarding the project setting, recreation plays an important role in the overall attempt to blend a rural, natural environment with a more urban European and Mediterranean style thus creating what has been termed a "neo-contemporary" theme for the Vineyard.

The interrelationship of the recreational opportunities, open space and bike/pedestrian links is depicted in general terms on the Community Parks, Open Space and Trails Plan (Figure 21A) and each element is discussed in greater detail below.

a. Cultural Resource Park

The intent of this facility is to preserve a resource of local historical import while providing a recreational opportunity that could be interlinked with a regional equestrian trail. Potential uses include an historical center, barbeque and picnic area. The intent is to create a passive park with a rural, riparian setting that is established by the adjacent creek and by a plant palette that includes an informal grouping of Alder, London Plane and Poplar. This facility is depicted on Figure 21B.

b. Park

The park will be developed to the specifications of the City of Murrieta Community Facilities District. Pursuant to existing requirements, the park may include a soccer/football/softball field, tennis courts, volleyball courts, racquetball courts, restrooms and parking facilities. The landscaping theme will be established through the use of tall evergreens and deciduous trees. A conceptual site plan is shown on Figure 21C.

c. Recreation Area

It is anticipated that this facility will be developed as a swim and racquet club with appropriate facilities. A one-acre portion of the site is envisioned for a day-care center/information center. In keeping with the overall theme for recreation area/park landscaping, the following trees are proposed: Camphor Tree, Mondell Pine, Aleppo Pine, Bottle Tree, Carrotwood Tree, African Sumac, White Alder, Mediterranean Fan Palm, Evergreen Ash, Olive, Canary Island Date Palm will serve as the major elements of the tree palette for this area. A conceptual site plan is illustrated on Figure 21D.

d. Trail System

Three different trail systems are proposed for the Vineyard. It is proposed that an equestrian trail be developed as part of a regional system. Its proposed, on-site course is depicted on the Community Parks, Open Space and Trails Plan (Figure 21A). A conceptual treatment of this equestrian facility is illustrated on the Channel Pad Interface (Figure 19C), and the Conceptual Channel Treatment (Figure 28).

A Class I bike path is proposed along Vineyard Parkway and shown in Figure 21A. The Class I will link to a proposed area-wide trail at Calle del Oso Oro. A conceptual treatment for these trails is provided in the Landscaped Roadway Treatment (Figure 20C). Class II bike lanes shall be constructed along Hayes Avenue and Vineyard Parkway off-site.

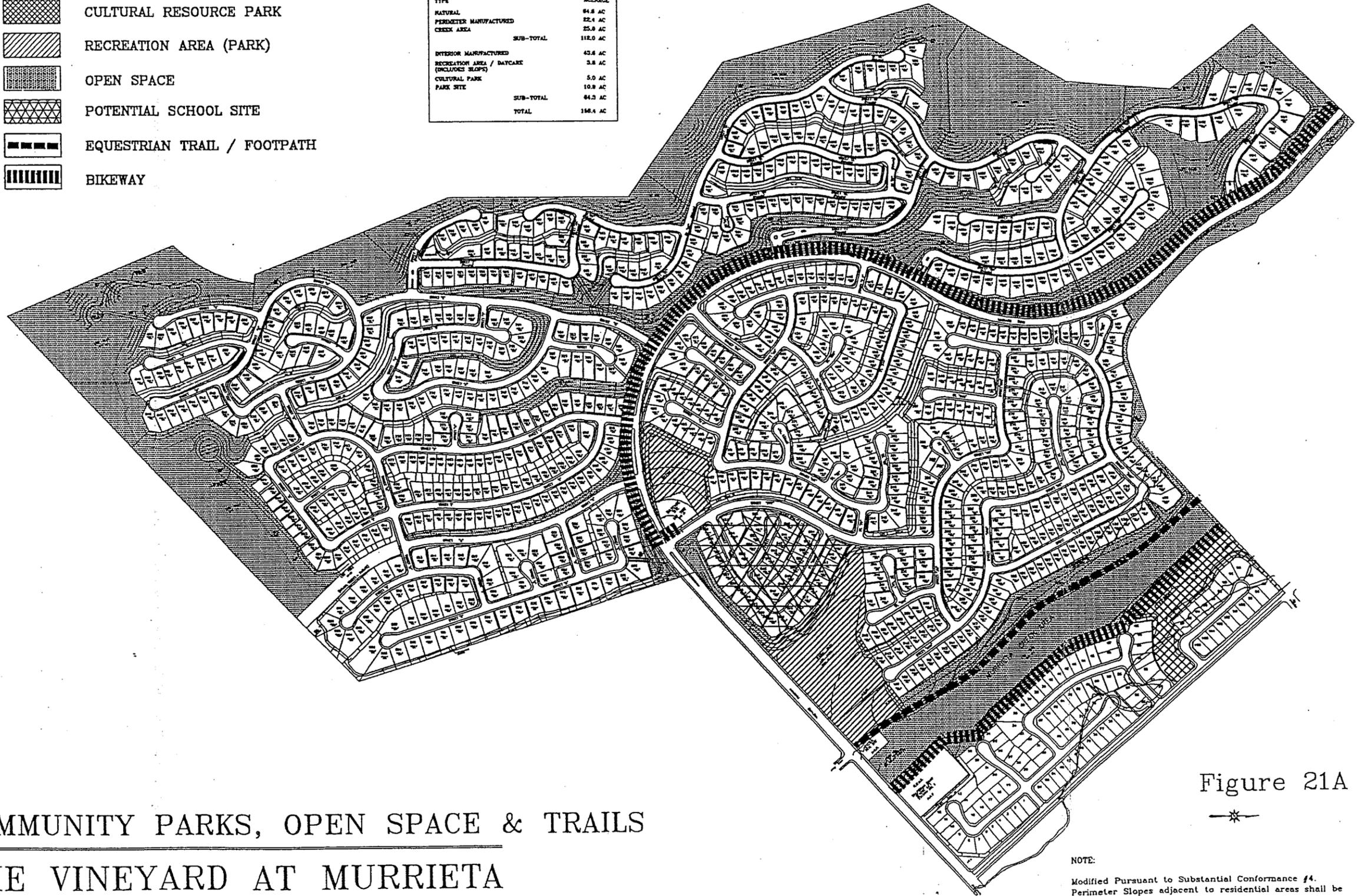
Finally, an extensive footpath system is proposed for most interior interface and transition areas thus providing a practical and recreational amenity that ties residential and recreational areas together. The proposed footpath system is conceptually depicted on Figure 21A and appears in Section view on Figure 19C.

It should be noted that all equestrian and bike trails will be developed pursuant to City standards. Prior to occupancy for the development phase incorporating these facilities, the bike path and horse trail system shall be constructed and conveyed to the appropriate maintenance entity, as approved by the City.

LEGEND

-  CULTURAL RESOURCE PARK
-  RECREATION AREA (PARK)
-  OPEN SPACE
-  POTENTIAL SCHOOL SITE
-  EQUESTRIAN TRAIL / FOOTPATH
-  BIKEWAY

OPEN SPACE TABULATION	
TYPE	ACERAGE
NATURAL	84.8 AC
PERIMETER MANUFACTURED	22.4 AC
CREEK AREA	22.8 AC
SUB-TOTAL	130.0 AC
INTERIOR MANUFACTURED	43.8 AC
RECREATION AREA / DAYCARE (EXCLUDES SLOPES)	3.8 AC
CULTURAL PARK	5.0 AC
PARK SITE	10.8 AC
SUB-TOTAL	63.4 AC
TOTAL	193.4 AC



COMMUNITY PARKS, OPEN SPACE & TRAILS

THE VINEYARD AT MURRIETA

PREPARED FOR:
 ORENHILL DEVELOPMENT COMPANY
 724 FOREST GREEN DRIVE
 LA CANADA, CA 91011-4241

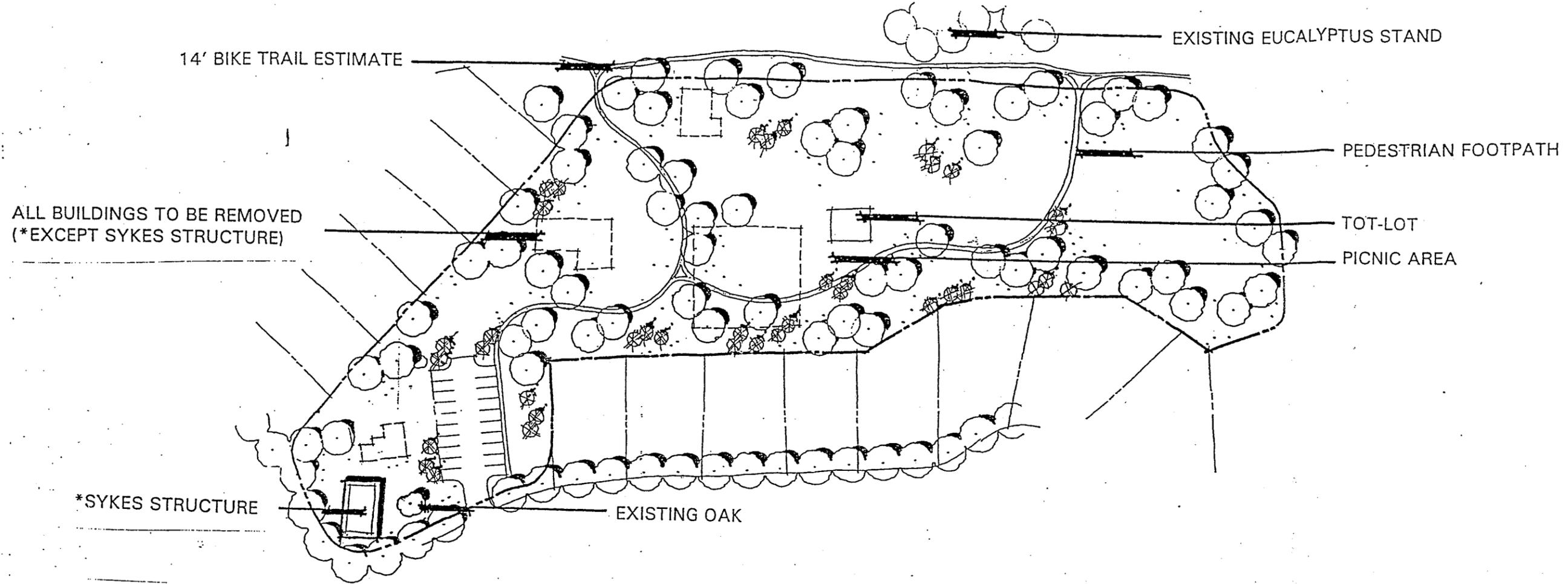
Figure 21A



NOTE:

Modified Pursuant to Substantial Conformance #4.
 Perimeter Slopes adjacent to residential areas shall be suitably landscaped per Riverside County Standards.
 This is an illustrative plan only and is subject to change.





**CULTURAL RESOURCE/
THEME PARK CONCEPT**
the vineyard

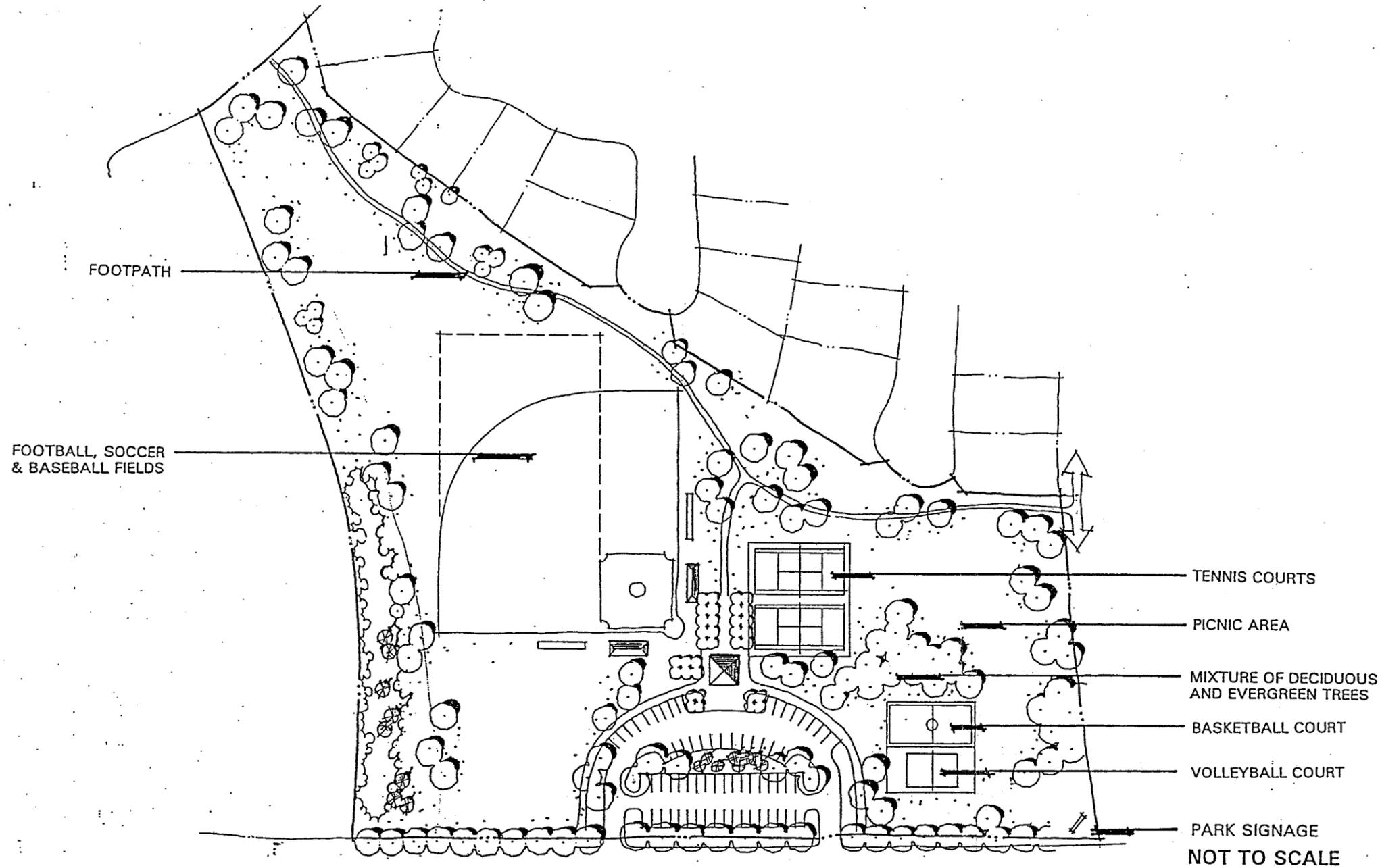
Note:
Modified Pursuant to Substantial Conformance #4.
This is an illustrative only and is subject to change.
All buildings to be removed with the exception of the
Sykes structure.



NORTH

Figure 21B

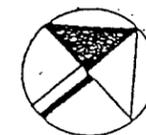
Prepared BY
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Note:
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 Perimeter Slopes adjacent to residential areas shall be
 suitably landscaped per Riverside County Standards.
 This is an illustrative plan only and is subject to change.

