



THE  
TRIANGLE  
Specific Plan

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MURRIETA, CALIFORNIA, AMENDING AND RESTATING SPECIFIC PLAN 276 (THE TRIANGLE) (FORMERLY NAMED MURRIETA SPRINGS MALL) CASE NO. SP0-007-2452

WHEREAS, the applicant, Domenigoni-Barton Properties, LLC ("applicant") (hereafter "DBP") submitted an application to the City of Murrieta (the "City") for approval of a Specific Plan Amendment to Specific Plan 276 (Case # SP0-007-2452), a 1,767,914 square foot regional commercial/office center, to be located on a 64.3 acre area (the "Project"); and

WHEREAS, the Project site is generally located south of Murrieta Hot Springs Road and between Interstate Highway 15 (I-15) and 215 (I-215) in the City of Murrieta and County of Riverside; and

WHEREAS, the Project area currently includes 31 separate parcels all owned by DBP; and

WHEREAS, Specific Plan 276 (Murrieta Springs Mall) was originally adopted by the County of Riverside on October 30, 1990 for an indoor retail mall, including uses such as offices, restaurant, entertainment, and hotel, with a maximum of approximately 1.7 million square feet, which also included certification of Environmental Impact Report ("EIR") 358 (SCH No. 90020608); and

WHEREAS, pursuant to Section 16.66-"Specific Plans" of the Murrieta Development Code, this Project requires an Amendment to Specific Plan 276, which may be adopted by ordinance and include regulations and criteria for development of a site; and

WHEREAS, on May 8, 2013, the Planning Commission of the City of Murrieta held a duly-noticed public hearing, and after considering all written and oral reports of staff, public testimony on the matter, and written and oral testimony provided by the applicant, voted (5-0) to recommend approval of the Specific Plan Amendment to City Council; and

WHEREAS, a hearing on the matter was duly noticed as provided in Murrieta Development Code section 16.78.050 for the City Council; and

WHEREAS, the City Council held a duly-noticed public hearing at which time, the City Council considered the Planning Commission recommendations, staff report and recommendations and public comments, both oral and written,

NOW, THEREFORE, BE IT ORDAINED by the City Council of Murrieta, California as follows:

SECTION 1: Findings for Approval of Specific Plan 276 Amendment No. 1(The Triangle).

1. The proposed specific plan amendment is consistent with the objectives, policies, general land uses, programs, and actions of all elements of the general plan.

FACTS: The Specific Plan Amendment is an amendment and restatement of Specific Plan 276 (Murrieta Springs Mall) to amend the Specific Plan by updating the development standards to reflect City development standards and requirements and renaming it "SP 276 (The Triangle)". The Specific Plan Amendment is consistent with General Plan Goal LU-1 and associated Policies LU-1.5 and LU-1.6, which relate to providing a balance of land uses throughout the community and achieving the community's vision by promoting future patterns of development and that reduces infrastructure construction costs and make better use of existing and planned public facilities. The Specific Plan amendment is also consistent with Goal LU-7 and associated policies LU-7.5 and LU-7.6 related to providing commercial centers near freeway access and major transportation corridors. The consistency of the Specific Plan Amendment with the general plan is more specifically addressed in Section 1.4.4 of the Specific Plan Amendment and is incorporated herein by reference.

2. The proposed specific plan amendment is necessary and desirable in order to implement the general plan.

FACTS: The Specific Plan Amendment is necessary and desirable in order to implement the general plan as the amendment replaces the previously approved County policies with the City's goals and policies.

3. The proposed specific plan amendment would not adversely affect the public convenience, health, safety, or general welfare, or result in an illogical land use pattern.

FACTS: The Specific Plan Amendment would not adversely affect the public convenience, health, safety, or general welfare, or result in an illogical land use pattern as the Project site currently has a General Plan designation of Commercial (C) and acknowledges SP 276 as a commercial development of up to 1.76 million square feet. The Specific Plan Amendment does not propose any uses, which are inconsistent with the Project site's commercial designation. The Project will enhance the public general welfare by attracting commercial uses, which will produce jobs and meet the public's commercial and entertainment needs.

4. The development standards contained in the specific plan amendment would result in a superior development to that which would occur using standard zoning and development regulations.

FACTS: The development standards in the Specific Plan Amendment results in an enhanced development design to that which would occur using standard zoning and development regulations. The Specific Plan Amendment provides for greater landscape setbacks, pedestrian connectivity between Planning Areas, and an enhanced drive aisle design. In addition, any development of the Project area would be completed in accordance with the provisions of The Triangle Specific Plan and Triangle Design Guidelines, and would require a Development Plan application for City review and approval. The Triangle Design Guidelines have been prepared as a separate document from the Specific Plan Amendment to assist developers in creating a vision for developing within The Triangle. Common project theme/elements would be prevalent in development throughout the center, including landscape palate, site lighting, paving features, benches, signage, and other site amenities.

5. The proposed specific plan amendment would be in compliance with the provisions of the CEQA.

FACTS: Pursuant to CEQA, a Subsequent Environmental Impact Report ("SEIR") was prepared and circulated for a 45-day public review and comment period. Comments were received and the City provided responses to the comments. Mitigation Measures were provided that address impacts that could be mitigated. A Statement of Overriding Considerations was prepared to address those impacts which could not be mitigated to a level below significance. The Planning Commission has reviewed the Draft SEIR and has used its independent judgment and considered all the reports, recommendations, and testimony related to the SEIR, and recommends certifying the completion of a SEIR in accordance with CEQA, including adopting a Statement of Facts and Findings regarding environmental impacts of the Project, a Statement of Overriding Considerations and a Mitigation Monitoring and Reporting Program.

6. The proposed specific plan amendment would not create internal inconsistencies within the specific plan, and is consistent with the purpose and intent of the specific plan it is amending.

FACTS: The Specific Plan Amendment is an amendment and restatement of Specific Plan 276 and internally consistent as a restated plan. The Specific Plan Amendment maintains the previous maximum-allowed development of 1.76 million square feet of commercial development, and provides for a Project consisting of a mix of commercial, office, and entertainment uses consistent with the purpose and intent of the original specific plan.

## SECTION 2: Approval.

- A. Specific Plan Amendment No. 1 (The Triangle) (SPO-007-2452) attached as Attachment 9 to the Agenda Report is hereby adopted and incorporated herein by this reference, subject to the Conditions of Approval.
- B. The Conditions of Approval, attached as Exhibit A, will be incorporated into and made a part of The Triangle Specific Plan. The Project will be subject to subsequent subdivision maps and discretionary approvals, whether legislative or administrative, in accordance with Chapter 16 of the Murrieta Development Code.
- C. The Triangle Specific Plan area is more specifically described as 64.3 acres currently comprised of thirty-five (35) assessor parcels and a 13.02 acre parcel identified as Lot A:

(1) 910-390-001, (2) 910-390-002, (3) 910-390-003, (4) 910-390-008, (5) 910-390-009, (6) 910-390-010, (7) 910-390-011, (8) 910-390-012, (9) 910-390-013, (10) 910-390-014, (11) 910-390-015, (12) 910-390-016, (13) 910-390-017, (14) 910-390-018, (15) 910-390-020 (16) 910-390-021, (17) 910-390-022, (18) 910-400-001, (19) 910-400-002, (20) 910-400-003, (21) 910-400-004, (22) 910-400-005, (23) 910-400-006, (24) 910-400-007, (25) 910-400-008, (26) 910-400-009, (27) 910-400-010, (28) 910-400-011, (29) 910-400-012, (30) 910-400-013, (31) 910-400-014, (32) 910-400-015, (33) 910-400-016, (34) 910-400-017, (35) 910-400-018 Lot A of PM 28280

D. The Specific Plan is legally described as follows:

Real property in the City of Murrieta, County of Riverside, State of California, described as follows;

Parcels 1 through 29 as shown on Parcel Map 28280 in the City of Murrieta, County of Riverside, State of California, as per map thereof on file in Book 197 of Parcel Maps, Pages 4 through 16, inclusive, of Parcel Maps in the office of the County Recorder of said Riverside County.

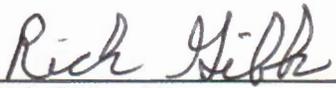
Lot A of Parcel Map 28280.

E. A location map of the Specific Plan area is shown on page 1-3 of Attachment 9.

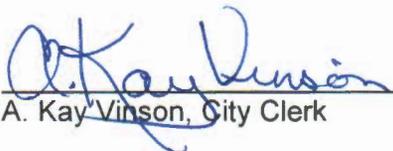
SECTION 3: Notice of Adoption.

The City Clerk shall certify to the adoption of this Ordinance and shall publish a summary of this Ordinance and post a certified copy of the full Ordinance in the office of the City Clerk at least five (5) days prior to the adoption of the proposed Ordinance; and within fifteen (15) days after adoption of the Ordinance, the City Clerk shall publish a summary of the Ordinance with the names of the Council members voting for and against the Ordinance. This Ordinance shall take effect thirty (30) days after the date of its adoption.

ADOPTED BY the City Council, signed by the Mayor, and attested by the City Clerk of the City of Murrieta, on this 15<sup>th</sup> day of October, 2013.

  
Rick Gibbs, Mayor

ATTEST:

  
A. Kay Vinson, City Clerk

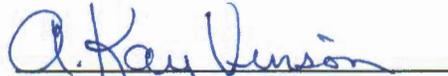
APPROVED AS TO FORM:

  
Leslie E. Devaney, City Attorney

I, A. Kay Vinson, City Clerk of the City of Murrieta, California hereby certify under penalty of perjury that the foregoing Ordinance was duly and regularly introduced at a meeting of the City Council on the 1<sup>st</sup> day of October, 2013, and that thereafter the said Ordinance was duly and regularly adopted at a regular meeting of the City Council on the 15<sup>th</sup> day of October, 2013, by the following vote, to-wit:

AYES: BENNETT, LANE, RAMOS, GIBBS  
NOES: NONE  
ABSENT: LONG  
ABSTAIN: NONE

IN WITNESS WHEREOF, I have hereunto set my hand and official seal of the City of Murrieta, California, this 15<sup>th</sup> day of October, 2013.

  
A. Kay Vinson, City Clerk

(Seal)

**CONDITIONS OF APPROVAL  
SPECIFIC PLAN AMENDMENT 2007-2452  
THE TRIANGLE (SP 276-AMENDMENT NO. 1)  
OCTOBER 15, 2013**

All of the following conditions shall be subject to the approval of the City Council prior to the approval of permits implementing this project or in accordance with the mitigation measures contained in the environmental documentation for the project. These conditions are not intended to be all inclusive of the requirements that may be imposed on future discretionary permits required to construct this project. The City reserves the right to review future permit applications in accordance with City environmental review procedures. These conditions shall be attached to the resolution approving the Specific Plan document and placed on file with the City Clerk.

**GENERAL CONDITIONS:**

1. The applicant or any successor-in-interest shall defend (with attorneys approved by the City), indemnify and hold harmless the City of Murrieta, its agents, officers, and employees from any claims, damages, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul an approval of the City, its advisory agencies, appeal boards, or legislative body concerning this approval of Specific Plan 2007-2452. The City will promptly notify the permittee of any such claim, action, or proceeding against the City and will cooperate fully in the defense.
2. Any fees due the City of Murrieta for processing this project shall be paid to the City within ninety (90) calendar days of final action by the approval authority. Failure to pay such outstanding fees within the time specified shall invalidate any approval or conditional approval granted. No permits, site work, or other actions authorized by this action shall be processed by the City, nor permitted, authorized or commenced until all outstanding fees are paid to the City.
3. Specific Plan 2007-2452 shall consist of the following:
  - a. Specific Plan Document, which must include, but not be limited to the following items:
    1. City Council Specific Plan Ordinance.
    2. Findings for Approval.
    3. Conditions of Approval
    4. Land Use Plan in both 8 1/2" x 11" black and white and 11' x 17" color formats.
    5. Specific Plan Text and Exhibits
    6. Resolution approving and including Design Guidelines

- b. Environmental Package, which must include, but not be limited to, the following items.
  - 1. Initial Study/Subsequent Environmental Impact Report
  - 2. Mitigation Reporting/Monitoring Program. (M/M)
  - 3. Agency Notice of Completion (NOC).
  - 4. Comments on the NOC.
  - 5. Technical Appendices.
  
- c. The Specific Plan and Design Guidelines shall be revised as follows:
  - 1. Remove all language referring to proposed new billboards.
  - 2. Remove all language referring to reconstructing existing billboards to electronic display billboards.
  - 3. Remove all language referring to proposed gas stations/service stations.
  - 4. Remove all language referring to proposed food related drive-through facilities, including in the allowed uses matrix and all related development standards. (*Modified by City Council 10/1/13*)
  - 5. Remove the word "Gaming Clubs" from the list of uses in Table 2-2 No.8 in the Specific Plan. (*Added by Planning Commission 5/8/13*)
  - 6. Add "Automotive Sales/Showroom Facility-Indoor only" as a permitted use within Table 2-1 of the Specific Plan (*Added by City Council 10/1/13*)
  - 7. Modify "Warehouse Retail Stores" as a Conditional Use Permit (CUP) within Table 2-1 of the Specific Plan (*Added by City Council 10/1/13*).
  - 8. Clarify recycling facilities as "Small Recycling Facilities and Reverse Vending Machine Recycling Facilities" as identified in the Development Code (*Added by City Council 10/1/13*).
  - 9. Remove "Motels" from the list of uses in Table 2-1 of the Specific Plan (*Added by City Council 10/1/13*).
  - 10. Allow Convenience Stores only as part of an office building or other primary building, not as a stand-alone structure (*Added by City Council 10/1/13*).

**Within 60 days of final adoption, "Eight (8) certified copies of the final SPECIFIC PLAN and environmental document (Subsequent Environmental Impact Report) shall be submitted to the Community Development (Planning) Department for distribution.** If any specific plan conditions of approval differ from the specific plan text or exhibits, the specific plan conditions of approval shall take precedence.

- 4. Pursuant to Section 711.4 of the State of California Fish and Game Code, the applicant is required to pay a \$50.00 handling fee and a \$2,995.25 certification fee. Said fees shall be paid to the Clerk/Recorder of the County of Riverside at the time the Notice of Determination is filed pursuant to Section 21152 of the Public Resources Code. If this

fee is not paid, the approval of this project shall not be operative, vested, or final. In order to comply with State mandated time lines for filing of a Notice of Determination, the above fee must be delivered to the Community Development Department within **two (2)** working days after the date of final approval.

5. The applicant has ninety (90) days from the date of the approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations, and/or exactions imposed on this project as a result of the approval or conditional approval of this project.
6. The development of the property shall be in accordance with mandatory requirements of all City of Murrieta ordinances, federal and state laws, unless otherwise stated in the Specific Plan and shall conform substantially with the adopted SPECIFIC PLAN as filed in the office of the City of Murrieta Community Development (Planning) Department,
7. The permittee/developer or their successor-in-interest shall comply with the Final Subsequent Environmental Impact Report (SEIR), Mitigation Monitoring and Reporting Program (MMRP) and are hereby incorporated herein as conditions of approval.
8. All planning areas and phasing shall be maintained throughout the life of the SPECIFIC PLAN in accordance with the Specific Plan requirements, unless substantially modified through the approval of a specific plan amendment.
9. Implementing development applications (e.g., Tract Maps, Development Plans, Conditional Use Permits, etc.) shall conform substantially with the adopted amended and restated "The Triangle Specific Plan" (SP 276) as filed in the City of Murrieta Community Development Department. Approval of the Specific Plan does not constitute approval of the final lot configurations or street design shown in the Specific Plan. Modifications may be made during the implementing phases of the project.
10. All lighting shall be in accordance with Development Code Section 16.18.100-Lighting Standards and Section 16.18.110-Mount Palomar Lighting.
11. Any Development Plan which includes a structure(s) exceeding 200 feet above ground surface shall complete the following:
  - a. Obtain Airport Land Use Commission review and approval.
  - b. Notification to the Federal Aviation Administration (FAA) in compliance with Title 14 of the Code of Federal Regulations CFR Part 77, Safe, Efficient Use, and Preservation of the Navigable Airspace, Form 7460-1, Notice of Proposed Construction or Alteration, shall be submitted to FAA's Obstruction Evaluation Service.
12. Each application for development within the Specific Plan shall submit a comprehensive inventory of buildings and square footage for each phase to demonstrate consistency with the Specific Plan, Table 4-1(Phasing).

**PRIOR TO ANY PROJECT APPROVAL**

13. Prior to any tentative map, lot line adjustment, grading plan, or any implementing Plan (Development Plan, Conditional Use Permit, Tentative Map, etc.), the permittee/developer shall submit a comprehensive infrastructure plan showing overall utility backbone infrastructure alignment and location within the Plan area demonstrating the ability for current and future development to occur. The Comprehensive infrastructure plan shall address and include, but limited to the following items:
- a. Master drainage (basin location/capacity) facilities
  - b. Internal circulation layout
  - c. Bike path and pedestrian connection
  - d. A permanent master maintenance organization shall be established for the specific plan area, to assume ownership and maintenance responsibility for all common open space, circulation systems, and landscaped areas.
14. Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, development plan, etc.), the following condition shall be placed on the implementing project, with the blanks filled in at the implementing project:
- This implementing project is within Planning Area(s) \_\_\_\_\_.
- This implementing project consists of \_\_\_\_ acres.
- This implementing project consists of:
- \_\_\_\_\_ square feet of retail/service,
  - \_\_\_\_\_ square feet of office
  - \_\_\_\_\_ square feet of restaurant
  - \_\_\_\_\_ square feet of hospitality (# of rooms)
15. Prior to the installation of any sign, a comprehensive sign program shall be submitted for review.
16. Prior to issuance of a building permit, the permittee/owner shall provide pay the project's traffic impact fee (Fair Share Impact Fee established as a dollar amount per square foot of gross building area) as follows:

<b>Building Square Foot Threshold</b>	<b>Traffic Fee per square foot</b>
1 - 537,496	\$0.37
537,497 - 1,240,556	\$3.21
1,240,557 – 1,767,914	\$0.80

**EASTERN MUNICIPAL WATER DISTRICT**

17. The project applicant shall notify EMWD on the status of this project, and notify the City to request a review and update of the Water Supply Assessment (WSA) every three (3) years until the project starts construction. The WSA shall be subject to cancellation by a

written Cancellation Notice to the lead agency if the project applicant fails to provide an update of this project every three years.

18. The project applicant shall comply with requirements of Eastern Municipal Water District for water and sewer connection.
19. For water and/or sewer service by EMWD, the Developer shall comply with the "Standard Conditions," and all applicable Rules, Regulations, and General Policies of EMWD at the time of construction.
20. Development Impact Fees (for water facilities), Sewer Connection Fees, Annexation Fees and Meter Installation Fees, must be paid prior to the installation of any water meter.

**END OF CONDITIONS**

# The Triangle Specific Plan

## Domenigoni-Barton Properties

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Winchester, CA 92596  
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## SECTION 1: INTRODUCTION

### 1.1 Project Summary

The Triangle is approximately 64.3 acres in size and the name reflects its location in the triangle of land bounded by Murrieta Hot Springs Road to the north, I-15 to the southwest, and I-215 to the southeast. Exhibit 1-1 illustrates the regional setting of the project. Exhibit 1-2 shows an aerial view of the local vicinity. The location is optimal for the planned mixed-use development that incorporates offices, shopping, hotel, entertainment and restaurant spaces as part of an integrated commercial and business complex. This development brings a vibrant mix of uses to the City of Murrieta and southwestern Riverside County, creating a regional center of activity. The Triangle combines the best features of a mixed-use development with a modern, progressive retail center.

The Triangle Specific Plan incorporates a maximum of 1,767,914 square feet of gross building area, divided among approximately 840,832 square feet for retail, restaurant, and entertainment uses, approximately 779,082 square feet of Class A and B office space, and approximately 148,000 square feet for hotel rooms and related uses. The Triangle includes innovative development concepts, such as the potential for office over retail space and integrated parking structures serving multiple land use categories. All of these uses are proposed within a design framework of four planning areas with connecting internal circulation that unifies the space and creates a distinct sense of place.

The landform, mix of land uses, the size and placement of structures on the site, and the circulation system work together to create the *structure* of the development. The *character* of a place is created by the style of the structures and their relationship to pedestrian spaces, the type and variety of landscape treatments used, the smaller yet highly visible elements such as signage, lighting, and street furnishings that provide detail to the site, and the manner in which these elements are integrated into a cohesive whole. These elements and their relationship to one another are the subject of this Specific Plan. Detailed descriptions of all of these key components of the plan are included in the following Sections.

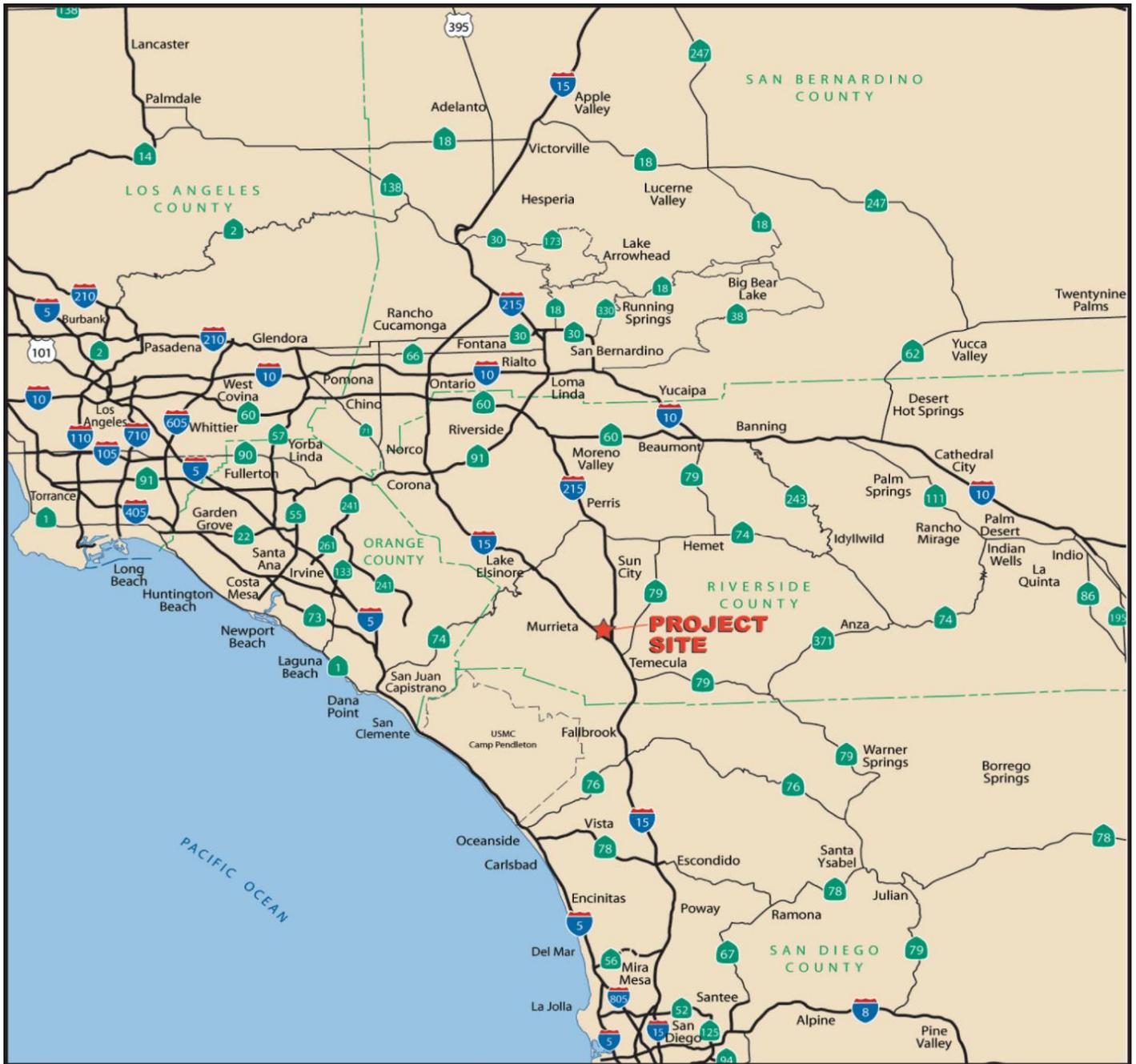


Exhibit 1-1: Regional Setting



Exhibit 1-2: Local Vicinity

## **1.2 Approach to Specific Plan**

The Triangle Specific Plan is complimented by The Triangle Design Guidelines, and these two documents will be used together to implement The Triangle. The Specific Plan identifies those project components that are appropriate to codify as part of the City's zoning. These standards and development criteria will direct future development of the site. The text and diagrams contained in the Specific Plan address the planning of necessary infrastructure and facilities as well as relationships of the proposed uses to adjacent roadways.

The Design Guidelines incorporate elements of the project related to design intent. The Guidelines contain design guidance for the designers, architects and developers who will create the built environment. The Triangle will be a center of business and leisure time activity in the City of Murrieta for decades into the future. Over time, the design elements of The Triangle may be modified, enhanced or expanded. The approach of separating the Design Guidelines from the Specific Plan allows for design flexibility and maximum creativity both during the initial stage of development and for changes over a longer period of time.

A Development Plan will be processed in a subsequent stage of entitlement. The planning area map included in the Specific Plan is provided for diagrammatic purposes. The Triangle Specific Plan and Design Guidelines will govern and guide the development of the site. The subsequent Development Plan will be evaluated according to the requirements and design concepts identified in these documents. In order to be approved, the Development Plan must be found consistent with them.

## **1.3 Project Vision and Goals**

### **1.3.1 Vision for The Triangle**

The Triangle creates a strong sense of place that is a vibrant and energetic venue people enjoy visiting. The location of the project naturally lends itself to creating a focal point of energy and attention within the City. Design elements reinforce the sense of place by integrating multiple elements into a unified aesthetic. The Triangle is based on several key design principles to achieve this end.

- Integrating synergistic land uses to attract high quality corporate, restaurant and retail users to the site, thereby increasing the economic vitality of the City.



- Establishing a more urban-scale built environment by using building architecture, massing and scale, building setbacks from pedestrian spaces, and a connecting roadway system to create a strong design framework, and by providing for a high intensity of uses to enliven the space.
- Creating a comprehensive and cohesive high quality and thoughtfully detailed contemporary themed development, which will be implemented through building architecture, landscape design of plantings and furnishings, distinctive signage, carefully selected use of colors and materials, and lighting both for safety and for effect.

### **Integrated Land Uses**

This is one of the most prominent locations in the City of Murrieta, at the confluence of I-15 and I-215, the region’s busiest roadways. Thousands of people drive past the site daily, creating the highest level of visibility in the region. Some of the development within The Triangle occurs in multi-story buildings that are visible from miles away. Visibility translates into attraction; people naturally want to see what is new; they seek out fresh experiences. The Triangle is designed in a way to attract visitors and then provide a fun, memorable experience people will want to enjoy over and over again. And by providing flexibility in design, The Triangle can be updated over time, maintaining a sense of freshness and providing unique experiences for visitors for many years.



The Triangle creates a distinctive environment by integrating a variety of types of land uses developed at differing scales: the project is designed to include a market-driven mix of mid-and/or high-rise office buildings; offices combined with retail uses; traditional retail; hospitality uses including approximately 220 hotel rooms, conference space, and restaurants; free-standing restaurants; a cinema, and other types of entertainment uses such as arcades or live entertainment venues. These uses are combined in unconventional ways by being mixed both horizontally and vertically. That is, the uses may be combined into one building, such as office over shops (vertical mixing), or located in close proximity and sharing parking, plazas, and walkways (horizontal mixing).

Incorporating office uses with retail and restaurant uses extends the hours when people will be at the site. Potentially including a hotel within the mix of uses reinforces the urban feeling by having people stay at The Triangle round-the-clock, thereby extending the hours of use beyond that of a conventional mall or office complex. The planned mix of uses compliment and support one another. The Triangle becomes the place where people can



find many of the goods, services, and leisure time experiences they seek. Office workers shop at lunch and have dinner or perhaps see a movie before they return home. People who utilize the restaurants are likely to visit one or more shops while they wait for their table. Leisurely weekend afternoons can be spent shopping, dining, and relaxing while people watching and listening to music in the plazas.

### **Urban-scale and Energetic Built Environment**

The development incorporates an urban character by the proposed mix of uses and the intensity of development, with a floor to area ratio (FAR) ranging from .25 to over 1.0. The scale of buildings also invokes an urban sensibility, with multi-story buildings and structured parking. The tallest structures within the site, potentially as high as 18 stories, are located at the three corners, establishing the framework at the perimeter of the property. An internal circulation system for vehicles and



pedestrians forms a ring inside these multi-story buildings. Central to the development, both in terms of being the heart of the project and being located inside the internal connector road, is a large retail core. Site design reinforces this urban experience within the retail area, with shops fronting closely along streets and pedestrian walkways.

The scale of The Triangle also creates a sense of energy and liveliness without overwhelming the visitor. Over 1.7 million square feet of new uses are planned. Yet this amount of development is designed in way that creates a comfortable, human scaled environment. Planting trees along walkways provides an overhead canopy, making large spaces seem appropriately sized. Plazas or courtyards located at office building entries reduce the imposing scale of large structures and create places for people to gather during the workday.



Plazas are also located within the retail core, allowing for places to rest and take a break from activity and places that become the hubs for entertainment, featuring elements such as water features, kids' play spaces, or performance stages. These spaces are scaled so that both large and small special events can be accommodated.



The Triangle combines the best elements of integrated, mixed-use developments and lifestyle centers. This provides for a vibrant combination of uses that support one another because they provide many of the goods and services people use in their daily lives. The Triangle, like the best regional centers, provides convenience, efficiency, and a place for social interaction. By focusing design elements to improve the experience of the visitor, people are encouraged to visit The Triangle more often and stay longer.

### Design Theme

Multiple stylistic elements are combined in an integrated way to create the character of The Triangle. A clean, contemporary style will be used throughout the project, emphasizing elegant and understated design. In building architecture forms are simple and focus on horizontal and

vertical rhythm. Contemporary style draws on blending indoor and outdoor spaces by incorporating large expanses of glass and by using materials that flow from the interior to the exterior of buildings. Within the retail core particular attention is given to creating human-scaled spaces by controlling building mass and scale and emphasizing building entries.

In the landscape forms will be simple and also focus on rhythm in plantings to create a strong statement. The materials used in landscape features such as paved areas, walls and planters compliment the contemporary architectural style in color, form and materials. An important factor in creating a unique sense of place is integrating small, carefully considered details into the space to create an exceptional level of finish. These details include signage, lighting, benches, and similar smaller scaled items that are closer to eye level and so become visually important. All these features will be coordinated to reinforce the contemporary theme for The Triangle.



### **1.3.2 Goals of the Project**

The Triangle Specific Plan has been prepared within the framework of a comprehensive and detailed planning program and design guidelines. Issues such as engineering feasibility, economic viability, and how to achieve high standards of design aesthetics have all been evaluated in formulating the plan. This design process has resulted in a set of specific project planning goals, delineated below.

1. Implement the City of Murrieta General Plan policies and objectives relevant to the site.
2. Design the project in consideration of the site's topographic, geologic and hydrologic setting.
3. Develop an environment that allows motorists and pedestrians to easily navigate from one land use and area to another.
4. Create project and community identity through thematically coherent and aesthetically eloquent architecture, landscaping, colors, signage, and boundary and entry statements.
5. Locate regional shopping facilities where they are optimally served by the regional transportation system and will have minimal impact on secondary and surface streets.

6. Integrate a mix of uses including large scale office buildings in close proximity to retail, service and hotel uses to create synergy.
7. Consistent with the adopted City General Plan, size and phase the regional center development plan to satisfy and be consistent with current and anticipated future regional market demands through the design of an integrated mixed use development of approximately 1,700,000 square feet.
8. Develop Class A and B office space with adequately sized building footprints and building scale to service a range of regional and national office tenants including corporate headquarters, thereby creating the potential for higher paid professional employment opportunities.
9. Enhance the economic vitality of the community by introducing additional segments of the retail market, including large scale national retailers in a retail core that will spawn additional economic activity through the multiplier effect.
10. Increase tax revenues to the City of Murrieta by recapturing sales currently “leaking” to other areas, attracting new sales from outside the community, and enhancing other income sources such as property tax, business license fees, and development fees.
11. Improve the sub-regional jobs to housing ratio by providing a substantial number of new construction and permanent jobs in the local community.
12. Introduce new, unique, high quality and progressive retail and service providers currently unavailable in the Murrieta market to serve local needs, thereby reducing regional traffic impacts by reducing the number of trips from Murrieta residents to providers outside the City.