PARK CONCEPT

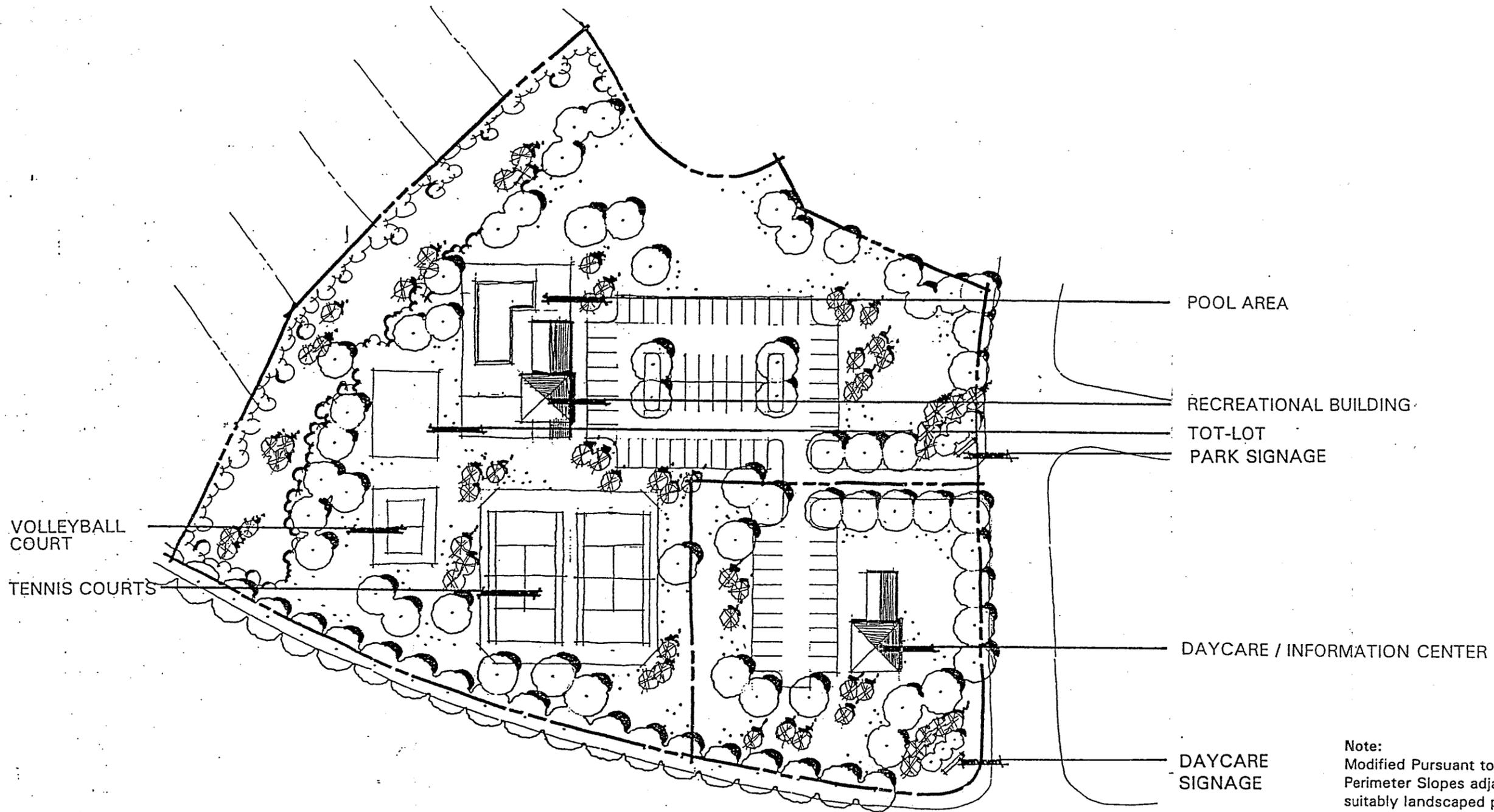
the vineyard



NORTH

Figure 21C

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Note:
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 Perimeter Slopes adjacent to residential areas shall be suitably landscaped per Riverside County Standards.
 This is an illustrative plan only and is subject to change.

DAYCARE / RECREATION AREA CONCEPT

the vineyard

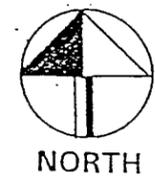


Figure 21D

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 San Diego, CA 92122

5. Community Walls and Fencing

Community walls and fencing consist of those such elements which face public streets or view corridors or are constructed on public facilities in relation to public uses. (See Figure 21E.)

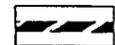
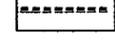
Community walls shall be constructed at the rear and sides of lots abutting the project's major thoroughfares, i.e., Kalmia Street, Vineyard Parkway/Tenaja Road, Hayes Avenue and other collectors. Concrete, decorative block or stone and stucco constitute the materials to be used for these walls as is conceptually depicted on Figure 22.

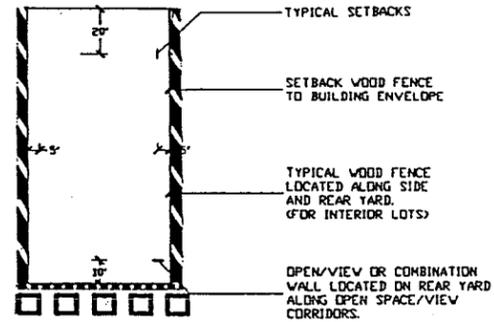
In areas where side and rear lots abut natural view corridors, combination open view/solid wall and/or wrought iron or tubular steel-type fencing of a high quality should be constructed unless a solid structure is determined necessary to inhibit fire or wildlife. A typical recommended fence is depicted on Figure 22.

Wood fences are not permitted adjacent to any public street. For lots not open to public view from a major thoroughfare and abutting natural or manufactured slopes--as is particularly the situation along the foothills of the Santa Rosa Plateau--a solid wood fence of the high quality depicted in Figure 22 is acceptable.

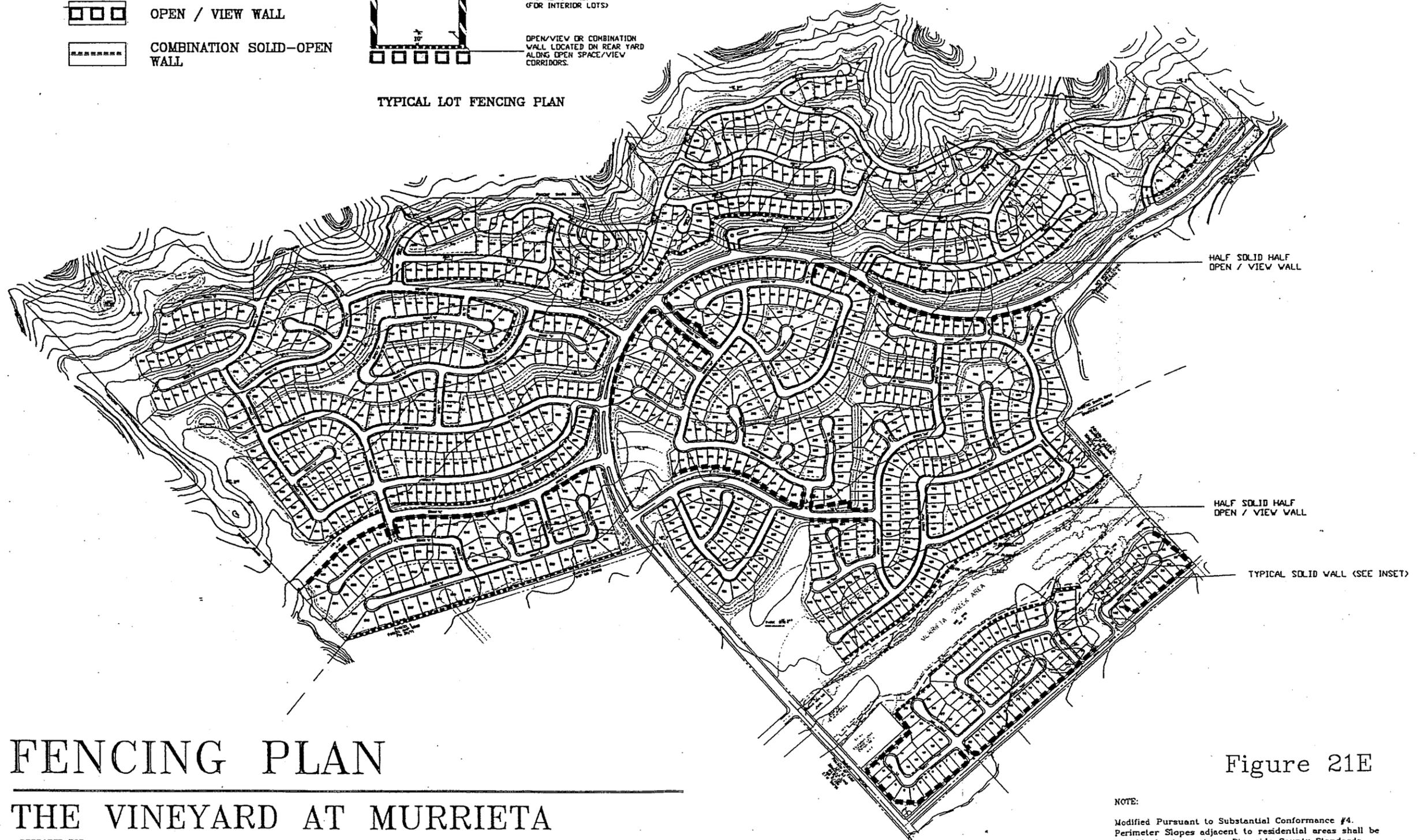
The height of any wall dividing individual lots from major thoroughfares, adjacent lots, open space, park sites, or school site shall not be less than 6 feet.

LEGEND

-  WOOD FENCE
-  SOLID WALL
-  OPEN / VIEW WALL
-  COMBINATION SOLID-OPEN WALL



TYPICAL LOT FENCING PLAN



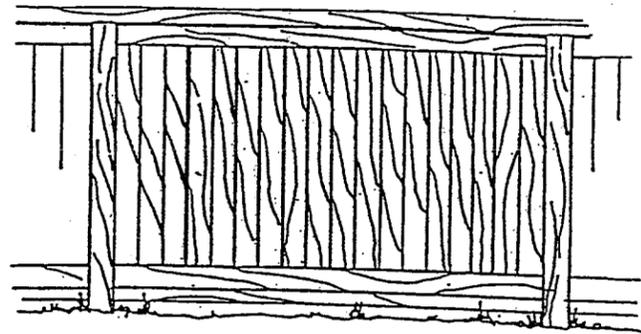
FENCING PLAN

THE VINEYARD AT MURRIETA

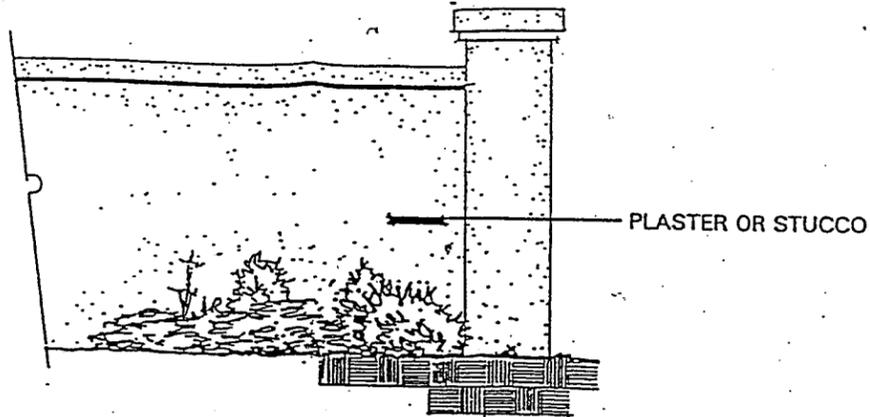
PREPARED FOR:
 GRENHILL DEVELOPMENT COMPANY
 724 FOREST GREEN DRIVE
 LA CANADA, CA 91011-4211

NOTE:
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 Perimeter Slopes adjacent to residential areas shall be suitably landscaped per Riverside County Standards.
 This is an illustrative plan only and is subject to change.

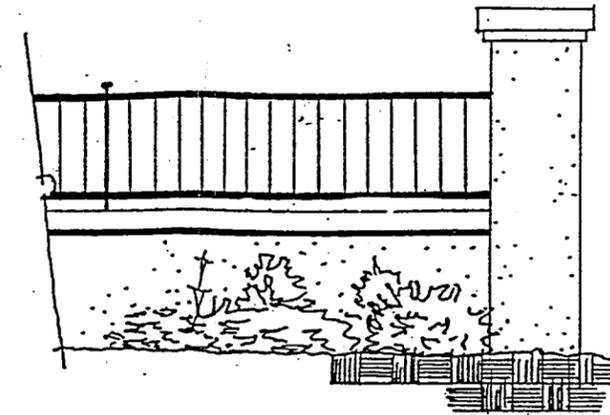




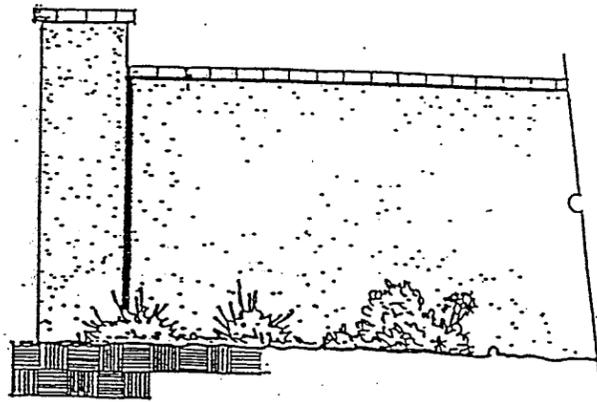
WOOD FENCE
ON SIDE YARDS ONLY



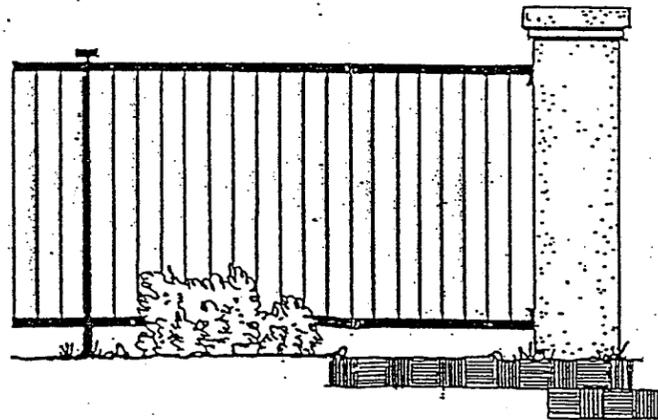
SOLID WALL



HALF SOLID / HALF OPEN VIEW WALL



SOLID WALL W/ BRICK OR STONE



OPEN/VIEW WALL

Note:
Modified Pursuant to Substantial Conformance # 4.
This is an illustrative plan only and is subject to change.

COMMUNITY WALLS AND FENCING the vineyard

Figure 22

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San Diego, CA 92122

6. Signage

Because the Vineyard is primarily a residential community, only a limited amount of signage will be required or desirable on a community-wide basis.

a. General Intent

- Signage shall be attractive and subdued in keeping with the character of a contemporary urban environment.
- Signs shall be limited to community identification, direction and building or company identification only. Signs should not be used for product advertising.
- All business signs shall be compatible with the architecture of the buildings they identify.
- Retail commercial signage shall be limited to below the roofline and be consistent in color and theme. Road signs should be a maximum of 20-feet in height and be of a size only necessary for identification.
- Residential signs should be coordinated and integrated with the neighborhoods in which they are erected.
- All signs should be well integrated into site landscaping.
- All signs shall be compatible with the overall theme of the Vineyard Specific Plan area.
- All signs shall be of professional quality.
- No signs shall be painted directly on any building elevation.
- More specific Design Standards, including dimensional and locational criteria, should be formulated as part of the implementation of the Specific Plan, such as through CC & Rs.
- Signage design and schematics, showing location, size, dimensions, type style and colors, shall be submitted with the required plot plan for the retail commercial site. Residential signage shall be controlled through CC & Rs or other appropriate mechanism.

b. Prohibited Signs

- Pylon signs shall be prohibited.
- Revolving, rotating or moving signs shall be prohibited.

- Signs with flashing or blinking lights shall be prohibited.
- Roof signs shall be prohibited.
- Projecting signs shall be prohibited.
- Totem signs displaying the names of each tenant shall be prohibited.
- Billboards shall be prohibited.
- Portable signs, including vehicles used as billboards, shall be prohibited.
- Signs advertising or displaying any unlawful act, business or purpose shall be prohibited.
- Any strings, pennants, banners, streamers, balloons, inflatable objects, flags, twirlers, propellers, noise-emitting and similar attention getting devices shall be prohibited, except:
 - 1) National, state, local governmental, institutional or corporate flags should be allowed. Flag pole locations should be shown on the site plan for approval. Only one set of flags should be allowed on each site.
 - 2) Holiday decorations in season, used for an aggregate of 45 days in any one calendar year, should be allowed.
 - 3) Pennants, banners or flags used in conjunction with subdivision sales offices and tract entry points should be allowed during the initial sales period.

c. Retail Commercial Monument Signs

- Monument signs are the preferred signage type for the Specific Plan area.
- Monument signs should be set back twenty feet minimum from face of curb (where no sidewalk is provided) and fifteen feet minimum from inboard edge of walk where a sidewalk or path is provided. Signs should be set back a minimum of fifteen feet from property line and five feet from any driveway.
- Only one monument sign shall be allowed on each site.
- Monument signs should have a concrete or masonry base, and should be compatible with the building architecture.
- Double sided monument signs are allowed.

- Monument sign lighting is allowed but not internal lighting. External lighting is encouraged so long as the lighting source is well concealed and consistent with the plan area design objectives.

d. Building Mounted Signs: Retail Commercial Buildings

- Multi-tenant retail commercial buildings within areas zoned for commercial land use should have only one sign for each tenant.
- Tenant signage should be well integrated into the building design.
- Multi-tenant retail commercial facilities shall have a cohesive, well integrated signage program. The combined impact and interrelationship of all tenant signage shall be considered in signage program design, review and approval.
- All multi-tenant signs should be constructed of the same materials, have similar dimensions and coordinated colors.
- Can signs shall be prohibited.
- Internal illuminated channel letter signs are acceptable, but external, concealed and integrated lighting is preferred.

As noted above, externally illuminated signage may be allowed when the lighting source is well concealed and signage design is consistent with plan area design criteria.

The mounting of signs on projecting architectural elements shall be allowed when they are compatible with the building architecture and compatible with the plan area design objectives.

e. Community Entry Monumentation

- Signage for community entry monumentation is highly encouraged.
- Design of such monumentation shall be coordinated with street landscape and street furniture. Monumentation should inform the viewer, through written and symbolic graphics, that the planned community or development is being entered.
- Monuments should be compatible with the design theme of the Vineyard Specific Plan and the developments or communities they identify.
- Entry monuments should establish the community or development design theme. Logo, logotype and color schemes shall be consistent throughout the area being identified.

- Entry monuments may be illuminated externally if they are consistent with the Vineyard Specific Plan design theme; glare is controlled, and lighting sources concealed.
- Permanent, low maintenance materials, such as stone, brick, other masonry or stucco should be used.

f. Directional Signage

- Directional signage, to identify and direct vehicular and pedestrian traffic to various on-site destinations, shall be allowed.
- Directional signage should be of consistent design throughout a project. Signage should be fabricated from the same materials, with a consistent color palette and a common graphic theme.
- Directional signs shall be small scale and of consistent dimensions and mounting height.
- Directional signage should be compatible with the architectural design of the project and with the design theme of the plan area.

g. Temporary Signage

- Signage identifying uses or activities temporary in nature, such as real estate sales and leasing, subdivision signage, contractors, design firms and developer signage associated with development or construction of buildings are allowed if consistent with the plan area design character.
- Temporary signage shall be located on or in close proximity to uses identified.
- Concise standards for temporary signage, including dimensional requirements, materials of construction, mounting heights, colors and graphic format should be prepared as part of the implementation of the Specific Plan, such as through CC & Rs.
- The multitude of signs associated with development, design, construction and leasing should be combined into one design for each project.

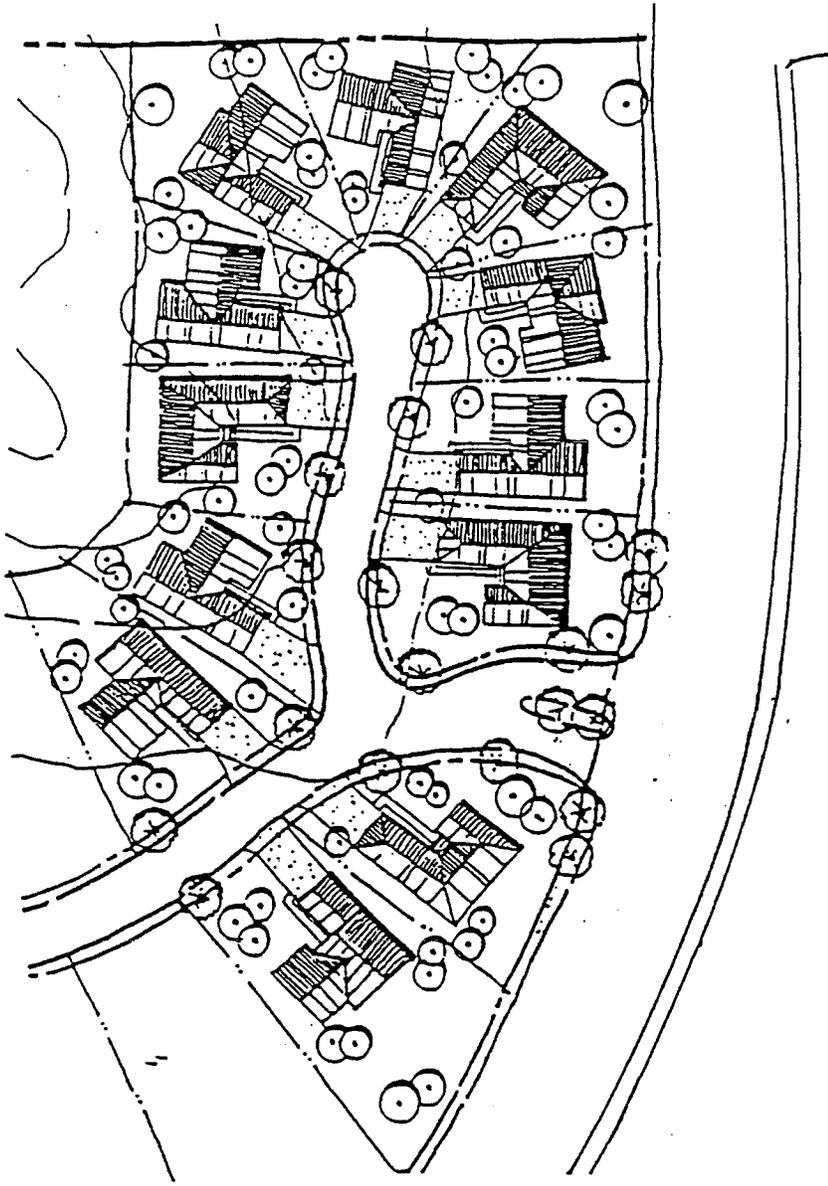
D. ARCHITECTURAL GUIDELINES

1. Residential Criteria

Residential development should comply with the following guidelines:

- Each residential project area should convey its own blend of building formats and styles. Variety and creativity are particularly encouraged in the Single Family Residential Neighborhood Areas, where it is anticipated that custom homes will be developed. Even so, mass and scale should be appropriate to the site in all cases.
- One particular style should not dominate the entire Specific Plan area, but rather an environment should be created that integrates building designs and project areas while giving each area its own character.
- The architectural character of each planning area should be perceived from the street, and visual interest should be created through constancy of architectural elements, such as windows, doors, balconies and roofs.
- Pitch and form of roofs are visible features which can add impact to a streetscape. Various designs may be employed, but all flat roofs are highly discouraged.
- Roof overhangs are encouraged as a response to climatic conditions, especially when used in combination with porch enclosures, balconies and recesses.
- An emphasis should be given to creating units with a strong indoor/outdoor relationship.
- All mechanical equipment shall be screened from view by walls or fences similar in design to the building architecture or by landscaping adequate in size to provide proper screening.
- All roofing materials shall be of a fire retardant materials. Wooden roofs are unacceptable in Riverside County.
- The level of on-site lighting as well as lighting fixtures, shall comply with any and all applicable requirements and policies of the City of Murrieta and Mount Palomar observatory. Energy conservation, safety, and security should be emphasized when designing any lighting system.

Typical site plans and elevations for proposed Medium Density units are provided on Figures 23 and 24. It is anticipated that units within Neighborhood Areas 2-A through 2-C will be custom-built, so no typical site plan or elevations have been provided.



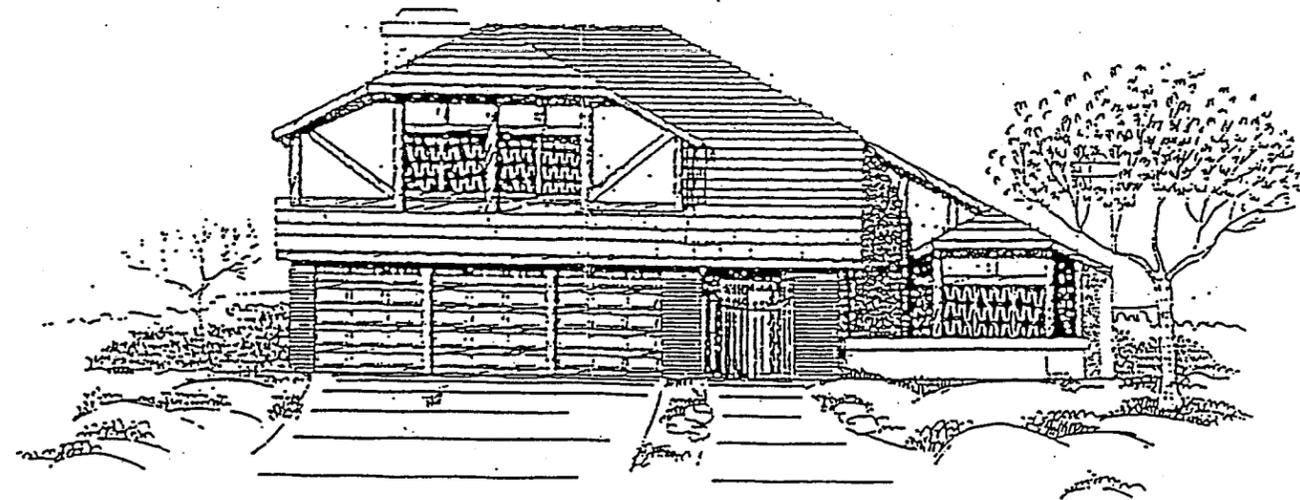
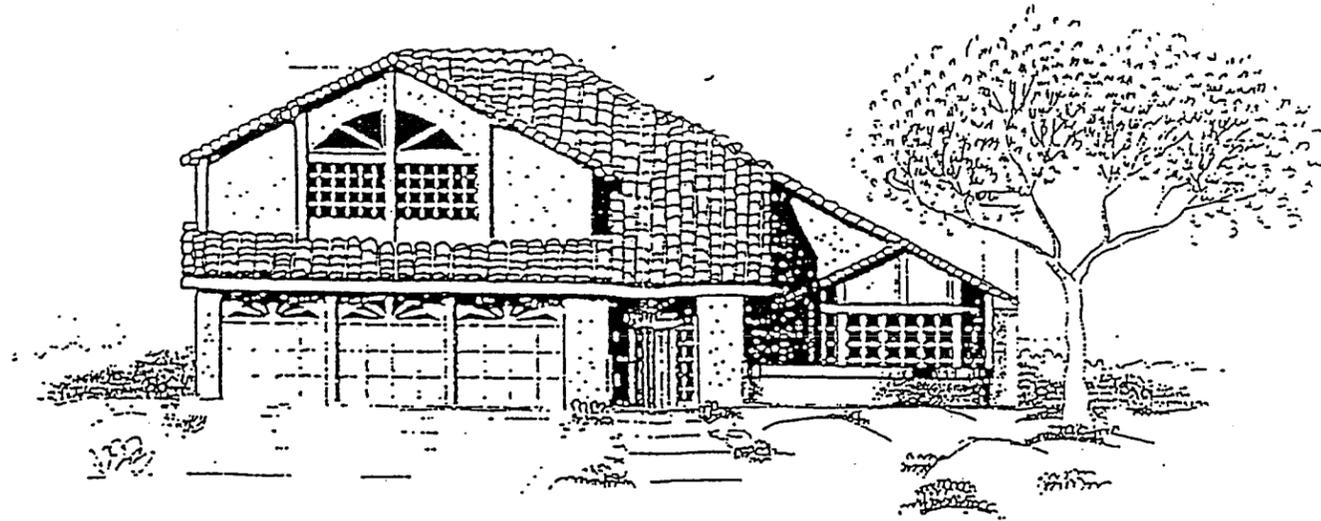
Note:

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This is an illustrative plan only and is subject to change.
Precise plotting to be submitted with Development Plans.

TYPICAL MEDIUM DENSITY RESIDENTIAL SITE PLAN the vineyard

Figure 23

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San Diego, CA 92122



Note:
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TYPICAL MEDIUM DENSITY ELEVATIONS

the vineyard

Figure 24

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8910 University Center Lane, Suite 580
San Diego, CA 92122

2. Retail/Commercial Criteria

The following guidelines should be used in the design of individual structures and the complex itself:

- Architectural design of the center should reflect the overall Vineyard project theme.
- Architecture should respond to the public street and shall contain significant elements relating to the human scale.
- Use of attractive roof forms is highly encouraged.
- Buildings with facades parallel to the street are highly encouraged. Long unarticulated facades and roof forms should be avoided, however.
- Use of attractive, durable, high quality, weather resistant materials should be required for all visible and/or weather exposed surfaces on the building exterior.
- Integrally colored inorganic materials, such as brick, concrete, stone, copper, core ten steel and anodized aluminum are encouraged.
- Subdued colors not specifically limited to earth tones are encouraged.
- Use of bright vibrant colors and primary colors should not be permitted except as limited accents graciously employed.
- Use of reflective glass should be prohibited except where used on a minimal basis as an accent.
- Temporary modular buildings such as portable buildings or mobile homes and metal system buildings such as Butler Buildings are prohibited. Job site trailers associated with on-site construction activity are permissible during construction.
- All parking required for employees, clients, customers or any others related to an enterprise shall be provided on site, unless otherwise provided by a reciprocal parking agreement.
- Loading docks, staging areas and transformers shall be screened from public streets.
- Trash enclosures, rubbish bins, transformers, processing equipment and any other unsightly apparatus shall be situated away from the street and should be architecturally screened.

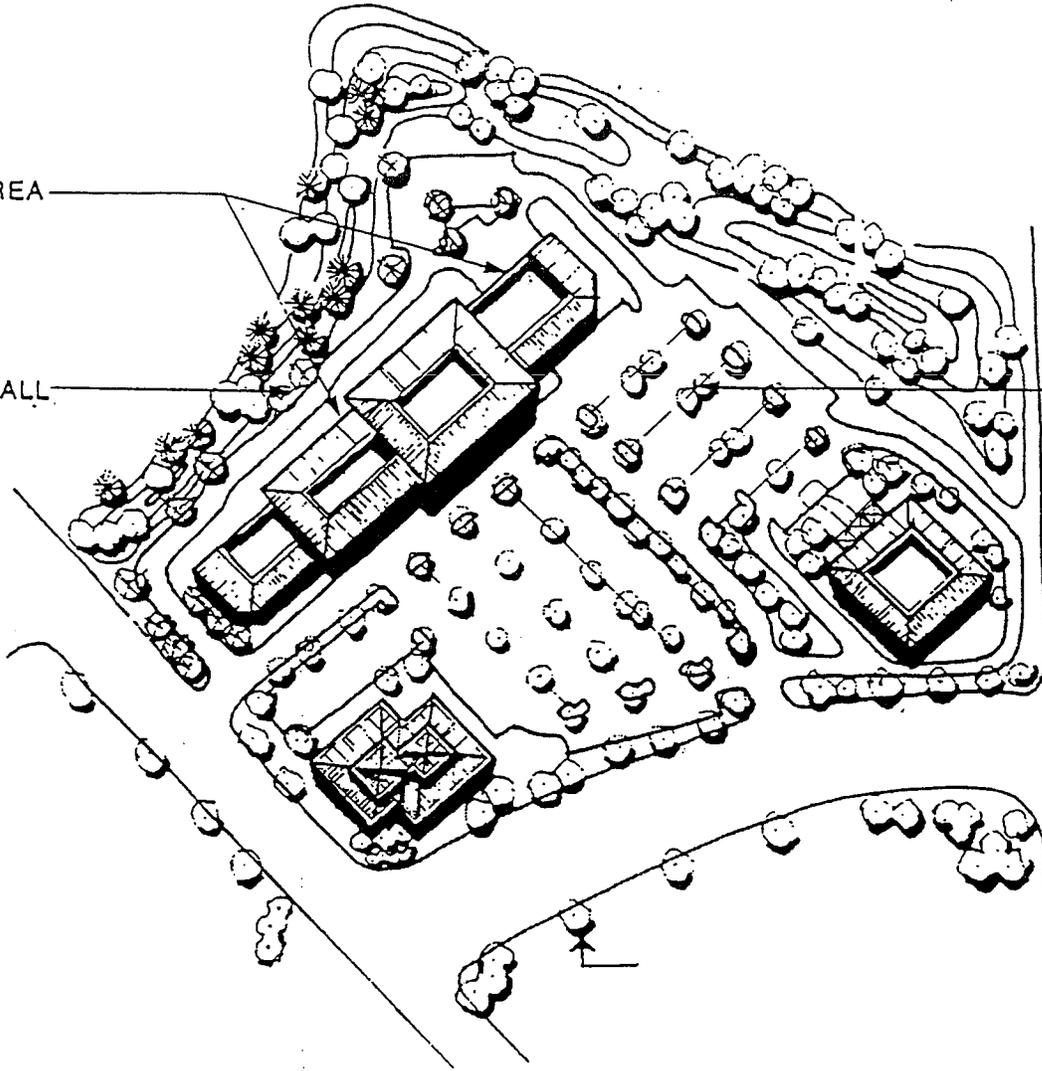
- All roof equipment shall be enclosed in a penthouse or otherwise screened as to not be visible from a public street or right of way.
- The level of on-site lighting as well as lighting fixtures, shall comply with any and all applicable requirements and policies of the City of Murrieta and Mount Palomar Observatory. Energy conservation, safety, and security should be emphasized when designating any lighting system.

A conceptual site plan for the neighborhood commercial site is provided on the Conceptual Retail Commercial Site Plan (Figure 25). Actual site configuration will be determined when a plot plan is filed.

SERVICE AREA

SCREEN WALL

EVERGREEN
TREES



CONCEPTUAL RETAIL COMMERCIAL SITE PLAN

the vineyard

Figure 25

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8910 University Center Lane, Suite 580
San Diego, CA 92122

E. LANDSCAPE GUIDELINES

1. Miscellaneous Planting Guidelines

a. Planting Time

Because of the climate extremes of the Murrieta area, the installation of plant materials during the coldest winter months (December through March) or the hottest summer/fall months (July through September) can be difficult. Container plant materials not acclimated to the area can easily suffer from cold temperatures or sun/heat exposure resulting in partial or entire foliage loss even though such materials are perfectly suited to the temperature ranges once established. If planting must be done during these difficult periods, plant establishment may be difficult, and may require a prolonged period of time.

b. Suggested Plant Palette

It is the intent of these guidelines to provide flexibility and diversity in plant material selection, while maintaining a limited palette in order to give greater unity and thematic identity to the community. The plant material lists have been selected for their appropriateness to the project theme, climatic conditions, soil conditions and concern for maintenance.