## 1.4 Regulatory Background and Relationships to Other Plans

### 1.4.1 Existing Entitlement

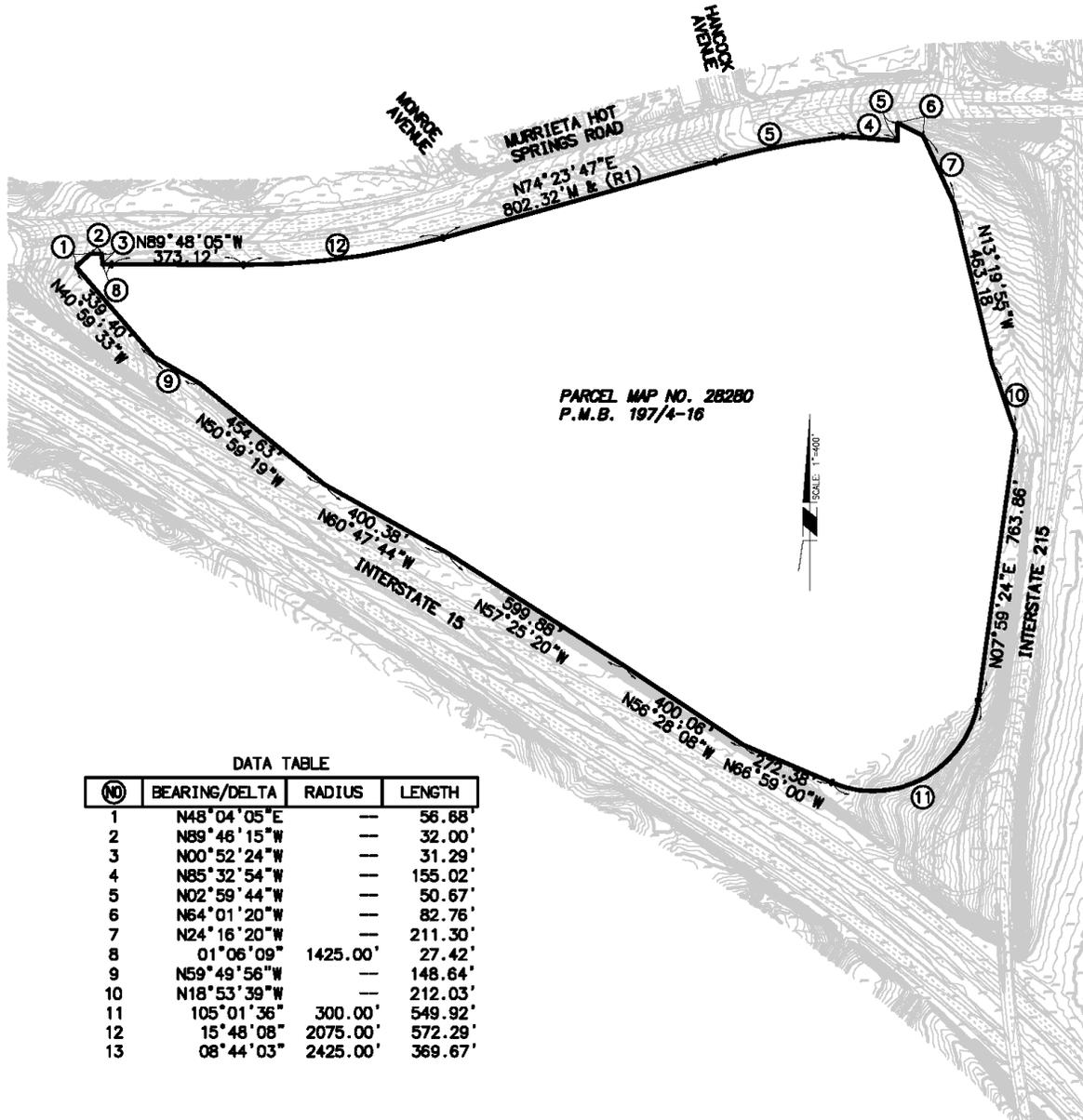
The County of Riverside adopted the Murrieta Springs Mall Specific Plan Number 276 in 1990. That plan included the same mix of uses to those proposed in The Triangle Specific Plan, including retail, office, restaurant, entertainment and hotel. Environmental Impact Report Number 358 and Development Agreement Number 54 were approved with the Specific Plan. Subsequently, on July 1, 1991, the City of Murrieta incorporated and the entitlements were transferred to the City. The City approved an amended Development Agreement in February 1994, extending the effective date of that agreement until February 25, 2023.

The proposed Triangle project is an amendment to and restatement of the original Specific Plan Number 276. Changes to the Specific Plan include changing the name of the Specific Plan to “The Triangle Specific Plan” and updating the description of the project proposal. Specific changes include:

- Revising the number of Planning Areas from six to four
- Changing the enclosed mall to an outdoor retail center
- Revising the height limitation for the hotel and office buildings located at the three corners of the site to a maximum of 280’ for Planning Area 4, and 200’ for Planning Areas 2 and 3.
- Reducing the amount of retail space and increasing the amount of office, restaurant and entertainment space, within the same maximum gross building area of 1,767,914.
- Providing amended standards for advertising structures and signs, including maximum square footage, height, and aggregate number of signs
- Updating development standards to reflect the changes in the marketplace
- Separating Design Guidelines into a separate document for purposes of streamlining the process of making future design changes

The site is currently designated commercial in the City of Murrieta General Plan and is also zoned Specific Plan (SP276) on the City’s zoning map. No changes are proposed to those designations. The Triangle Specific Plan is approximately 64.3 acres in size as documented in Parcel Map 28280, and as shown on Exhibit 1-3, Triangle Specific Plan Boundary.

There is an existing Community Facilities District (CFD 91-1) covering approximately a 17-acre portion of the property. It is anticipated that subsequent to action on The Triangle project entitlements that a new CFD may be proposed to include the entire project site.



DATA TABLE

(NO)	BEARING/DELTA	RADIUS	LENGTH
1	N48°04'05"E	—	56.68'
2	N89°48'15"W	—	32.00'
3	N00°52'24"W	—	31.29'
4	N85°32'54"W	—	155.02'
5	N02°59'44"W	—	50.67'
6	N64°01'20"W	—	82.76'
7	N24°16'20"W	—	211.30'
8	01°06'09"	1425.00'	27.42'
9	N59°49'56"W	—	148.64'
10	N18°53'39"W	—	212.03'
11	105°01'36"	300.00'	549.92'
12	15°48'08"	2075.00'	572.29'
13	08°44'03"	2425.00'	369.67'

Exhibit 1-3: Specific Plan Boundary Map

### **1.4.2 Discretionary City Actions**

Discretionary actions and approvals by the City of Murrieta being processed in conjunction with The Triangle Specific Plan include:

- Certification of The Triangle Specific Plan Subsequent Environmental Impact Report
- Adoption of The Triangle Specific Plan Mitigation Monitoring Program
- Revision to General Plan Text
- Adoption of Amended Triangle Specific Plan Number 276
- Approval of Amended Development Agreement Number 54, vesting the Specific Plan

Potential Future Actions:

- Adoption of a new Community Facilities District

### **1.4.3 Relationship to the City of Murrieta General Plan**

The California Government Code (Title 7, Division 1, Chapter 3, Articles 8 and 9, Section 65450 et seq.) and the City Municipal Code (Section 16.66) provide for the preparation of Specific Plans to ensure the orderly and systematic implementation of the general plan, and to provide adequate development flexibility for innovation in land use mixes, site design and development concepts. The Specific Plan is a regulatory document that serves as the zoning for The Triangle project site. The Specific Plan provides text and diagrams which specify those elements required by the State, including:

1. The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan,
2. The proposed distribution, location and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
3. Standards and criteria by which development will proceed,
4. A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3).

The Specific Plan must be consistent with the City of Murrieta General Plan and must be adopted by ordinance by the City Council. A detailed discussion of the Specific Plan's consistency with the General Plan is contained in Section 1.4.4, below. Subsequently, all future development proposals, plans, maps and agreements must be consistent with the Specific Plan. Projects that are found to be consistent with The Triangle Specific Plan will be deemed consistent with the City's General Plan.

#### 1.4.4 Consistency with City of Murrieta General Plan

The Triangle Specific Plan is consistent with and supportive of the goals and policies of the City of Murrieta General Plan and reflects a comprehensive and unified master plan for the project site. A discussion of the relationship of this Specific Plan to relevant General Plan Element policies follows.

##### **Land Use Element**

The Murrieta Land Use Element contains the goals that provide the framework for land use planning and decision-making in the City. The major goals that specifically relate to The Triangle Specific Plan are presented below.

*Goal LU-1, A complimentary balance of land uses throughout the community that meets the needs of existing residents and businesses as well as anticipated growth, and achieves the community's vision.*

- *Policy LU-1.2, Ensure future development provides for a variety of commercial, industry, and housing that serve the spectrum of incomes within the region.*
- *Policy LU-1.3, Establish a range of residential density and non-residential intensities to encourage a wide range of development opportunities.*
- *Policy LU-1.5, Encourage a wide variety of retail and commercial services, such as restaurants, and cultural arts/entertainment, in appropriate locations.*

*Goal LU-7, Economically viable, vital, and attractive commercial centers throughout the City that serve the needs of the community.*

- *Policy LU-7.1, Work with property owners of vacant commercially zoned property to develop their sites into appropriate, economically viable projects.*
- *Policy LU-7.5, Provide convenient freeway access for regionally-serving commercial centers to attract a regional customer base.*
- *Policy LU-7.6, Focus commercial retail centers adjacent to major transportation corridors*
- *Policy LU-7.8, Encourage consolidation of parking and reciprocal access agreements between adjacent business and commercial center property owners.*

*Goal LU-8, A community that provides opportunities for mixed use and/or transit-oriented development.*

- *Policy LU-8.1, Encourage integrated development that incorporates a mix of uses (residential, commercial, office) in mixed use or transit-oriented development areas.*
- *Policy LU-8.6, Encourage higher density residential, commercial, and employment development near a future Metrolink or High Speed Rail Station, along other major public transportation routes, and at other suitable locations.*

*Goal LU-13, A focused development and economic development strategy that emphasizes specialized land use policies within identified Focus Areas.*

- *Policy LU-13.1, Provide for the highest level of retail and job-creating uses in areas adjacent to the I-15 and I-215 freeways. This includes the North Murrieta Business Corridor, Golden Triangle North (Central Murrieta), and South Murrieta Business Corridor Focus Areas.*

### **Specific Plan Response**

The City's Land Use Element identifies the area at the confluence of I-15 and I-215 as the Golden Triangle, and describes this area as the urban core of the City. The Land Use Element further states, ". . . the City seeks to encourage private sector investment in the creation of higher paying jobs . . . through economic diversification." (City of Murrieta General Plan, Land Use Element, page 3-47). The Triangle Specific Plan proposal implements the City's desire to establish such a job center. Through development of various types of office and retail uses, space is created for regional and national tenants that provide professional employment opportunities.

The Triangle Specific Plan's mix of land uses adds a broad spectrum of retail, employment, entertainment and hospitality uses to the City in an area already planned for regionally significant commercial and office uses. The Specific Plan is proposed to be developed at a higher intensity than other portions of the City to optimize the regionally visible setting. This will be achieved through the incorporation of shared parking, mixed land uses and higher buildings than in other areas of the City. Development of the property will further implement the City's goal to establish a large-scale commercial center in the Golden Triangle area.

The Triangle provides balance to the City's existing land use mix without creating any land use incompatibilities. The freeways create buffers between nearby residential uses, and the property to the north is also designated for, and partially developed with, commercial uses. The planned additional services, employment opportunities, and potential fiscal revenue sources are intended to bring further balance with the existing and future residential uses in the city.

The property to the east and north of the site is largely developed, making this a logical extension of existing growth. Additionally, utility infrastructure is in place to serve the site. The property's location adjacent to freeway interchanges from both I-15 and I-215, and its boundary with Murrieta Hot Springs Road, an augmented urban arterial, provide excellent access for residents of Murrieta and visitors from throughout the region.

### **Economic Development Element**

*Goal ED-1, A highly visible and attractive commercial mixed-use regional hub located at the confluence of the I-15 and I-215 freeways in central Murrieta.*

- *Policy ED-1.1, Promote the City's location between two interstate freeways to create a regional hub of an intensity and scale commensurate with its regional orientation, high visibility and gateway location.*
- *Policy ED-1.5, Encourage transit-oriented development within this area to support future transit opportunities.*

*Goal ED-4, Positive balance between the supply of retail opportunities and demand for goods and services.*

- *Policy ED-4.1, Encourage retail development projects that can realistically satisfy community-wide and regionally-based demand for goods and services.*
- *Policy ED-4.2, Encourage retail development, expansion, and remodeling projects that can effectively reverse or minimize outflows of local resident expenditures to retail facilities beyond the City limit.*
- *Policy ED-4.6, Encourage the development of a mix of moderate to high-end restaurants throughout the City, particularly in concert with business, entertainment, and cultural developments.*

*Goal ED-7, Tourism and leisure opportunities that attract residents and visitors.*

- *Policy ED-7.1, Encourage the development of tourist and entertainment-type facilities such as hotels, dinner house restaurants, performing arts center, museums, a music and festival park, an amusement park, mineral hot springs, golf courses, and visitor information centers.*

### **Specific Plan Response**

Since its incorporation, the City of Murrieta has grown rapidly. This has increased the demand for goods and services beyond what is currently available within the City, leading to loss of sales tax revenues that could be captured locally. The Triangle will provide a significant retail component for the City, providing both needed goods and services, but also generating sales tax revenues to support the City's programs. The Triangle, because of its prime location, will also attract shoppers, workers and visitors from a larger area. The scale of The Triangle proposal and allowing for development at a high floor-to-area ratio (FAR) creates the regional center the City envisions in its General Plan.

The Triangle will also support the City's goal of attracting tourists to the area. The planned hotel provides lodging for regional visitors, both those visiting Murrieta and visitors to

surrounding communities. By combining the hotel with a large component and variety of restaurants, entertainment and retail uses, the hotel becomes an attractive location for visitors to stay.

### **Circulation Element**

*Goal CIR-1, A circulation system that serves the internal circulation needs of the City, while also addressing the inter-community or through travel needs.*

- *Policy CIR-1.1, Ensure the transportation system can adequately serve the concentrations of population and employment activities identified by the Land Use Element.*
- *Policy CIR-1.2, Maintain a Level of Service “D” or better at all intersections during peak hours. Maintain a Level of Service “E” or better at freeway interchanges during peak hours.*
- *Policy CIR-1.3, Maintain an average daily traffic (ADT) level of Service “C” or better for all roadway segments. As an exception, LOS “D” may be allowed in the North Murrieta Business Corridor, Clinton Keith/Mitchell, Golden Triangle North (Central Murrieta), South Murrieta Business Corridor, or the Multiple Use 3 Focus Areas, or other employment centers. LOS “D” may be allowed only at intersections of any combination of Secondary roadways, Major roadways, Urban Arterial roadways, Expressways, conventional state highways or freeway ramps.*
- *Policy CIR-1.10, Limit driveway and access on major arterial streets, where feasible, to maintain a desired quality of traffic flow.*

*Goal CIR-2, A comprehensive circulation system that promotes safety.*

- *Policy CIR-2.3, Provide a circulation network that accommodates the safe and efficient movement of all forms of non-motorized travel.*

*Goal C-6, Alternative travel modes and facilities are available to serve residents and employers/employees and reduce vehicle miles traveled.*

- *Policy CIR-6.8, Support the construction of bus turnouts with shelters adjacent to new developments where transit demand levels may be sufficient in the future to warrant such accommodations.*
- *Policy CIR-6.9, Work with Riverside Transit Agency to evaluate bus stop locations and amenities. Encourage the incorporation of transit amenities such as bus shelters and benches into existing and new bus stop locations.*
- *Policy CIR-6.13, Continue to require new development to submit a Trip Reduction Plan, if applicable, in compliance with the Transportation Demand Ordinance.*

*Goal CIR-7, Residential areas and activity centers are accessible to all pedestrians, including persons with disabilities or having special accessibility needs.*

- *Policy CIR-7.3, Encourage safe pedestrian walkways and ensure compliance with the Americans with Disabilities Act (ADA) requirements within all developments.*
- *Policy CIR-7.5, Provide pedestrian amenities such as benches, landscaping, and shade trees to encourage people to walk to destinations.*

*Goal CIR-8, Development, Expansion, and maintenance of a network of bicycle, pedestrian, and multi-use trails that allows residents to travel between parks, schools, neighborhoods, and other major destinations without driving.*

- *Policy CIR-8.4, Consider that 6-8-lane arterial roads provide a 5- to 6-foot-wide tree buffer (parkway) between pedestrians and through traffic.*

### **Specific Plan Response**

The Triangle Specific Plan has been designed to take optimal advantage of its proximity to two interstate freeways, I-15 and I-215, and an augmented urban arterial, Murrieta Hot Springs Road. Two primary entries to the project are proposed, each at a signalized intersection with dedicated turning lanes. The one secondary entry is a right-in/right-out only intersection. This will ensure adequate management of traffic flow and provide for safe turning movements entering and exiting the site.

A traffic impact analysis has been prepared for The Triangle Specific Plan area. Both on- and off-site traffic improvements have been recommended by that traffic analysis. The Triangle project will incorporate those improvements into the onsite project design and will construct or participate in funding construction of off-site improvements. These improvements will ensure that the City's level-of-service standards are met.

Some of the intersections analyzed in the traffic impact study are within the jurisdiction of the California Department of Transportation (CALTRANS). Implementation of The Triangle Specific Plan will be coordinated through the City of Murrieta and CALTRANS for required improvements to those intersections.

The County of Riverside Transit Authority (RTA) bus route #20 travels westbound on Murrieta Hot Springs Road and turns north on Hancock Avenue. A bus turnout is proposed on the east side of Monroe Avenue, adjacent to the site. That bus turnout and bus bench and shelter will be constructed as part of The Triangle development. A Travel Demand Management Plan will be prepared for The Triangle concurrent with the Development Plan. This plan will further document what steps will be taken to facilitate and encourage alternate modes of travel, such

as cycling, carpooling, and alternate fuel vehicles. It will also address methods of reducing peak hour congestion such as flexible work hours.

In addition to the vehicular circulation system, the Specific Plan includes provisions for a pedestrian circulation system. A series of pedestrian walks connect the various uses. These have been carefully designed to provide for pedestrian safety and a pleasant pedestrian experience within The Triangle. The property frontage along Murrieta Hot Springs Road includes a meandering sidewalk separated from the travel lanes by a variable width landscaped parkway. This parkway width ranges from zero to twelve feet. This accommodates generous plantings, including street trees, and provides for a curb adjacent sidewalk at intersections and the bus turnout. The landscaping throughout the project will provide shade along walkways, and benches are located throughout the project. A 5' bicycle lane will also be provided along the south side of Murrieta Hot Springs Road and through the site adjacent to or on the Internal Connector Road.

### **Infrastructure Element**

*Goal INF-1, New development and redevelopment is coordinated with the provision of adequate infrastructure for water, sewer, storm water, and energy.*

- *Policy INF-1.1, Encourage future development to occur in areas where infrastructure for water, sewer, and storm water can most efficiently be provided.*
- *Policy INF-1.4, Ensure that new development and redevelopment provides infrastructure for water, sewer, and storm water that adequately serves the proposed uses, and that has been coordinated with affected infrastructure providers.*
- *Policy INF-1.21, Encourage the use of specific plans, development agreements, or mechanisms that specify the nature, timing, cost and financing mechanisms to be used to fund water, wastewater, and /or storm drainage improvements and services.*

### **Specific Plan Response**

The Triangle Specific Plan provides a comprehensive discussion of the provision of water, sewer, and storm drain facilities that will adequately serve the project. The project will construct facilities both on- and off-site to support the area and help protect off-site areas from inundation. These facilities will be constructed by the developer and then dedicated to the appropriate public agency for ownership.

#### **1.4.5 California Environmental Quality Act Compliance**

The environmental impacts from the development of the site were originally addressed in Environmental Impact Report Number 358 certified by the County of Riverside in 1990. Concurrent with the approval of this amended Specific Plan, the City will certify a Subsequent EIR and a Mitigation Monitoring and Reporting Program for development of the site as currently proposed.

## SECTION 2: DEVELOPMENT STANDARDS

The Triangle Specific Plan contains regulations and standards that will guide subsequent stages of planning for the site, and ultimately will be incorporated into the Development Plan or Plans prepared for the development. Implementation of these standards will provide orientation, identity and a sense of place for The Triangle, resulting in a high quality built environment.

### 2.1 Project Description

The design framework for The Triangle is illustrated on Exhibit 2-1, Planning Area Map. The property is divided into four planning areas, and includes an Internal Connector Road. This plan illustrates a loop configuration for the Internal Connector Road. This configuration is not required. The internal connector could be a grid system of roads or some other design, so long as interior connecting roads are provided for on site circulation linking the two main entries along Murrieta Hot Springs Road. Similarly, the boundaries of the planning areas are flexible. They may be reconfigured through review of the Development Plan(s) to align with the ultimate street pattern. The acreage summary on the table on the Planning Area Map is provided for information only.

The Triangle includes a broad range of land uses combined to create a vibrant, energetic mixed-use development. These uses are unified through a cohesive site design framework. The highest buildings are allowed at the three corners of the site, as determined by market demands and subject to the Allowable Building Height Regulations contained in Table 2-9. The Internal Connector Road links all portions of the site to one another, and pedestrian interconnectivity is given high priority. This road has a consistent landscape treatment that creates a visual continuity and provides curb-separated pedestrian walkways for safety and a more pleasant pedestrian experience. These site planning elements help to integrate the major elements of the plan into a unified whole.

In conjunction with site planning features of the plan, a sense of identity for The Triangle is created through the concept of integrating landscape, entry monuments and signage elements to define a sense of arrival at the site. Project identification monuments are located at the three corners of the property to “announce” the project. Along Murrieta Hot Springs Road and at the project entries the sense of having “arrived” at a unique destination is



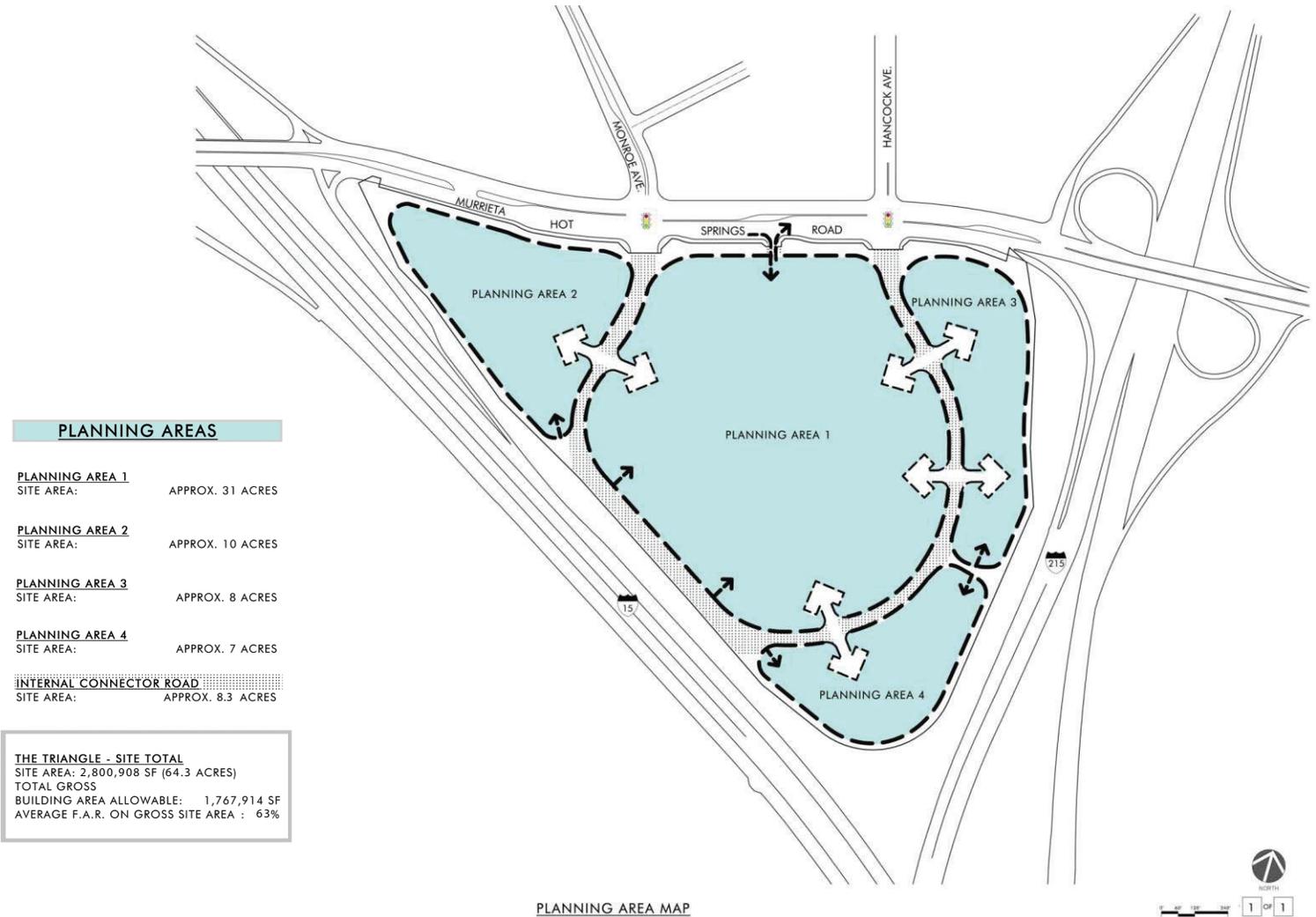
created through strategic placement of entrance gateways and landscape features. This sense of arrival is reinforced as visitors enter the site on the Internal Connector Road. Specific elements are described in greater detail in later Sections of the Specific Plan.

A central component of the plan is an open-air retail commercial district. The retail uses are included in one or more shopping areas that blend restaurants, a mix of small and large retail stores, entertainment uses, and possibly offices located above retail uses. Within this central area plazas or courtyards are required to provide places where people can gather and where special open-air events may occur. Another component of the plan is mid- and high-rise professional office space, served by parking structures. Hospitality uses are



the third component of the plan, and may include hotel rooms, conference and meeting space, dining, and its own recreational amenities. Any of the allowed uses may be integrated in any planning area in The Triangle. However, the tallest structures are only allowed within Planning Areas 2, 3 and 4, as discussed below as part of Allowable Building Height regulations.

The total gross building area of 1,767,914 is the maximum allowed in The Triangle Specific Plan. The amount of gross building area for each category may be modified from that described below, so long as the overall total is not exceeded. Section 2.4, below, discusses provisions for allowing flexibility in the amount of certain land uses, while regulating the total development intensity.



**Exhibit 2-1: Planning Area Map**

Planning Area 1 is expected to be the retail core within The Triangle. The retail component of the plan allows for a flexible mix of design layouts, so retail uses are also allowed in other planning areas. Restaurants may be located on freestanding restaurant pads oriented towards Murrieta Hot Springs Road or interior to the site, or may be combined with in line shops in a retail village environment. Restaurant space is anticipated to make up approximately 125,000



square feet of the gross building area. Major retail tenants, whether one or two story, are anticipated to include approximately 394,000 square feet. Smaller retail businesses comprise approximately 247,000 square feet of building area. Entertainment uses are expected and encouraged within The Triangle. These might include a cinema or live entertainment venues. Approximately 75,000 square feet of building area are anticipated for these uses.

Professional office space comprises the second major component of the plan. Offices may be located above retail, in office towers or in low- and mid-rise buildings that form an office campus. Offices are anticipated in Planning Areas 3 and 4, but may also be located in Planning Areas 1 and 2. All types of office use are allowed, including medical offices. The larger office buildings will be served by parking structures. Approximately 779,000 square feet of total office space is anticipated.



The third land use category in The Triangle is hospitality, which may include hotel rooms, conference or meeting space, banquet facilities, restaurants for hotel guests and the general public, and recreational amenities designed primarily for hotel guests. The hotel is expected to include approximately 220 rooms contained within 148,000 square feet, and to be housed within a 12-story building. The hotel is expected to be included in Planning Area 2, but could instead be located within Planning Area 3.

Murrieta Hot Springs Road is the entry roadway for The Triangle. This road will serve to announce that people are entering a unique place, and so enhanced landscaping and setbacks are provided within the plan. Behind the curb a wide landscape zone is established to frame the road, and includes a mix of palms and canopy trees, blooming shrubs and ground cover. A 6' sidewalk meanders through this landscape zone.

The internal circulation system has been designed to provide for vehicular movement and to provide for safe pedestrian connections among the planning areas. At the primary entries along Murrieta Hot Springs Road, large entry statements are planned within the landscape zone. A raised, planted median and wide landscaped shoulder setbacks are provided along the Internal Connector Road, as shown in the Landscape Standards Section of the Specific Plan. This creates a sense of arrival when entering The Triangle and then reinforces the sense of place through the project. Additional project access from Murrieta Hot Springs Road is provided at a right-in/right-out entry point located approximately half way between the two primary project entries.

Beyond the first driveway intersection, the Internal Connector Road continues through The Triangle with differing landscape treatments and setback requirements but with a raised planted median and wide parkways that remain a unifying feature. Where secondary driveways intersect with the Internal Connector Road special treatments are incorporated to provide for safe pedestrian connections, landscaped buffers, and signage locations that do not block visibility for motorists. Pedestrian pathways are clearly marked in every instance where driveways intersect with the Internal Connector Road to link parking areas to building entries and land uses to one another. Curb-separated sidewalks are provided along both sides of the connector road to enhance the pedestrian experience.



Although the primary design consideration is the view of the site from Murrieta Hot Springs Road since it provides direct access to the property, the edges along the adjacent freeways are also important. A minimum 15' setback is provided from parking or buildings to the property line to allow for landscape treatments that will soften the appearance of buildings or parking structures. Loading areas adjacent to the freeway must be screened to reduce visibility of back of house functions.

All of these elements are unified by an integrated landscape treatment based on a low water usage plant palette. Large trees, such as palms or other large-scale varieties, visible from a distance, help create a sense of approach and mark the entries. Canopy trees are spread throughout to provide shade and a pleasant walking experience. Landscape areas are provided adjacent to all buildings and parking areas to provide visual relief in parking fields.



The Triangle also relies on other elements to reinforce that this is an integrated, mixed-use development. These include unified and interesting signage treatments through the project by using a consistent color palette, similar design style, and inter-related mounting fixtures such as brackets or poles. Street furniture and fixtures such as light standards, benches, trash receptacles, etc. are designed to reinforce the design theme of The Triangle. Architectural treatments are coordinated in a comprehensive design program that develops a sense of cohesiveness and integration for the site. These elements are described in greater detail in The Triangle Design Guidelines.

## 2.2 Definition of Terms

The Specific Plan and Design Guidelines contain many statements regarding standards and guidelines that define future actions that will implement The Triangle. The following definitions identify the level of commitment intended in the plan and reflect the desired outcome.

“Shall” or similar words such as “require, must, will” describe standards, conditions or actions that will always be followed.

“Should” or similar words such as “may or allow” describe standards or guidelines that will be followed in most cases, but exceptions or levels of implementation are acceptable with valid reasons as reasonably determined by the Planning Director (“Director”). Use of this or similar words permits initiative and creativity on the part of the developer, and should be supported unless clear reasons are identified to object.

“Restrict or limit” sets specified limits for policies or within which actions will occur.

“Prohibit” describes uses or conditions that are never allowed, and may only be modified by action of the City Council.

## 2.3 Uses Allowed in The Triangle

The primary goal of The Triangle is to incorporate a broad mix of business and commercial uses at intensities commensurate with its regional orientation. The following sections describe the uses allowed on the property and the conditions under which they are allowed.

### 2.3.1 Allowed Uses

Table 2-1, Uses Allowed in The Triangle, identifies the categories of land use within the site. Unless otherwise specified, these uses are defined in the same way as in the Murrieta Municipal Code. The table also identifies the permit requirements for each type of use. Because the purpose of The Triangle is to implement the City’s goal of creating a mixed-use business and commercial district, a streamlined approval process is appropriate. Administrative approval by the Director or designee for most uses is allowed. The process for administrative review and the basis for determining consistency with the Specific Plan are included within Section 4 of the Specific Plan. Permitted uses requiring administrative approval are identified with the letter “P.” Land uses that require a conditional use permit are designated with the letter “C,” and shall be reviewed according to the requirements of the Murrieta Municipal Code, Section 16.52 and Section 4.7 of The Triangle Specific Plan. Prohibited uses are designated with the letter “X.”

Parking facilities in The Triangle may be owned and or operated by the City or other government agency as public facilities. Should that be the case, the restrictions on proximity of

businesses selling alcoholic beverages to public facilities contained with the Murrieta Municipal Code, Section 16.44.030 shall not apply within The Triangle.

**Table 2-1 Uses Allowed in The Triangle**

<u>LAND USE</u>	<u>Permit</u>
Adult Entertainment Business as defined in Section 16.44.020 of the Murrieta Municipal Code	X
Alternative Fuel Charging Stations <sup>1</sup>	P
Appliance Sales	P
Art, Antiques, Collectibles and Gifts	P
Auditoriums, Meeting Halls, and Conference Facilities, accessory to Hotel Uses	P
Automobile Sales as Indoor Showroom	P
Automobile/ Motor Vehicle Parts Sales	X
Automobile Service Station, Full or Self Service, Including Alternative Fuel Stations or Suppliers	X
Automatic Teller Machines (ATMs)	P
Banks and Financial Services, With or Without Drive Through Services	P
Bars and Alcoholic Beverage Drinking Places, On-site Consumption	P
Billiards establishments	P
Bowling Alleys which may include game arcades	P
Broadcast Studios	P
Business Support Services	P
Child Day Care Centers	C
Comedy Clubs	P

<sup>1</sup> Alternative Fuel Charging Stations are facilities that provide any fuel other than gasoline or diesel used to create energy used to power vehicles. Currently available alternative fuels include electricity, natural gas, propane, methanol, hydrogen and blended fuels that reduce consumption of gasoline or diesel.

Convenience Stores, With or Without Sales of Alcoholic Beverages, if incorporated into a larger commercial, hotel or office building (not as a stand-alone or pad building)	P
Cyber Cafes	P
Furniture and Furnishings	P
Gaming Clubs	X
Gourmet wine and beer stores, including micro breweries	P
Grocery Stores	P
Health and Fitness Centers	P
Hotels, 30 units and greater	P
Kiosks, Vending Carts and Food Service Pavilions	P
Incidental Activities to Legally Established Businesses <sup>2</sup>	P
Indoor Amusement Centers and Game Arcades	P
Laundry and Dry Cleaning, Drop-off only	P
Libraries and Museums	P
Liquor Stores, Off-site Consumption	P
Medical Offices, Clinics and Laboratories included in Office Buildings	P
Medical Services, Extended Care Facilities	X
Membership Organization Facilities	P
Mobile Home and Recreational Vehicle Sales	X
Mortuaries, Funeral Parlors and Cemeteries	X
Nightclubs, With Dance Floors, With or Without Alcohol Sales	C
Offices	P

<sup>2</sup> "Incidental Activities" are such things as holiday celebrations, grand openings, community service events such as public safety/emergency training, health fairs and similar activities, school or educational events, shopping center sponsored events such as classic car shows or club events, festivals, art shows, children's activities, outdoor concerts, fashion shows and similar activities meant to entertain patrons of the business and to promote the activities normally associated with an individual business or a group of businesses, charitable walks and other fundraising events for non-profit organizations, and other similar activities.