A limited selection of materials utilized in simple, significant composition complimentary to adjacent common landscape areas while reinforcing the individual architectural and site setting is encouraged.

Overall plant material selection for given project areas, wherever possible, shall have compatible drought resistant characteristics. Irrigation programming can then be designed to minimize water application for an entire landscape setting.

All areas required to be landscaped shall be planted with turf, ground cover, shrub or tree materials selected from the Plant Palette (Table III). The City Landscape Architect and/or Community Services District (CSD) Superintendent shall make the final decision regarding selection of all trees, shrubs, vines and ground covers.

The owners of parcels which require landscape development shall assess any existing common landscape areas adjoining their property. Where feasible, landscape development shall reinforce or be compatible with the existing common area setting.

Plant material palettes contained herein are compatible with the climatic setting of the area. The use of some materials depending upon their site location, exposure and relationship to other influential factors may not be appropriate.

No Eucalyptus trees shall be used in the planting designs.

c. Maintenance

Other than Association or Assessment District maintained areas, all landscaped portions of each parcel shall be maintained by the Owner or Sub-Homeowner Association of each parcel in accordance with the best industry standards for professional landscape maintenance. Such maintenance shall include watering, fertilization, mowing, edging, pruning, trimming, herbicide programming, pesticide programming, clean-up and other on-going seasonal programmed maintenance functions. Replacement of dead or diseased plant materials originally approved shall be accomplished on a routine basis. Automatic irrigation systems shall be routinely inspected, repaired and maintained in an operating condition at all times. All exterior portions of each parcel including walks, parking areas and service areas shall be kept routinely free of litter and debris.

d. Horticultural Soils Test

Soil characteristics within the project may be variable. The owners of parcels which require landscape development shall procure a horticultural soils report in order to determine proper planting and maintenance requirements for proposed plant materials. Such a soils test shall be performed by a qualified agricultural laboratory and shall include a soil fertility and agricultural suitability analysis with pre-plant and post-planting recommendations.

e. Irrigation

All areas required to be landscaped shall be watered with an automatic underground irrigation system. Irrigation systems which adjoin a Homeowners Association or other maintenance responsibility area shall be designed in a manner to insure complete water coverage between the areas.

Proper consideration of irrigation system design and installation as they relate to the climate conditions of the area is critical to the success of the landscape investment. In particular, summer heat must be carefully considered in proper irrigation design and equipment selection.

Should the applicant elect to join the Community Services District (CSD), all landscaping and irrigation shall be installed in accordance with the CSD landscape manual.

All privately maintained slopes 3 feet and greater in vertical height shall be planted and irrigated according to City of Murrieta Production Slope Landscaping Requirements.

TABLE III
PLANT PALETTE

CLASSIFICATION	BOTANICAL NAME	COMMON NAME	SIZE (MIN)
<u>COLLECTOR STREET TREES</u>			
	MAGNOLIA GRANDIFLORA	Southern Magnolia	15 Gallon
	SCHINUS MOLLE	California Pepper Tree	15 Gallon
	CINNAMOHUM CAMPHORA	Camphor Tree	15 Gallon
	* Option for Residential Street Trees		
<u>ACCENT/FLOWERING STREET TREES</u>			
	MAGNOLIA GRANDIFLORA	Southern Magnolia	15 Gallon
	LAGERSTROEMIA INDICA	Crape Myrtle	15 Gallon
	LIQUIDAMBER STYRACIFLUA	American Sweet Gum	15 Gallon
	PRUNUS CERACIFERA "Atrourpuca"	Purple Leaf Plum	15 Gallon
	WASHINGTON FILIFERA	California Fan Palm	15 Gallon
	PRUNUS CERASIFERA "Thundercloud"	Flowering Plum	15 Gallon
<u>LARGE INTERSECTION BACKGROUND TREES</u>			
	PINUS BRUTIA	Calabrian Pine	15 Gallon
	PINUS CANARIENSIS	Canary Island Pine	15 Gallon
	PINUS ELДАРICA	Mondell Pine	15 Gallon
	PINUS HALEPENSIS	Allepo	15 Gallon
	WASHINGTON FILIFERA	California Fan Palm	15 Gallon
<u>RESIDENTIAL STREET TREES (*)</u>			
	CINNAMOHUM CAMPHORA	Camphor Tree	15 Gallon
	CUPANIOPSIS ANACARDIOIDES	Carrotwood Tree	15 Gallon
	GEUERA PARVIFLORA	Australian Willow	15 Gallon
	RHUSLANCEA	African Sumac	15 Gallon
	PRUNUS CAROLINIANA	Carolina Cherry Laurel	15 Gallon
	ARBUTUS UNEDO	Strawberry Tree	15 Gallon
	ULMUS PARVIFLORA	Chinese Elm	15 Gallon
	ERIOBOTRYA JAPONICA	Loquat	15 Gallon
	OLEA EUROPAEA	Olive	15 Gallon

ACCEPTABLE SHRUBS

ELAEAGNUS PUNGENS	Silverberry	5 Gallon
HETEROMELES ARBUTIFOLA	Toyon	5 Gallon
ROSMARINUS OFFICINALIS	Rosemary	5 Gallon
RHUS LANCEA	African Sumac	5 Gallon
ESCALLONIA FRADESII	Red Escallonia	5 Gallon
LIGUSTRUM JAPONICUM	Wax-leaf Privet	5 Gallon
LIGUSTRUM LUCIDUM	Glossy Privet	5 Gallon
NANDINA DOMESTICA	Heavenly Bamboo	5 Gallon
PITTOSPORUM TOBIRA "Wheeler"	Wheeler's Dwarf	5 Gallon
XYLOSMA CONGESTUM	Shiny Xylosma	5 Gallon
BUXUS MICROPHYLLA JAPONICA	Japanese Boxwood	5 Gallon
CALLIANDRA TWEEDII	Trinidad Flamebush	5 Gallon
COCCULUS LAURIFOLIUS		5 Gallon
COPROSMA KIRKII	Creeping Coprosma	5 Gallon
COTONEASTER LACEA	Cotoneaster	5 Gallon
DODONAEA VISCOSA	Hopseed Bush	5 Gallon
EUONYMUS ALATA	Winged Euonymus	5 Gallon
EUONYMUS JAPONICA	Evergreen Euonymus	5 Gallon
PHOTINIA FRASERI		5 Gallon
PYRACANTHA COCCINEA	Scarlet Firehorn Pyracantha	5 Gallon
RAPHIOLEPIS INDICA	Indian Hawthorn	5 Gallon
XYLOSHA CONGESTUM COMPACTA		5 Gallon
MAGNOLIA GRANDIFLORA	Southern Magnolia	15 Gallon
LAGERSTROEMIA INDICA	Crape Myrtle	15 Gallon
LIQUIDAMBER STYRACIFLUA	American Sweet Gum	15 Gallon
PRUNUS CERACIFERA "Atrourpuea"	Purple Leaf Plum	15 Gallon
WASHINGTON FILIFERA	California Fan Palm	15 Gallon
PRUNUS CERASIFERA "Thundercloud"	Flowering Plum	15 Gallon
PINUS ELДАРICA	Mondell Pine	15 Gallon
PINUS HALEPENSIS	Allepo Pine	15 Gallon
GEUERA PARVIFLORA	Australian Willow	15 Gallon
KOELREUTERIA PANICULATA	Golden Raintree	15 Gallon
KOELREUTERIA BIPINNATA	Chinese Flame Tree	15 Gallon
LIRIODENDRON TULIPIFERE	Tulip Tree	15 Gallon
LAURUS NOBILIS	Sweet Bay	15 Gallon
ZELKOVA SERRATA	Sawleaf Elkova	15 Gallon
BRACHYCHITON POPULNEUS	Bottle Tree	15 Gallon
QUERCUS AGRIFOLIA	Coast Live Oak	15 Gallon
QUERCUS ILEX	Holly Oak	15 Gallon
CHORISIA SPECIOSA	Floss Silk Tree	15 Gallon
CUPANTOPSIS ANACARDIOIDES	Carrotwood Tree	15 Gallon
RHUSLANCEA	African Sumac	15 Gallon
PRUNUS CAROLINIANA	Carolina Cherry Laurel	15 Gallon
ARBUTUS UNEDO	Strawberry Tree	15 Gallon

OPEN SPACE/RECREATION CENTER

CINNAMOHUM CAMPHORA	Camphor Tree	15 Gallon
PINUS ELDARICA	Mondell Pine	15 Gallon
PINUS HALEPENSIS	Allepo Pine	15 Gallon
BRACHYCHITON POPULNEUS	Bottle Tree	15 Gallon
CUPANIOPSIS ANACARDIOIDES	Carrotwood Tree	15 Gallon
RHUS LANCEA	African Sumac	15 Gallon
ALNUS RHOMBIFOLIA	White Alder	15 Gallon
CHAMAEROPS HUMILIS	Mediterranean Fan Palm	15 Gallon
FRAXINUS UHDEI	Evergreen Ash	15 Gallon
OLEA EUOPA	Olive	15 Gallon
PHOENIX CANARIENSIS	Canary Island Date Palm	15 Gallon

SLOPES TREES/SHRUBS

PINUS CANARIENSIS	Canary Island Pine	15 Gallon
PINUS ELDARICA	Mondell Pine	15 Gallon
PINUS HALEPENSIS	Allepo Pine	15 Gallon
QUERCUS AGRIFOLIA	Coast Live Oak	15 Gallon
QUERCUS ILEX	Holly Oak	15 Gallon
ACACIA BAILEYANA	Bailey Acacia	15 Gallon
CISTUS PURPUREUS	Orchid Rockrose	5 Gallon
ELAEAGNUS PUNGENS	Silverberry	15 Gallon
GLEDITSIA TRIACANTHOS	Honey Locust	15 Gallon
HETEROMELES ARBUTIFOLA	Toyon	15 Gallon
LEPTOSPERMUM LAEVIGATUM	Australian Tea Tree	15 Gallon
CEANOOTHUS SPEC.		5 Gallon
DENDROMECON RIGIDA	Bush Poppy	5 Gallon
ECHLUM FASTUOSUM	Pride of Madiera	5 Gallon
ROSMARINUS OFFICINALIS	Rosemary	5 Gallon

FRONT YARD TREES/SHRUBS

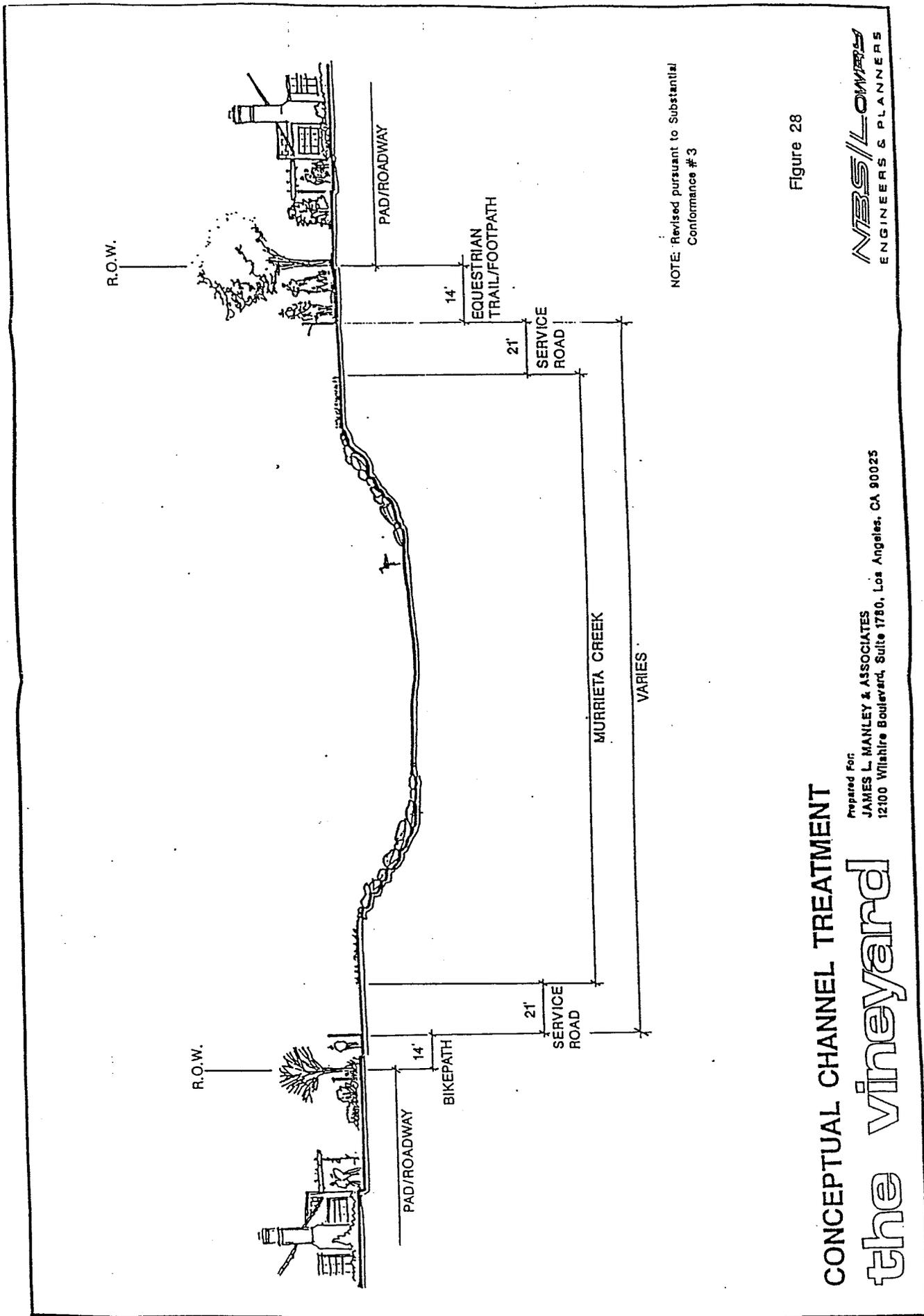
SCHINUS MOLLE	California Pepper Tree	15 Gallon
LAGERSTROEMIA INDICA	Crape Myrtle	15 Gallon
PRUNUS CERACIFERA "Atrourpuca "	Purple Leaf Plum	15 Gallon
PRUNUS CERASIFERA "Thundercloud "	Flowering Plum	15 Gallon
PINUS ELDARICA	Mondell Pine	15 Gallon
KOELREUTERIA BIPINNATA	Chinese Flame Tree	15 Gallon
BRACHYCHITON POPULNEUS	Bottletree	15 Gallon
CHORISISA SPECTOSA	Floss Silk Tree	15 Gallon
QUERCUS AGRIFOLIA	Coast Live Oak	15 Gallon
QUERCUS ILEX	Holly Oak	15 Gallon

F. SPECIAL CONDITIONS

1. Flood Channels

If only on the basis of size alone, the 220-foot wide right-of-way reserved for Murrieta Creek makes this channel a prominent aspect of the Vineyard plan. As noted earlier in the discussion regarding Land Use Transitions (Section III.2.b.), considerable thought has been devoted to the treatment of this channel so as to coordinate its design in a manner that will make it an aesthetic, as well as practical, community feature.

The side walls on either side of the flood control channel shall be aesthetically treated and designed to Riverside County Flood Control Specifications. All flood channel treatments shall be approved by Riverside County Flood Control. Rip-rap will help to establish the pastural and riparian ambiance intended by the placement of pedestrian paths and a proposed equestrian trail as adjoining hardscape features. Informal clusterings of Alder, Poplar and London Plane will accentuate the riparian setting. The Conceptual Channel Treatment (Figure 28) illustrates the proposed plan for development of the channel.



NOTE: Revised pursuant to Substantial Conformance # 3

Figure 28

NBS/LOWMYERS
ENGINEERS & PLANNERS

CONCEPTUAL CHANNEL TREATMENT
the vineyard

Prepared For:
JAMES L. MANLEY & ASSOCIATES
12100 Wilshire Boulevard, Suite 1780, Los Angeles, CA 90025

Pages 105 through 164 of Vineyard Specific Plan have been eliminated due to the reformatting of the document under Substantial Conformance No. 4

CITY OF MURRIETA

COPY (Available in file)



STAFF REPORT
PLANNING DEPARTMENT

- CASE:** The Vineyard Specific Plan Substantial Conformance No. 4, Vesting Tentative Map No. 28903, and Lot Depth/Width Ratio Exception (98-059)
- REQUEST:** Substantial Conformance to Specific Plan No. 215 and a Vesting Tentative Map for the 1,121 lots on 521 acres.
- APPLICANT:** Grenhill Development
c/o Bill Kennedy
5665 Oberlin Drive, Suite 104
San Diego, CA 92121
- MEETING DATE:** April 14, 1999
- LOCATION:** Southwest corner of Nighthawk Way and Hayes Avenue; South of Calle Del Oso Oro; Northwest of Hayes Avenue and Tenaja Road.
- CASE PLANNER:** Ed McCoy, AICP
- RECOMMENDATION:** **ADOPT** the Addendum and Mitigation & Monitoring Program to Environmental Impact Report No. 228, pursuant to the California Environmental Quality Act Guidelines, Section 15164; and **APPROVE** Substantial Conformance No. 4 for the Vineyard Specific Plan No. 215; and **APPROVE** Vesting Tentative Map 28903 (98-059) subject to the findings and conditions of approval in the Staff Report.

BY

STAFF RECOMMENDATION:

Y900

That the Planning Commission:

Move to:

1. **ADOPT** the Addendum and Mitigation & Monitoring Program to Environmental Impact Report No. 228, pursuant to the California Environmental Quality Act Guidelines, Section 15164; and
2. **APPROVE** Substantial Conformance No. 4 for the Vineyard Specific Plan No. 215; and
3. **APPROVE** Vesting Tentative Map 28903 (98-059) subject to the findings and conditions of approval in the Staff Report.

BACKGROUND INFORMATION:

A.	General Plan Land Use Designation	Existing Zoning	Existing Land Use
Site:	Single Family 1 Residential/MPO	SP	Vineyard; Sykes Ranch site
North:	Open Space/Single Family 1 Res.	SP	Cole Creek; Copper Canyon
South:	Rural Residential/Single Family 1	R-R/SF1	rural residences; vacant lands
East:	Equestrian Residential/Civic Inst.	A-1-5	Middle & High School; rural residences
West:	County of Riverside	NA	open space; rural residences

- B. **SITE CHARACTERISTICS:** The site is approximately 521 acres of gradually sloping lands that currently support a grape vineyard. The eastern portion of the site is traversed by Murrieta Creek. A small, abandoned ranch is located along Hayes Avenue (Sykes Ranch).
- C. **ENVIRONMENTAL DETERMINATION:** An Addendum to Environmental Impact Report No. 228 was prepared for the project pursuant to California Environmental Quality Act Guidelines Section 15164. The proposed project incorporates a management plan for the quino checkerspot butterfly as well as the burrowing owl. Because the management plan is part of the proposal, no additional mitigation measures are necessary.
- D. **PREVIOUS APPROVALS/SPECIAL CIRCUMSTANCES:** The Vineyard Specific Plan No. 215 was approved by the County Board of Supervisors in 1988, along with Development Agreement No. 30. The County also approved two Substantial Conformances, one in 1989 and the other in 1991. The City of Murrieta approved Substantial Conformance No. 3 in 1992. The City also approved a series of Tract Maps for the entire site when Substantial Conformance No. 3 was approved.

Y900

PROJECT INFORMATION:

The proposed project includes two requests. The first request is for a Substantial Conformance determination to the approved Vineyard Specific Plan. The applicant is requesting to modify the Specific Plan to reflect the single type of residential unit density; to modify neighborhoods to reflect proposed phasing; to relocate the commercial, school, and community park sites; and to enable the development of a more efficient internal circulation design. The proposal maintains the previously approved (Substantial Conformance No. 3) maximum number of units (1,306) and the minimum lot size (7,200 sf).

The second aspect of the request is Vesting Tentative Map No. 28903. The map proposes to subdivide the entire 521 acre property into a maximum 1,121 single family, minimum 7,200 square foot lots. The map also allows the development of an elementary school, parkland, passive open space, and a commercial area. The breakdown of proposed land uses are as follows:

Single family min. 7,200 sf lots	243.7 acres ¹
Commercial	4.8 acres
Parkland	16.1 acres
Open Space	155.6 acres
Streets	100.8 acres
Total:	521.0 acres

1. 13.2 acre elementary school site included within Single Family area calculations.

As proposed, the project will incorporate areas with private, gated entrances with one main, manned guard house. Additionally, the applicant is proposing exceptional street scape amenities, such as monumentation and project entry features. Proposed Design Guidelines are included in the Substantial Conformance No. 4 request that illustrate these features.

ANALYSIS:

Substantial Conformance

The Vineyard Specific Plan was originally approved in 1988 by the County of Riverside. The Specific Plan proposed three distinct unit type densities; low, medium, and medium-high. Planning Area boundaries were used to delineate unit types and to control development buildout. Substantial Conformance No. 3 modified the unit type to a minimum 7,200 square foot lot size. The proposed Substantial Conformance No. 4 recognizes the previous Substantial Conformance approval which limits the unit type to minimum 7,200 square foot residential lots and a maximum unit total of 1,306. Because the entire property is limited to this unit type, the need for planning areas delineating density became obsolete. Additionally, the Substantial Conformance No. 4

request proposes to relocate the commercial, school, and park sites to the eastern portion of the site, near the project entrance from Tenaja Road. The project also proposes to include a gated residential area with a guard gate in the western portion of the site. A large lot, executive custom home area is located in the northwest area. No substantial changes to the Specific Plan land use allocations are proposed by Substantial Conformance No. 4. All off-site roadway connections are consistent with the approved Specific Plan as well.

Vesting Tentative Map No. 28903

Vesting Tentative Map No. 28903 is an implementing tract map for the entire Vineyard property. The map is processed in conformance with proposed Substantial Conformance No. 4. The minimum lot size is 7,200 square feet, and the applicant proposes a total of up to 1,121 lots. The lot yield may vary, depending upon the Murrieta Valley Unified School Districts desire for an elementary school site and the future extension of Kalmia Street. The 1,121 units is achievable if the school district does not require a school site and the extension of Kalmia Street is removed from the circulation system. If the school site is needed, the total unit count will be reduced by 44 lots, and if Kalmia Street is extended into the site, the unit count is reduced by 4 lots, for a total of 1,073 lots.

Access to the proposed subdivision is achieved from the extension of Tenaja Road with a 66-foot improved section, which will loop through the Vineyard project and connect to Calle Del Oso Oro. The General Plan identifies the extension of Kalmia Street west into the Vineyard property. This extension was analyzed with the map and it was determined that the Kalmia Street extension is not necessary. However, in order to maintain consistency with the General Plan, the applicant does provide for Kalmia Street on site. If the City removes the roadway from the Circulation Element, the applicant will implement an alternative lotting program in the proposed Kalmia Street right-of-way that results in a net gain of four lots.

The vesting map will impact surrounding roadways. Off-site improvements are identified on Sheets 11 & 12 of the Vesting Map and include the widening of Tenaja Road, widening on Washington Avenue, intersection improvements at Tenaja Road and Washington, and the construction of two bridges, one over Murrieta Creek and the other over Cole Canyon Creek. The applicant will also pay road & bridge and traffic signal mitigation fees.

The project proposes a high quality residential development, incorporating streetscape improvements, public parkland, the preservation of Murrieta Creek, bike and equestrian trails, cultural resource preservation, and private community areas. The proposed Specific Plan Design Guidelines illustrate the proposed entry monumentations and streetscape improvements. The Community Services District reviewed the project and determined that they would accept maintenance responsibility for portions of the open space and recreational areas.

The applicant is requesting an exception to the lot depth to width ratio on 36 lots. The maximum lot depth to width ratio is 2.5:1. The exception is requested pursuant to Ordinance 460, Section 3.1C. Granting the proposed lot depth to width ratio will not be detrimental to the public health, safety, or welfare and is necessary due to topographic constraints.

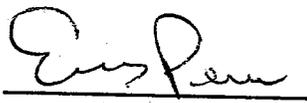
CONCLUSIONS:

The proposed Substantial Conformance No. 4 request complies with the intent and objectives of the Vineyard Specific Plan and the Murrieta General Plan. The overall density of the Vesting Map is 2.15 dwelling units per acre, well below the General Plan permitted 3.5 du/ac. If the school site is implemented, the overall density is reduced to 2.06 du/ac. The project has been conditioned to build on-site facilities and off-site roadways to support the development. Finally, the project was reviewed for compliance with the California Environmental Quality Act and an Addendum to Environmental Impact Report No. 228 was completed.

Prepared By:


Ed McCoy, AICP
Senior Planner

Recommendation Approved By:


Ernest Perea
Planning Manager

ATTACHMENTS:

1. Findings of Fact
2. Location Map
3. Topographic/vicinity map
4. Conditions of Approval
5. Substantial Conformance No. 4 Text
6. Addendum to EIR No. 228, Mitigation & Monitoring Program, and Biological Management Plan
7. Vesting Tentative Tract Map No. 28903

**FINDINGS FOR APPROVAL OF
SPECIFIC PLAN NO. 215 SUBSTANTIAL CONFORMANCE NO. 4,
VESTING TENTATIVE MAP NO. 28903, AND
LOT DEPTH/WIDTH RATIO EXCEPTION (98-059)**

Based upon the hearing evidence, all written and oral testimony, and documents and exhibits which are contained in the staff report for the above referenced case, the Planning Commission finds as follows:

1. The project as modified meets the intent and purpose of the adopted Specific Plan.

FACTS: The proposed Substantial Conformance maintains the planning objectives specified within the Specific Plan, which is hereby incorporated by reference, in that it establishes a detailed and comprehensive multi-disciplinary framework with particular emphasis on providing residential and natural open space uses that allow for a heightened aesthetic environment. The overall land usage, with proposed residential, commercial and open space/parks, is consistent with the Specific Plan with direct and convenient access to clustered neighborhoods via an efficient circulation system. The project as modified is consistent with the findings and conclusions contained in the resolution adopting the Specific Plan.

2. The proposed project is consistent with the intent of the General Plan.

FACTS: The proposed project is consistent with the City of Murrieta General Plan, which designates the site Single Family 1 Residential/Master Plan Overlay. The proposed project is within the permitted density range of the General Plan for Single Family-1 Residential with a Master Plan Overlay. The project has been designed to be consistent with the applicable policies enumerated within the Land Use, Housing, Circulation, Conservation and Open Space, Safety, Noise, Air Quality and Economic Development Elements of the General Plan. As required by the General Plan, the project has been designed to consider topographic, geologic, hydrologic and environmental opportunities and constraints to create a design that generally conforms to the character of the land by retaining and utilizing basic existing landforms as much as possible.

3. The proposed project is consistent with all other applicable requirements of local ordinances and State law.

FACTS: The proposed project is consistent with the Vineyard Specific Plan, as proposed to be modified by Substantial Conformance No. 4. An Addendum to Environmental Impact Report No. 228 was prepared in accordance with CEQA Guidelines and determined that the project as modified will not create any new significant adverse impacts to the environment. Further that updated studies were provided for biological resources, traffic and circulation and geotechnical hazards. These studies were addressed within the addendum and are hereby incorporated by reference to demonstrate compliance with applicable local, state and federal regulations. In addition, the project includes a

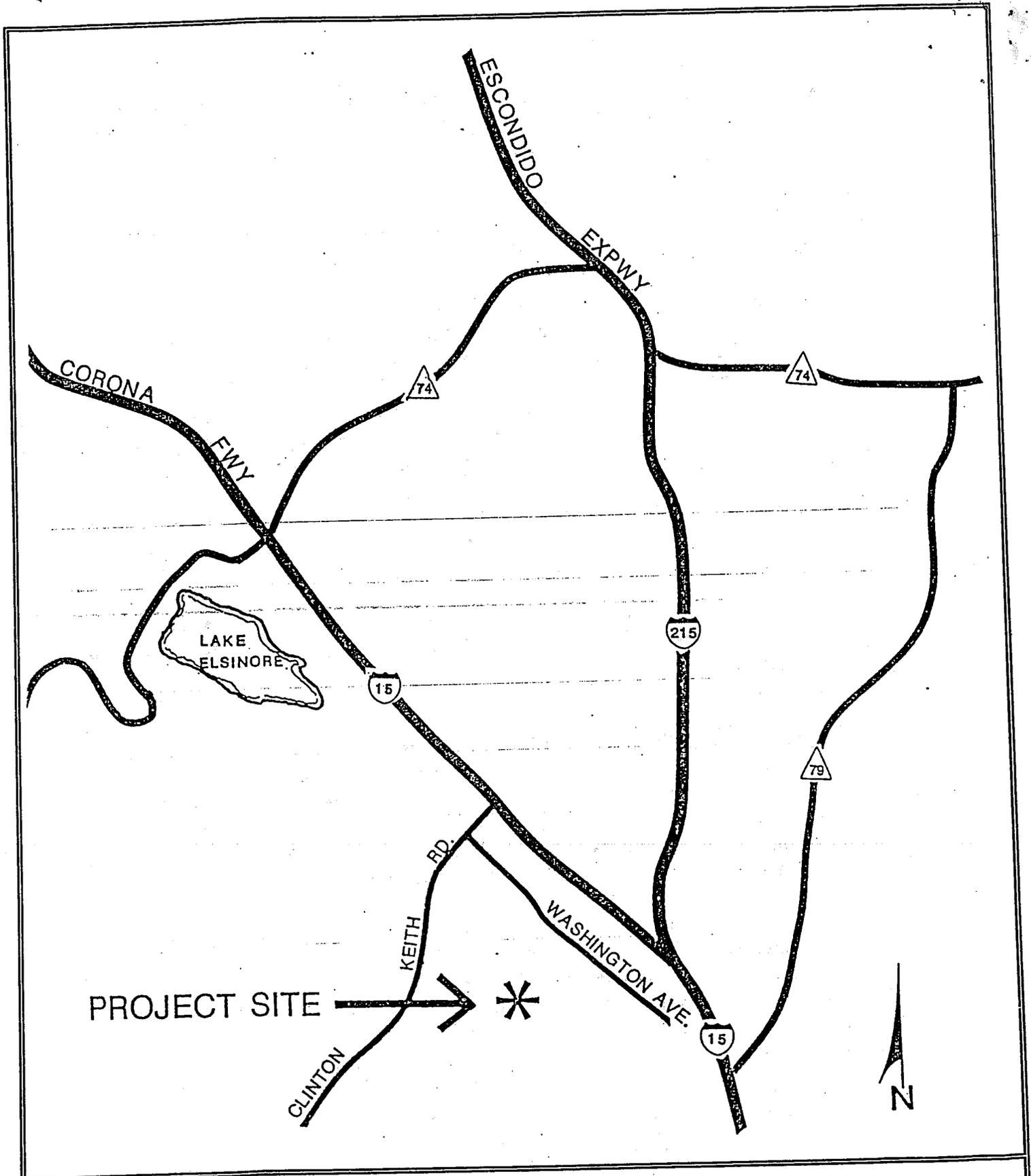
Mitigation Monitoring Program that has been adopted by the City of Murrieta and will be implemented by the applicant with monitoring by the responsible entities as outlined within the Mitigation Monitoring Program which is incorporated by reference.

4. The proposed project will not adversely affect the public health, safety, and welfare, nor be materially detrimental to the use, enjoyment, or valuation of persons or other property in the surrounding area.

FACTS: The project as proposed will increase accessibility to the northwestern portion of Murrieta and the unincorporated County lands for fire and police protection services by providing for the construction of an additional bridge crossing of Murrieta Creek and providing a connection to the Copper Canyon Specific Plan via Vineyard Parkway to Calle del Oso Oro. The proposed project will not be detrimental to the use, enjoyment, or valuation of persons or other property in the area in that the project includes within the design of the implementing subdivision buffering techniques to lessen any potential impacts and to address compatibility with existing and proposed land uses. The project will provide public improvements to the surrounding area. All project related improvements are outlined within the Conditions of Approval which are attached to the staff report and are incorporated by reference.

5. The site is physically suitable for the type of development proposed and takes into account topographical and drainage conditions, traffic circulation, and can be provided with necessary service facilities.

FACTS: As required by the City of Murrieta, the project has taken into consideration topographic, geologic, hydrologic and environmental opportunities and constraints to create a design that generally conforms to the character of the land by retaining and utilizing basic existing landforms as much as possible. The site is physically suitable for the project in that the site size has adequate area to accommodate the use. The project has been designed to reflect anticipated marketing needs and public demand by providing a range of housing types which will be marketable within the developing economic profile of Murrieta area as well as the County of Riverside generally. The project provides residential uses with specific emphasis on employing natural open space for a heightened aesthetic environment. The Specific Plan, Substantial Conformance No. 4 and implementing Vesting Tentative Tract Map No. 28903 provide direct and convenient access to clustered neighborhoods via an efficient circulation system. The Specific Plan creates a unique residential character that provides for a distinct environment through architectural treatment, viewshed and natural terrain. The project as proposed establishes a unique open space/environment that integrates Murrieta Creek with a unified equestrian trail, footpath and park system. Impacts to roadways will be mitigated through the construction of on- and off-site road improvements. All utilities providers and City servicing departments have indicated an ability to serve the project through existing service connection or the construction of new service connections.