Outdoor Dining Areas accessory to cafes and restaurants	P
Outdoor Display and Sales accessory to a Retail Establishment	P
Outdoor live music	C
Outdoor Music and Sound Systems accessory to Cafes and Restaurants or Retail Uses	P
Outdoor Recreation, Commercial <sup>3</sup>	C
Parking Facilities Including Structures	P
Pet Shops	P
Personal Services (Not an Adult Business)	P
Public Safety and Utility Facilities	P
Printing and Publishing	P
Small Recycling Facilities and Reverse Vending Machine Recycling Facilities (as identified in the Development Code)	P
Repair and Maintenance, Consumer Products	P
Repair and Maintenance, Motor Vehicles	X
Research and Development	P
Restaurants, With or Without Alcoholic Beverage Sales	P
Retail Stores, General and Specialty Merchandise	P
Satellite Dishes/Antennas	P
Schools, Private	C
Schools, Specialized Education and Training	P
Studios - Art, Dance, Music, Photography, etc.	P
Theaters - Live Entertainment	P
Theaters - Motion Pictures, which may include game arcades	P

<sup>3</sup> “Outdoor recreation, commercial” does not include special events or entertainments such as concerts in retail plazas or office building courtyards, but refers to permanent facilities established for profitable purposes, such as driving ranges, batting cages, kart tracks, or outdoor climbing walls or exercise area associated with a retail or health and fitness facility, and similar uses.

Vending Machines for sale of non-alcoholic beverages and snack food items	P
Veterinarian Clinics, Animal Hospitals, Kennels and Boarding Facilities <sup>4</sup>	P
Water Wells and Appurtenant Structures	P
Warehouse Retail Stores	C
Wireless Communication Facilities	P

### 2.3.2 Temporary and Interim Uses and Special Events

Temporary uses within The Triangle are allowed, and are subject to the City’s Municipal Code Section 16.70.

### 2.3.3 Alcohol Use

All businesses within The Triangle that propose the sale of alcoholic beverages are required to secure an alcoholic beverage sales permit, either through an Administrative Alcohol Use Permit, a Minor Conditional Use Permit, or a Conditional Use Permit as described in Section 4.3 of this Specific Plan. If a business is required to obtain a Conditional Use Permit according to Table 2-1, above, then the application for alcohol sales will be obtained through that CUP process, as in the example of a nightclub. In such an instance, the conditions included within the CUP, if granted, shall be consistent with those within the Section 2.3.3.3 below relative to the type of business proposed, or the City Development Code Section 16.44.030 if not specifically addressed in Section 2.3.3.3. Businesses that are identified as “permitted” on Table 2-1 will obtain alcohol permits through the process described in Section 4.3.1 of this Specific Plan.

#### 2.3.3.1 Administrative Alcohol Use Permit

The uses identified in this sub-section may sell alcoholic beverages after obtaining an Administrative Alcohol Use Permit from the City. In addition to the General Regulations described in Section 2.3.3.3 below, the uses identified below have specific regulations with which they must comply. These specific regulations are identified by numbers which correspond to the regulations contained within Table 2-2 of this Specific Plan.

- Bowling Alleys - Specific Regulation 8
- Conference Centers/Meeting Rooms - Specific Regulation 8

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<sup>4</sup> Veterinary clinics and boarding must be physically established within a retail use and may not exceed 40% of the floor space of the retail use.

- Day Spas/Salons - Specific Regulation 8
- Delicatessens - Specific Regulation 6
- Discount, Drug and Variety Stores - Specific Regulation 5
- Florist/Gift Shop - Specific Regulation 9
- Grocery Stores and Specialty Food Shops selling alcohol as less than 25% of floor space for off-site consumption - Specific Regulation 5
- Hotels - Specific Regulation 8
- Indoor Amusement Centers and Game Arcades - Specific Regulation 8
- Kiosks, Vending Carts and Food Service Pavilions - Specific Regulation 10
- Restaurants, including Outdoor Dining - Specific Regulation 7

### **2.3.3.2 Minor Conditional Use Permit**

The uses identified in this sub-section may sell alcoholic beverages after obtaining a Minor Conditional Use Permit from the City. In addition to the General Regulations described in Section 2.3.3.3, these uses have specific regulations with which they must comply. These are identified by numbers which correspond to the regulations contained within Table 2-2 of this Specific Plan.

- Bars and alcoholic beverage drinking places 1
- Billiards Establishments - Specific Regulation 8
- Comedy Clubs - Specific Regulation 8
- Convenience Stores - Specific Regulation 3
- Gourmet wine and beer stores and micro-breweries - Specific Regulation 2<sup>5</sup>
- Liquor Stores - Specific Regulation 2
- Tasting Facilities - Specific Regulation 4
- Theaters, both Live Entertainment and Motion Pictures - Specific Regulation 8

### **2.3.3.3 General Regulations for All Alcohol Use Permits**

The following use regulations apply to all alcoholic beverage sales uses and shall be in addition to the Specific Regulations identified in the previous two sub-sections, and any state law requirements, including those provided in California Business and Professions Code Section 25612.5.

1. Graffiti. Within forty-eight hours of any graffiti being painted or marked upon the premises or on any adjacent area under the control of the permittee, the permittee shall report the graffiti to the Murrieta Police Department and remove or paint over the graffiti.

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<sup>5</sup> If a wine or beer store also offers tasting, then the establishment must instead comply with Special Requirement 2a, c, e, and 4.

2. Ads and Signs. There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages, except for approved signage related to the name of the business.
3. Displays. There shall be no interior displays of alcoholic beverages or signs which are clearly visible to the exterior. Signage advertising alcohol sales may not be attached to the windows and clear doors on an off-sale premises facility.
4. Outdoor Lighting. The permittee shall provide nighttime lighting of the building exterior. The lighting shall be of sufficient illumination so as to enable law enforcement personnel to clearly identify individuals.
5. Litter. The permittee shall remove litter from the premises, public sidewalks and parking lots daily, and shall keep the areas swept weekly to prevent debris buildup. Trash cans shall be located near the entry into the premises. "No Littering" signs of a size and location as determined by the City shall be installed if determined necessary by the Director.
6. Alcohol Sale Hours. The sale of alcoholic beverages may be permitted only between the hours of 6:00 am and 12:00 midnight each day, except for hotels and bars and alcoholic beverage drinking places, including nightclubs, which may sell until 2:00 am, or as approved by a Minor Conditional Use Permit or Conditional Use Permit.
7. Smoking Ordinance. The requirements of Murrieta Municipal Code Chapter 5.23 regarding smoking shall be complied with at all times.
8. State License Conditions. Prior to City approval on any ABC zoning affidavit, the applicant shall submit to the City a signed letter addressed to the ABC stipulating to include the appropriate City of Murrieta conditions in the ABC license.
9. Loitering. Loitering is prohibited on or around the premises. "No Loitering" signs of a size and in a location as determined by the City shall be installed if determined necessary by the Director.
10. Minimum Employee Age. In compliance with ABC regulations, no person under the age of twenty-one shall be employed as a bartender or cocktail server. No person under the age of eighteen shall serve alcohol within an eating place, and only if such service is an incidental part of their duties. Within retail stores, employees ages seventeen and younger may sell only if directly supervised by someone at least twenty-one. Employees within premises that sell alcohol and motor vehicle fuel must be twenty-one for sales between 10:00 pm and close of business.

11. Employee Behavior. No employee or agent shall solicit or accept any alcoholic or non-alcoholic beverage from any customer while on the premises.
  
12. Open Containers and Drinking Not Allowed. No alcoholic beverages shall be consumed on the premises of an off-sale establishment and no alcoholic beverages shall be consumed outside the edifice or enclosed patio of an on-sale establishment. “No Open Container” signs of a size and location as determined by the City shall be installed if open containers are found by the Police Department to be a chronic problem.
  
13. ABC Training. The owner and management of each alcoholic beverage use shall provide ABC approved and/or certified training for all employees who sell or serve alcoholic beverages at the first available opportunity or no later than thirty days from the employee’s date of employment.
  
14. Records. The permittee shall at all times maintain records which reflect separately the gross sale of alcoholic beverages and the gross sales of all other projects of the licensed business. Said records shall be kept no less frequently than on a quarterly basis and shall be made available to the Police Department within five business days following a notice.

The following specific regulations shall further govern the types of alcohol sales establishments identified in sections Section 2.3.3.1 and 2.3.3.2, above.

**Table 2-2 Specific Regulations for Alcohol Sales**

Regulation #	Specific Regulations
<b>1 (Bars and alcoholic beverage drinking places)</b>	<ul style="list-style-type: none"> <li>a) The sale of alcoholic beverages for off-premises consumption is strictly prohibited.</li> <li>b) No reduced price or no charge alcoholic beverage promotion is permitted after 8:00 p.m. each day.</li> <li>c) There shall not be a requirement to purchase a minimum number of drinks in lieu of a cover charge or admission fee.</li> <li>d) Hours of operation shall be as set forth in the use permit.</li> <li>e) All sound resulting from the business and/or live entertainment activities shall be substantially contained within the building in compliance with city noise regulations.</li> </ul>
<b>2 (Wine, beer)</b>	<ul style="list-style-type: none"> <li>a) Wine shall not be sold with an alcoholic content of greater than fifteen percent by volume except for “dinner wines” that have been aged two years</li> </ul>

<p><b>and liquor stores, and micro-breweries)</b></p>	<p>or more and maintained in packaged bottles.</p> <p>b) The possession of alcoholic beverages in open containers and the consumption of alcoholic beverages are prohibited unless consumed within the premises or separate controlled-access area, such as a fenced patio or food court.</p> <p>c) The sale and delivery of alcoholic beverages shall be made to the persons who are within the permitted premises only and not through a pass-out window, or a slide out tray to the exterior of the premises.</p> <p>d) Beers, malt beverage products, wine coolers, and pre-mixed distilled spirits cocktails (if allowed by ABC license) shall be sold, regardless of container size, only in manufacturer pre-packaged multi-unit quantities.</p> <p>e) Surveillance cameras and equipment shall be installed to record all purchases and attempted purchases of alcoholic beverages in accordance with the specifications provided by the police department. The equipment shall be able to record a minimum of twenty-four hours of operation. The facility operator shall maintain the recordings for the prior sixty days and make the recordings available to the police department within twenty-four hours upon request.</p>
<p><b>3 (Convenience stores)</b></p>	<p>a) Only beer and wine may be sold, and only for off-site consumption. No sales of distilled spirits or pre-mixed distilled spirit cocktails are permitted.</p> <p>b) Cold beer or wine shall only be sold from, or displayed in, the main, permanently affixed electrical cooler.</p> <p>c) No displays of beer, wine or other alcoholic beverages shall be located within ten feet of any building entrance or check-out counter, unless the display is not physically accessible to customers.</p> <p>d) Beer, malt beverage products and wine coolers shall be sold, regardless of container size, only in manufacturer pre-packaged multi-unit quantities.</p> <p>e) Wine shall not be sold with an alcoholic content of greater than fifteen percent by volume except for “dinner wines” which have been aged two years or more and maintained in packaged bottles.</p> <p>f) The possession of alcoholic beverages in open containers and the consumption of alcoholic beverages are prohibited on or around the premises.</p>

	<p>g) The sale and delivery of alcoholic beverages shall be made to persons who are within the permitted premises only and not through a pass-out window or slide out tray to the exterior of the premises.</p> <p>h) No advertising for beer, wine or other alcoholic beverage and no lighted advertising for beer, wine, or other alcoholic beverages shall be located on the exterior of buildings or within window areas.</p> <p>i) The sale of beer and wine shall be incidental to, and in conjunction with, the sale of food, groceries and sundries, and the area (not including storage) devoted to the display and sale of beer and wine shall not exceed ten percent of the retail floor area.</p> <p>j) Surveillance cameras and equipment shall be installed to record all purchases and attempted purchases of alcoholic beverages in accordance with the specifications provided by the police department. The equipment shall be able to record a minimum of twenty-four hours of operation. The facility operator shall maintain the recordings for the prior sixty days and make the recordings available to the police department within twenty-four hours upon request.</p> <p>k) Signs shall be inside near the cash registers notifying the public that, "All Alcoholic beverage transactions are monitored in cooperation with the Murrieta Police Department." The size, wording and letter style of the advisory sign shall be as determined by the police department.</p>
<p><b>4 (Tasting facilities)</b></p>	<p>a) No reduced price or no cost alcoholic beverage tasting promotion shall be allowed after 8:00 p.m. each day.</p> <p>b) Customers will be limited to no more than one series of free tasting.</p> <p>c) Tasting samples shall be no larger than one ounce.</p> <p>d) For breweries and microbreweries, the sale of alcoholic beverages for consumption off the premises is strictly limited to beverages manufactured onsite.</p> <p>e) No person under the age of twenty-one shall be allowed in the sampling or tasting areas.</p>
<p><b>5 (Discount, drug and variety stores and Grocery stores)</b></p>	<p>a) The gross floor area of the establishment shall be a minimum of 7,000 SF, and no more than fifteen percent of the gross floor area shall be used for the storage and display of alcoholic beverages.</p> <p>b) No wine shall be sold with an alcoholic content of greater than 15% by</p>

	<p>volume except for “dinner wines” which have been aged two years or more and maintained in packaged bottles.</p> <p>c) The sale of beer or malt beverages in containers larger than sixteen ounces is prohibited.</p> <p>d) The sale of miniature-sized distilled spirits is not allowed.</p> <p>e) No displays of alcoholic beverages shall be located within ten feet of any building entrance or check-out counter.</p>
<b>6 (Delicatessens)</b>	a) Self-service of alcohol is prohibited, including refrigerated coolers and buckets of drinks in ice available to the customer.
<b>7 (Restaurants)</b>	<p>a) The sale of alcoholic beverages for off-premises consumption is prohibited.</p> <p>b) No reduced price or no cost alcoholic beverage promotion shall be allowed after 8:00 p.m. each day.</p> <p>c) Outdoor alcohol beverage service is prohibited unless consumed within a separate controlled-access area, such as a fenced patio or food court.</p>
<b>8 (Conference centers, cyber cafes, day spas, hotels, indoor amusement centers and game arcades, billiards establishments, comedy clubs, and theaters)</b>	<p>a) The sale of alcoholic beverages for off-premises consumption is prohibited.</p> <p>b) No reduced price or no cost alcoholic beverage promotion shall be allowed after 8:00 p.m. each day except within hotel banquet facilities, where the price of drinks or drink tickets may be consistent during the entirety of a special event.</p> <p>c) There shall not be a requirement to purchase a minimum number of drinks in-lieu of an admission or cover charge.</p> <p>d) Self-service of alcohol is prohibited; including refrigerated coolers and buckets of drinks in ice available to the customer.</p> <p>e) Alcohol sales within a movie theater shall be prohibited unless within a separate controlled section or “box” restricted to patrons aged twenty-one and over.</p>
<b>9 (Florist and gift shops)</b>	<p>a) No wine shall be sold with an alcoholic content of greater than 15% by volume except for “dinner wines” which have been aged two years or more and maintained in packaged bottles.</p> <p>b) All alcoholic beverages shall be sold only as part of a gift package or floral arrangement.</p> <p>c) Refrigerated or otherwise chilled alcoholic beverages shall not be sold or</p>

	maintained on the permitted premises, except for alcoholic beverages sold in combination with non-alcoholic beverage commodities and packaged in gift containers requiring refrigeration for the preservation of said commodities.
<b>10 (Kiosks, vending carts, and food service pavilions)</b>	<p>a) Only beer and wine may be sold. No sales of distilled spirits or pre-mixed distilled spirit cocktails are permitted.</p> <p>b) Self-service of alcohol is prohibited; including refrigerated coolers and buckets of drinks in ice available to the customer.</p> <p>c) Alcohol sales from kiosks, vending carts or food service pavilions shall be prohibited unless consumed within a separate controlled-access area, such as a fenced patio or food court.</p>

## 2.4 Development Intensity

The intensity of development is regulated by maximum gross building area for the site, building heights, property setbacks and parking requirements. The anticipated gross building area for each use is identified in the table below. Gross building area shall include the total horizontal floor area of all floors of a building, including the exterior walls thereof, measured in square feet. Areas used in common such as covered walkways, patio areas, and entries open to and directly connecting with outside areas, shall not be included in the calculation. Neither hotel balconies nor rooftop mechanical spaces shall be included in gross building area.

Table 2-3 delineates the anticipated division of gross building area by category of land use. The total gross building area of 1,767,914 is the maximum allowed in The Triangle Specific Plan, and this overall total shall not be exceeded. The amount of gross building area for each category may be modified.

**Table 2-3 Gross Building Area by Land Use Category**

<b>Land Use</b>	<b>Anticipated Gross Building Area</b>
Retail	640,914
Office	779,082
Hotel (220 Rooms)	148,000
Entertainment	74,660
Restaurant	125,258
<b>Maximum Total for all Land Use Categories</b>	<b>1,767,914</b>

The Triangle Specific Plan site is approximately 64.3 acres in size. This acreage includes several small parcels totaling 0.77 acres along Murrieta Hot Springs Road that are proposed to be dedicated to the City of Murrieta for road right-of-way purposes. In calculating the FAR of the site, those right-of-way parcels were excluded.

Intensity of development within The Triangle ranges from .25 FAR up to 1.33 FAR, depending on the use. The average FAR for the site is approximately .63. This will result in a dense, urban-feeling development, which is desired. Because of the broad range of development intensity, FAR is not used as a method of regulating development within the property.

## **2.5 Architectural Development Standards**

### **2.5.1 Application of Development Standards**

The various land uses allowed within The Triangle are identified below. Each category of land use has its own development regulations. Because the Development Plan(s) will be reviewed subsequently, the Specific Plan does not apply these standards to specific locations or planning areas. Nor should the standards be applied in a building-by-building approach in all cases. For single use buildings, such as offices or the hotel, the appropriate development standards will be used.

Certain components of The Triangle will be constructed together as mixed-use components. If a vertical or horizontal mix of uses is proposed, the predominant use, as determined by square footage included in that component, shall determine the development standards to be applied. This shall be the case whether there is one mixed-use building or there are multiple buildings related together to form one cohesive and interrelated project. For example, if office space is included above retail as part of a predominantly retail component of the plan, the development regulations for whichever land use has the highest amount of square footage should be applied, in this case retail standards. If an office building includes service commercial uses and restaurants on the ground floor, office standards should apply to the entire building. This will provide maximum flexibility in design while ensuring that appropriate regulatory mechanisms such as setbacks and landscaping requirements are incorporated.

For purposes of developing appropriate development regulations in The Triangle, the number of stories included has been used to categorize buildings and to establish specific development requirements suitable for the mass and scale of the building.

### **2.5.2 General Development Standards**

The requirements below apply to all uses within The Triangle. Different types of setbacks are included within the Specific Plan. Most critically, building setbacks are defined from the back of the landscaped area along Murrieta Hot Springs Road, the Internal Connector Road right-of-way

line or edge of public access easement, and the property lines adjacent to the freeways. Setbacks for buildings from parking or drive aisles interior to the site are also provided. The Specific Plan does not require building separations within the site, so buildings may be constructed side by side to create an urban village environment.

1. Building Placement: Corner buildings provide definition for the streets and drives within The Triangle. The primary mass of the building should not be placed at an angle to a corner. This does not preclude angled or sculpted building corners or an open plaza at the corner.

Multiple buildings in a single Planning Area shall provide a functional relationship with one another to achieve a “village” scale by use of at least one of the following techniques:

- a) Cluster buildings around open plaza areas, not parking lots.
  - b) Provide courtyards with landscaping and other pedestrian amenities.
  - c) Provide convenient pedestrian circulation between each building and between parking areas and buildings using easily identifiable techniques such as planting treatment, architectural design features or enhanced paving materials.
  - d) Link buildings together visually using trellis structures, arcades, or enhanced paving.
2. Parking structures: Structures shall be setback a minimum one hundred feet in each direction from the main entries located along Murrieta Hot Springs Road
  3. Courtyard and Plaza Access: Drives shall be provided adjacent to open spaces such as plazas or courtyards unless the project is designed to provide direct pedestrian access to the open space and the road or drive is not otherwise necessary.
  4. Land Use Buffering: Loading areas, access and circulation driveways, trash, storage areas and mechanical equipment related to commercial use shall be located as far as possible from adjacent uses.
  5. Trash/Loading/Storage Areas: All trash and garbage bins shall be stored in approved enclosures in compliance with Murrieta Municipal Code Section 16.18.150 (Solid Waste and Recyclable Materials Storage). The locations of trash enclosures shall allow convenient access for each tenant.

The rear or loading areas of structures shall not face onto planned amenities (i.e. gathering spaces such as plazas, courtyards, and water features) without proper architectural treatment and landscape screening. Loading facilities shall be fully screened from view from public streets and freeways. Screening shall be accomplished with architectural elements or landscaping or a combination of both. Screening shall be

provided to adequately block or soften the view of loading areas, trucks, trash enclosures and other similar service facilities.

6. Utility and Mechanical Equipment: All mechanical equipment (i.e. compressors, air conditioners, heating and ventilating equipment, chillers, standpipes, solar collectors, etc.) should be concealed, when feasible, from view in compliance with Murrieta Municipal Code Section 16.18.120 (Screening and Buffering). Screening devices shall be compatible with the architecture and color of the adjacent buildings. Reasonable accommodations shall be made for solar arrays, collectors and similar energy efficient technologies or sustainability features.

Mechanical Equipment located on the roof of a structure shall be screened by architectural elements that are an integral part of the building design.

Utility equipment (i.e. electric and gas meters, electrical panels and junction boxes) shall be located in utility rooms within the structure or utility cabinets with exterior access that are designed to be integrated into the building architecture.

7. Provision of Open Spaces: The Triangle shall have a twenty percent overall requirement for open space. Each planning area shall have a minimum open space requirement equivalent to fifteen percent of the area within that planning area.

Landscape and open space areas shall be distributed throughout the site and consist of a balanced combination of trees, ground cover, shrubbery, and other materials. Landscaping for required setbacks may be used to satisfy this requirement. Quality considerations for open space should include the use of plazas, courtyards, water elements, and public art. Pathways and sidewalks not included within parking lots may be calculated as part of the open space.

Open space areas should be concentrated or clustered into larger meaningful spaces at areas of significant activity.

8. Building Setbacks: The illustrations of building setbacks contained within the Specific Plan also illustrate the landscape concepts that should be included in the project. Although the plant materials and stylistic treatments may vary in final plans, the overall concept of incorporating vertical accent trees and canopy trees, shrub and ground cover rather than turf, use of screening treatments, etc. shall be followed to ensure the high quality landscape concept is carried out.
9. Building Heights: Building, parking structure, and overall sign heights shall be measured from the adjacent finished grade.
10. Setbacks: The setbacks identified in the tables below are minimum setbacks.

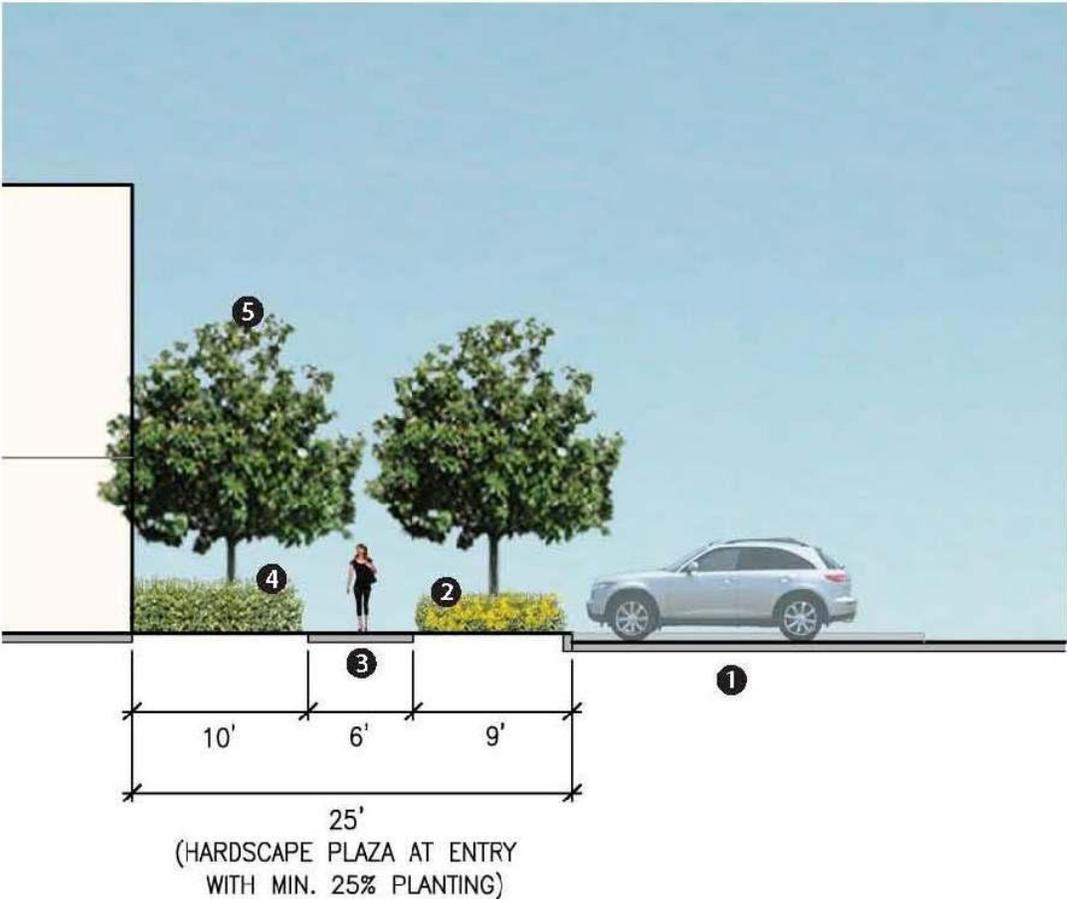
### 2.5.3 Office Development Standards

As noted above, certain setbacks within The Triangle are required from Murrieta Hot Springs Road and the Internal Connector Road. The front building standards included within Table 2-4 are illustrated in Exhibits 2-2 through 2-11, with both sections and plan views. Alternate entry courtyard and plaza configurations from those illustrated are allowed that provide equal or greater open space than these minimum regulations.

**Table 2-4 Development Standards for Office Buildings**

	<b>1-2 Story Building</b>	<b>3-4 Story Building</b>	<b>5-8 Story Building</b>	<b>9-12 Story Building</b>	<b>13-18 Story Building</b>
Setback to Building <sup>6</sup>					
• Front Drive Aisle	45'	55'	65'	80'	95'
• Front Parking	25'	35'	45'	60'	75'
• Front Plaza Width	20'	20'	30'	40'	40'
• Side/Rear Drive aisle	15'	25'	30'	35'	35'
• Side/Rear Parking	15'	15'	20'	25'	25'
• Side/Rear Property Line	15'	15'	15'	15'	15'
Maximum Height	50'	80'	140'	200'	280'

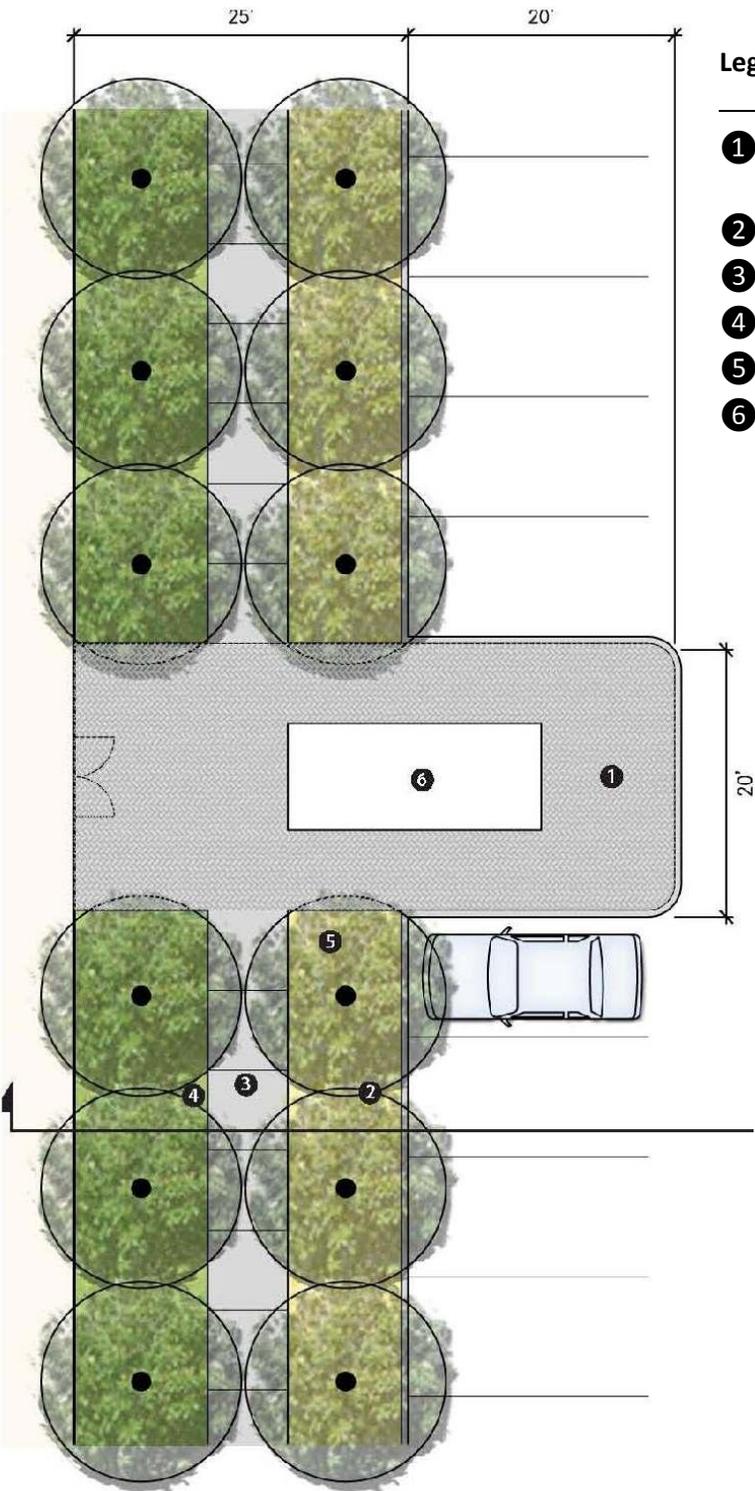
<sup>6</sup> Setbacks are measured from the back of the landscape area along Murrieta Hot Springs Road, the Internal Connector Road right-of-way line or edge of public access easement, or the property line along the adjacent freeways.