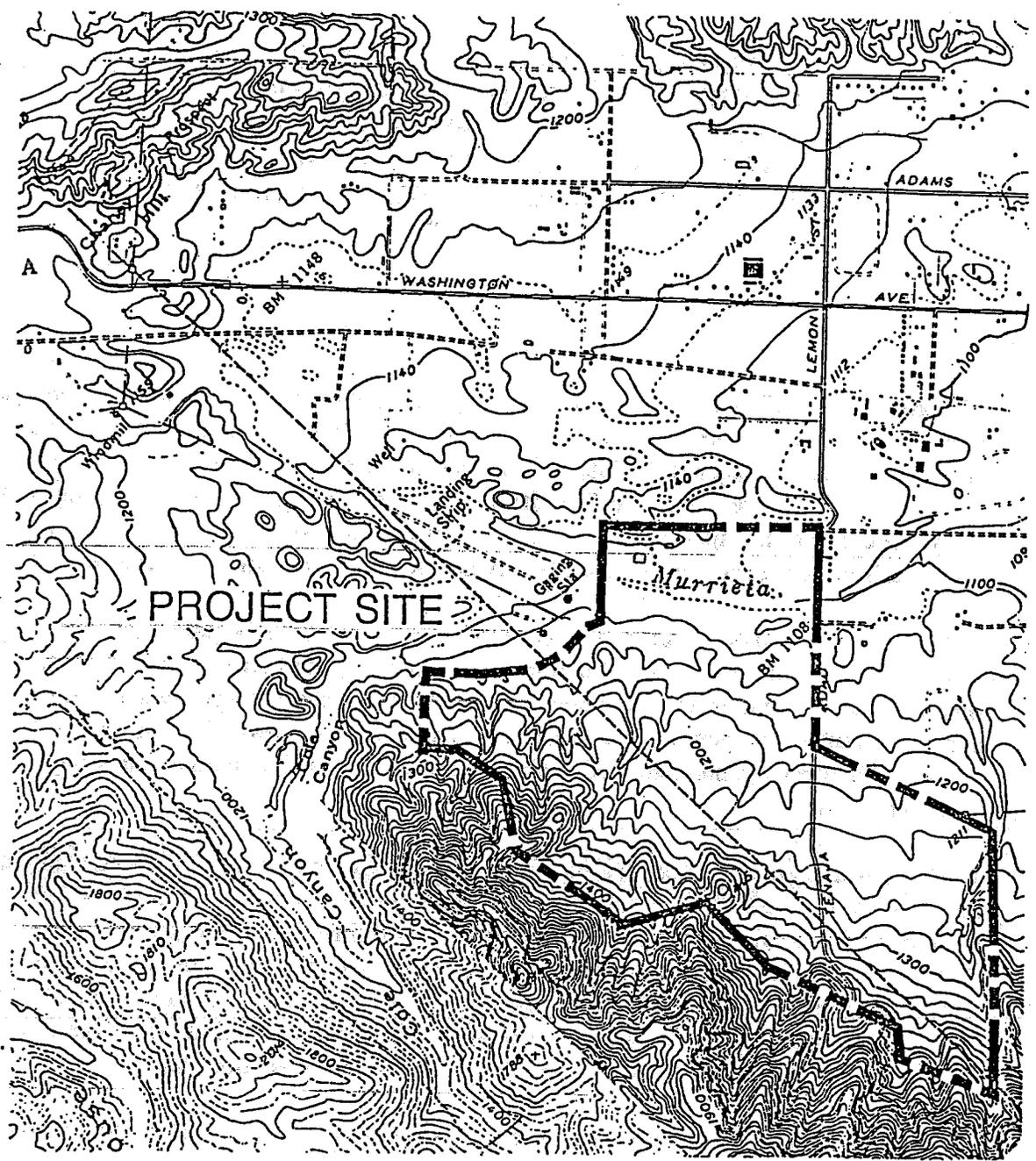


REGIONAL MAP

Tom Dodson & Associates
Environmental Consultants

Source: The Vineyard Specific Plan/EIR

ATTACHMENT 2



VICINITY MAP

Tom Dodson & Associates
Environmental Consultants

Source: The Vineyard Specific Plan/EIR

ATTACHMENT 3

**DRAFT CONDITIONS OF APPROVAL
SPECIFIC PLAN NO. 215 - THE VINEYARD
SUBSTANTIAL CONFORMANCE NO. 4,
VESTING TENTATIVE MAP NO. 28903,
& LOT DEPTH/WIDTH RATIO EXCEPTION (98-059)
APRIL 14, 1999**

GENERAL

1. The applicant shall defend (with attorneys approved by the City), indemnify and hold harmless the City of Murrieta, its agents, officers, and employees from any claims, damages, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul an approval of the City, its advisory agencies, appeal boards, or legislative body concerning this approval. The City will promptly notify the permittee of any such claim, action, or proceeding against the City and will cooperate fully in the defense.
2. Any fees due the City of Murrieta for processing this project shall be paid to the City within thirty (30) calendar days of final action by the approval authority. Failure to pay such outstanding fees within the time specified shall invalidate any approval or conditional approval granted. No permits, site work, or other actions authorized by this action shall be processed by the City, nor permitted, authorized or commenced until all outstanding fees are paid to the City.
3. Pursuant to Section 711.4 of the State of California Fish and Game Code, the applicant is required to pay a \$78.00 handling fee. Said fee shall be paid to the Clerk/Recorder of the County of Riverside at the time the Notice of Determination is filed pursuant to Section 21152 of the Public Resources Code. If this fee is not paid, the approval of this project shall not be operative, vested, or final. In order to comply with State mandated time lines for filing of a Notice of Determination, the above fee must be delivered to the Planning Department within two (2) working days after the date of final approval.
4. The subdivider and all successors in interest shall comply with the provisions of Specific Plan No. 215, Substantial Conformance No. 4, including all mitigation measures identified in the project EIR, Addendum, Mitigation Monitoring and Reporting Program, and the Biological Management Plan for the Quino Checkerspot Butterfly and Burrowing Owl approved concurrently herewith.
5. Vesting Tentative Map No. 28903 shall record within two (2) years from the date of the approval or it shall become null and void unless a final map is recorded or an extension of time is granted pursuant to City ordinance.
6. This entitlement permits the development of 1,117 single family detached dwelling units within Specific Plan No. 215 (SP No. 215). Should the extension of Kalmia Street be eliminated by an amendment to the Circulation Element of the General Plan, the applicant

- may implement the alternative lotting pattern identified on Vesting Tentative Map No. 28903, sheet 6A. The alternative lotting pattern allows a total of 4 additional single family detached residential lots (1,121 total). Residential development that exceeds this limit, shall require additional environmental analysis and all non-residential uses will require additional City entitlements (e.g. Plot Plan, Conditional Use Permit, Revised Tentative Map, etc.).
7. In no case shall the property be developed with more than 1,306 dwelling units within a total of 521 acres, as permitted by The Vineyards Specific Plan No. 215, Substantial Conformance No. 4. Development shall be consistent with the manner illustrated on the Specific Land Use Plan. General land use distribution, including commercial, recreation, circulation, and open space are specifically delineated within The Vineyard Specific Plan No. 215, Substantial Conformance No. 4.
 8. The applicant shall pay all applicable mitigation fees or provide proof that all required fees have been paid in accordance with City policies and ordinances in effect at the time of project application completeness, pursuant to Government Code Section 65943, unless specifically identified herein. The project application was deemed complete on August 28, 1998.
 9. The applicant is hereby advised that model home complexes shall be required to receive administrative approval of a development plan from the Development Services Department.
 10. The applicant is hereby advised that any use of signs, pennants, banners, streamers, flags, or similar attention getting devices are prohibited, unless specifically approved by the Planning Division.
 11. The Phasing Plan (Sheet 2 of VTM 28903) identifies individual final map boundaries. Prior to the recordation of any phase, the City shall review the subject map for compliance with these Conditions of Approval, as well as the adequate provision of public infrastructure to serve the proposed phase.
 12. Lots created by this subdivision shall comply with the following:
 - a. All residential lots shall be no smaller than 7,200 net square feet.
 - b. Except as specifically waived herein, all lots shall be in conformance with Section 3.8 of Ordinance No. 460.

- c. The following lots are hereby granted an exception, pursuant to section 3.1C of Ordinance 460, of Section 3.8C of Ordinance No. 460 regarding lot length-to-depth ratios: 13, 14, 20, 122, 215, 216, 247, 248, 302-305, 316, 317, 328, 329, 376, 486, 487, 497, 665-673, 709, 710, 775, 776, 800, 997-999, & 1006.
 - d. Graded but undeveloped pads shall be maintained in a weed-free condition and shall be either planted with interim landscaping or provided with other erosion control measures as approved by the Planning and Engineering Divisions.
13. Prior to issuance of the 550th building permit, Kalmia Street shall be constructed on the project site. Kalmia Street shall be extended to Washington Avenue in accordance with a design approved by the City prior to issuance of the 1,118th building permit. Should Kalmia Street be eliminated by a Circulation Element amendment prior to the 550th building permit, the applicant will not be responsible for the construction and may implement the alternative lotting pattern identified on Vesting Tentative Map No. 28903, Sheet 6A.
 14. Common open space areas shall be shown on the final map as lettered lots and shall be improved according to the Murrieta CSD landscape standards and specifications. All common open space areas shall be managed by a master property owner's association, the Community Services District, and/or other entity approved by the City. The maintenance entity shall be established prior to issuance of any residential building permits.
 15. Open space easements within lots 568 through 586 and lots 604 through 606 shall be deed restricted to prohibit post-occupancy disturbances by property owners for the purposes of grading, construction or other development activities. The minimum width of the easement shall be 30-feet.
 16. The developer shall be responsible for maintenance of all slopes, including all slopes within each residential lot (interior rear and side yard), landscaped areas and irrigation systems until such time as those operations are the responsibilities of other parties (property owner association or other approved entity) as approved by the Planning Division.
 17. All front yards, privately maintained slopes over 3-feet in vertical height, and model homes shall be provided with landscaping and automatic irrigation, as approved by the City Landscape Architect.
 18. The local postal delivery office shall review and approve all proposed postal delivery arrangements, including location and access to all mailboxes. Mailboxes shall be aggregated

into single-point delivery, as approved by the post office. The applicant shall provide the City with evidence of postal service approval.

19. An Environmental Constraints Sheet (ECS) shall be prepared with the final map to delineate identified environmental concerns and shall be permanently filed with the office of the City Engineer. Prior to the recordation of the final map, a copy of the ECS shall be transmitted to the Development Services Department for review and approval. The approved ECS shall be forwarded with copies of the recorded final map to the Development Services Department. The following shall be placed on the ECS:
- a. "This property is located within thirty (30) miles of the Mount Palomar Observatory. Light and glare may adversely impact operations at the Observatory. Outdoor lighting shall be from low pressure sodium lamps that are oriented and shielded to prevent direct illumination above the horizontal plane passing through the luminar."
 - b. Identification of any protected/preserved trees or significant stands of trees.
 - c. Identification of the floodplain and floodway.
 - d. Identification of the Sykes Ranch Cultural Resource Site, including structure descriptions and locations. All structures shall be retained on-site.
20. Prior to recordation of the first final map, the subdivider shall submit the following documents to the City for review and approval by the City Attorney:

A declaration of covenants, conditions, and restrictions; and

A sample document conveying title to the purchaser of an individual lot or unit which provides that the CC&Rs are incorporated therein by reference.

The CC&Rs submitted for review shall (a) provide for a minimum term of 60 years, (b) provide for the establishment of a property owners association comprised of the owners of each individual lot or unit, © provide for ownership of the common area by either the property owners association or the owners of each individual lot or unit as tenants in common and (d) contain the following provisions verbatim:

Notwithstanding any provision in this Declaration to the contrary, the following provision shall apply:

The property owners association established herein shall manage and continuously maintain the common area, more particularly described on Exhibit __ attached hereto, and shall not sell or transfer the common area, or any part thereof, absent the prior written consent of the Development Services Director of the City of Murrieta or the City's successor-in-interest.

The property owners association shall have the right to assess the owners of each individual lot or unit for the reasonable cost of maintaining the common area and shall have the right to lien the property of any such owner who defaults in the payment of a maintenance assessment.

An assessment lien, once created, shall be prior to all other liens recorded subsequent to the notice of the assessment or other document creating the assessment lien.

~~This declaration shall not be terminated, substantially amended or property deannexed therefrom absent the prior written consent of the Development Services Director of the City of Murrieta or the City's successor-in-interest.~~

A proposed amendment shall be considered substantial if it affects the extent, usage or maintenance of the common area.

In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws or the property owners association Rules and Regulations, if any, this declaration shall control.

In addition the CC&Rs shall provide a method for the maintenance and repair of all parking and landscaping areas within the final map, and shall provide to the extent they are not adequately enforced as to the requirements in these conditions of approval the City shall have the right there upon to enforce them, at the cost of the owner(s). Once approved, the declaration of covenants, conditions and restrictions shall be recorded at the same time that the final map is recorded.

21. Prior to the issuance of a grading permit, for the affected area, the applicant shall submit a Tree Preservation Plan (TPP). Such plan shall be prepared by a licensed arborist and shall identify all existing on-site Oak, Sycamore, and Western Cottonwood trees and any significant grove or stand of trees and their respective sizes. The TPP shall also identify all of the trees that will be removed as a result of project implementation. Tree replacement shall be as follows:

- a. Any Oak tree removed with a four (4) inch or larger trunk diameter measured at 4.5-feet above the root crown shall be replaced at a ten-to-one ratio (10:1) with 24" box trees of a like species. Replacement trees shall be noted on the approved Landscape Plans.
 - b. Any Sycamore or Western Cottonwood tree removed with a four (4) inch or larger trunk diameter measured at 4.5-feet above the root crown shall be replaced at a one-to-one (1:1) ratio with 24" box trees of a like species. Replacement trees shall be noted on the approved Landscape Plans.
 - c. Any large grove or stand of trees that are removed shall be replaced in open space areas as determined by the City Landscape Architect. The replacement ratio shall one-to-one (1:1) with tree size and species approved by the City Landscape Architect.
22. Preserved and replaced trees shall be protected through the following guidelines:
- a. Discourage the encroachment of structures, grading, or trenching within the dripline or twenty-five (25) feet of the trunk, whichever is greater.
 - b. Any encroachment within the dripline is limited to no more than one-third (1/3) of the root area. The root area is defined as extending beyond the dripline a distance equal to one-half the radius of the dripline. Encroachment shall be subject to approval of the City Landscape Architect.
 - c. Alteration of natural drainage shall be avoided to the greatest extent possible.
 - d. Runoff channeled near trees shall not substantially change normal soil moisture characteristics on a seasonal basis.
 - e. Runoff shall not be directed towards the base of trees so that the base of the trees remain in wet soil for an extended period. Where natural topography has been altered, drainage away from trunks shall be provided where necessary to ensure that water will not stand at the crown. Drainage design shall be subject to approval by the City Landscape Architect.
 - f. Sedimentation and siltation in the drainage ways shall be controlled where necessary to avoid filling around the base of the trees.

- g. Land uses that cause excessive soil compaction within the dripline of trees shall be avoided. Heavy use under trees shall be avoided unless measures to minimize compaction are undertaken.
 - h. Landscaping or irrigation shall not be installed within ten (10) feet of any Oak tree.
23. Grading plans shall incorporate contour grading techniques on all slopes over 10-feet in height. The horizontal contour of all slopes exceeding 100-feet in length shall be curved in a continuous, undulating fashion. Toes and tops of slopes shall be rounded where drainage and stability permit. No slope may exceed 30-feet in overall height without incorporating a terrace drain.
24. ~~Prior to the issuance of each grading permit, the applicant shall comply with the provisions of any existing City ordinance which has been established as a mitigation measure for the Stephens Kangaroo Rat. The fee for grading within the mitigation fee area is \$500.00 per gross acre.~~
25. A qualified paleontologist, approved by the City, shall attend pre-grading meetings and observe all on-site grading activities. Should a resource be encountered during grading, grading operations shall cease, or be directed elsewhere, until such time that the resource is evaluated and appropriate mitigation is determined.
26. The Sykes Ranch, which includes the Level C2 cultural resource (barbeque), will be preserved. All structures shall be protected in place, and all development activities shall avoid disturbing these structures. The Sykes Ranch site shall be designed to provide direct public access on YYY Street.
27. The Sykes Ranch site (Cultural Resource Park) shall be deeded to the City, CSD, or other entity approved by the City, upon recordation of the adjoining development phase. The Sykes Ranch resource shall be protected through the use of fencing, boarding of windows, and other means to prevent vandalism until the approved entity accepts title to the property.
28. Prior to commencement of construction, the City Landscape Architect shall meet with the job site superintendent and the landscape contractor. Layout of landscape planters and other site conditions shall be discussed and verified.
29. Grading plans shall be reviewed by the Planning Division for compliance with the approved Specific Plan. Grading plan check fee is an actual cost fee billed at \$70.00 per hour. A

deposit of \$140.00 shall be paid to the Planning Division at the time grading plans are submitted for plan check. Applicant is aware that plan check fee is subject to change and that the fee in effect at the time of plan check submittal shall be applicable.