**Legend**

- ① Drive Aisle or Head-in Parking with 20' wide Pedestrian Plaza at Entry
- ② Flowering Accent Ground Plane
- ③ Concrete Walk
- ④ Simple Ground Plane at Building
- ⑤ Formal Canopy Tree Rhythm
- ⑥ Amenity Zone (in Plaza) – Potential Features may include:  
Planting Area, Raised Planter, Bench Seating (see Exhibit 2-3)

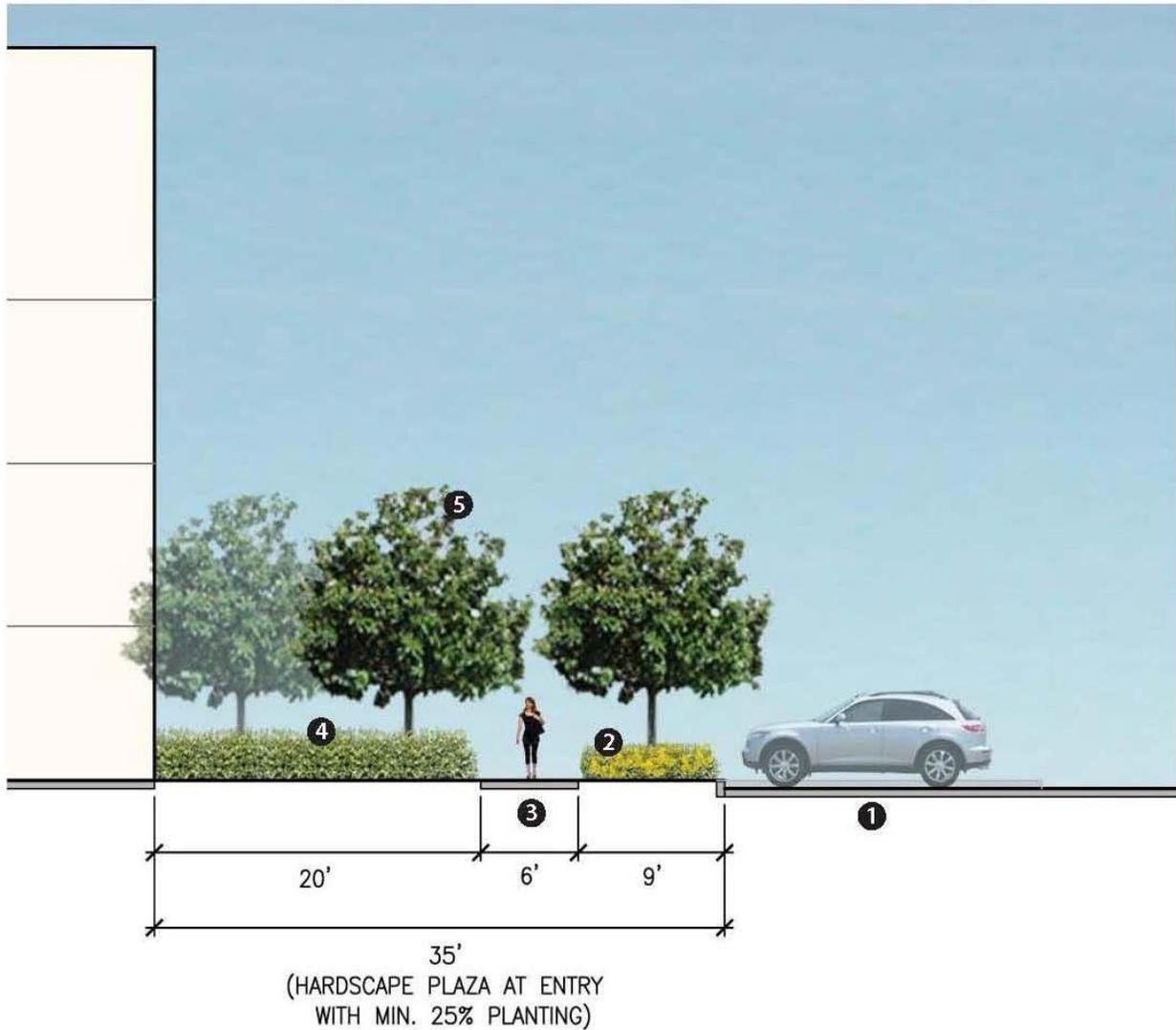
**Exhibit 2-2: 1-2 Story Office Building Front Facade  
Landscape Section**



**Legend**

- ① Drive Aisle or Head-in Parking with 20' wide Pedestrian Plaza at Entry
- ② Flowering Accent Ground Plane
- ③ Concrete Walk
- ④ Simple Ground Plane at Building
- ⑤ Formal Canopy Tree Rhythm
- ⑥ Amenity Zone (in Plaza) – Potential Features may include Planting Area, Raised Planter, Bench Seating

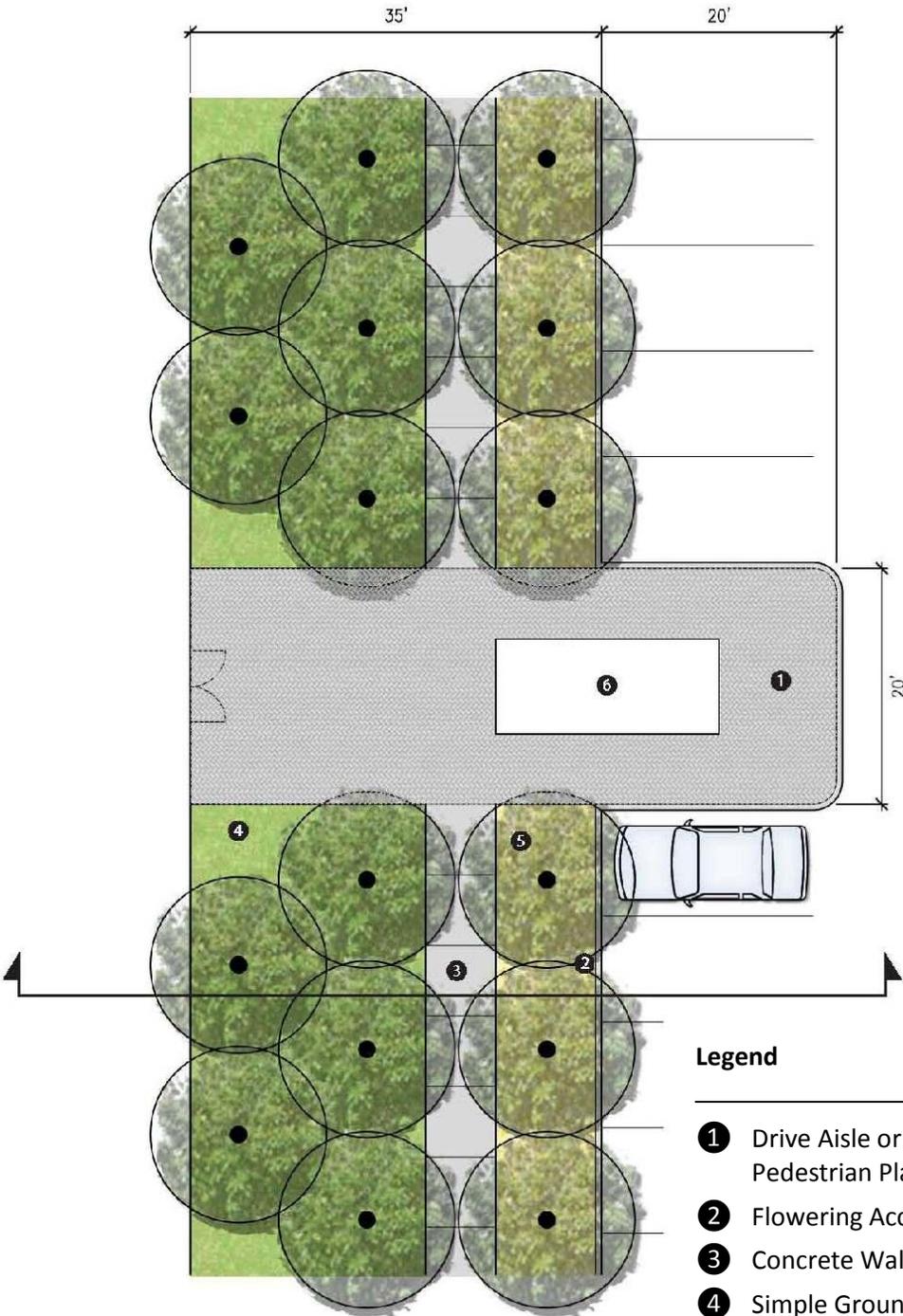
**Exhibit 2-3: 1-2 Story Office Building Front Facade  
Landscape Plan**



**Legend**

- ① Drive Aisle or Head-in Parking with 20' wide Pedestrian Plaza at Entry
- ② Flowering Accent Ground Plane
- ③ Concrete Walk
- ④ Simple Ground Plane at Building
- ⑤ Formal Canopy Tree Rhythm
- ⑥ Amenity Zone (in Plaza) – Potential Features may include Planting Area, Raised Planter, Bench Seating, Pots (see Exhibit 2-5)

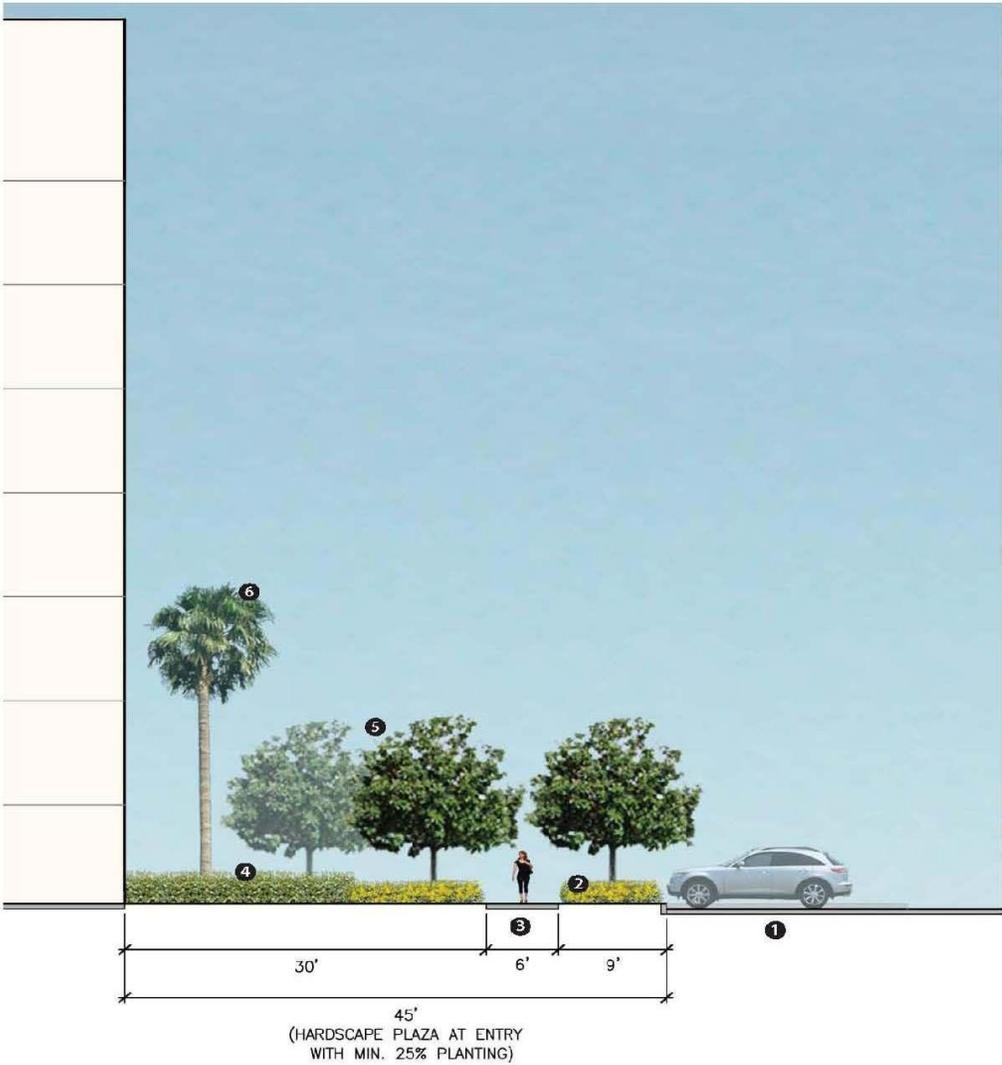
**Exhibit 2-4: 3-4 Story Office Building Front Facade  
Landscape Section**



**Legend**

- ① Drive Aisle or Head-in Parking with 20' wide Pedestrian Plaza at Entry
- ② Flowering Accent Ground Plane
- ③ Concrete Walk
- ④ Simple Ground Plane at Building
- ⑤ Formal Canopy Tree Rhythm
- ⑥ Amenity Zone (in Plaza) – Potential Features may include Planting Area, Raised Planter, Bench Seating, Pots

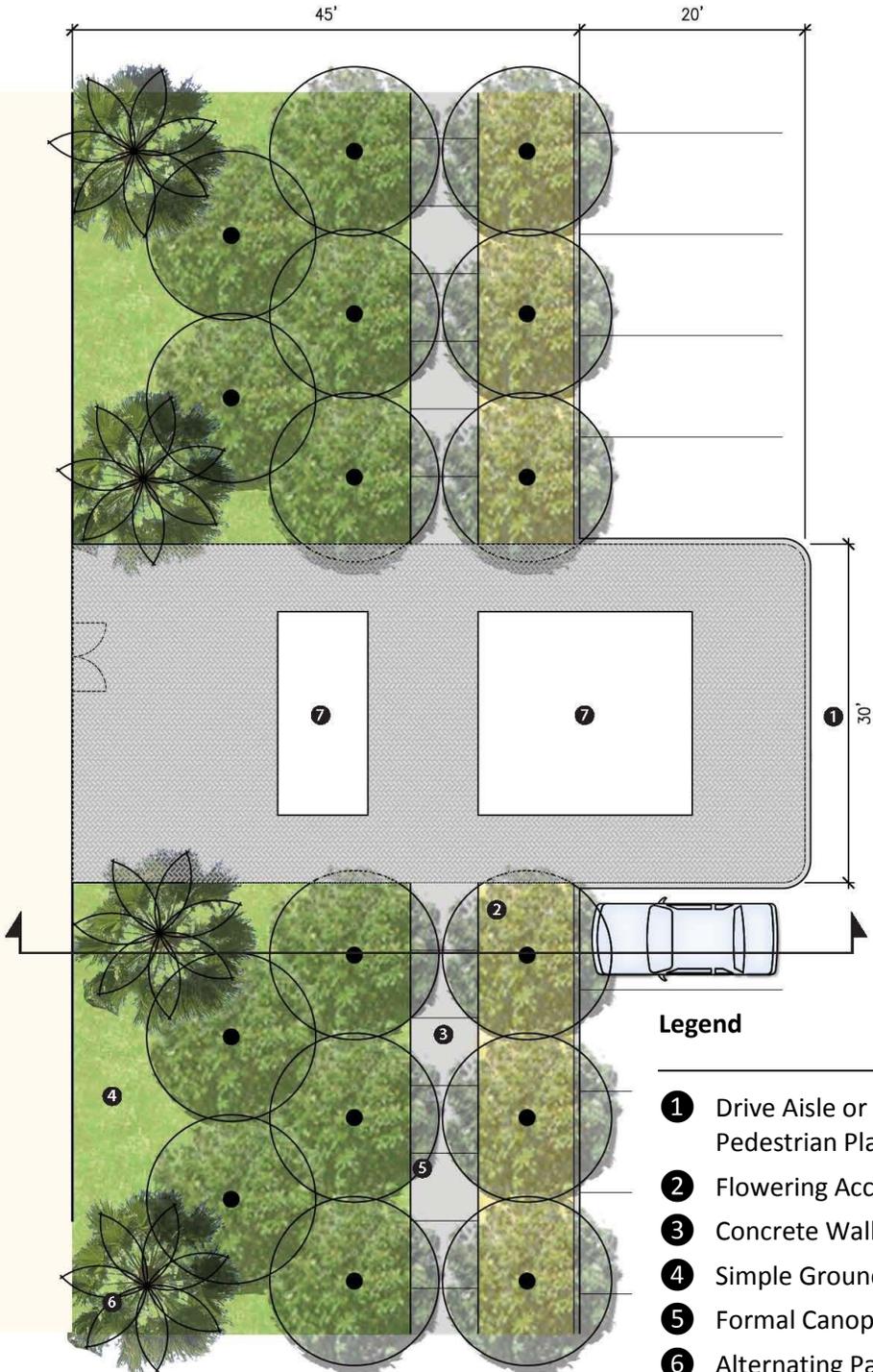
**Exhibit 2-5: 3-4 Story Office Building Front Facade  
Landscape Plan**



**Legend**

- ① 30' wide Pedestrian Plaza at Entry
- ② Flowering Accent Ground Plane
- ③ Concrete Walk
- ④ Simple Ground Plane at Building
- ⑤ Formal Canopy Tree Rhythm
- ⑥ Alternating Palms to reduce building scale
- ⑦ Amenity Zone (in Plaza) – Potential Features may include Planting Area, Raised Planter, Bench Seating, Pots, Fountain (see Exhibit 2-7)

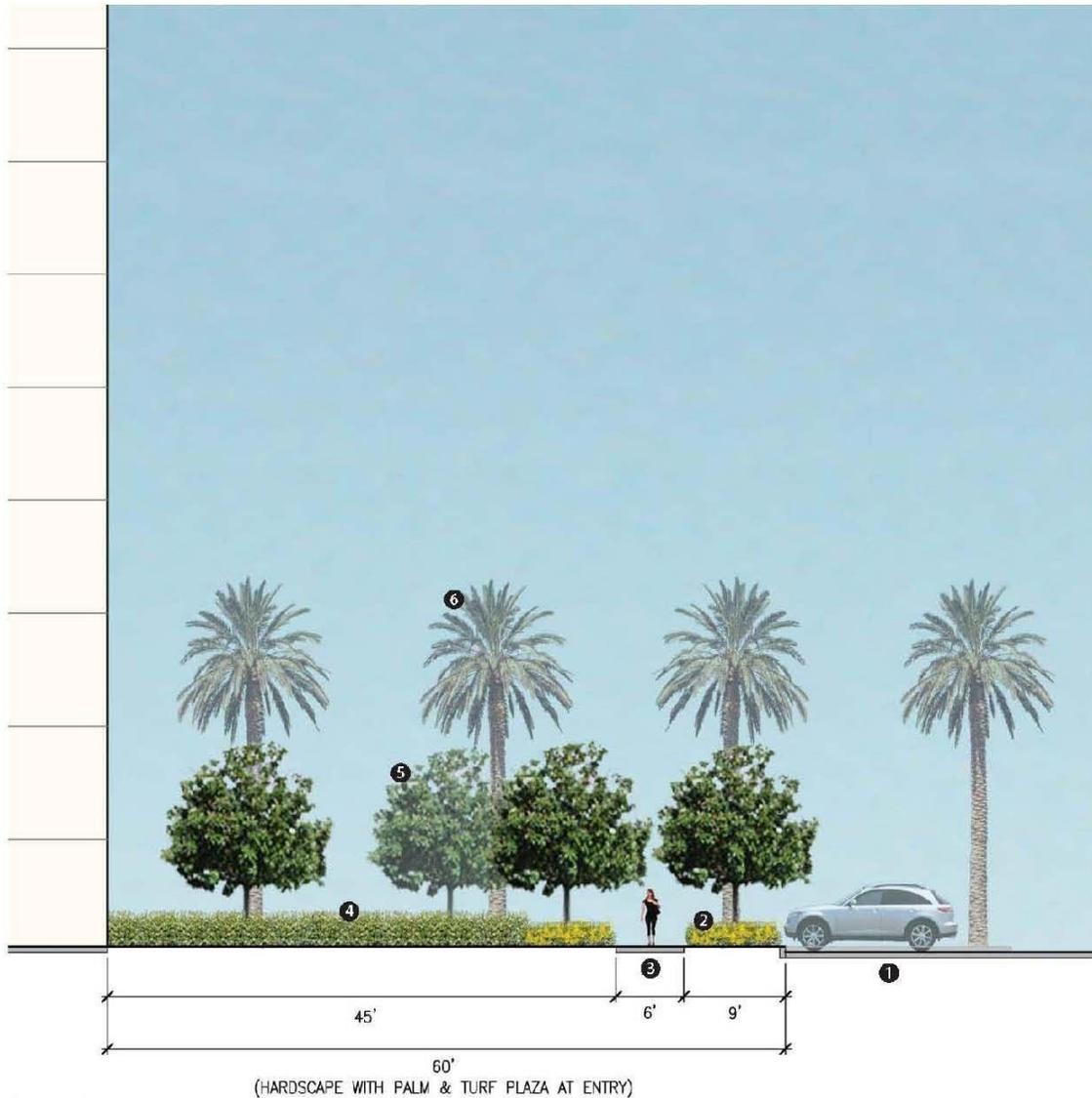
**Exhibit 2-6: 5-8 Story Office Building Front Facade  
Landscape Section**



**Legend**

- ① Drive Aisle or Head-in Parking with 30' wide Pedestrian Plaza at Entry
- ② Flowering Accent Ground Plane
- ③ Concrete Walk
- ④ Simple Ground Plane at Building
- ⑤ Formal Canopy Tree Rhythm
- ⑥ Alternating Palms to reduce building scale
- ⑦ Amenity Zone (in Plaza) – Potential Features may include Planting Area, Raised Planter, Bench Seating, Pots, Fountain

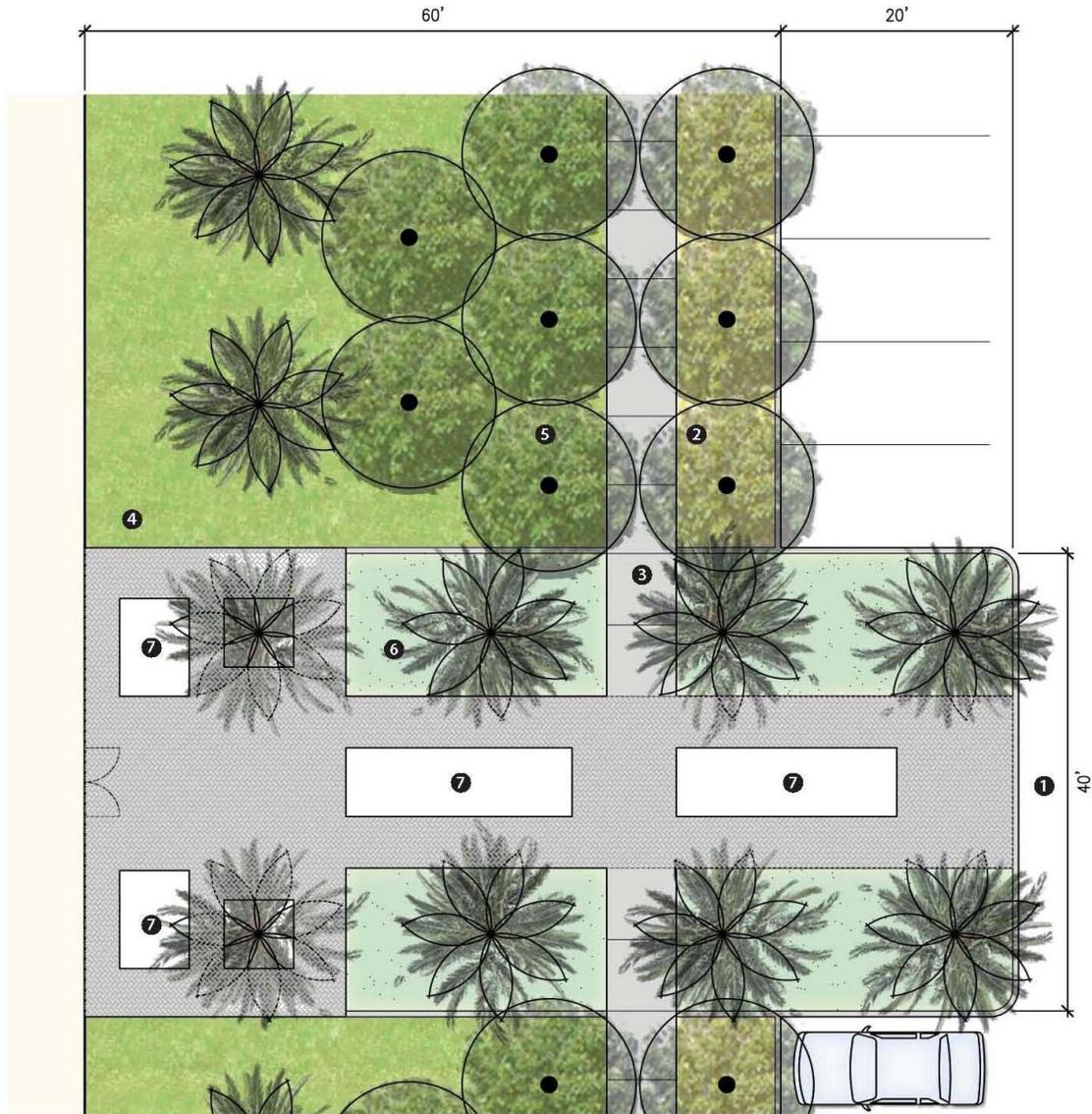
**Exhibit 2-7: 3-4 Story Office Building Front Facade Landscape Plan**



**Legend**

- ① 40' wide Pedestrian Plaza at Entry
- ② Flowering Accent Ground Plane
- ③ Concrete Walk
- ④ Simple Ground Plane at Building
- ⑤ Formal Canopy Tree Rhythm
- ⑥ Alternating Palms in Turf at Pedestrian Plaza
- ⑦ Amenity Zone (in Plaza) – Potential Features may include Planting Area, Raised Planter, Bench Seating, Pots, Fountain, Table, Chairs and Umbrella (see Exhibit 2-9)

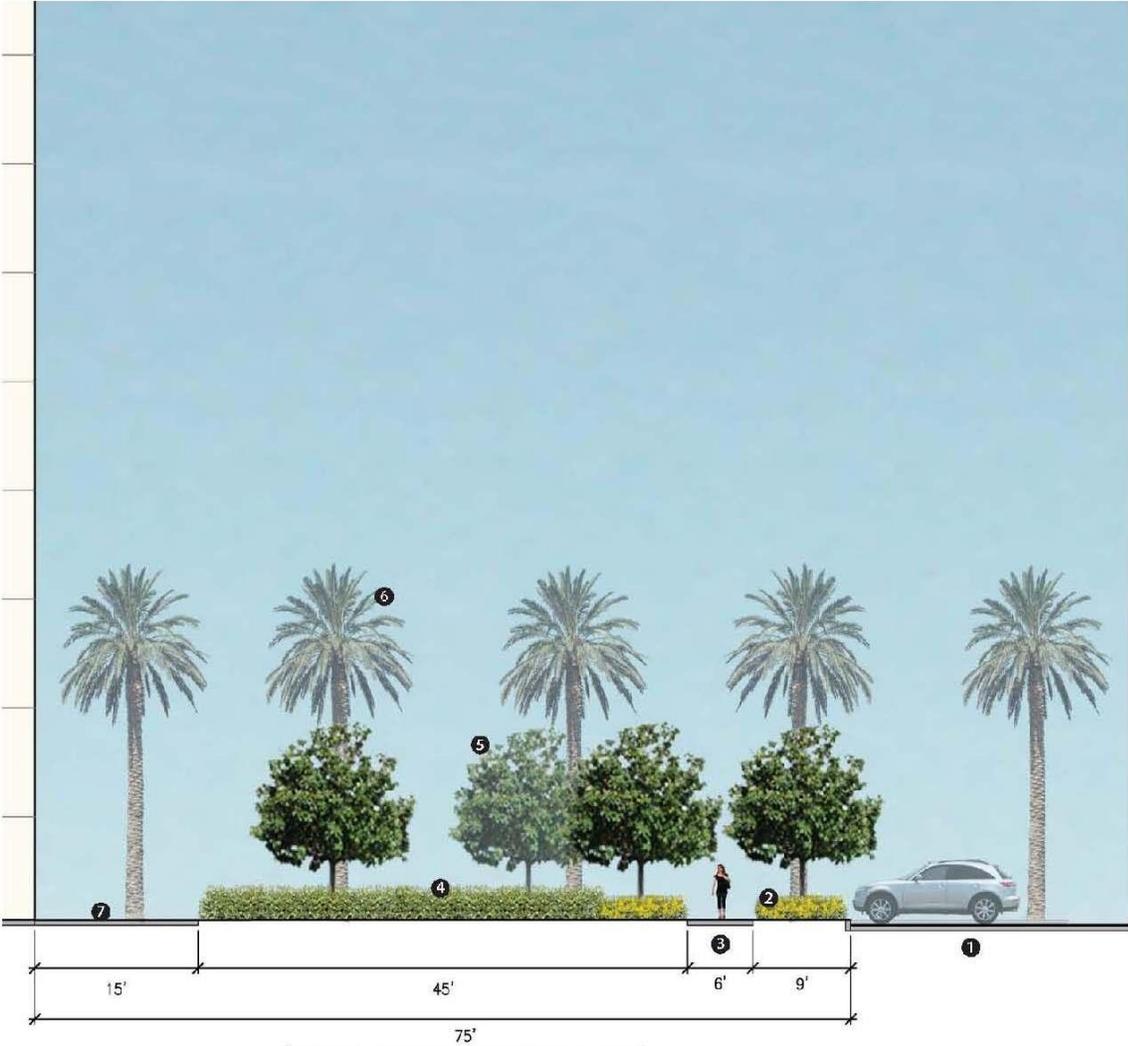
**Exhibit 2-8: 9-12 Story Office Building Front Facade  
Landscape Section**



**Legend**

- ① 40' wide Pedestrian Plaza at Entry
- ② Flowering Accent Ground Plane
- ③ Concrete Walk
- ④ Simple Ground Plane at Building
- ⑤ Formal Shade Tree Rhythm
- ⑥ Formal Palms in Turf at Pedestrian Plaza
- ⑦ Amenity Zone (in Plaza) – Potential Features may include Planting Area, Raised Planter, Bench Seating, Pots, Fountain, Table, Chairs & Umbrella

**Exhibit 2-9: 5-8 Story Office Building Front Facade  
Landscape Plan**

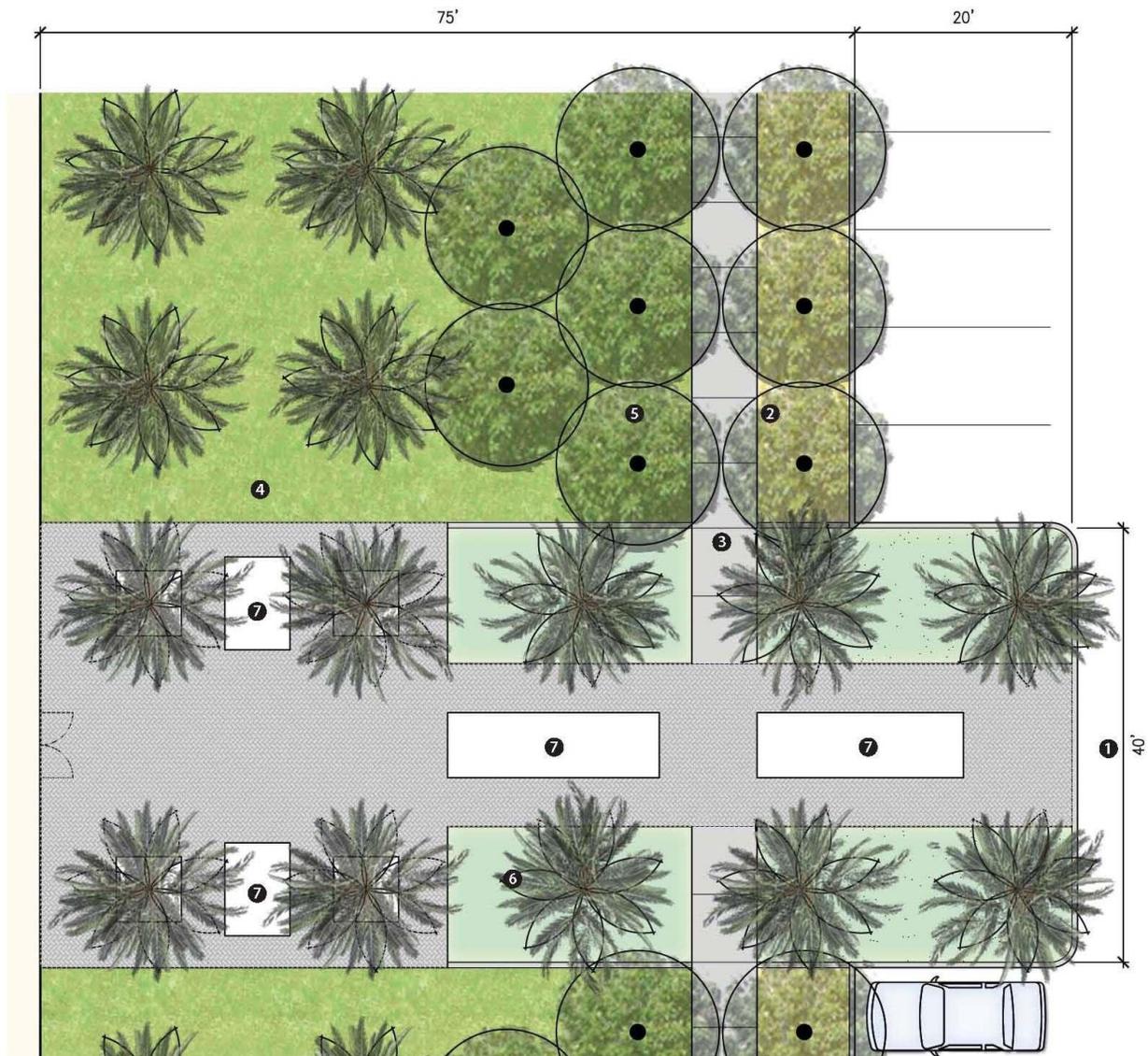


(HARDSCAPE WITH PALM & TURF PLAZA AT ENTRY)

**Legend**

- ① 40' wide Pedestrian Plaza at Entry
- ② Flowering Accent Ground Plane
- ③ Concrete Walk
- ④ Simple Ground Plane
- ⑤ Formal Canopy Tree Rhythm
- ⑥ Formal Palms in Turf at Pedestrian Plaza
- ⑦ Amenity Zone (in Plaza) – Potential Features may include Planting Area, Raised Planter, Bench Seating, Pots, Fountain, Table, Chairs and Umbrella, Vendor Kiosk

**Exhibit 2-10: 13-18 Story Office Building Front Facade  
Landscape Section**



**Legend**

- ① 40' wide Pedestrian Plaza at Entry
- ② Flowering Accent Ground Plane
- ③ Concrete Walk
- ④ Simple Ground Plane at Building
- ⑤ Formal Shade Tree Rhythm
- ⑥ Formal Palms in Turf at Pedestrian Plaza
- ⑦ Amenity Zone (in Plaza) – Potential Features may include Planting Area, Raised Planter, Bench Seating, Pots, Fountain, Table, Chairs & Umbrella

**Exhibit 2-11: 13-18 Story Office Building Front Facade  
Landscape Plan**

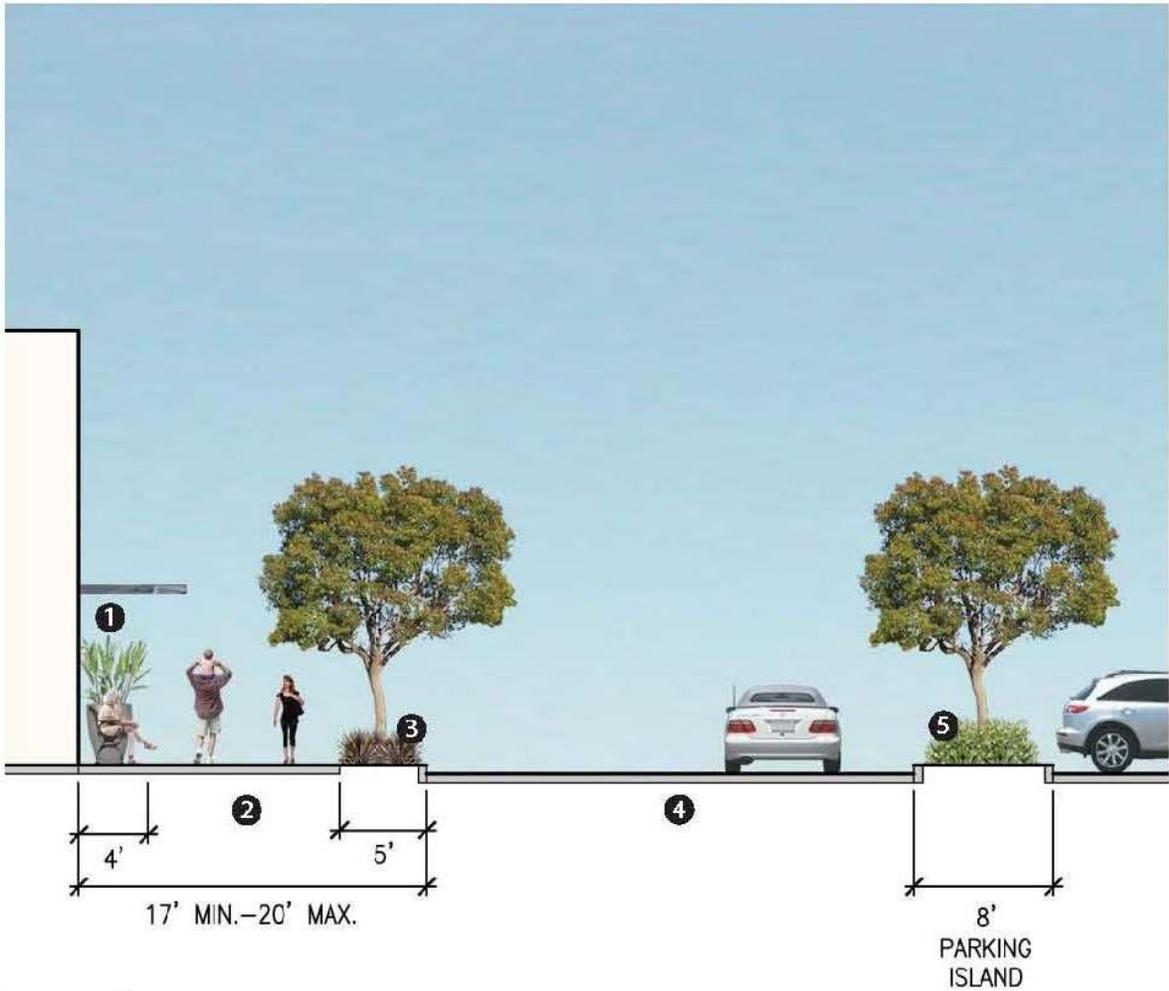
### 2.5.4 Retail and Restaurant Development Standards

The retail component of The Triangle will include retail shops, restaurants and entertainment uses. Regulations for all these uses are below in Table 2-5. In this table, a blank field indicates there is no requirement for the particular condition. Development standards for retail uses are illustrated in Exhibits 2-12 through 2-15. These regulations apply to any freestanding restaurant uses located in any area of the site. Freestanding restaurant standards are depicted in Exhibits 2-16 and 2-17. Should a retail use, such as a bank or pharmacy, have a drive-through service window, the development standards for drive-through aisles found in Section 2.5.4.1, Drive-Through Standards, shall apply.

**Table 2-5 Development Standards for Retail Uses**

	<b>1-2 Story Retail Building</b>	<b>3-4 Story Retail Building</b>	<b>Free-Standing Restaurant Building</b>	<b>Free-Standing Entertainment Building</b>
Setbacks to Building <sup>7</sup>				
• Front	17'	17'	15'	25'
• Side	0'	0'	0'	0'
• Drive Aisle Side	25'	25'	15'	25'
• Drive Aisle/Parking to Drive through Aisle	15'			
• Rear	15'	15'	15'	15'
Parking along Murrieta Hot Springs Road	0'	0'	0'	0'
Parking along Internal Connector Road	0'	0'	0'	0'
Parking interior to site	10'	10'	15'	15'
Maximum Height	60'	80'	50'	75'
Maximum Height including Appurtenances	80'	100'	60'	100'

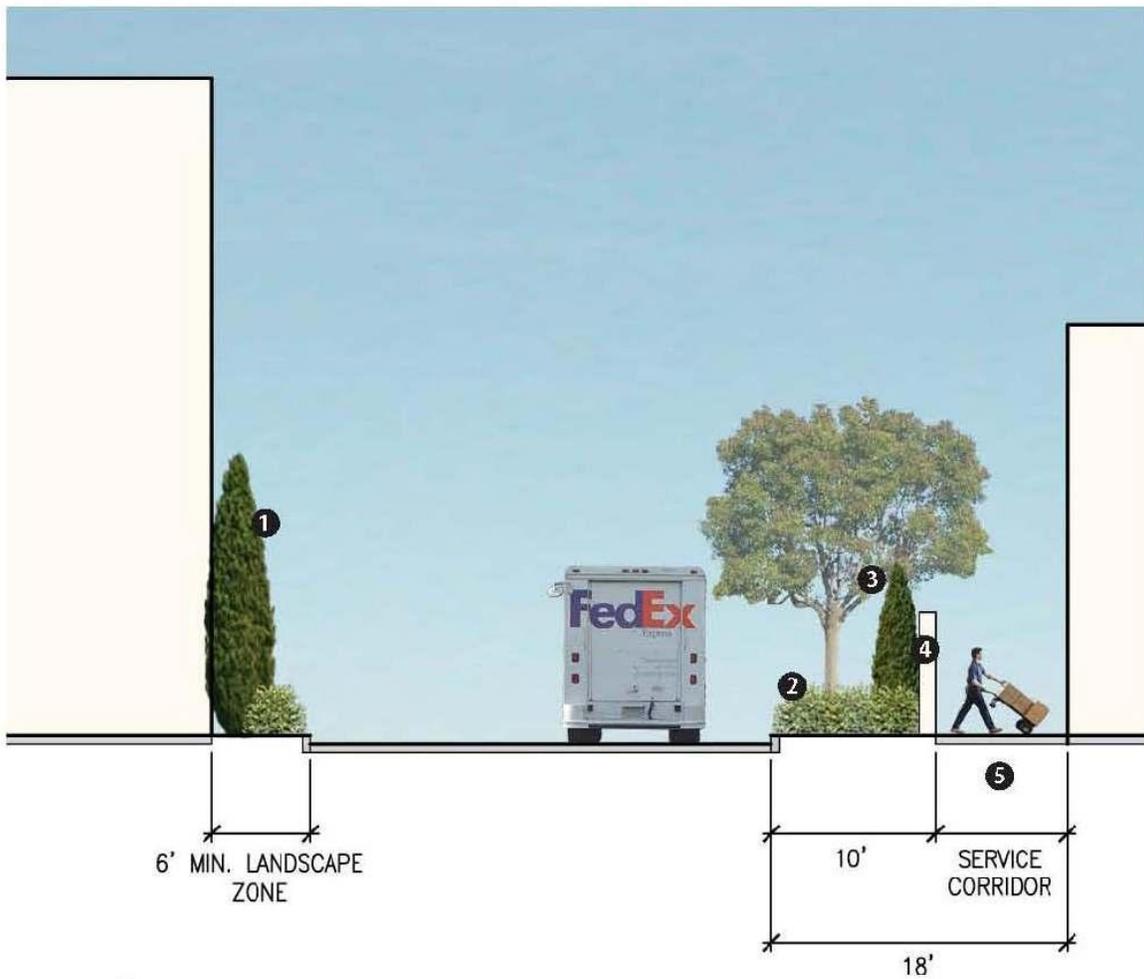
<sup>7</sup> Setbacks are measured from the back of the landscape area along Murrieta Hot Springs Road, the Internal Connector Road right-of-way line or edge of public access easement, or the property line along the adjacent freeways.



**Legend**

- ① 4' Amenity Zone against Building
- ② Pedestrian Clear Zone
- ③ 5' Tree Wall
- ④ Drive Aisle or Parking
- ⑤ Parking Lot Island with Canopy Tree

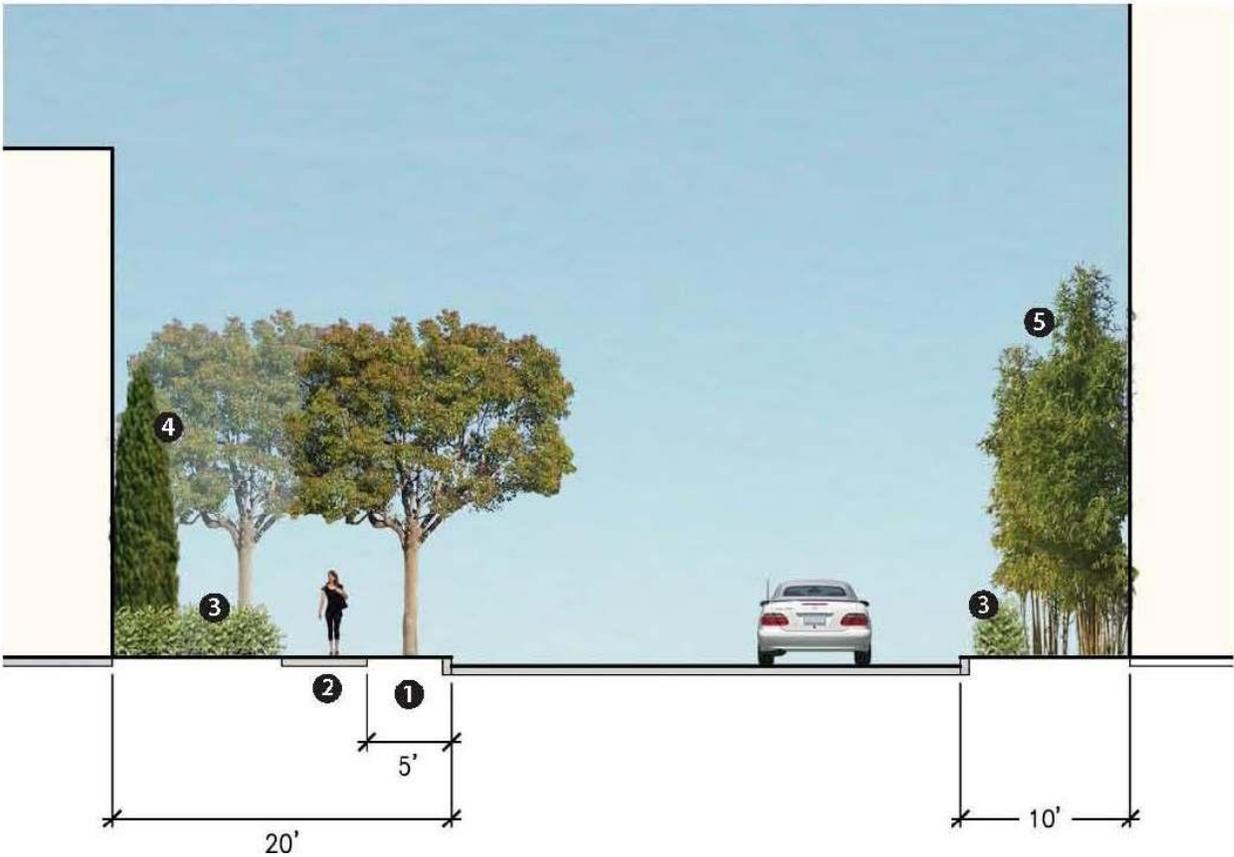
**Exhibit 2-12: Minor Retail Tenant Parking Lot to Pad Entry**



**Legend**

- ① Vertical Screen Planting
- ② Simple Ground Plane
- ③ Informal mix of Canopy and Screen Trees
- ④ Screen Wall
- ⑤ Pedestrian Service Corridor

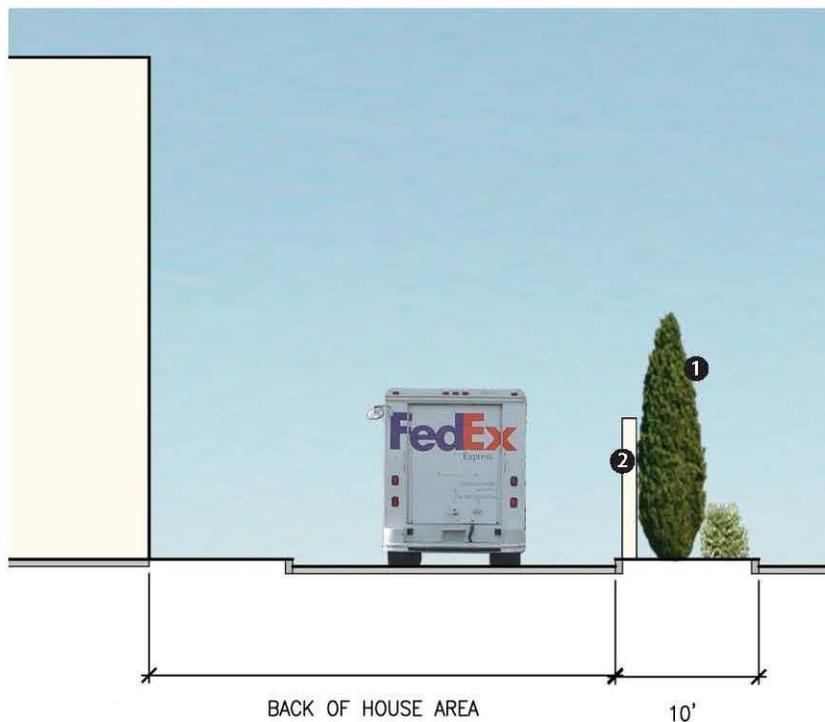
**Exhibit 2-13: Minor Retail Tenant Back of House Screening**



**Legend**

- ① 5' Tree Wall
- ② 5' Sidewalk (10' Walk where no tree wall exists)
- ③ Simple Ground Plane
- ④ Vertical Accent Planting against Building
- ⑤ Vertical Screen Planting against Parking Garage

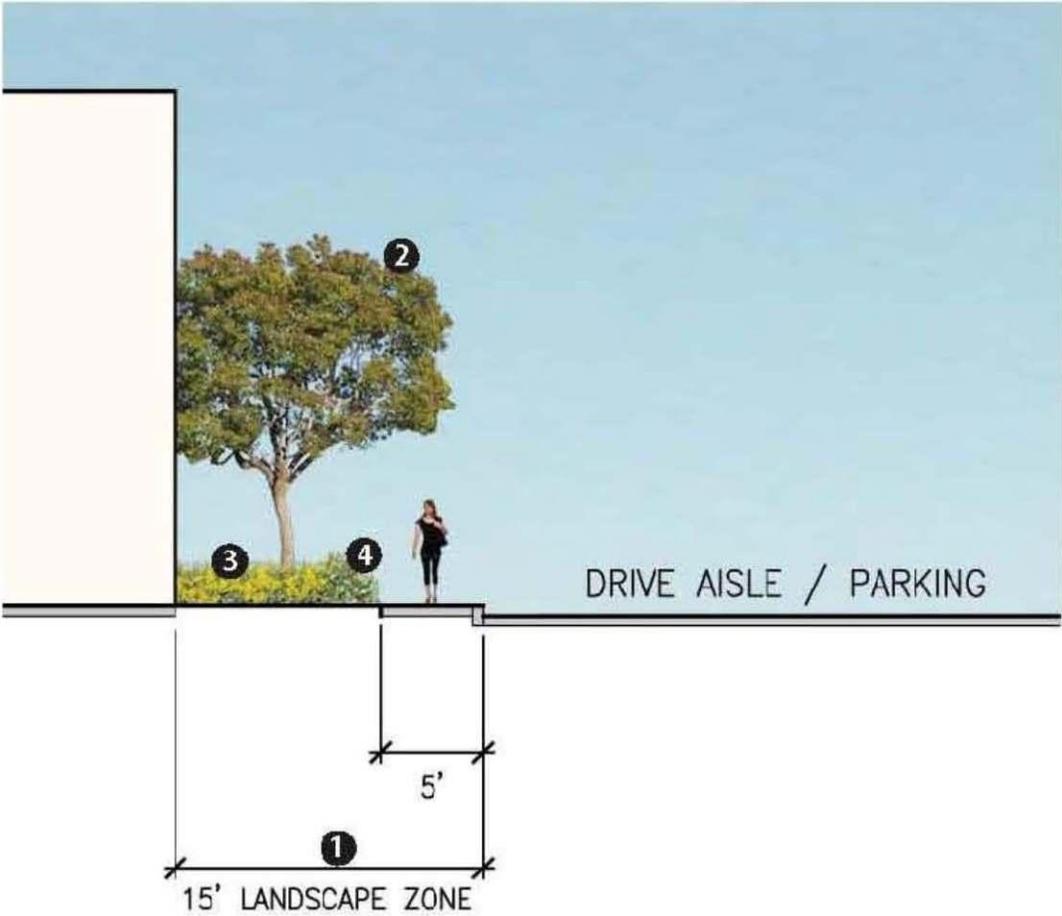
**Exhibit 2-14: Retail Edge Condition at Parking Garage**



**Legend**

- ① 10' Landscape Zone with Vertical Screen Planting
- ② Minimum 6' Tall Screen Wall

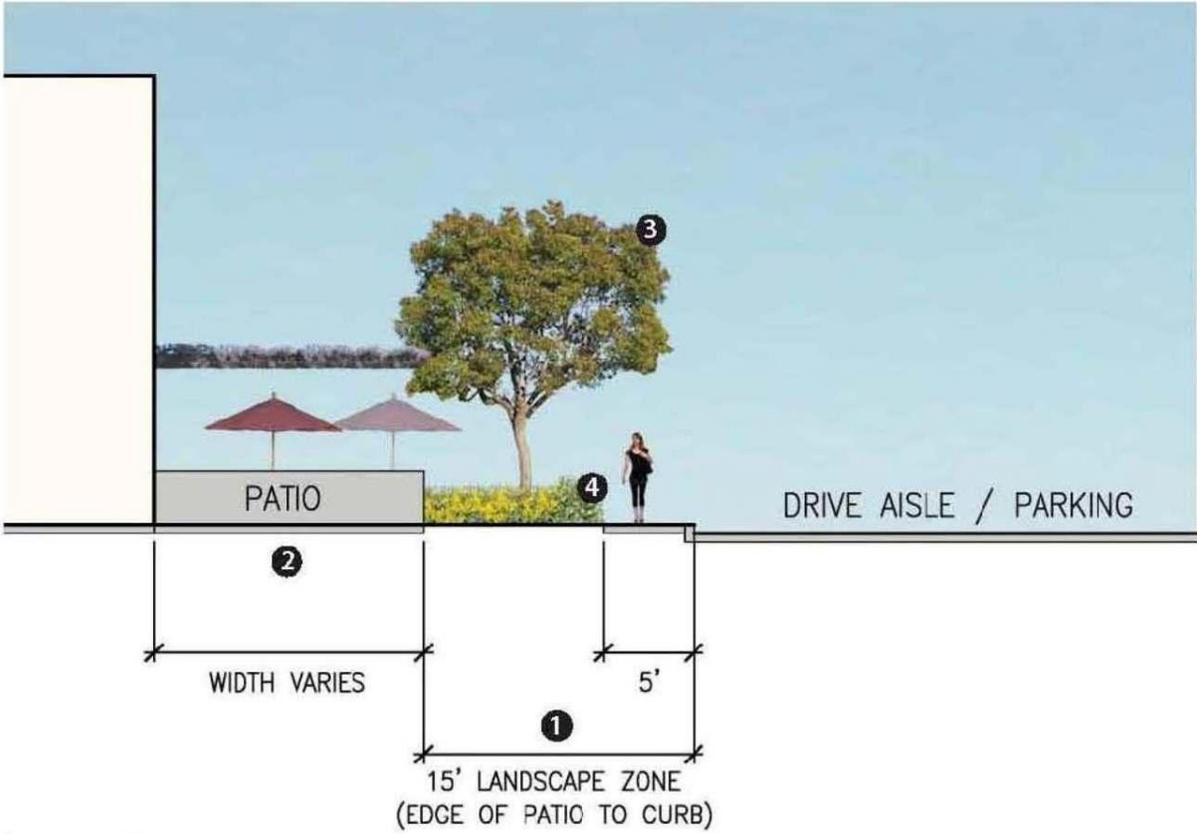
**Exhibit 2-15: Major Retail Tenant Back of House Screening**



**Legend**

- ① 15' overall Setback
- ② Canopy / Screen Trees
- ③ Low, Flowering Shrubs and Groundcover
- ④ Hedge at Walk

**Exhibit 2-16: Free-Standing Restaurant at Parking**



**Legend**

- ① 15' Landscape Setback
- ② Restaurant Patio (width varies)
- ③ Canopy / Screen Trees
- ④ Hedge at Walk

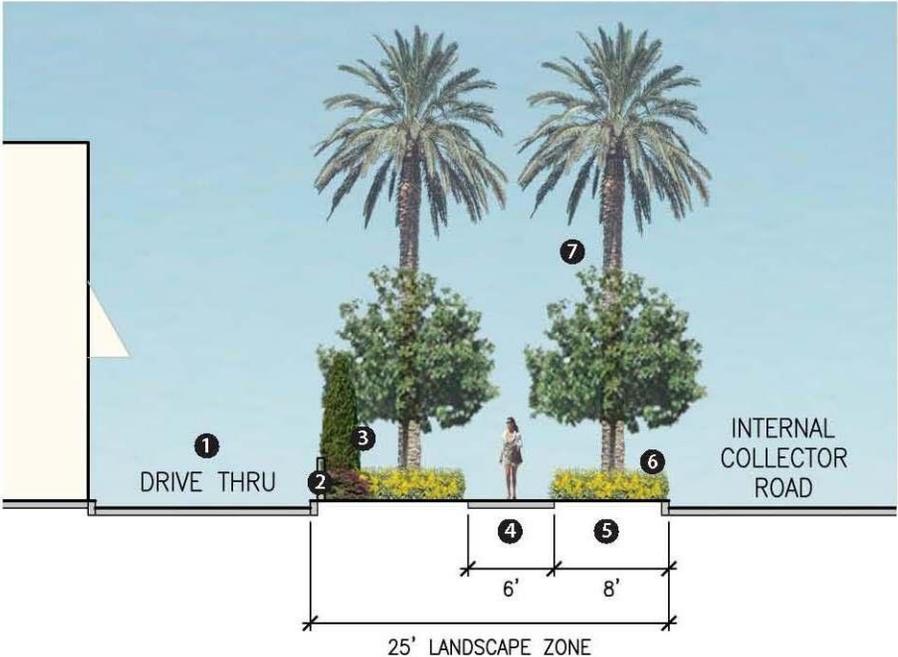
**Exhibit 2-17: Free-Standing Restaurant with Patio at Parking Lot**

#### **2.5.4.1 Drive-Through Standards**

In order to preserve the aesthetic integrity of The Triangle, special design features are required for any drive-through aisle, which is allowed in connection with non-food and beverage uses such as banks or pharmacies. Exhibits 2-18 and 2-19 illustrate the development standards and landscape setbacks for drive aisles. Drive-through aisles may not face Murrieta Hot Springs Road.

#### **Drive-Through Development Standards**

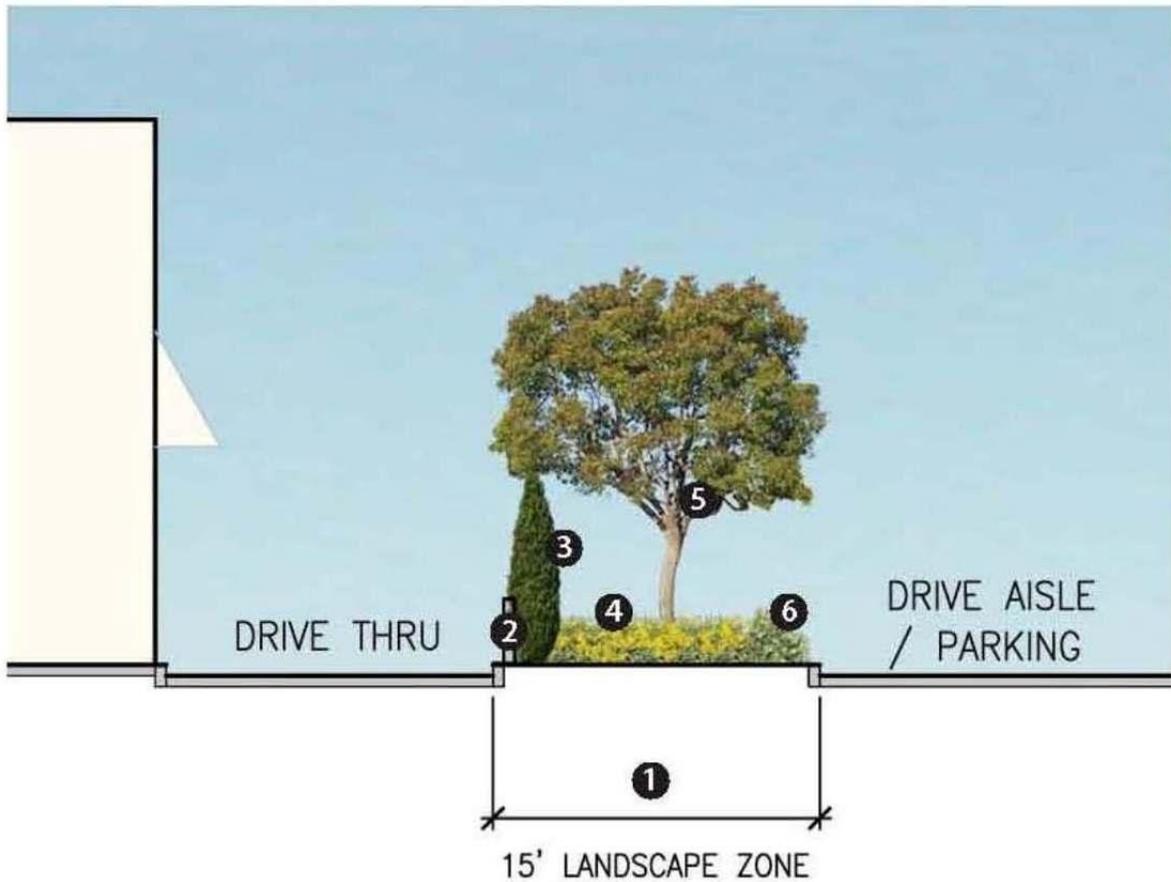
1. The building shall be the predominant visual element along street frontages, not the drive through aisle. The building should be sited so as to maximize the distance for vehicle stacking while screening the drive-through operations.
2. Drive through aisles shall be screened from public streets and from adjacent parking areas to the extent feasible.
3. Drive-through aisles shall provide adequate on-site stacking distance to accommodate to particular business. No portion of the stacking aisle shall serve as a parking aisle.
4. Drive-through aisles shall not exit directly to the Internal Collector Road.
5. The building shall be designed to provide a cover over the drive-through lane at the pick-up window. The cover shall be architecturally compatible and fully integrated as part of the building design.
6. No individual freestanding or pole signs shall be permitted for drive-through uses. Any necessary signs must be included within monument signs or affixed to the building.
7. Drive Through aisles shall be screened with landscaping as shown in Exhibits 2-18 and 2-19 of this Specific Plan.



**Legend**

- ① Drive Thru Area
- ② 3' High Screen Wall
- ③ Vertical Screen Planting
- ④ 6' Sidewalk
- ⑤ 8' Parkway
- ⑥ Flowering Accent Ground Plane
- ⑦ Internal Collector Road Streetscape Palm & Shade Trees

**Exhibit 2-18: Building with Drive Through at Internal Connector Road**



**Legend**

- ① 50' overall Setback
- ② 6' high Screen Wall
- ③ Low, Flowering Shrubs and Groundcover
- ④ Canopy / Screen Trees
- ⑤ Hedge at Drive Aisle / Parking

**Exhibit 2-19: Building with Drive Through at Parking Lot, Drive Aisle, or Secondary Driveway**

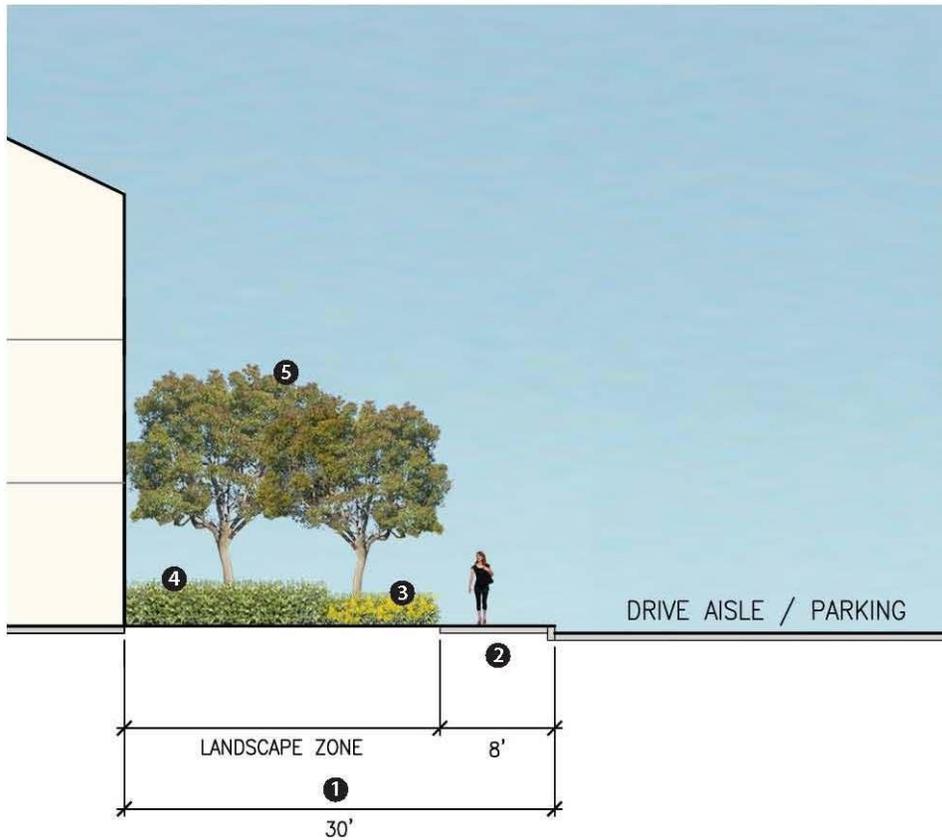
### 2.5.5 Hotel Development Standards

Hotels are expected to include a covered vehicular entry that provides for short-term parking for guests' easy access to the lobby. A variety of entry courtyards and plazas or valet *porte coche* configurations may be proposed, so long as they achieve the minimum setbacks identified in Table 2-6. Any outdoor recreation areas associated with the hotel, such as swimming pools, shall be separated from adjacent roadways by a building to provide privacy and to reduce the effects of roadway noise in the recreation area. Hotel development standards are illustrated in Exhibits 2-20 through 2-22.

**Table 2-6 Development Standards for Hotels**

	<b>1-4 Story Buildings</b>	<b>5-8 Story Buildings</b>	<b>9-12 Story Buildings</b>
Setbacks to Building <sup>8</sup>			
• Front Drive Aisle/Parking	30'	40'	60'
• Side/Rear Drive Aisle	15'	30'	35'
• Side/Rear Parking	20'	20'	25'
• Rear Property Line	15'	15'	15'
Maximum Building Height	80'	140'	200'

<sup>8</sup> Setbacks are measured from the back of the landscape area along Murrieta Hot Springs Road, the Internal Connector Road right-of-way line or edge of public access easement, or the property line along the adjacent freeways.



**Legend**

- ① 30' Minimum overall Setback
- ② Concrete Walk
- ③ Flowering Accent Ground Plane
- ④ Simple Ground Plane at Building
- ⑤ Informal mix of Shade and Screen Trees

**Exhibit 2-20: 1-4 Story Hotel Front Facade**



**Legend**

- ① 40' minimum overall Setback
- ② Concrete Walk
- ③ Flowering Accent Ground Plane
- ④ Simple Ground Plane at Building
- ⑤ Informal mix of Palm, Canopy and Screen Trees
- ⑥ Porte-cochere (at Entry)

**Exhibit 2-21: 5-8 Story Hotel Front Façade**



**Legend**

- ① 60' minimum overall Setback
- ② Concrete Walk
- ③ Flowering Accent Ground Plane
- ④ Simple Ground Plane at Building
- ⑤ Informal mix of Palm, Canopy and Screen Trees
- ⑥ Porte-cochere (at Entry)

**Exhibit 2-22: 9-12 Story Hotel Front Facade**

**2-22 9 12 story hotel 2.5.6 Parking Structure Development Standards**

Parking structures are required in The Triangle to achieve the desired intensity of development. Parking structures may include subterranean parking. In Table 2-7, below, the number of levels indicated is from the adjacent grade, and does not include subterranean parking levels. Minimum setbacks between a structure and the building it serves may be completely eliminated (reduced to zero feet) subject to the approval of the Planning Director.

Parking structures shall be proportionately lower in height than adjacent buildings by a minimum of 25%. This will prevent parking structures from being dominant visual elements from the interior of the site.

**Table 2-7 Development Standards for Parking Structures**

	<b>1 - 3 Levels</b>	<b>4 Levels</b>	<b>5 Levels</b>	<b>6 Levels</b>
Structure Setbacks <sup>1</sup>				
<ul style="list-style-type: none"> <li>Landscape Setback on all Sides</li> </ul>	<b>10'</b>	<b>10'</b>	<b>10'</b>	<b>10'</b>
<ul style="list-style-type: none"> <li>Minimum Setback to Adjacent Building</li> </ul>	<b>25'</b>	<b>50'</b>	<b>50'</b>	<b>50'</b>
Maximum Structure Height	<b>40'</b>	<b>50'</b>	<b>60'</b>	<b>70'</b>

**2.5.7 Allowable Building Heights**

Each Planning Area within The Triangle is assigned a specific maximum height, regardless of the land use included within the Planning Area. These heights have been established to achieve the optimal design framework for the property. Planning Area 4, located at the confluence of interstates 15 and 215, allows for the greatest maximum height, appropriate for the landmark building at The Triangle. Planning Areas 2 and 3, located at each freeway’s intersection with Murrieta Hot Springs Road, also include higher buildings. Siting the taller structures at the corners serves to define the space. Building heights by Planning Area are allowed according to the table below.