30. Prior to issuance of a building permit for construction of and use contemplated by this approval, the applicant shall first obtain clearance from the Planning Division verifying that all pertinent condition of the Specific Plan and Tentative Map have been satisfied for the phase of development in question.
31. Prior to building permit issuance, each subsequent development phase shall submit to the Planning Division an administrative development plan for approval including plotting of structures, floor plans/elevations, walls/fences, and landscaping. Building elevations shall incorporate enhanced architectural treatment on all sides.
32. All mechanical equipment, ground or rooftop, shall be screened from public view. Such screening shall be through integrated building design elements and approved by the Planning Division prior to building permit issuance.
33. Should the applicant elect to join the Community Services District (CSD), all landscaping and irrigation shall be installed in accordance with the CSD landscape manual.
34. Community signage design is approved as part of this application, and contained in the Design Guidelines for the Specific Plan. If any additional or revised signs are proposed, a separate exhibit and appropriate fees shall be submitted for approval by the Planning and Building Divisions prior to installation. The approval of a sign by this entitlement does not exempt the applicant from building permit requirements.
35. Materials and colors used in the construction of the project monumentation and streetscape elements shall be in substantial conformance with elevations approved as part of the application. A homeowners association or other entity approved by the City shall be responsible for the maintenance of all community walls, monuments, and other streetscape elements.
36. All lighting shall comply with the City's lighting ordinance in effect as of 8/28/98. Lighting plans shall include the location of all outdoor lighting fixtures, the type and description of the fixtures, and a written statement on the plans signed by a lighting contractor or engineer that the plans meet the requirements of the Mount Palomar lighting restrictions.

37. Prior to the issuance of building permits for each development phase:

Three copies of construction landscape planting and irrigation plans shall be submitted to the Planning Division and approved. The plans shall be prepared by a licensed Landscape Architect. The above described plans shall be in substantial conformance with Specific Plan 215, Substantial Conformance No. 4, Ordinance 348, the City's Water Efficient Landscape Ordinance No. 84-93, and any applicable policies of the City in effect as of 8/28/98. Notes, details, and specifications shall be included. Landscape plans for typical front yard landscaping shall be drawn at a scale of 20 feet equal to 1 foot or larger. Plans for erosion control landscaping and street trees may be drawn at a smaller scale as approved in advance by the City Landscape Architect.

- a. All privately maintained slopes 3 feet and greater in vertical height shall be planted ~~and irrigated~~ according to City of Murrieta Production Slope Landscaping Requirements.
- b. No Eucalyptus trees shall be used in the planting designs.
- c. The City Landscape Architect and/or Community Services District (CSD) Superintendent shall make the final decision regarding selection of all trees, shrubs, vines and ground covers. The type of plants as listed in The Vineyard Design Guideline Booklet, August 1998 may not necessarily be acceptable nor appropriate for their location.
- d. Street tree on center spacing of 40 feet along Vineyard Parkway and 30 feet along all interior streets are to be considered maximum spacings. The final decision regarding exact placement of trees when obstructions interrupt the typical spacings shall be determined by the City Landscape Architect and/or CSD Superintendent.
- e. Meandering sidewalk minimum planter area design shall be 3 feet in width. Sufficient wider planter areas shall be designed to accommodate required tree spacings. No tree shall be designed to be installed in an area narrower than 6 feet in width (40 square feet open area).
- f. It is recommended that all trees be spaced at least 5 feet from paving.
- g. 2" of approved, shredded, nitrolized wood mulch shall be installed in all shrub beds post tree and shrub installation and prior to installation of ground covers to conserve water.

38. Prior to recordation of each phase, the applicant shall provide the CSD with an acceptable security for parkland and improvements commensurate with the number of units for each phase. The applicant shall provide the approved park site, as shown on VTM 28903, in accordance with Quimby Act requirements, prior to occupancy of the 350th dwelling unit west of Murrieta Creek. Parkland improvement security is not required for dwelling units east of Murrieta Creek, as the dedication of the Sykes Ranch cultural resource site shall constitute compliance with this condition for this area.
 39. Community monumentation, walls, and fencing shall be installed in substantial conformance with the Design Guidelines approved with Specific Plan No. 215, Substantial Conformance No. 4 as follows:
 - a. ~~Neighborhood Entries (Figure 18) including community walls, fences, and landscaping shall be installed prior to occupancy of any units within the applicable phases as shown on the Conceptual Landscape Plan (Figure 14).~~
 - b. Major Entries (Southeast [Figure 15] on lots 1144 and 1145, and North [Figure 16] on lots 1141 and 1142) shall be installed with community walls, fences, and landscaping prior to occupancy of any lots west of Murrieta Creek.
 - c. The Secondary Entry Guardhouse (Figure 17) on lots 1131, 1132, and 1133, including community walls, fences, and landscaping shall be installed prior to occupancy of any units in Phases 2-A or 2-B.
- Proposed locations and materials of community monumentation, walls, and fences shall be submitted to the Planning Division for approval prior to grading permit for the subject areas.
40. Wood fences are not permitted adjacent to any public street.
 41. Prior to occupancy for the development phase incorporating these facilities, the bike path and horse trail system as described in the Design Guidelines for Specific Plan No. 215, Substantial Conformance No. 4, shall be constructed and conveyed to the appropriate maintenance entity, as approved by the City.
 42. Waste management shall review and approve all solid waste pick-up arrangements for the project.
 43. Prior to the issuance of occupancy permits for the development phase, or final sign-off of any parkway or model home landscaping:

- a. All irrigation systems shall include a rain shut-off device which is capable of shutting down the entire system. The plan will incorporate the use of in-line check valves, or sprinkler heads containing check valves to prohibit low head drainage. The irrigation system shall be adjusted to prevent overspray on non-landscape areas in order to conserve water resources.
- b. Performance securities, in the amount determined by the City to guarantee the installation and/or adequate maintenance of the landscaping materials and irrigation system in accordance with the approved plans in the right-of-way shall be posted with the Engineering Division.
- c. All required landscaping and irrigation systems shall be installed in a condition acceptable to the City. Inspection of the landscaping will be provided by the City Landscape Inspector to ensure that the landscape installation is in compliance with the approved landscape plans. The fee for all landscape related inspections is currently \$70.00 per hour. The fees are subject to change. The applicant is aware that whatever fee is in effect at the time of inspection shall be applicable.

FIRE

44. The applicant(s) shall comply with the Fire Department Conditions of Approval, dated August 18, 1998 (attached).
45. Alternate access must be in place and approved by the Engineering, Planning, and Fire Departments prior to the issuance of occupancy permits for any unit/lot. This requirement shall apply whether or not the project is phased.
46. All road surface improvements, subject to Fire Department approval, shall be in place prior to delivery of any combustible materials on a phase, by phase basis.

BUILDING

47. Building plans shall be submitted and approved, with the appropriate fees, for all proposed structures. Building plans shall conform to current City building ordinances.

ENGINEERING

Prior to recordation of a Final Map for a development phase, the subdivider shall complete the following or have plans submitted and approved, agreements executed and securities posted, as required for that phase:

48. The subdivider shall dedicate to the City all public streets and easements required by these conditions or as shown on the Vesting Tentative Map. All land shall be granted free and clear of all liens and encumbrances and without cost to the City. Streets that are already public are not required to be rededicated.
49. Some improvements shown on the Tentative Map and/or required by these conditions are located off-site on property in which the City nor the subdivider may not have title or interest to permit the improvements to be made without acquisition of title or interest. If required, the subdivider shall pay for all land acquisition costs required for such improvements.
50. Dedicate public rights-of-way and improve the following streets as follows:
 - a. ~~Hayes Avenue (From Tenaja Road to Nighthawk Way) - Dedicate additional right-of-way along the project frontage such that the centerline to property line is 33 feet. Construct part-width street improvements per City Standard No.105, Section A. Improvements shall include street lighting and bike lanes. (Required with the first phase east of Murrieta Creek)~~
 - b. ~~Vineyard Parkway (From Hayes to northerly project boundary)- Dedicate right-of-way and construct street improvements per the street section shown on VTM 28903. Improvements shall include street lighting and bike lanes. Construct 52-foot wide bridge improvements per City Standard No. 117, with Caltrans Type 26 barrier and Type 7 fence behind concrete curb and 5' sidewalk. (Required with the first phase west of Murrieta Creek)~~
 - c. Murrieta Creek Channel (within the project boundary):
Prior to dedication of the Murrieta Creek Channel right-of-way (including the service roads), the applicant shall provide an agreement between the Riverside County Flood Control District and the Murrieta Community Services District for on-going maintenance of the channel. The agreement shall also identify Title transfer arrangements, fees to the Districts, and any required governmental permits. The channel shall be dedicated prior to grading of any development adjacent to the creek. A portion of the channel right-of-way, north of the Tenaja Bridge, shall be dedicated to RCFCD in accordance with their standards and policies.
 - d. A Class I bike path shall be constructed along the westerly side of Vineyard Parkway (from A street to north project limit) per Caltrans standards. Class II bike lanes shall be constructed along Hayes Avenue and Vineyard Parkway off-site. Bike signs

(Class III) shall be installed along Tenaja Road from Hayes to Washington. Access transitions from offsite bike lanes to bike path shall be provided.

- e. N (south of L), Q, and R streets shall be improved per City Standard No. 113, Section A (modified 45'/32').
 - f. N (north of R), and O streets shall be improved per City Standard No.106, Section A (modified 53'/40').
 - g. A and S streets shall be improved per City Standard No. 105, Section A (modified 58'/44').
 - h. C, D (north of B and south of F), E, G (south of H) K, M, P, U(north of T), X, QQ, SS, TT, VV, WW, YY (south of UU), BBB, DDD (south of NNN), EEE, GGG, HHH, KKK, LLL, MMM, OOO, TTT (east of SSS and west of VVV), RRR, SSS (west of TTT), XXX, WWW (west of YYY) streets shall be improved per City Standard No. 107, Section A.
 - I. B, D (between B and F), F, G (north of H), H, I, J, L, T, U (south of T), V, W, PP, RR (south of PP), UU, YY (north of UU), ZZ, AAA, CCC, DDD (north of NNN), FFF, HHH (north of JJJ), NNN, III, JJJ, QQQ, SSS (east of TTT), TTT (between SSS and VVV), VVV, and WWW (south of YYY) streets shall be improved per City Standard No.106, Section A.
 - j. XX and PPP streets shall be improved per City Standard No. 105, Section A.
51. Improve the following private streets as follows:
- a. Y, BB (south of AA), HH, CC(north of DD), II, JJ, and LL streets shall be improved per City Standard No. 108, Section A (modified 41'/32').
 - b. CC (south of DD) and MM(north of OO) streets shall be improved per City Standard No. 108, Section A (modified 48'/36').
 - c. Z, BB (north of AA), DD, EE, FF, GG, KK, MM (south of OO), NN, and OO streets shall be improved per City Standard No.108, Section A (modified 49'/40', as shown on VTM 28903).

Note: All private streets and their associated road and drainage improvements shall be privately maintained. An easement for utilities and access of emergency and maintenance vehicles shall be provided.

52. Provide additional rights-of-way (as required with the improvements) and construct traffic, intersection, and off-site street improvements prior to the occupancy of the 370th residential lot (33% of project total), as follows (**In lieu of design and construction, a cash deposit based upon an approved estimate plus 20% contingencies may be provided.**):

- a. *Washington Avenue at Tenaja Road/Lemon Street*: Construct a traffic signal (or modify if already built) and construct the following improvements:

Washington:

Improvements shall be in substantial conformance with those illustrated on Sheet 11, Figure C of VTM 28903. All improvements shall be based upon City Engineer approved designs.

Tenaja/Lemon:

Improvements shall be in substantial conformance with those illustrated on Sheet 11, Figure C of VTM 28903. All improvements shall be based upon City Engineer approved designs.

- b. *Tenaja Road (From Washington to Hayes)*- Construct additional westbound lane, such that there will be two lanes from Washington Avenue to Hayes, with one lane converted to a right-turn only at Hayes (one through lane, one right-turn lane), as illustrated on Sheet 11, Figure B of VTM 28903. Prior to grading, design geometrics shall be approved by the City Engineer. All grading is anticipated to be conducted within the existing right-of-way.

- c. *Washington Avenue at Kalmia Street*: Modify the traffic signal and construct the following improvements:

Washington Avenue:

Improvements shall be in substantial conformance with those illustrated on Sheet 12, Figure D of VTM 28903. All improvements shall be based upon City Engineer approved designs. Provide 5-foot temporary ac sidewalk from existing sidewalk (west side of Washington) to the northwest corner of Washington Avenue and Kalmia Street. In lieu of construction, the applicant may provide a cash deposit based upon a City approved engineer's estimate for the temporary sidewalk. **Note:**

Widening of Line F box culvert will be required, at the applicant's expense, to accommodate the additional lanes. The applicant shall be relieved of the widening of the box culvert if the City is successful in achieving a Senate Bill 821 RCTC grant.

- d. Vineyard Parkway (From northerly project boundary to Calle del Oso Oro). Dedicate right-of-way and construct street improvements with 66'/34' part-width improvements on the east side and construct 40' bridge section on the east side. Improvements shall include curb/gutter, sidewalk, streetlights, signing and striping with bike lanes. (Required with the first phase west of Murrieta Creek)
53. All typical sections and limits of proposed onsite and offsite improvements are shown on the tentative map. Final design shall be approved by the City Engineer.
54. Improvement plans shall be prepared by a Registered Civil Engineer based upon a centerline profile extending a minimum of 300 feet beyond the project boundaries at a grade and alignment approved by the City Engineer.

Intersection sight distance analysis shall be incorporated in the improvement plans. A copy of the bridge improvement plans and associated Murrieta Creek channel improvement plans shall be submitted to the Riverside County Flood Control and Water Conservation District (RCFC&WCD) for review and approval. RCFC&WCD processing and inspection fees are required.
55. Submit a Signing and Striping Plan for all on-site and offsite traffic and street improvements required for this project. The plan shall be prepared by a Registered Civil or Traffic Engineer and approved by the City Engineer prior to implementation. The removal of any existing signing and striping shall be the responsibility of the applicant. Traffic signing and striping shall be completed with all incurred costs borne by the applicant. The Signing and Striping plan shall be submitted together with the improvement plans.
56. Street lighting shall be required for all on-site, and Vineyard Parkway off-site street improvements, required for this project. All street lights shall be shown on the street improvement plans and shall be installed in accordance to City standards and ordinances.
57. Relinquish access rights to Tenaja Road, Hayes Avenue, Kalmia, and Vineyard Parkway for lots abutting such streets, and relinquish access rights to all dedicated public streets that are contiguous to the rear of lots: A, CCC, H (from I to G), PP, O (from H to N), PPP, S, SSS

(from III to Hayes), T, UU, W (from X to S), XX, ZZ, SSS, YYY (from WWW to Hayes), except for access openings as shown on the map.

58. The applicant shall accept and properly dispose of all offsite drainage flowing onto or through the site.
59. Protect all downstream properties from damages caused by alteration of the drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement.
60. Provide a drainage study prepared by a registered Civil Engineer identifying storm water runoff quantities expected from the site and upstream of the site. Show all existing or proposed off-site public or private drainage facilities intended to discharge this runoff. The study shall include a capacity analysis verifying the adequacy of the facilities.
61. The drainage system shall be designed to ensure that runoff resulting from a 10-year frequency storm of 3 hours duration under developed conditions, is equal to or less than the runoff from a storm of the same frequency and duration under existing conditions. Three hour storm duration shall be analyzed to determine the detention necessary to accomplish the desired results. Detention basin spillways, etc, shall be constructed to adequately pass the 100-year storm event.
62. Storm water detention basins shall be constructed outside of the 100-year floodplain of Murrieta Creek. Basins shall handle silts and water quality problems introduced by urbanization. Basins shall provide extended detention that meet the design guidelines provided in the California Storm Water BMP Handbook, pages 5-39 to 5-48, or its successor. Maintenance of the basins shall be by a public agency and shall be secured prior to Final Map approval. Maintenance shall be provided at the subdivider's expense, with evidence of such prior to Final Map approval. All weather access road (min. 12') and a turnaround shall be provided to the detention basin. Access roads for maintenance of drainage facilities and emergency vehicles shall be designed for a minimum Traffic Index of 4.0.
63. All grading shall be done in accordance with all City ordinances and standards, and all other relevant laws, rules and regulations governing grading in effect as of 8/28/98. The applicant shall include in its grading plans water quality management controls by specifically identifying BMP's (Best Management Practices for storm water pollution for general construction) that will be used on-site to control predictable pollutant runoff. Additional erosion protection shall be required during the rainy season from October 1 to April 30.