<sup>1</sup> Setbacks are measured from the back of the landscape area along Murrieta Hot Springs Road, the Internal Connector Road right-of-way line or edge of public access easement, or the property line along the adjacent freeways.

**Table 2-8 Building Heights**

Planning Area	Maximum Building Height
1	100'
2	200'
3	200'
4	280'

## 2.6 Parking Requirements

Parking shall be developed in phases consistent with construction phasing to ensure adequate parking is available for each phase. If the first phase of development contains only one type of land use, that phase shall be parked according to the requirements of the City’s Development Code, Section 16.34.040. When multiple land uses are included within a phase or phases, a shared parking analysis for The Triangle will be prepared according to the methodology established by the Urban Land Institute in conjunction with submittal of the Development Plan(s). This phased parking analysis will allow additional protection to insure that use demands are balanced and adjusted to reflect site specific requirements including the availability and accessibility of ADA parking, paths of travel, internal flow and shared parking. Based on the broad mix of uses included and that their peak hours of operation vary significantly, a parking ratio of 4.0 spaces per one thousand square feet of gross building area should be provided, subject to the conclusions presented in the shared parking study, and the City’s review and approval of those conclusions. In no event shall The Triangle be required to provide more parking than would otherwise be required by the City’s Development Code.

Parking may be provided in surface parking lots or parking structures. The Triangle Development Plan will identify the ultimate design and location of all on-site parking.

The area contained within uncontrolled and unfenced areas of The Triangle shall not be included within the square footage used to calculate parking, even if those areas contain tables with chairs, benches, or other seating areas. Internal mezzanine space that does not exceed fifteen percent of the gross floor area of the store it serves is not required to provide parking, landscaping or similar requirements.

Parking is prohibited on the Internal Connector Road.

### Parking Development Standards

1. Parking spaces and areas shall be designed in compliance with Murrieta Municipal Code Section 16.34 (Off-Street Parking and Loading Standards).

2. Parking lot spaces shall be designed with a clear hierarchy of circulation: major access drives with no parking; major circulation drives with little parking; and parking aisles for direct access to parking spaces.
3. No more than five percent of the required parking shall be located in the rear services area of a project site.
4. Parking lots along the Internal Connector Road located within 400' of Murrieta Hot Springs Road, which contain over one hundred parking stalls shall provide a main entry drive from the Internal Connector Road for a minimum distance of forty feet. These parking lots shall also include a minimum five-foot wide sidewalk from the street to the first cross aisle on at least one side and at least one of the following design elements:
  - a. A minimum ten foot wide landscaped center median from the Internal Connector Road to the first cross aisle.
  - b. Two eight foot wide landscaped parkways flanking the main entry drive. The parkway that abuts the sidewalk may be reduced in width to six feet wide.
  - c. Within parking lots, drop off points or wider drive aisles with drop off zones should be located near major building entries and plaza areas for projects over fifty thousand (50,000) square feet of building area.
  - d. Parking areas shall be designed so that pedestrians walk parallel to moving cars in parking aisles to the greatest extent possible. This minimizes the need for the pedestrian to cross parking aisles and landscape islands to reach building entries.

## 2.7 Landscape Development Standards



Landscaped areas, pedestrian walkways and open space for the use of pedestrians are required within The Triangle. Landscape and open space areas shall comprise 20% of the overall project area, with a minimum of 15% of the area within each Planning Area in The Triangle reserved for open space use. A variety of uses are allowed within the open spaces, including pedestrian walkways, plazas, kiosks, casual outdoor dining, informal seating areas, as well as planted areas. These landscape and open spaces ensure pedestrian mobility through the site, establish street scenes designed to reflect the contemporary theme of the project, and provide important screening treatments for certain uses and necessary functions on the site. These spaces are designed to provide both energetic active spaces and places to escape the hurried pace of life for moments of relaxation.

### 2.7.1 Pedestrian Spaces and Connections

#### 2.7.1.1 Pedestrian Connectivity

Each Planning Area within the project shall be linked through a series of pedestrian walkways to the pedestrian walkway along the Internal Collector Road. This will form a network of connections among all the uses on the site. These walkways shall be designed to unify the entire project area and provide pedestrian site access to the buildings, parking, and site activity areas. These walkways will be clearly marked and designed with a minimum 6' paved walkway adjacent to the Internal Connector Road, and a minimum 5' walkway adjacent to secondary drives and all other areas. To ensure pedestrian safety when the pedestrian circulation walkways cross parking areas, the walkways may be raised above the level of the parking area, may include landscape elements, may be located adjacent to driveways, or incorporate other design features to highlight the path of travel. When the pedestrian walkway system crosses the Internal Connector Road and secondary drives, marked crosswalks shall be provided. No mid-block crossings of the Internal Connector Road are allowed.



### 2.7.1.2 Pedestrian-Oriented Open Spaces

As shown in the exhibits for office development standards (Exhibits 2-2 through 2-11), courtyards must be incorporated into office building design. Similarly, within the retail area priority is given to the design of public gathering places and pedestrian walkways. Where pedestrian walkways are located between buildings, building separation should be provided to allow for landscape plantings, shade structures, and a sense of personal security. Minor walkways should include a building separation dimension of 25' minimum and primary walkways should include a building separation dimension of 40' minimum. This wider width allows for incorporation of amenities such as large landscape planters, fountains, kiosks, etc. Exhibits 2-23 and 2-24 illustrate the design intent for these pedestrian spaces.

At least one major plaza or courtyard entertainment amenity space shall be provided within the retail area. The minimum size for this space shall be 3000 square feet, with a minimum width of 50'. Within the 50' space a minimum of one 10' wide clear pedestrian zone must be provided, but two pedestrian pathways are preferred, as illustrated on Exhibit 2-25. Additionally, at least one secondary plaza or courtyard shall be provided within the retail area with a minimum area of 2400 square feet and a minimum of 60' in width as shown on Exhibit 2-26. These two illustrations depict potential configurations of plazas, and illustrate the type of landscape treatments and level of amenities required within The Triangle. These plazas may be used as casual meeting places, entertainment venues for seasonal events, and for outdoor commercial activities.

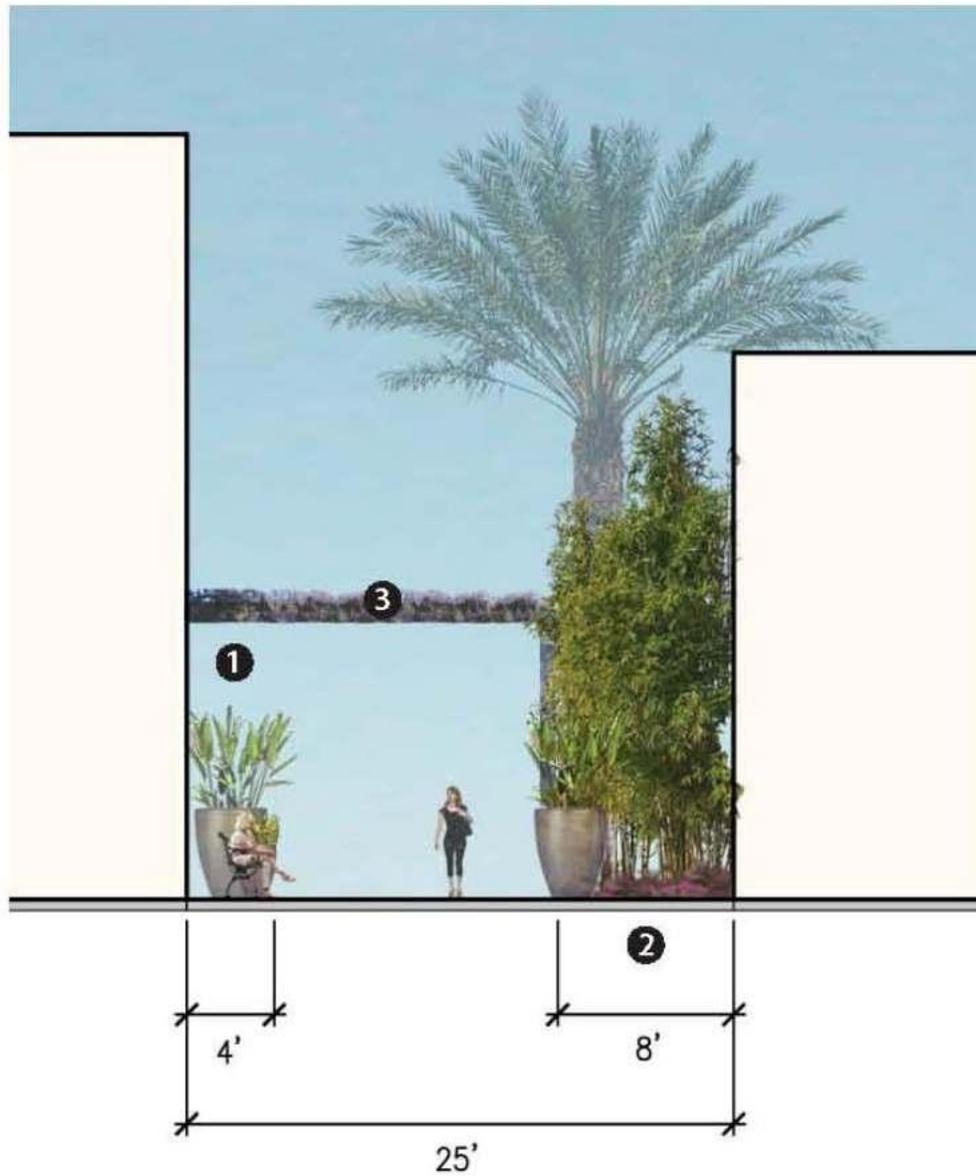


Casual outdoor dining is encouraged within the retail core and the courtyards adjacent to the office buildings. These areas are distinct from the outdoor dining areas associated with restaurants, in that they are not separated from the pedestrian spaces by railings or walls, and are not reserved for the exclusive use of a particular restaurant or entertainment use. They may include tables and chairs, shade structures, trash receptacles, and other items for the convenience of the general public. Where casual outdoor dining spaces are provided, they may not block the pedestrian walkway, leaving a minimum of 10' of clear space.



Free standing and fixed kiosks, food service pavilions and non-motorized vending carts are allowed within the pedestrian spaces and are encouraged within the retail core and the courtyards adjacent to office buildings. Vending carts and kiosks may be used for the purpose of selling food and beverages, merchandise, advertising, information services, and other similar uses. These kiosks and carts shall be located out of the walkway, leaving a minimum 10' clear zone between the kiosk and the building. The design and color of kiosks shall be compatible with the architectural style of the retail center.

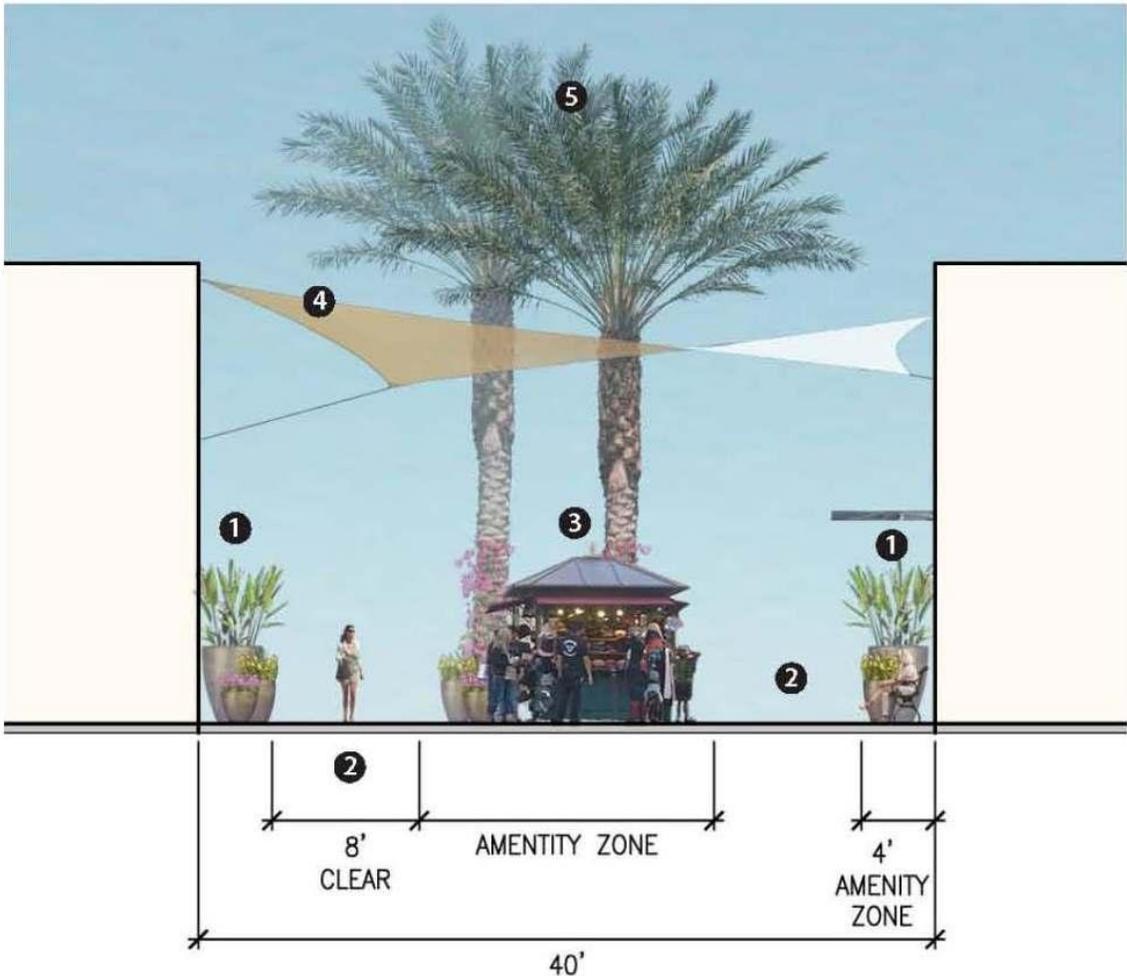




**Legend**

- ① 4' Amenity Zone against Building
- ② 8' Planting (at Blank Wall, if Windows or Storefronts, 8' converts to Amenity Zone)
- ③ Overhead Trellis

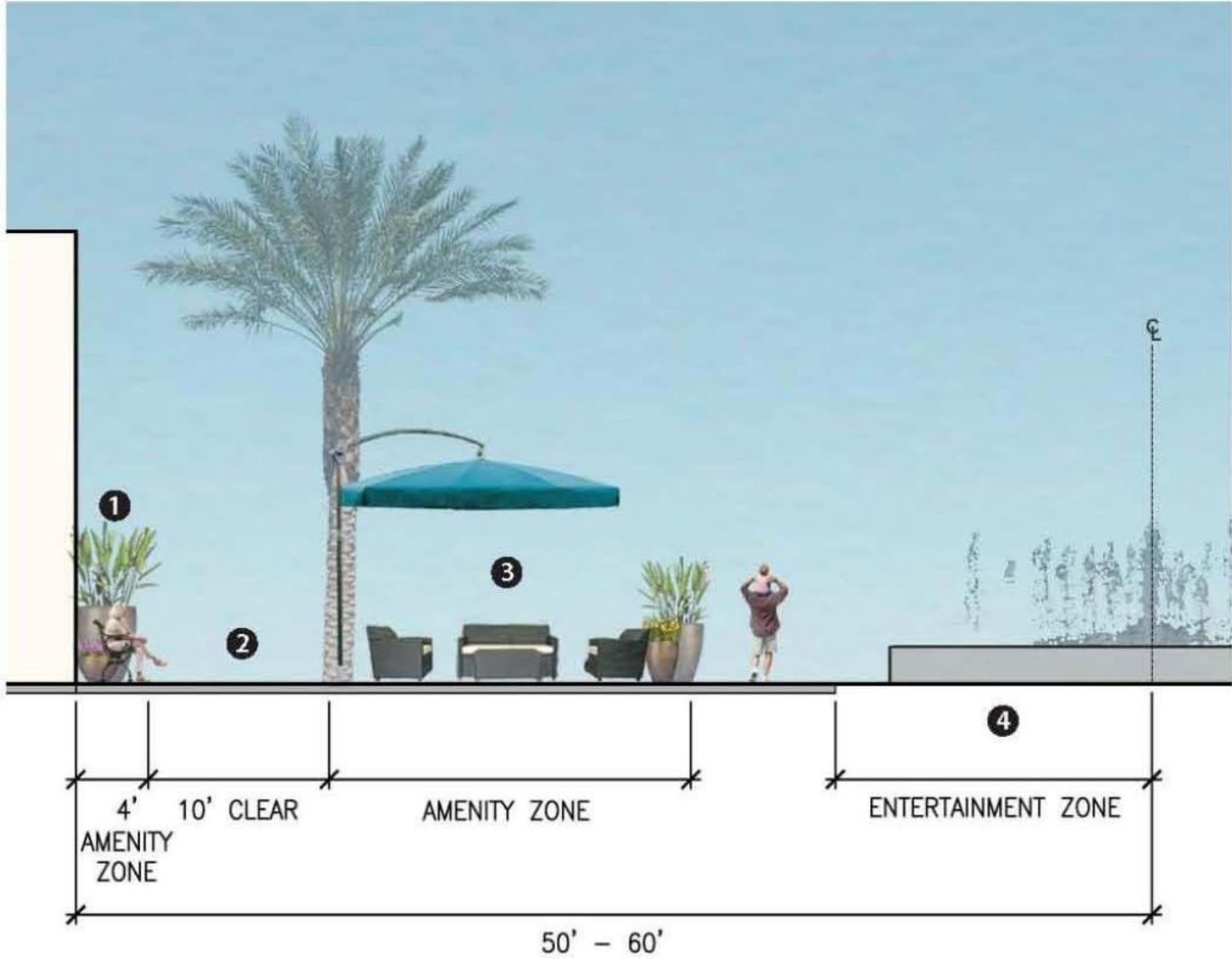
**Exhibit 2-23: Retail Entry Paseo**



**Legend**

- ① 4' Amenity Zone against Building
- ② Clear Pedestrian Zone
- ③ Center Amenity Zone – Potential Features may include Fountain, Pots, Vendor Carts
- ④ Shade Sails overhead
- ⑤ Palm Tree Grove

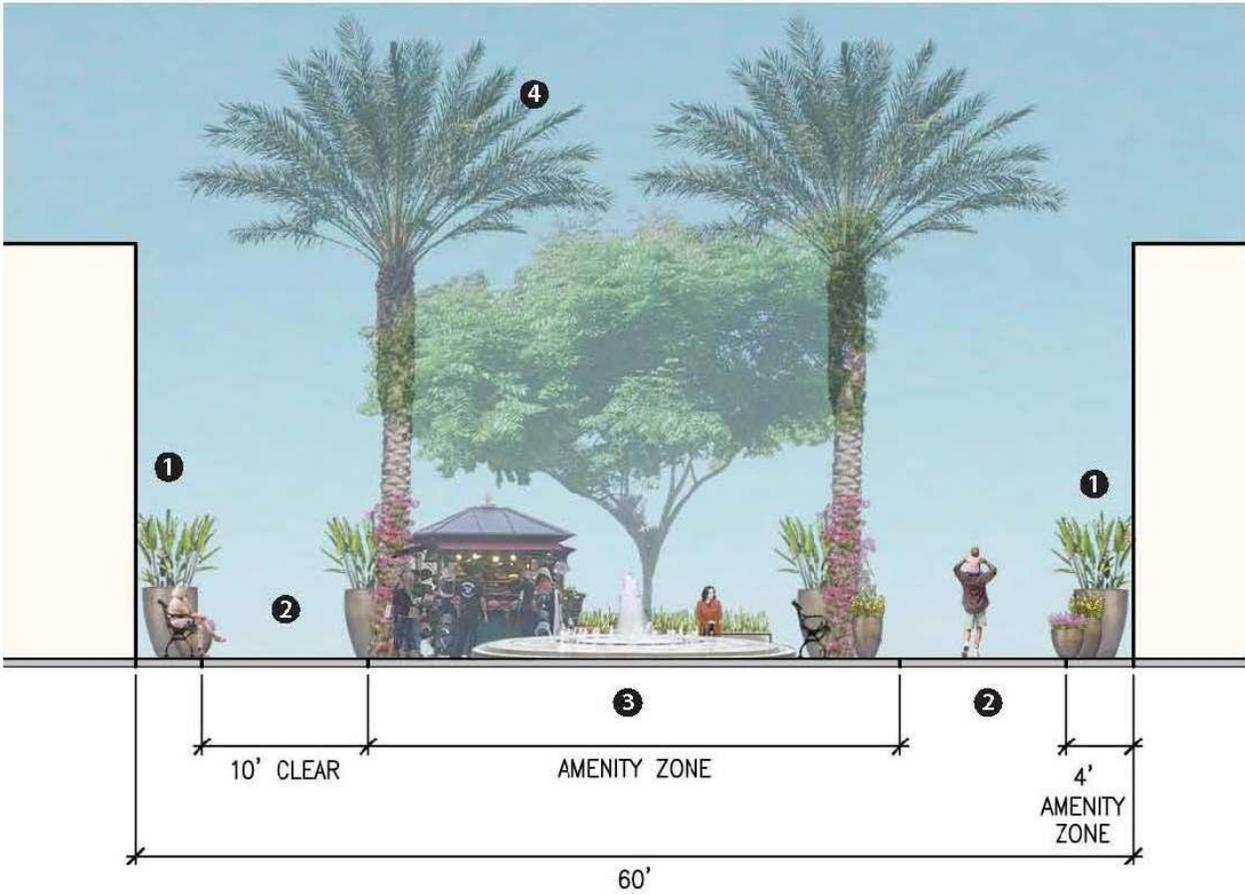
**Exhibit 2-24: Retail Primary Paseo**



**Legend**

- ① 4' Amenity Zone against Building
- ② Circulation Zone
- ③ Amenity Zone – Potential Features may include Outdoor Lounge Furniture, Jumbrella, Fireplace, Table, Chairs, and Umbrella, Raised Planters, etc.
- ④ Entertainment Zone – Potential Features may include Pop-jet Fountain, Musical Water Display, Open Lawn, Event Stage, etc.

**Exhibit 2-25: Retail Entertainment Plaza**



**Legend**

- ① 4' Amenity Zone against Building
- ② Clear Pedestrian Zone
- ③ Center Amenity Zone – Potential Features may include Fountain, Pots, Vendor Carts, Raised Planters, Seating
- ④ Palm Tree Grove

**Exhibit 2-26: Retail Secondary Plaza**

### 2.7.2 Streetscapes and Perimeter Edges

Streetscapes and edge conditions define The Triangle's appearance from outside its boundaries and from its internal roadways. These landscape treatments are a critical component of the design framework for the site. Exhibit 2-27, the Landscape Sections Key Map indicates where each perimeter and Internal Connector Road section discussed below applies.

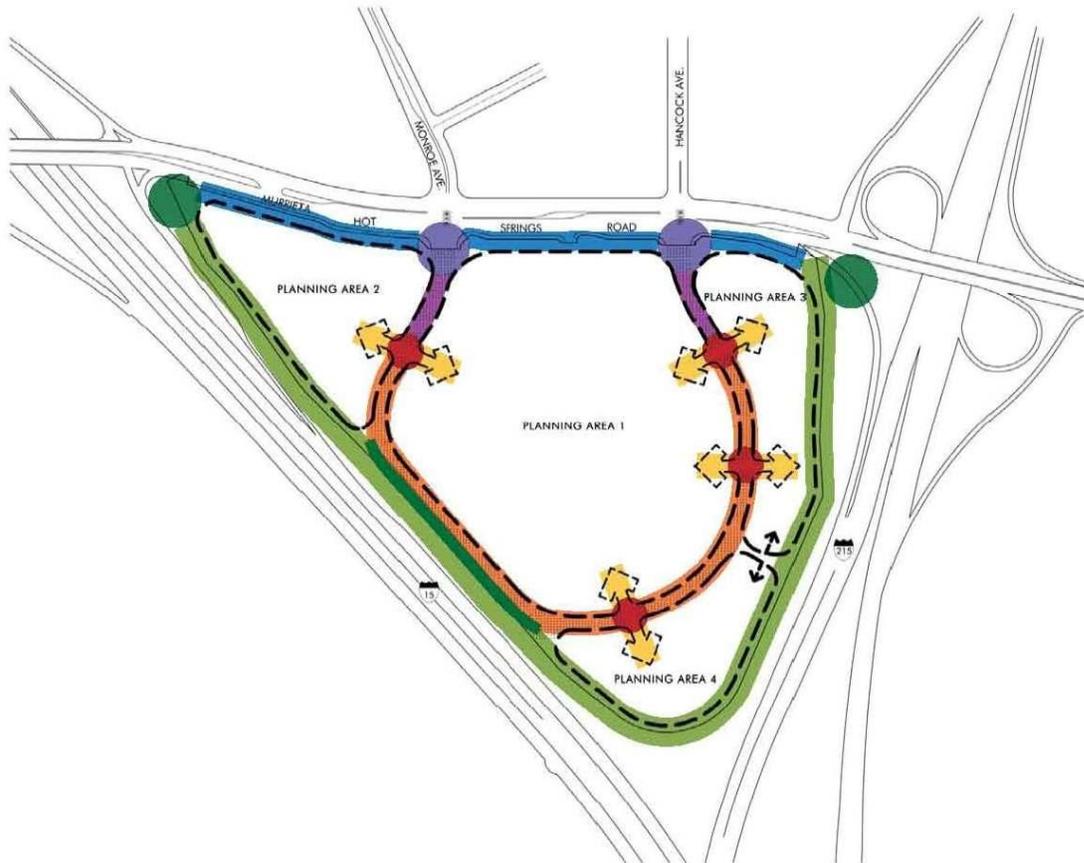
Murrieta Hot Springs Road provides access to the site. In order to help define the project's character, this roadway is given enhanced landscape treatment with wide parkways, a meandering sidewalk, and thematic signage, discussed below. This Murrieta Hot Springs Road landscape zone, shown on Exhibit 2-28 is 60' wide adjacent to buildings or loading areas to allow for generous landscaped plantings. Where parking areas are adjacent to Murrieta Hot Springs Road, the setback may narrow to 35'. The landscape zone includes 12' within the public right-of-way and, in some areas where the sidewalk meanders, additional landscaping behind the right-of-way. The 6' sidewalk meanders through the landscape zone, both in the right-of-way and also in an access easement beyond. Exhibit 3-6 in Section 3 of this document illustrates the street section. Exhibits 2-29 through 2-31 depict various conditions of the dramatic landscape statement along Murrieta Hot Springs Road that will make this roadway part of the announcement and arrival sequence for The Triangle.

The Internal Connector Road is the primary on site roadway, connecting all the Planning Areas and land uses within the project site. This roadway intersects with Murrieta Hot Springs Road twice, opposite Hancock and Monroe avenues. Several different treatments are provided, depending on the location and adjacent use. Exhibits 2-32 through Exhibit 2-36 illustrate the 10'-wide raised landscaped median and the 25' wide landscaped parkway between the road and any structure, outdoor dining space, or parking lot, which includes 8' wide landscape areas separating the 6' sidewalk from the road. The street tree planting may change along the Internal Connector Road as the road travels further from Murrieta Hot Springs Road. The only condition in which the 25' landscaped parkway is narrowed is where the Internal Connector Road is adjacent to the project perimeter on the west side, as seen on Exhibit 2-37. In this area, the parkway is 10' to provide separation from the I-15. No sidewalk will be provided on this side of the street along this segment of the road, as there are no buildings or facilities requiring access.

Secondary drives intersect the Internal Connector Road to provide additional internal site circulation and access to parking lots. The secondary drives include an 18' landscaped edge, which provides for a 6' parkway adjacent to the drive, a 5' walk and a 7' landscape area behind the walk. At corners, a minimum of 15' of landscaping shall be provided behind the walk to allow for directional and tenant signage. Exhibit 2-38 illustrates the corner condition, and Exhibit 2-39 illustrates the typical landscaped parkway and raised median treatment.

The third entry into The Triangle from Murrieta Hot Springs Road will be designed as a secondary drive. This roadway requires one lane entering the site and one lane exiting, so this

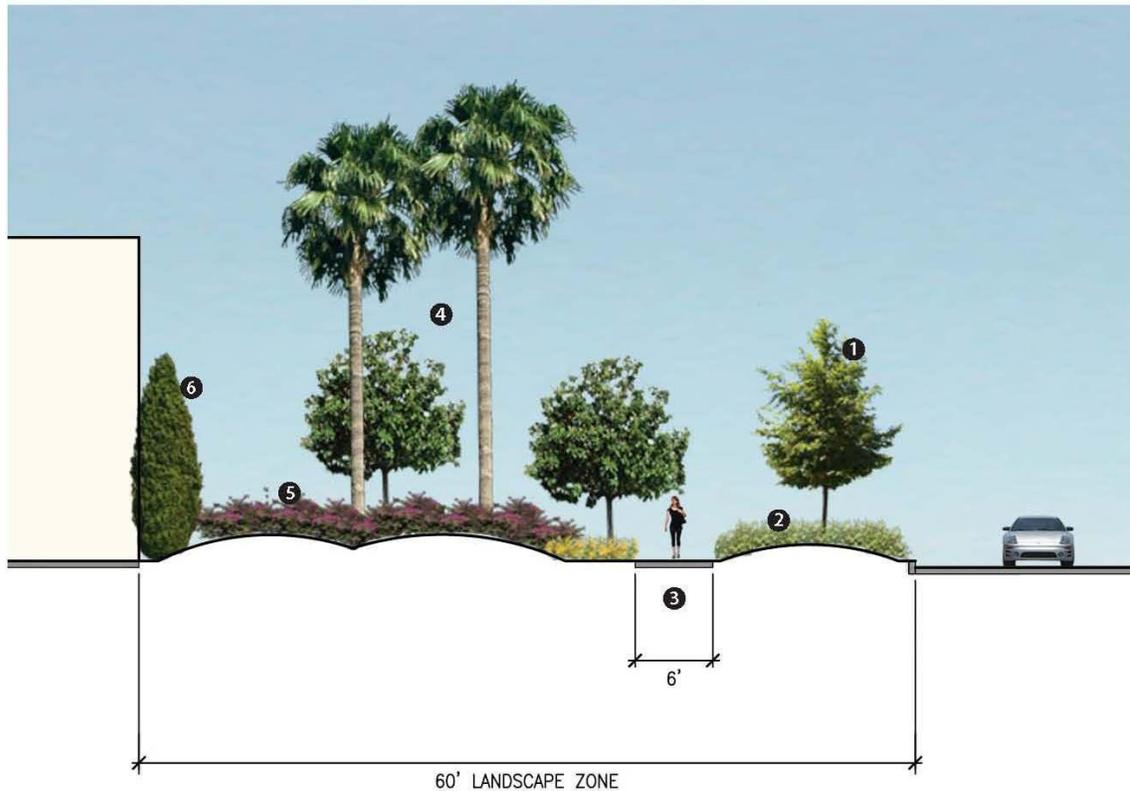
driveway design supports the required vehicular movements while maintaining the high quality landscape standards established for the project.



**LEGEND**

- Murrieta Hot Springs Road Project Monument Corner
- Murrieta Hot Springs Road Setbacks
  - Building Facade
  - Back of House Loading
  - Parking Lot
  - Parking Lot with Bus Shelter
- Murrieta Hot Springs Road Main Entry Corner
- Internal Connector Road to First Intersection
  - Building Facade
  - Building Facade with Outdoor Patio
  - Parking Lot
- Internal Connector Road
  - Building Facade or Parking Structure
  - Parking Lot
  - Project Perimeter
- I-15 / I-215 Edge Conditions
  - Building Facade
  - Back of House Loading
  - Parking Lot
  - Parking Structure
- Secondary Entry Corner
- Secondary Entry Drive
  - Parking Lot
  - Parking Lot Drive Aisle

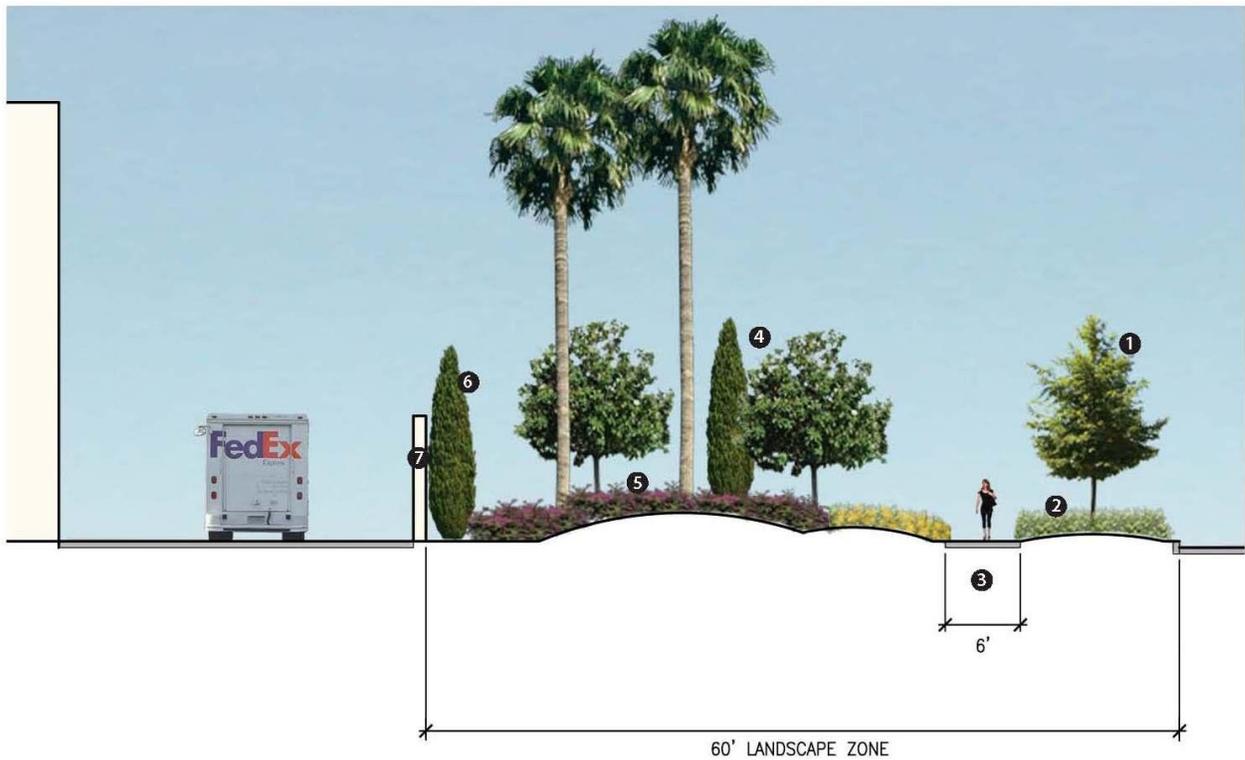
**Exhibit 2-27: Landscape Section Key Map**



### Legend

- ① Street Tree - 20' O.C.
- ② Low planting
- ③ Meandering Sidewalk
- ④ Informal tree planting - mix of Palm, Shade and Vertical Trees
- ⑤ Low flowering shrubs/ground cover
- ⑥ Vertical Accent Trees at Building to be coordinated with Architecture

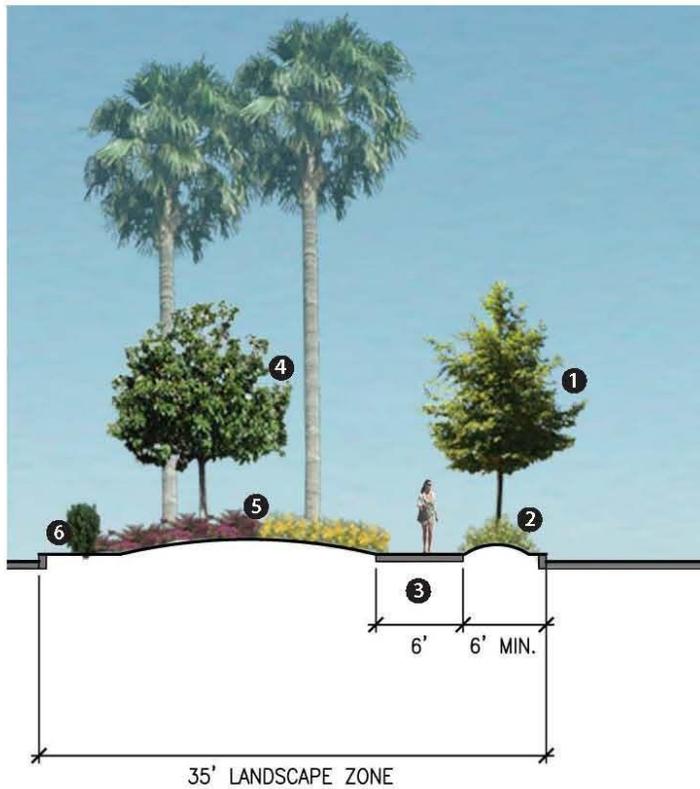
**Exhibit 2-28: Murrieta Hot Springs Road Setback at Building Facade**



**Legend**

- ① Street Tree - 20' O.C.
- ② Low Planting
- ③ Meandering Sidewalk
- ④ Informal Tree Planting - mix of Palm, Shade and Vertical Trees
- ⑤ Low Flowering Shrubs/Groundcover
- ⑥ Vertical Screen Trees
- ⑦ Minimum 8' tall Screen-wall planted with Vines

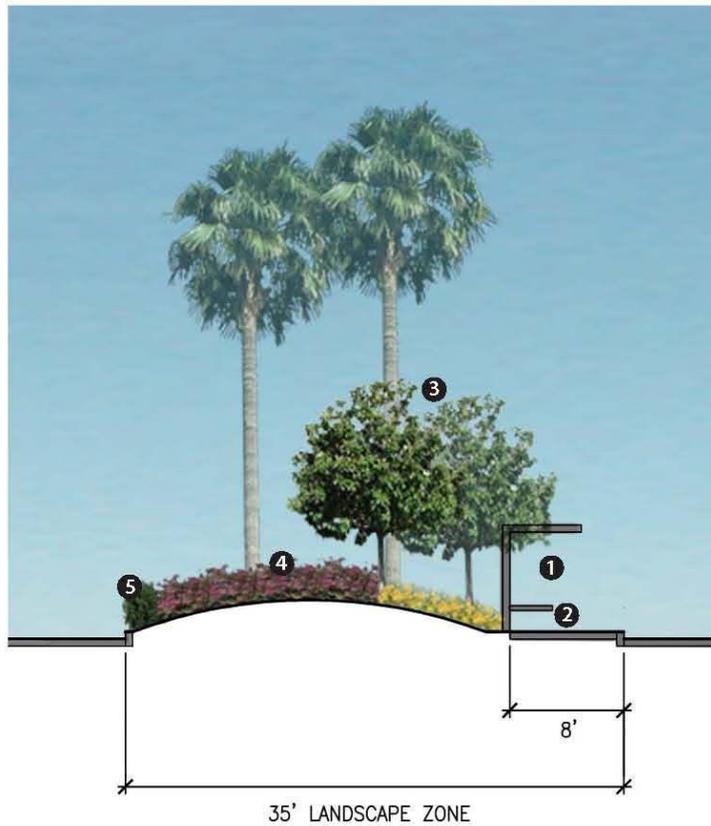
**Exhibit 2-29: Murrieta Hot Springs Road Setback at Back of House  
Loading**



### Legend

- ① Street Tree - 20' O.C.
- ② Low Planting
- ③ Meandering Sidewalk
- ④ Informal Tree Planting - mix of Palm, Shade and Vertical Trees
- ⑤ Low Flowering Shrubs/Groundcover
- ⑥ Hedge at Parking Lot / Drive Aisle

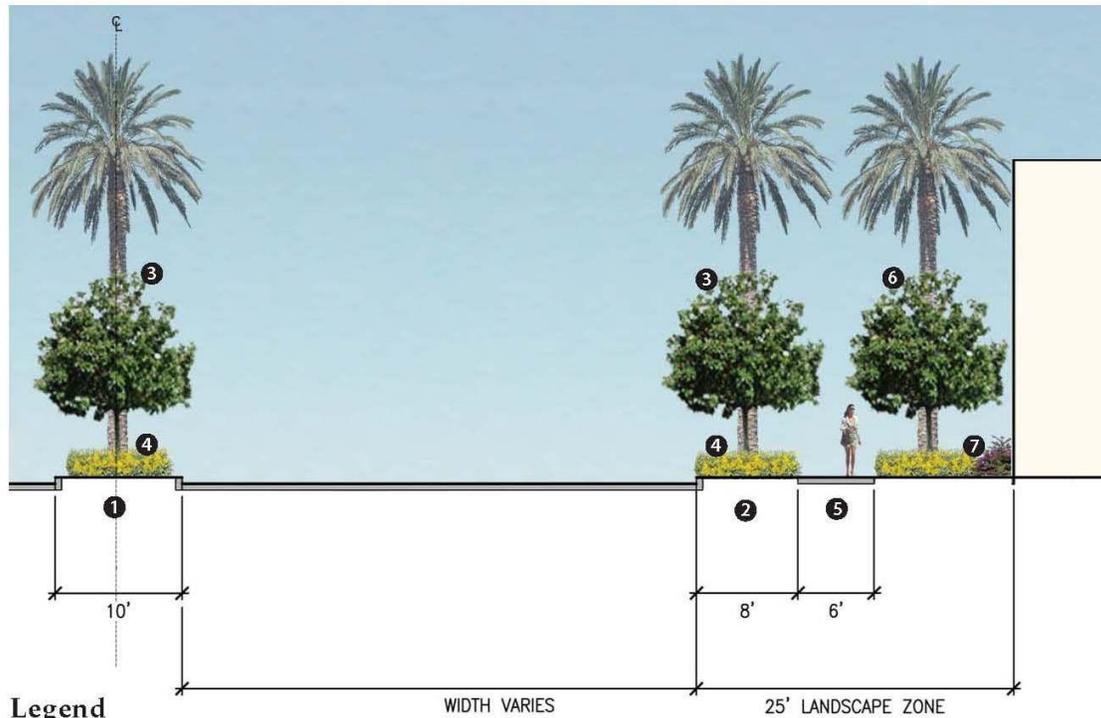
**Exhibit 2-30: Murrieta Hot Springs Road Setback at Parking Lot**



**Legend**

- ① Bus Stop
- ② Curb-adjacent Sidewalk
- ③ Informal Tree Planting - mix of Palm, Shade and Vertical Trees
- ④ Low Flowering Shrubs/Groundcover
- ⑤ Hedge at Parking Lot / Drive Aisle

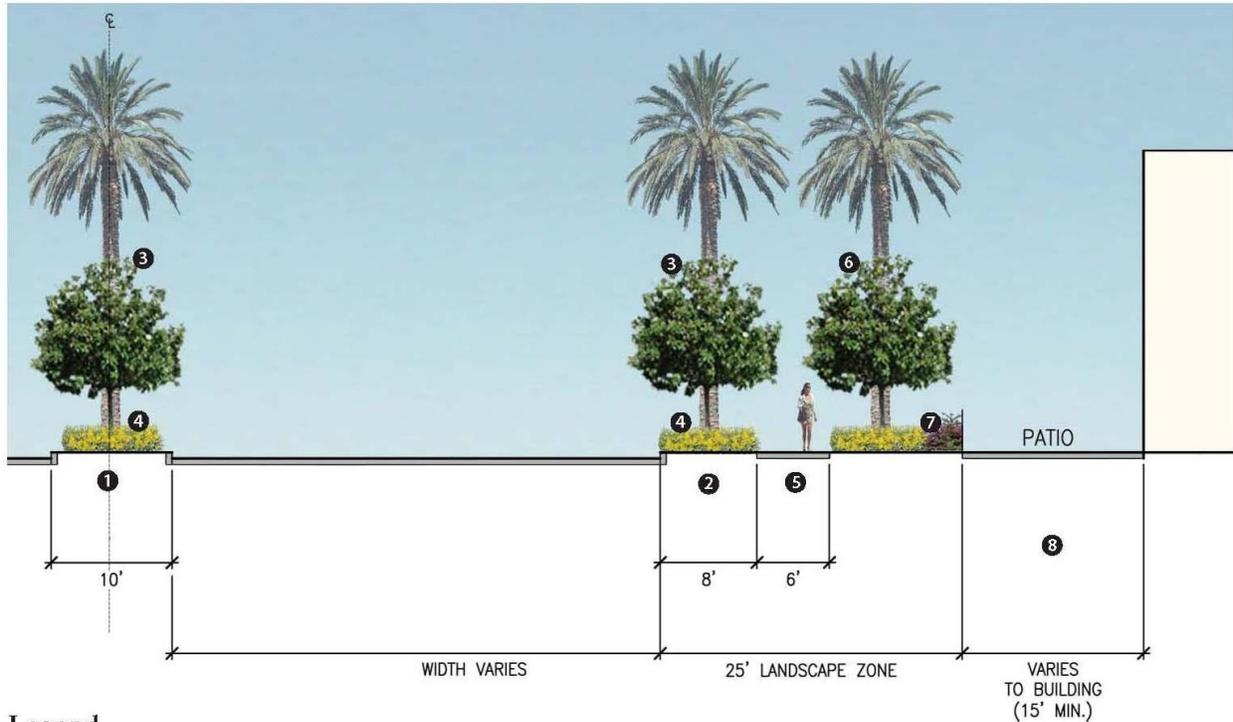
**Exhibit 2-31: Murrieta Hot Springs Road Setback at Parking Lot with Bus Shelter**



**Legend**

- ① 10' Median
- ② 8' Parkway
- ③ Alternating Palm and Shade Trees
- ④ Flowering Accent Ground Plane
- ⑤ 6' Sidewalk
- ⑥ Second row of alternating Palm and Shade Trees
- ⑦ Layered Landscape Setback

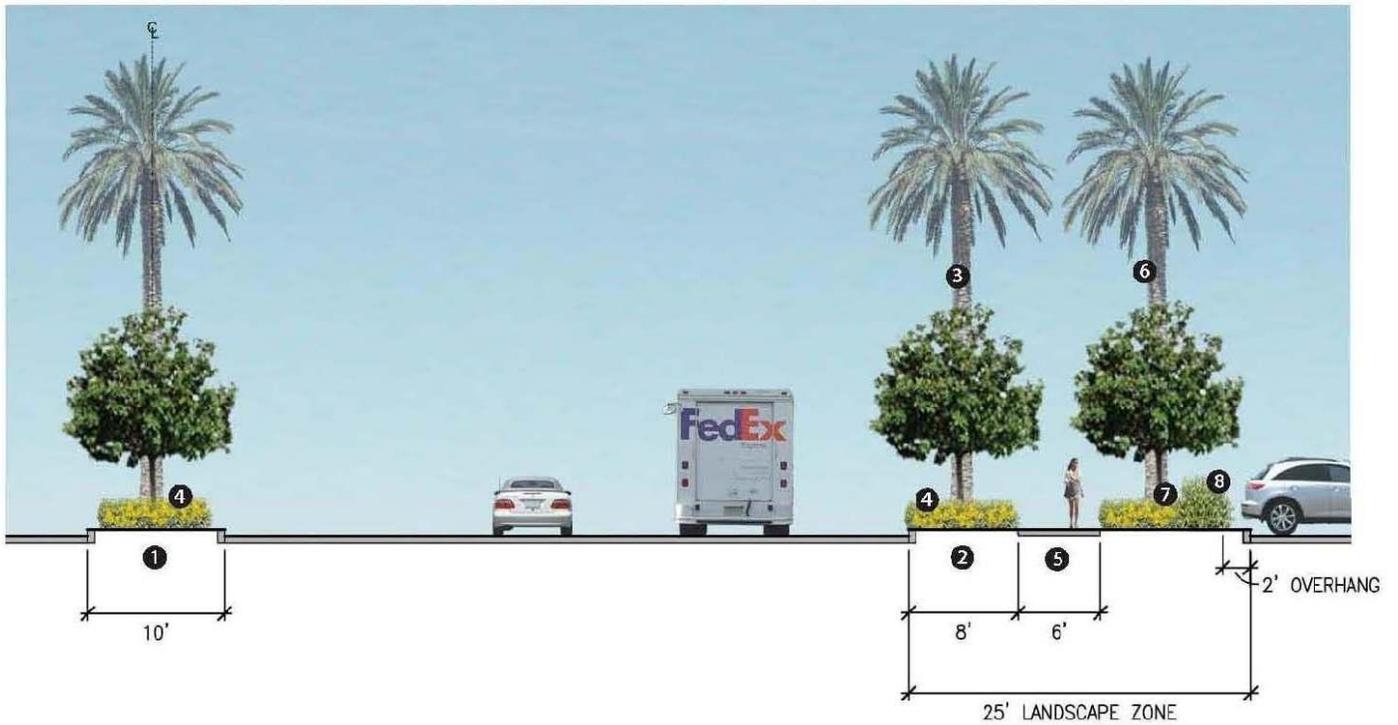
**Exhibit 2-32: Internal Connector Road to First Intersection  
at Building Facade**



**Legend**

- ① 10' Median
- ② 8' Parkway
- ③ Alternating Palm and Shade Trees
- ④ Flowering Accent Ground Plane
- ⑤ 6' Sidewalk
- ⑥ Second Row of alternating Palm and Shade Trees
- ⑦ Layered Landscape Setback
- ⑧ Allow for Restaurant Patios

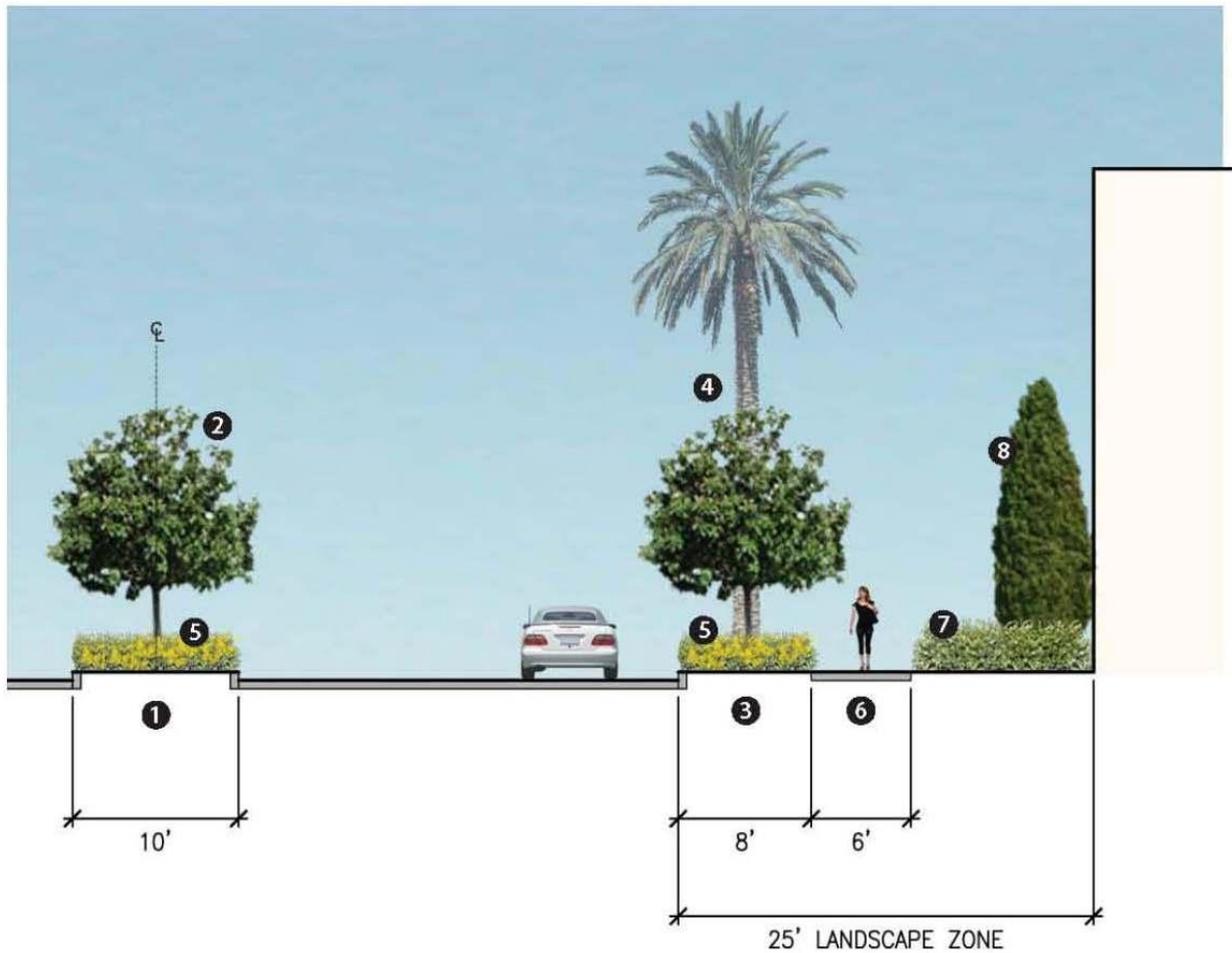
**Exhibit 2-33: Internal Connector Road to First Intersection at Building Facade with Outdoor Patio**



**Legend**

- ① 10' Median
- ② 8' Parkway
- ③ Alternating Palm and Canopy Trees
- ④ Flowering Accent Ground Plane
- ⑤ 6' Sidewalk
- ⑥ Second row of alternating Palm and Canopy Trees
- ⑦ Layered Landscape Setback
- ⑧ Hedge at Back of Walk

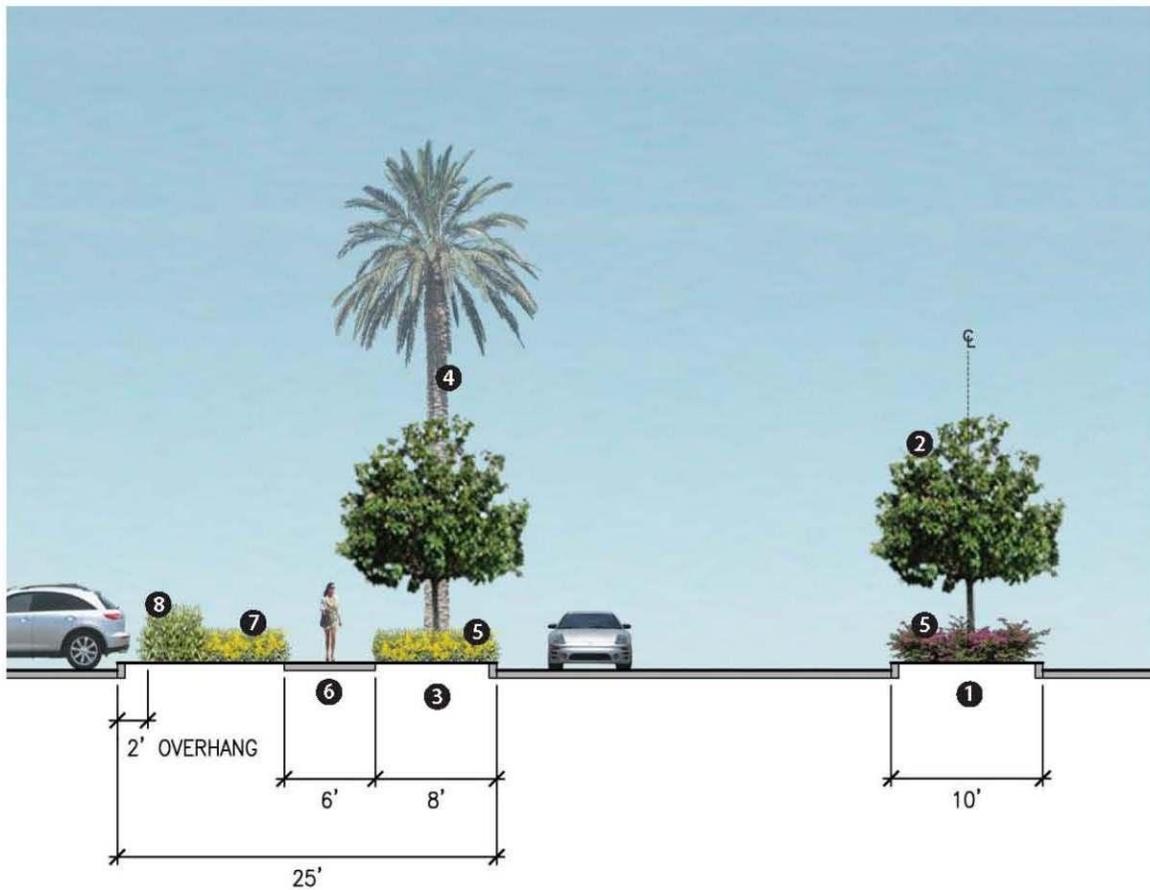
**Exhibit 2-34: Internal Connector Road to First Intersection  
at Parking Lot**



**Legend**

- ① 10' Median
- ② Canopy Tree
- ③ 8' Parkway
- ④ Alternating Palm and Canopy Trees
- ⑤ Low Flowering Ground Plane
- ⑥ 6' Sidewalk
- ⑦ Flowering Shrubs
- ⑧ Vertical Accent Planting (to be coordinated with Architecture)

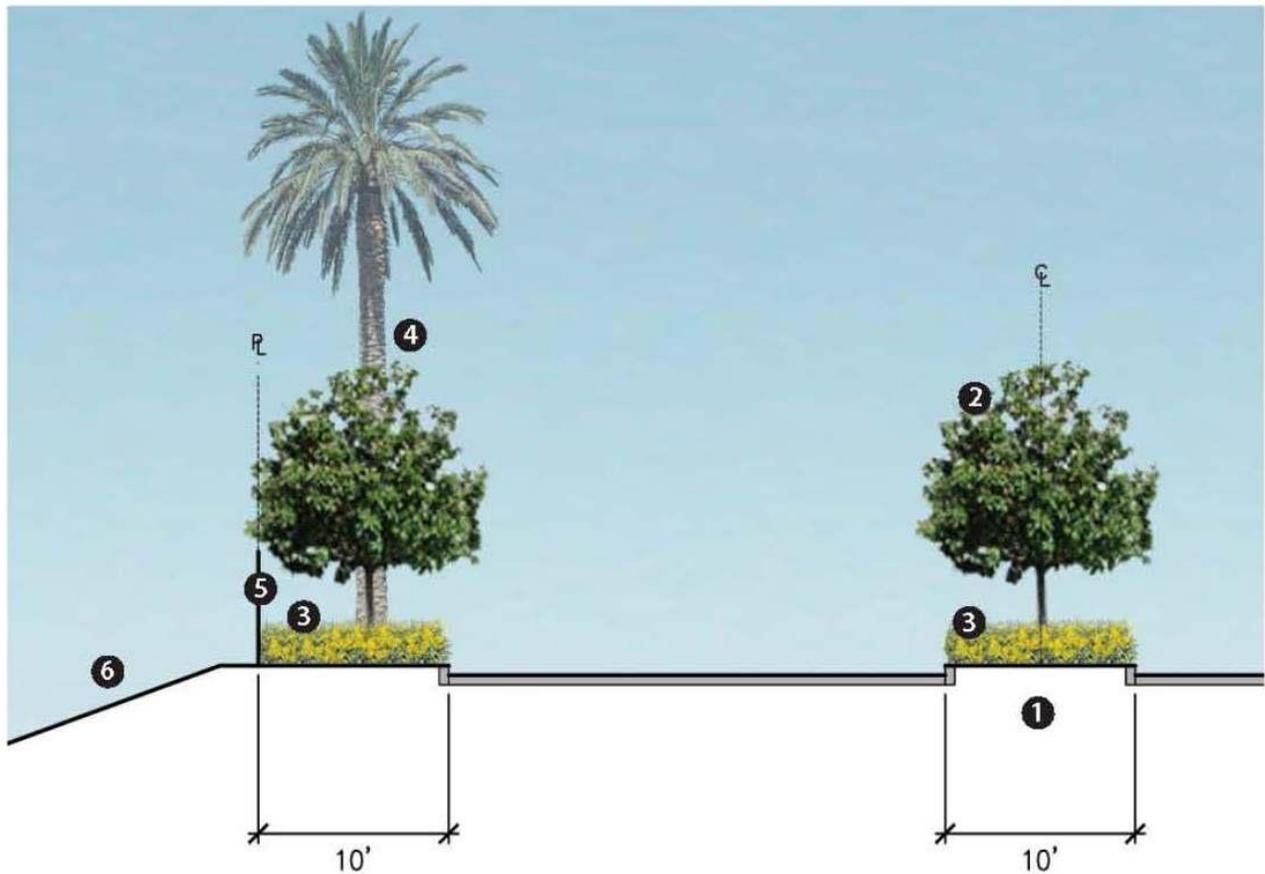
**Exhibit 2-35: Internal Connector Road Past First Intersection at Building Facade or Parking Structure**



**Legend**

- ① 10' Median
- ② Canopy Tree
- ③ 8' Parkway
- ④ Alternating Palm and Canopy Trees
- ⑤ Low Flowering Ground Plane
- ⑥ 6' Sidewalk
- ⑦ Flowering Shrubs
- ⑧ Hedge against Parking

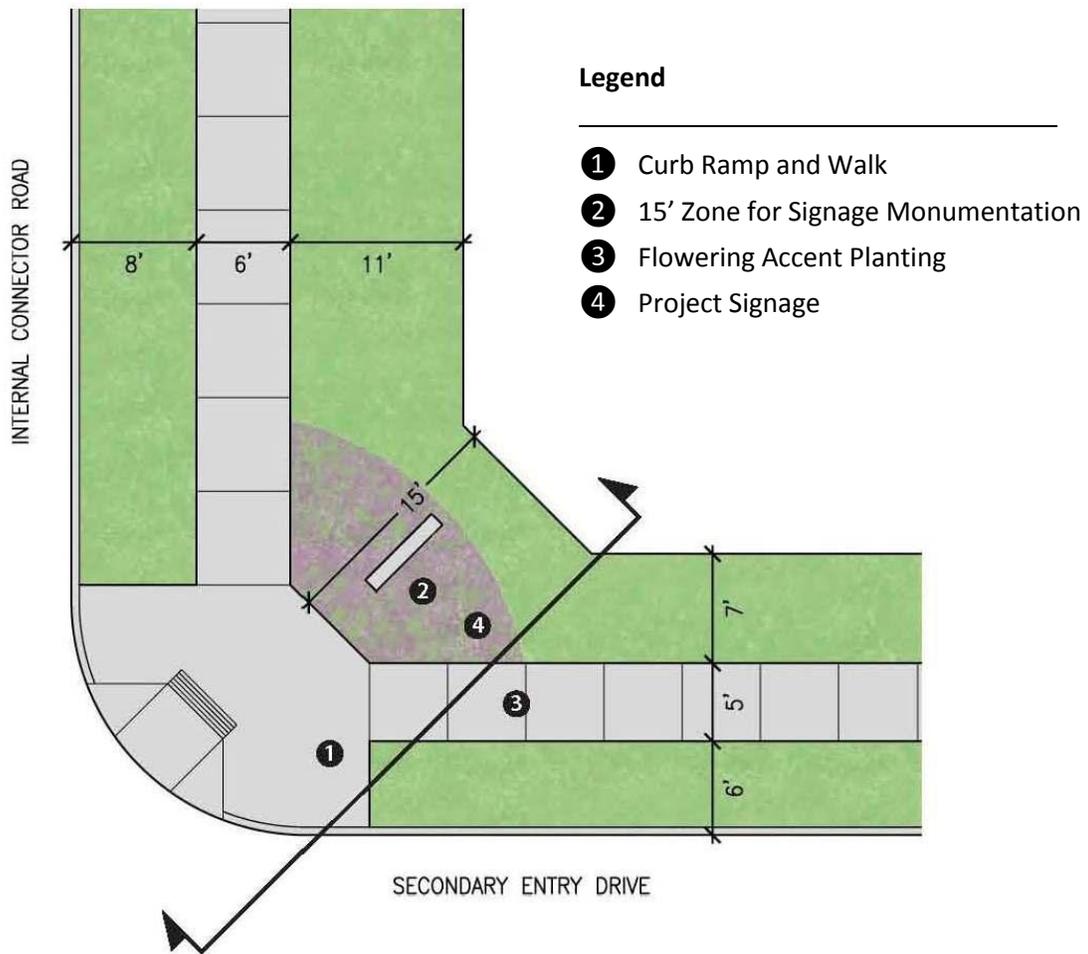
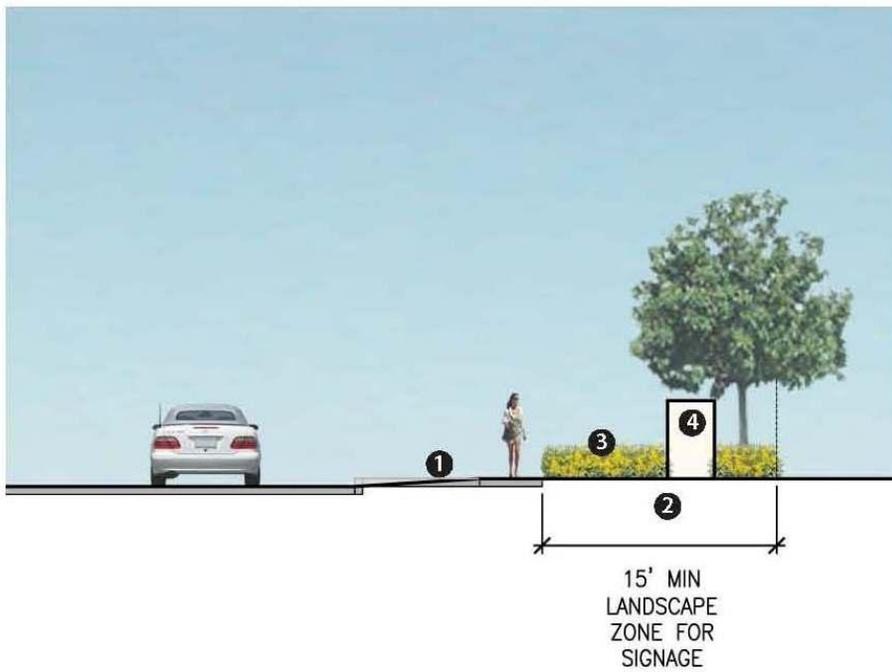
**Exhibit 2-36: Internal Connector Road Past First Intersection  
at Parking Lot**



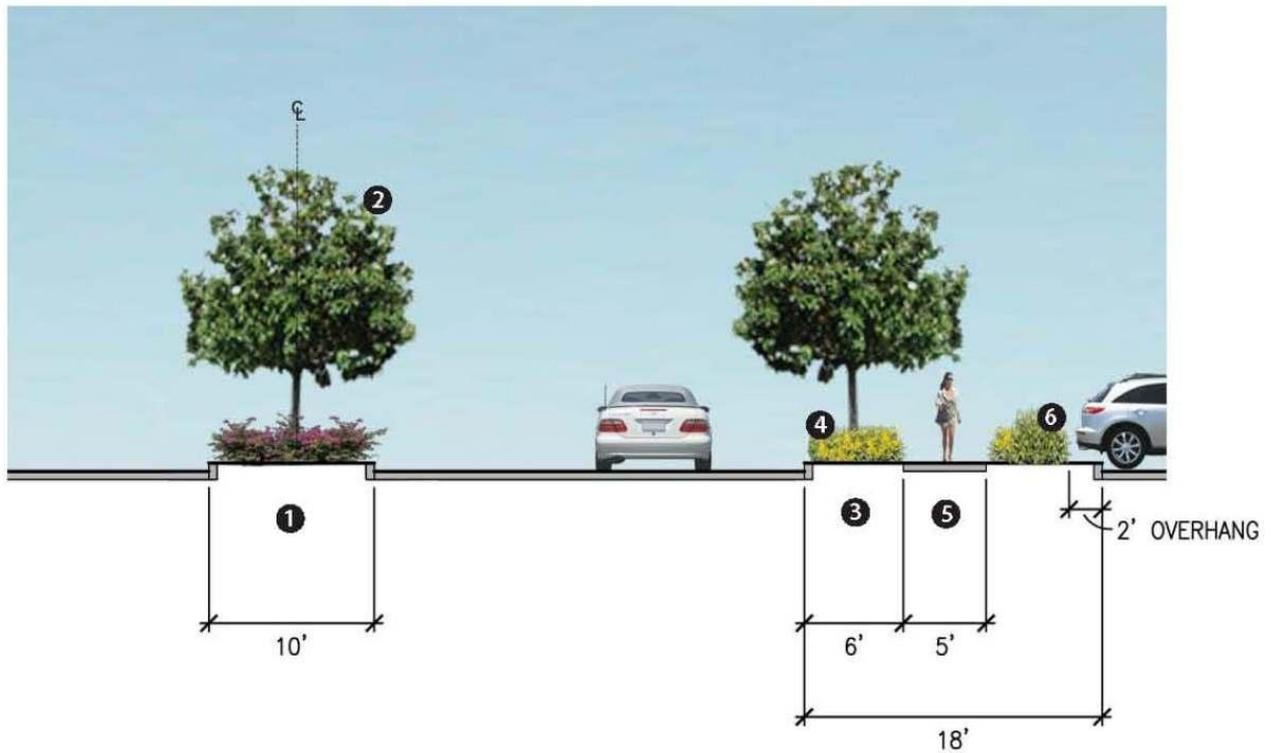
**Legend**

- ① 10' Median
- ② Canopy Tree
- ③ Low Flowering Ground Plane
- ④ Alternating Palm and Canopy Trees
- ⑤ Fence at Property Line
- ⑥ Caltrans Property – No Landscaping Proposed

**Exhibit 2-37: Internal Connector Road at Project Perimeter**



**Exhibit 2-38: Internal Connector Road at Secondary Entry Corner**



**Legend**

- ① 10' Median
- ② Canopy Tree
- ③ 6' Parkway
- ④ Low Flowering Ground Plane
- ⑤ 5' Sidewalk
- ⑥ Hedge and Landscape against Parking

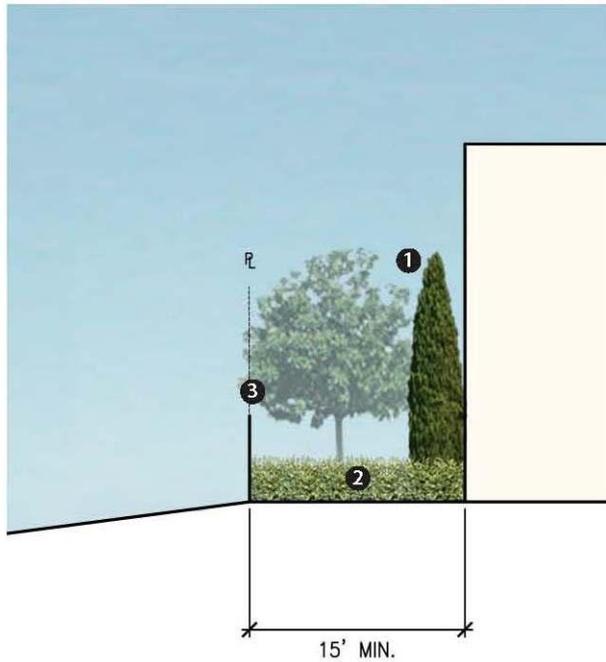
**Exhibit 2-39: Secondary Entry Drive at Parking Lot**

Much of the perimeter edge of The Triangle borders the freeways. It is important to allow the site to be visible from these highways, but it is important to screen back of house uses, loading areas, and to soften the view of buildings. Exhibits 2-40 to 2-43 depict the freeway edge conditions within the site, showing a 15' setback from the property line to any building or parking area, and a 10' setback from drive aisles.