64. Prior to issuance of a grading permit, the applicant shall provide a construction permit in compliance with the NPDES program from the State Water Resources Control Board.
65. Prior to commencing any grading in excess of 50 cubic yards or paving in excess of 3,000 square feet, the applicant shall obtain a grading permit and approval prior to issuance of a building permit.
66. Plant and irrigate all slopes greater than or equal to 3 feet in vertical height with grass or ground cover to the satisfaction of the City Engineer. Slopes that exceed 15 feet in vertical height are to be planted with shrubs and/or trees.
67. In instances where a grading permit involves import or export, prior to obtaining a grading permit, the subdivider shall obtain approval of the import/export location by the City Engineer.
68. A soils investigation and drainage study shall be completed and approved prior to issuance of a grading permit. The soil investigation shall be subject to independent, third party review at the expense of the subdivider. All recommended measures identified in the soils report shall be incorporated into the project design.
69. FEMA prohibits development within the floodway unless certification by a Registered Civil Engineer can be provided through the Conditional Letter of Map Revision (CLOMR) process that the encroachments will not result in any increase in the base flood elevation and applicable flood hazard reduction provisions are complied (also see attached letter from RCFC&WCD dated 10/22/98). Buildout elevations provided by RCFC&WCD shall be complied with.

A portion of the proposed project improvements are within the floodway and floodplain and will affect "waters of the United States", "wetlands" or "jurisdictional streambeds", therefore, in accordance with the requirements of the National Flood Insurance Program and Related Regulations and City Ordinance the following shall be completed:

- a. Prior to issuance of any permit that would impact a floodplain or floodway, a flood study consisting of HEC-2 calculations, cross sections, maps and other data should be prepared to the satisfaction of the Federal Emergency Management Agency (FEMA) and the City for the purpose of revising the effective Flood Insurance Rate Map of the project. The submittal of the study shall be concurrent with the submittal of the related project improvement plans. Grading plan approval is contingent upon approval of a Conditional Letter of Map Revision (CLOMR) by FEMA. Prior to

occupancy of any unit that affects a FEMA floodplain or floodway, a Letter of Map Revision (LOMR) approved by FEMA shall be completed and submitted to the City.

The subdivider shall pay all processing fees required by FEMA and processing fees required for City processing of FEMA reviews.

- b. If required, the subdivider shall provide evidence of permits from all State and Federal Agencies, such as the Army Corps of Engineer 404 wetlands permit, Department of Fish and Game 1601/1603 permit, and Water Quality Control Board 401 permit, prior to issuance of grading permits.

70. Any wells to be abandoned shall be capped per State requirements.

71. The Traffic Impact Report reviewed by the City shall be signed with Engineer's seal and date of expiration.

Prior to issuance of any encroachment permit:

72. Prior to any work in private streets, inspection permits (with fees) shall be obtained.

73. Prior to any work being performed in the public right of way, fees shall be paid and an encroachment permit shall be obtain from the Engineering Department.

Prior to issuance of a building/grading permit (depending upon the fee type):

74. The subdivider shall pay all development impact fees, for that development phase, in effect at the time the Vesting Tentative Tract Map was deemed complete on 8/28/98. The RSA Fee shall be charged (\$2,767), along with the following fees:

Drainage (Murrieta Valley Area) (\$4,139.00 per gross acre)

Traffic Signal (\$175.00 per unit)

SW Road and Bridge Benefit District (\$840.00 per unit)

Fees shall be based upon Residential Development Rates.

Prior to issuance of an occupancy permit:

75. Equestrian trail/footpath as described in Specific Plan Substantial Conformance No. 4 shall be constructed along Murrieta Creek per City Standard No.218, at the time adjacent lots are developed.
76. All public improvements for the development phase (including signing and striping) shall be completed in accordance with the approved plans to the satisfaction of the City Engineer.
77. Install water and sewer improvements in accordance with Water District requirements.
78. Prior to occupancy of any unit westerly of Murrieta Creek, the subdivider shall complete the Bridges and Channel improvements in accordance with the Riverside County Flood Control and Water Conservation District standards.
79. The Letter of Map Revision (LOMR) shall be approved.

SCHOOL

80. Prior to the issuance of building permits, the applicant shall provide written verification of clearance from the Murrieta Valley Unified School District regarding project mitigation. The applicant is hereby noticed that an elementary school site is identified in the area shown for lots 511 through 554. Should the school district require the property, the overall unit total of VTM 28903 will be reduced by 44 single family detached lots.

END OF CONDITIONS

CITY OF MURRIETA

Fire Department: 41825 Juniper St., Murrieta CA 92562
Telephone: 909-677-5511 Fax: 909-677-6799

Internet Address:
<http://ci.murrieta.ca.us>



DATE: AUGUST 18, 1998

TO: CITY OF MURRIETA

ATTN: PLANNING DEPARTMENT/ ED MCCOY

RE: VESTING TENTATIVE MAP 98-059 / VINEYARD

Ladies and Gentlemen:

Fire Prevention has reviewed the plans submitted to our department. The following fire protection requirements must be provided in accordance with The City of Murrieta Ordinances and/or recognized fire protection standards.

FIRE PROTECTION

1. Proposed Schedule "A" projects require approved standard fire hydrants, (6" x 4" 2 1/2") located one at each street intersection and spaced no more than 330 feet apart in any direction, with no portion of any lot frontage more than 165 feet from a hydrant. Minimum fire flow shall be 1000 GPM for 2 hours duration at 20 PSI. Blue dot hydrant markers shall be installed in accordance with Murrieta Fire Department standards.
2. Applicant/Developer shall furnish one copy of the water system plans to the Fire Department for review. Plans shall conform to fire hydrant types, location and spacing, and, the system shall meet the fire flow requirements. Plans shall be signed/approved by the water company having jurisdiction and a registered engineer must provide the following certification statement:

CITY OF MURRIETA
PLANNING DEPARTMENT
VTM 98-059
AUGUST 18, 1998
PAGE -2-

“I hereby state that the design of the water system within this project is in accordance with the requirements prescribed by the Murrieta Fire Department as to hydrant type and spacing, and will provide fire flow of 1000 GPM if sufficient water is available at the point of connection.”

3. The required water system including fire hydrants shall be installed and accepted by the appropriate water agency prior to any combustible building material being placed on an individual lot.
4. All buildings within the City of Murrieta shall have fire retardant roofing with a Class “B” minimum rating. The developer must submit documented fire rated listings, supplied by the manufacturer, to the Fire Marshal if he/she chooses to use wood shingles.

ACCESS REQUIREMENTS

5. The Applicant/Developer shall agree to make application and agreements with the Murrieta Fire Protection District, to install a strobe light monitor receiver on all electrically controlled gates for vehicular access, prior to occupancy of any structure within this project.
6. Secondary/alternate access points shall meet the requirements established for public safety and shall be installed prior to construction of this project.
7. Access will have a 56 foot turning radius capable of accommodating fire apparatus.
8. Access will be a minimum of 28 feet wide to accommodate fire apparatus.
9. Access will have a minimum of 13 foot 6 inches vertical clearance to accommodate fire apparatus.

CITY OF MURRIETA
PLANNING DEPARTMENT
VTM 98-059
AUGUST 18, 1998
PAGE -3-

10. In the proposed guard shack area grading shall be such that the vertical clearance shall be 13 foot 6 inches 43 feet in front of and 43 feet past the guard shack overhang. See Fire Prevention for details.
11. All access requirements shall be in place and approved by Fire Prevention prior to release of building permits.

GENERAL CONDITIONS

12. All standards, regulations and policies established for public safety and the protection of property established in Ordinances 348, 460 and 546 must be in compliance with the approval of all local authorities.
13. Prior to recordation of the final map, the subdivider shall submit to following documents to the City of Murrieta Planning Department and Murrieta Fire Staff for review, which documents shall be subject to the approval of those departments.

A declaration of covenants, conditions and restrictions; and

A sample document conveying title to the purchaser or an individual lot or unit which provides that the declaration of covenants, conditions and restrictions is incorporated therein by reference.
14. This Declaration shall not be terminated, "substantially" amended prior to written consent of the Murrieta Fire Staff. A proposed amendment shall be considered "substantial" if it affects the unit/lot or open space fuel modification requirements as established in this document with consent of Murrieta Fire Staff.

FUEL MODIFICATION REQUIREMENTS

15. Access to fuel modification and open space must be acceptable to the Murrieta Fire Staff prior to issuance of an occupancy permit for any dwelling on any unit/lot required by the Building and Safety Department from the Murrieta Fire Staff releasing any unit/lot for occupancy within this project.
16. Fuel modification plans must be approved by Murrieta Fire Staff prior to the issuance of grading permits.

These plans must consist of type of plant species, area to be planted, irrigation lines and maintenance agreements.
17. Fuel Modification is required to be installed and accepted by City of Murrieta CSD and inspected/approved by Murrieta Fire Prevention personnel prior to occupancy within this project.
18. All fuel modification and access to open space must be acceptable to Murrieta Fire Prevention personnel prior to release for occupancy within this tract or project.
19. Access to fuel modification and open space must be acceptable for the Murrieta Fire Staff prior to issuance of occupancy permit for any dwelling on any unit/lot within this project. Letter of release shall be required by the City of Murrieta Planning Department from the Murrieta Fire Staff releasing any unit/lot for occupancy within this project.
20. All streets shown as single loaded on drawings dated 8/2/1998 shall remain single loaded. Any change in loading will require Fire Department review and approval.

CITY OF MURRIETA
PLANNING DEPARTMENT
VTM 98-059
AUGUST 18, 1998
PAGE -5-

ROAD IMPROVEMENTS - FIRE ACCESS

21. Prior to the recordation of the final map, the Applicant/Developer shall provide alternate access as approved by the City Transportation Department.
22. All road surface improvements shall be in place with all weather surfacing, acceptable to fire staff, ~~prior to construction of any buildings within this project.~~
23. Alternate access must be in place and approved by the City Transportation Department prior ~~to the issuance of an occupancy permit for any unit/lot.~~ This requirement shall apply whether or not the project is phased. Phasing will not be allowed to reduce access points.
24. All roads, bridges and other improvements for road and water infrastructure designed for proper access and adequate fire flows, to this project, shall be installed, tested and accepted by the governing agencies of authority having jurisdiction.

MITIGATION

25. Any development, subdivision or Tract Map within Specific Plan 215 that receives approval from the City of Murrieta to construct dwelling units or commercial square footage must comply with the densities proposed in this agreements established between the Murrieta Fire Protection District and the Joaquin Ranch Partners, Section 2 of Resolution 90-500. The fee assessed to developers shall be the mitigation fee in effect at the time the developer obtains such approval for the Tract Map. Specific Plan 215 contributed financially to the County Bear-Creek Fire-Station, and subsequent to receipt of fire mitigation credit, shall be responsible for establishing such credit, by document, for the first 517.5 living units (or \$207,000 credit) prior to release of any final tract or commercial map or release of any building structure permit within Specific Plan 215. For all dwelling units within Specific Plan 215 exceeding 517.5, fire impact fees totaling \$400.00 per unit must be paid prior to release of those building permits.

CITY OF MURRIETA
PLANNING DEPARTMENT
VTM 98-059
AUGUST 18, 1998
PAGE -6-

26. Prior to release of above referenced project, the Developer/Applicant is responsible to provide all fire protection measures and information required by Fire Prevention. If any of these conditions are not met before, during or after completion of the proposed buildings, the Developer understands that he is in violation of City of Murrieta Ordinance No. 546 and/or the Uniform Fire Code, and Fire Prevention has the authority to disrupt or permanently stop the construction of the project.

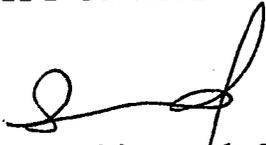
27. Prior to final inspection of any building, the applicant shall prepare and submit to Fire Prevention for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

28. PRIOR TO ANY BUILDING RELEASE, THE APPLICANT/ DEVELOPER SHALL SUBMIT APPROVED WATER PLANS AND PAY ALL REQUIRED FIRE FEE'S.

All questions regarding the meaning of the conditions shall be referred to the Fire Department Planning and Engineering staff.

Sincerely,

JERRY ALLEN, FIRE CHIEF
CITY OF MURRIETA FIRE DEPARTMENT

A handwritten signature in black ink, appearing to read "Gary Whisenand", written over a horizontal line.

Gary Whisenand, Captain



**RIVERSIDE COUNTY FLOOD CONTROL
AND WATER CONSERVATION DISTRICT**

October 22, 1998

City of Murrieta
Planning Department
26442 Beckman Court
Murrieta, CA 92562

Attention: Ed Basubas

Ladies and Gentlemen:

Re: Tract No. 28903

The District does not normally recommend conditions for land divisions or other land use cases in incorporated Cities. The District does not plan check City land use cases, or provide State Division of Real Estate letters or other flood hazard reports for such cases. District comments/recommendations for such cases are normally limited to items as specific interest to the District including District Master Drainage Plan facilities, other regional flood control and drainage facilities which could be considered a logical component or extension of a master plan system, and District Area Drainage Plan fees (development mitigation fees). In addition, information of a general nature is provided. The District has not reviewed the proposed project in detail and the following comments do not in any way constitute or imply District approval or endorsement of the proposed project with respect to flood hazard, public health and safety, or any other such issues.

Vesting Tract No. 28903 is part of the Vineyard Specific Plan and proposes 1100 units on 521 acres. The project is located at the northwest corner of Hayes Avenue and Tenaja Road.

A portion of the site is within the 100-year Zone-AE flood plain and floodway limits for Murrieta Creek as delineated on Panel No. 060751-2740A of the Flood Insurance Rate Maps issued in conjunction with the National Flood Insurance Program, administered by the Federal Emergency Management Agency (FEMA). The water surface elevation for the FEMA flow rates of 9,700 cfs ranges from 1119.00 to 1105.00 through the site. A District flood study determined the base flood elevations for the master plan flow rate of 22,500 cfs would range from 1121.38 to 1107.09 through the site (see Exhibit "A"). All the elevations are based on 1929 NGVD.

The developer proposes to construct lots within both the FEMA flood plain and floodway. Normally FEMA does not allow any fill, new construction, substantial improvements or development within the adopted regulatory floodway. The project does not propose any lots that would be impacted by the future Murrieta Creek Channel right of way. Because of the extreme hazard posed by Murrieta Creek, the City should consider not allowing the development to proceed adjacent to the creek until the ultimate improvements can be constructed. If the City chooses to allow development to proceed, we recommend that the City require the applicant to dedicate to the District the right of way for Murrieta Creek Channel as shown in concept on Exhibit "B". The developer should contact the

City of Murrieta
Re: Tract No. 28903

-2-

October 22, 1998

District to ascertain precise dimension of the right of way prior to recordation. In addition, the City should also condition the applicant to provide all studies, calculations, plans or other information needed to meet FEMA requirements. In this case it may require public maintenance of fill slopes within the flood plain and floodway. The District would consider maintaining these slopes provided there was adequate slope protection against erosion and a minimum 15-foot wide access road along the top of bank. Also a separate maintenance permit that is acceptable to the District must be obtained from the appropriate regulatory agencies. Finally, the proposed channel configuration should not raise the 100 year water surface more than 1 foot above the District's base flood elevation for 22,500 cfs, and the finished floor should be constructed a minimum of 12 inches above the resulting water surface elevation.

This project is located within the limits of the District's Murrieta Creek/Murrieta Valley Area Drainage Plan for which drainage fees have been adopted; applicable fees should be paid by cashier's check or money order to the Flood Control District or City prior to the issuance of building or grading permits. Fees to be paid should be at the rate in effect at the time of issuance of the actual permit.

Questions regarding this matter may be directed to me at 909/955-1214.

Very truly yours,



STUART E. MCKIBBIN
Senior Civil Engineer

Attachments

SKM:slj



**Rancho
Water**

July 30, 1998

Board of Directors:

Csaba F. Ko
President

Ralph H. Daily
Sr. Vice President

Lisa D. Herman

Doug Kulberg

Scott A. McIntyre

Jeffrey L. Minkler

George M. Woods

Mr. Ed McCoy, Case Planner
City of Murrieta
Planning Department
26442 Beckman Court
Murrieta, CA 92562-8850

**SUBJECT: WATER AND SEWER AVAILABILITY
TRACT MAP NO. 28903**

Dear Mr. McCoy:

Officers:

John F. Hennigar
General Manager

Phillip L. Forbes
Director of Finance-
Treasurer

E. P. "Bob" Lemons
Director of Engineering

Kenneth C. Dealy
Director of Operations
& Maintenance

Perry R. Louck
Controller

Linda M. Fregoso
District Secretary/Administrative
Services Manager

C. Michael Cowett
Best Best & Krieger LLP
General Counsel

Please be advised that the above-referenced property is located within the boundaries of Rancho California Water District (RCWD). Water and sewer service, therefore, would be available upon completion of financial arrangements between RCWD and the property owner.

The developer will be responsible for the construction of all on-site and off-site water and sewer facilities required by RCWD. The developer should contact the District for these requirements.

Water availability would be contingent upon the property owner signing an Agency Agreement which assigns water management rights, if any, to RCWD.

If you have any questions, please contact this office.

Sincerely,

RANCHO CALIFORNIA WATER DISTRICT

Steve Brannon, P.E.
Development Engineering Manager

97/SB:mc157/F012c/FEG