### **2.7.3 Parking Lot Landscaping Standards**

Canopy trees will be located throughout all large parking fields at a ratio of one tree per six parking spaces. To achieve this, the trees will be planted in landscaped areas adjacent to parking lots (within the roadway setback area), in planter islands, tree wells or diamonds within the parking area. Exhibit 2-44 illustrates a concept of how shade can be provided within parking lots with landscaped fingers at the ends of drive aisles and diamond planters. The final plans may employ other methods than this concept while retaining the same ratio of trees to parking spaces.

In all instances where head-in parking is adjacent to landscape setbacks, the parking may overhang 2' into the planter area. Planters in these areas shall be landscaped with low growing ground cover plants, gravel, mulch, or similar low ground cover.

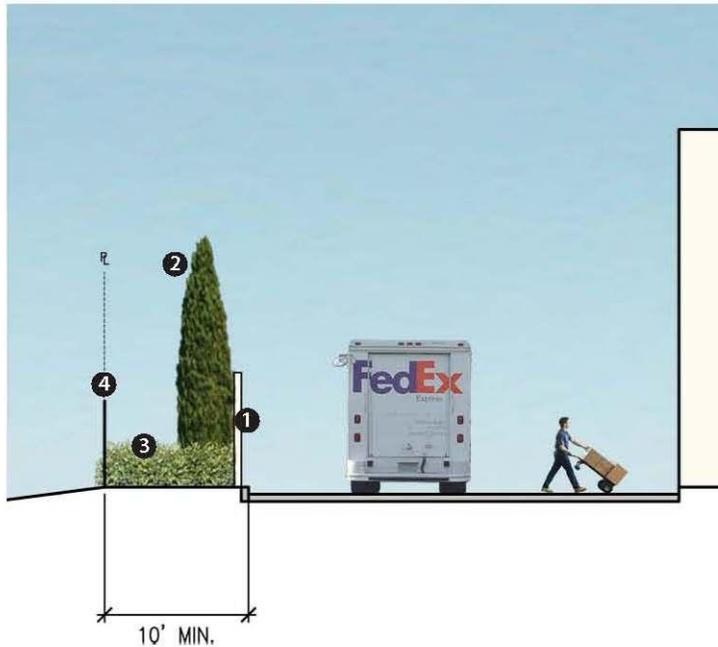


**Legend**

- ① Vertical Accent Planting and/or Vertical Screen Planting
- ② Simple Landscape Ground Plane
- ③ Fence at Property Line

**Note:** All Landscaped areas to be coordinated with building entrances and emergency egress walks, loading zones, architectural features and signage.

**Exhibit 2-40: I-15/I-215 Edge Condition at Building Landscape**

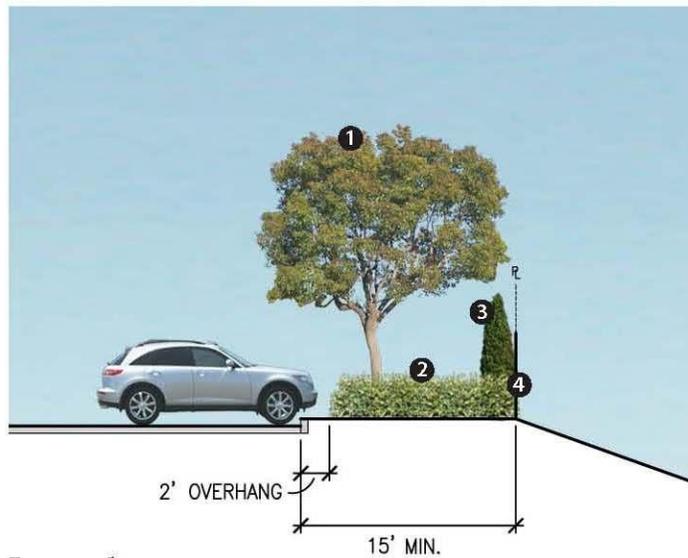


**Legend**

- ① 8' Minimum Screen Wall
- ② Vertical Screen Planting
- ③ Simple Landscape Ground Plane
- ④ Fence at Property Line

**Note:** The loading area may be integrated into the architecture of the building in order to minimize unsightly views and to provide a larger landscape buffer.

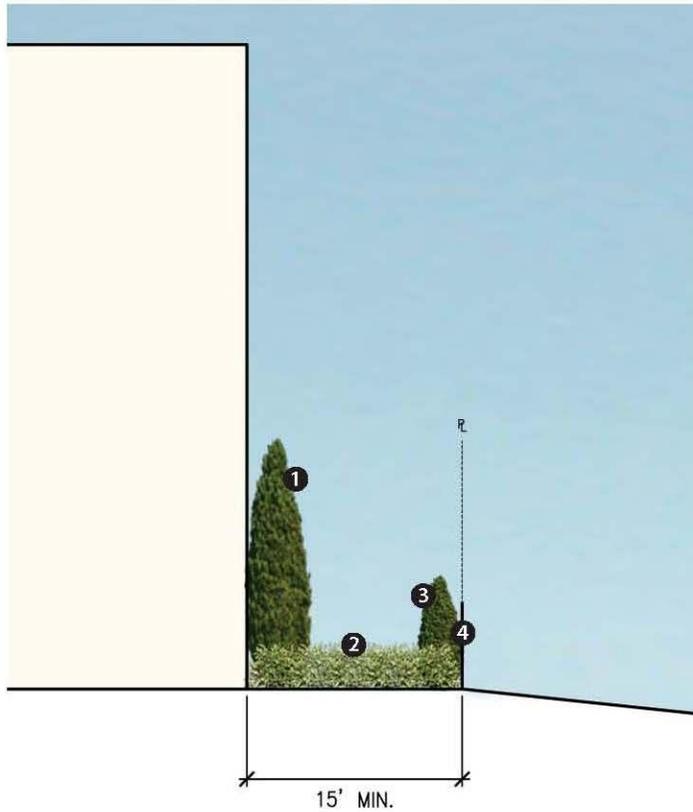
**Exhibit 2-41: I-15/I-215 Edge Condition at Back of House Loading**



**Legend**

- ① Parking Lot Shade Tree
- ② Simple Ground Plane
- ③ 6' Hedge at Property Line
- ④ Fence at Property Line

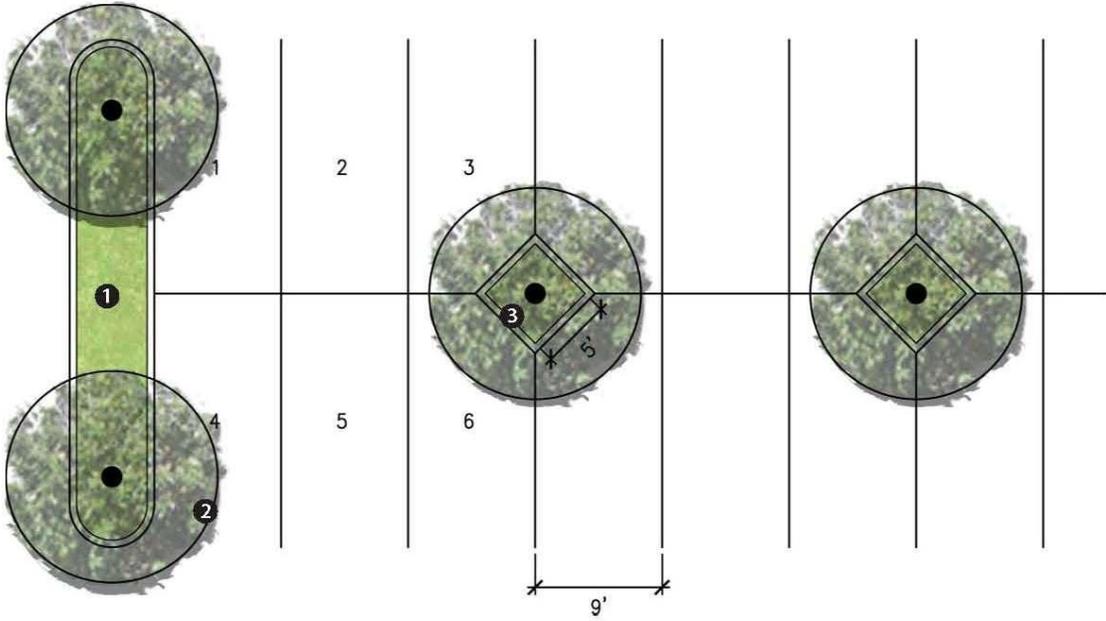
**Exhibit 2-42: I-15/I-215 Edge Condition at Parking Lot**



**Legend**

- ① Vertical Screen Planting
- ② Simple Ground Plane
- ③ 6' Hedge at Property Line
- ④ Fence at Property Line

**Exhibit 2-43: I-15/I-215 Edge Condition at Parking Structure**



**Legend**

- ① Island Planter at end of aisles
- ② Shade Tree
- ③ 'Diamond' Planter, to occur every six (6) spaces;  
(5' sq. minimum inside dimension)

**Exhibit 2-44: Parking Lot Landscaping**

#### 2.7.4 Water Use in the Landscape

Careful plant selections and incorporating the latest technology for irrigation will allow The Triangle to reduce energy and water consumption. The following development standards apply to all landscape areas within the project.

1. Evapo-transpiration (ET) weather based controllers for irrigation shall be used throughout the site.
2. A minimum of 50% of landscape plants shall be low water use or drought tolerant plants, as identified in the Water Use Classifications of Landscape Species (WUCOLS) developed by the University of California.
3. Planting shall be installed at a coverage rate that will achieve a mature landscape character within five years. Shade tree species selected for seating areas shall be fast growing species or shall be sized to reach maturity within five years.
4. Mowed turf is discouraged and will only be used in spaces where it serves a functional purpose.
5. Impervious surfaces should be limited where possible favoring planting area. Where paving is necessary, permeable or turf block pavers should be considered.
6. For all hardscape surfaces, the extensive use of shading devices shall be implemented in order to help reduce the heat island effect. Strategies for this include the use of shade/canopy trees in parking lots and adjacent to roadways, the use of architectural shading devices such as awnings and trellises, shade “sails” and umbrellas in pedestrian areas.
7. Landscape buffers of 25’ or greater width may include bio-swales to reduce urban runoff and more efficiently manage storm water.
8. All landscaping shall comply with Development Code Section 16.28 pertaining to irrigation design and water usage.

## 2.8 Signage

These signage regulations identify a framework to advertise the uses within The Triangle around the perimeter of the site. Attractive and effective signage can be designed without detracting from the overall design quality of the project. Signs within The Triangle also contribute to the project's overall contemporary design theme by introducing an additional opportunity for interesting details. Design, color, materials and placement are all important in creating signs that are architecturally attractive and integrated into the overall project area design. The intent is to create and promote a quality visual environment by allowing only signs that are compatible with their surroundings and effectively communicate their message.



The Triangle Specific Plan addresses perimeter signs located along each of the two freeways and Murrieta Hot Springs Road and at the primary entries. There are currently two freeway-oriented display signs on The Triangle property, both along Interstate 15. Sign locations by type of sign, are illustrated on Exhibits 2-45. These signs are used for several purposes. They identify the project and make it visible for people driving past, both on the freeways and on Murrieta Hot Springs Road. These signs also create a sense of “arrival” for The Triangle, so that visitors know they have entered into a distinct and unique place. Finally, these signs provide a marketing opportunity for The Triangle’s corporate and retail tenants and for other goods and services people passing The Triangle might purchase. The design for these signs is not final, and final designs are subject to review by the Director prior to implementation. A comprehensive, on-site and freeway-facing tenant identification sign program for The Triangle will be submitted to the City as part of a subsequent stage of project entitlement, and shall be reviewed according to the process as identified in Section 4 of this Specific Plan.

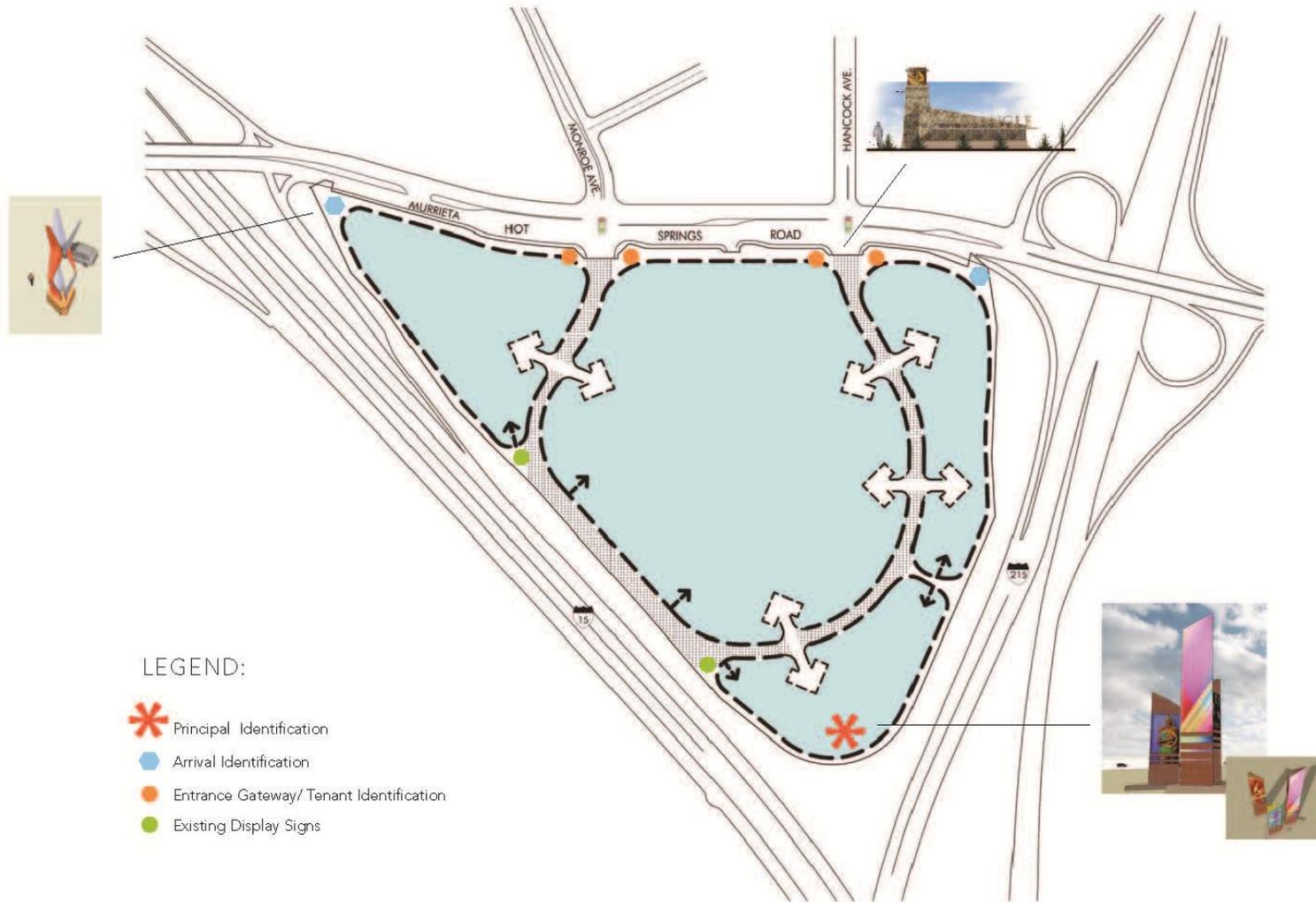


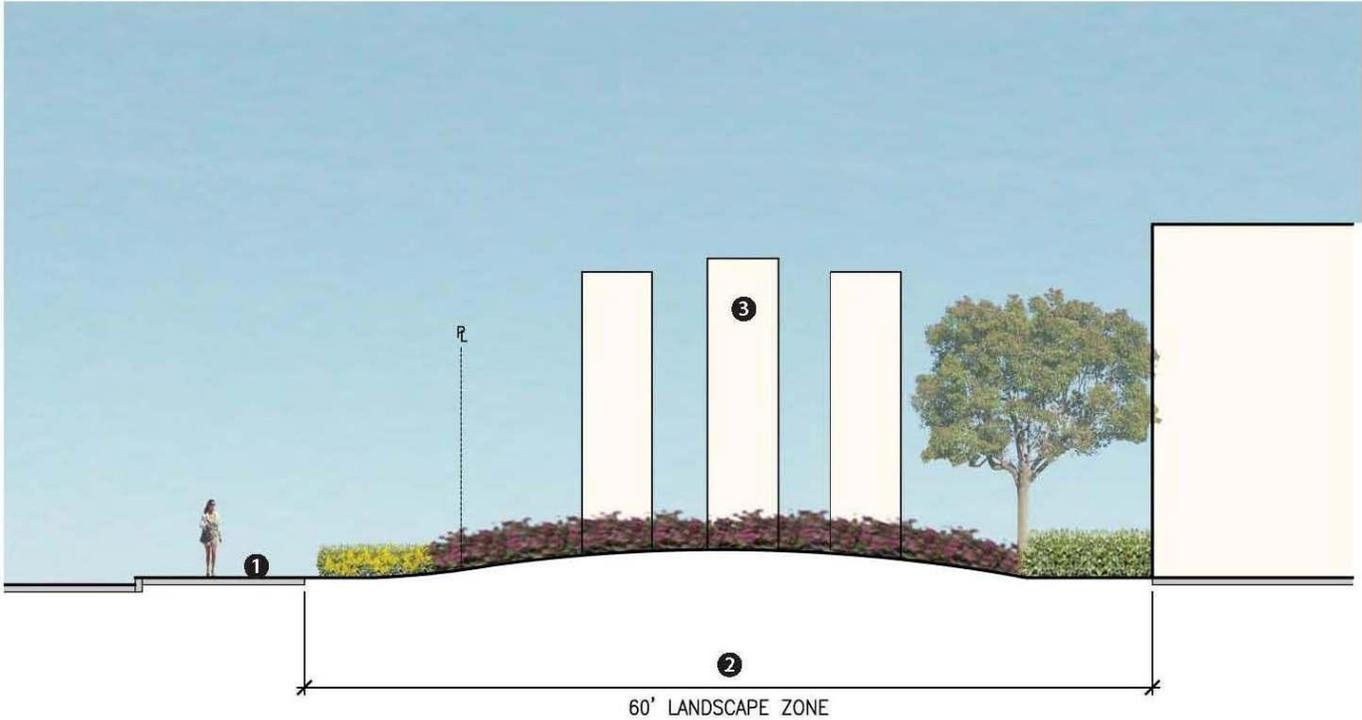
Exhibit 2-45: Sign Key Map

### **2.8.1 Principal and Arrival Identification Signs**

This development is a landmark for the City of Murrieta, and the intent of The Triangle is to capitalize on the location for the City's benefit. To attract visitors to The Triangle, Principal and Arrival Identification Monuments are allowed, but not required, at each of the three corners of the property, in Planning Areas 2, 3 and 4, as shown on Exhibit 2-45. At 90' maximum height, these are intended to be large and visible from a distance. These iconic structures are located near the tallest structures on the site, and so the large scale is not disproportional. These Monuments may each have a distinct character and form, or may be the same in all locations. These signs may be somewhat sculptural in nature, resembling public art as much as signage. Each of these iconic signs may consist of several structures combined into one cohesive element or they may be single elements with interesting forms and designs that reflect the contemporary architectural theme of the development. The icons may include LED screens or other types of internally illuminated graphics to portray changing lifestyle or artistic images and may include the project name, but advertisement for specific tenants or goods is prohibited. Exhibit 2-46 illustrates the concept of these Arrival Identification Monuments in the landscape.

### **2.8.2 Entrance Gateway Signs**

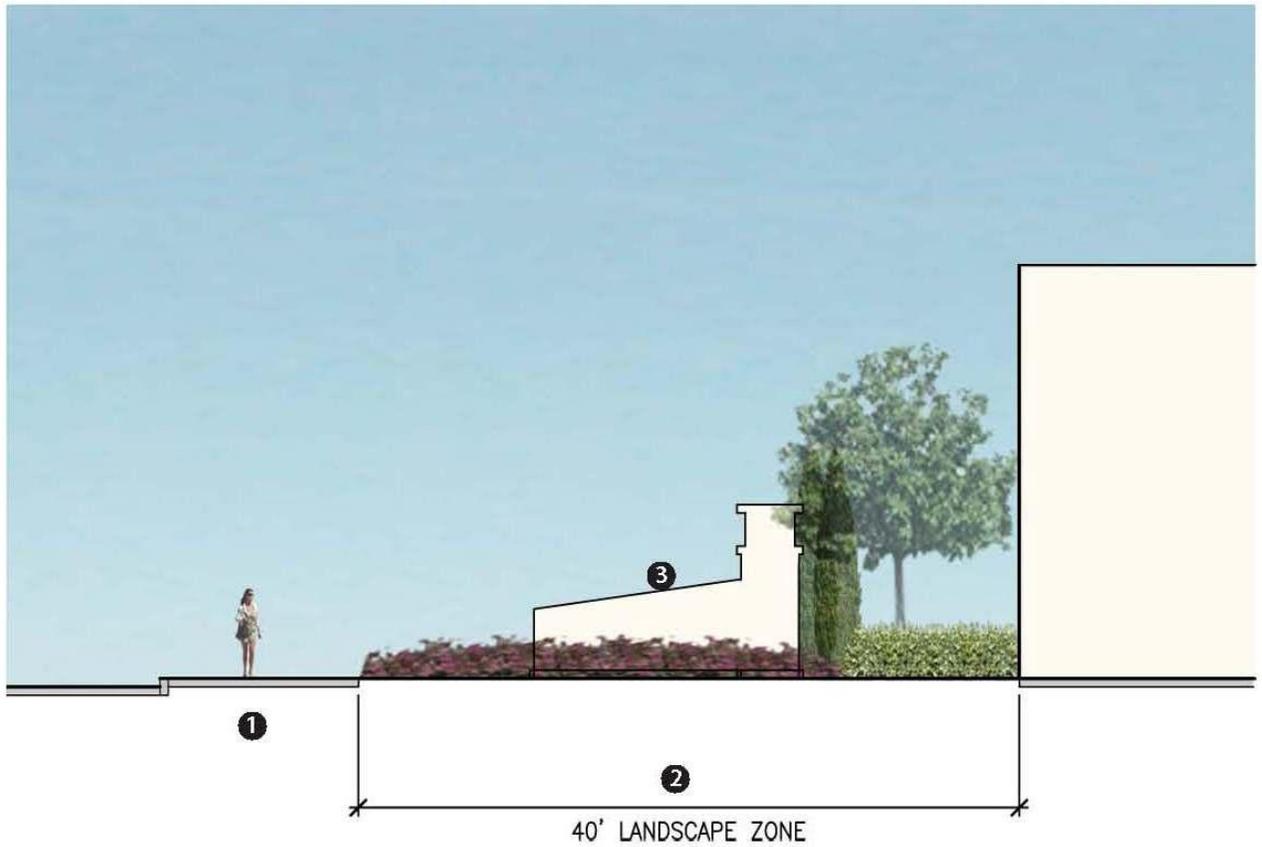
At each of the two primary entries from Murrieta Hot Springs Road, entrance gateway signs will be sited to mark the arrival into The Triangle. These gateway signs are located on each side of the Internal Connector Road within the 60' wide landscape setback area to avoid obstructing views for motorists. These signs may include a combination of monument walls, pedestals, towers and similar architectural elements that form substantial entry statements. An illustration of a potential concept for the entry gateway signs is conceptually illustrated in Exhibit 2-47. These signs may include the project name, project logos, and tenant identification. These signs have a maximum height of 30'.



**Legend**

- ① Curb Ramp and Walk
- ② 60' Setback to allow for Landscape, Signage, Graphics and Monumentation
- ③ Main Entry Monument

**Exhibit 2-46: Arrival Identification Monuments**



**Legend**

- ① Curb Ramp and Walk
- ② 40' Setback to allow for Landscape, Signage, Graphics and Monumentation
- ③ Main Entry Corner Monument

**Exhibit 2-47: Murrieta Hot Springs Road at Internal Connector Road  
Entrance Gateway Sign**

## 2.9 Project Sustainability

Sustainable development was originally defined as, “. . .development that meets the needs of the present without compromising the ability of future generations to meet their own needs.”<sup>10</sup> This concept originated from concern that accelerating deterioration of both the human environment and natural resources would have lasting negative consequences on both economic and social development.

Sustainable development and “green” building are related concepts, but they are not the same. Sustainable development recognizes the interdependence of man and nature within the context of a healthy economy and a healthy community. The Triangle incorporates conservation measures through site location, providing alternate methods of mobility, designing with a base of low water usage plants and water saving devices in the landscape irrigation design and incorporating energy efficient lighting design.

A key sustainable characteristic of The Triangle is its pedestrian connectivity. Developing a strong pedestrian connecting system allows and encourages people to move freely among the mix of land uses. This means vehicle trips are reduced when office workers walk to restaurants and shopping, or hotel guests walk to local business offices.

Another sustainable feature of the plan is its location in an area where regional and local roadways are in place to serve the project. City and utility services also are already located in close proximity. This eliminates the need for long extensions of infrastructure to the site, reducing demand for new materials and the effects of transporting those materials to the site.

“Green” building focuses on the building techniques that may be employed to reduce the use of resources and materials, such as recycling building material waste during construction. The state of California adopted the 2010 California Green Building Standards Code, known as CalGreen, as part of the state Building Standards Code in Title 24 of the California Code of Regulations. The City of Murrieta, in its adoption of the latest building code, adopted these regulations. The Cal Green Code sets higher standards for incorporating sustainable measures into the built environment. The Cal Green Code requires many specific measures be designed and built into new buildings to reduce water and energy consumption and to reduce emission of target pollutants. These measures include many features and specific requirements to reduce energy use and landscape water consumption below previous standards. All buildings in The Triangle will be constructed in compliance with this Code.

All office buildings shall incorporate sustainable design features to demonstrate the equivalency to a certified project under the U. S. Green Building Council’s (USGBC) Leadership in Energy and Environmental Design (LEED) Rating System for New Construction. The version of LEED for New Construction that is in effect when the application is filed shall be utilized.

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<sup>10</sup> United Nations Programme on Environment and Development, “Our Common Future – Bruntland Report” (1987).

Official or formal Certification by the USGBC is not required by the City of Murrieta due to associated administrative costs. However, the project shall be designed with measures in place to meet the equivalency of a LEED-certified building. To implement this standard, the design team for the project shall include at least one LEED Accredited Professional.

To demonstrate compliance with LEED design standards, the project applicant shall submit the following to the City of Murrieta Community Development Department with each office building permit application: (1) a final LEED Checklist that documents how the project shall meet the equivalency of a certified project under the USGBC's LEED Rating System for New Construction; (2) a signed statement from the project applicant's project architect and LEED Accredited Professional declaring that the plans and plan details have been prepared in accordance with the submitted LEED Checklist; and (3) stamped and signed plans that include the LEED Checklist and the signed statement on the front page of the plan set. These items shall be reviewed and approved by the City of Murrieta Building Official prior to a building permit being issued.

### **Conservation and Sustainability Development Standards**

Additional energy-saving measures are located in Section 2.7.4, Water Use in the Landscape and Section 2.10, Exterior Lighting.

1. Where possible, construction equipment will use alternative clean fuel such as Electric or Compressed Natural Gas. Equipment not using alternative fuels shall use low-sulfur diesel.
2. A Construction Management Plan will be prepared and implemented by the building contractor(s) to address construction traffic, routing, vehicular restrictions and parking requirements to reduce vehicle pollution per the standards of the City of Murrieta and South Coast Air Quality Management District.
3. The Construction Management Plan shall also address recycling waste material during construction to achieve a minimum 50% diversion of construction waste from landfills.
4. A travel Demand Management Plan will be prepared concurrently with the Development Plan to identify potential means of reducing automobile trips to the site. This plan will document what steps will be taken to facilitate and encourage alternate modes of travel, such as cycling, carpooling, and alternate fuel vehicles charging stations. It will also address methods of reducing peak hour congestion such as flexible work hours.
5. All flat, non-visible portions of building roofs shall be cool colors that have a high solar reflectance and thermal emittance. These characteristics reflect light, thereby reducing heat transfer and further the ability to allow heat to escape from a surface once it has been absorbed.

6. The retail area shall post signs limiting idling time for commercial vehicles to no more than five minutes.
7. Recycling receptacles will be located adjacent to trash receptacles in casual seating and dining areas and in plazas and courtyards to provide the opportunity for consumer recycling at The Triangle.
8. Alternate modes of travel sustainability measures include the following:
  - Provide bicycle storage racks or lockers within 100' of the entry to each office building in compliance with section 5.106.4 of the California 2010 Green Building Standards (CA Code of Regulations, Title 24, Part 11). If multiple building entries are provided, bicycle racks shall be located near each entry. Bicycle racks or lockers shall also be located throughout the retail area of The Triangle.
  - Bicycle spaces for employees shall be secure, enclosed spaces that are located in a key-accessed area and are illuminated at night. Bicycle spaces for visitors and customers shall include bicycle racks located in areas that are clearly visible from a primary building entrance, illuminated at night, and protected from damage from moving and parked vehicles. These racks shall include provision for securing bicycles in which the user may lock the frame and wheels.
  - The bus turnout and shelters located on Murrieta Hot Springs Road and the Internal connector Road will include a roof canopy, seating and shade trees nearby to provide shelter for riders.
9. Heat islands will be reduced to minimize the impact of thermal gradient differences between developed and undeveloped areas. This is achieved by including parkways along the south side of Murrieta Hot Springs Road and both sides of the Internal Connector Road, by requiring shade trees within large parking fields, and incorporating lighter colored paving materials for pathways, sidewalks and gathering places.
10. A LEED-certified (or equivalent) professional shall be involved with all landscaping plans to promote a range of active and passive sustainable design measures and professional best practices.

## 2.10 Exterior Lighting

The Triangle Specific Plan area is located within the influence area for the Mt. Palomar observatory. The objective of the lighting within the project is to minimize potential conflicts between the observatory's need for a dark nighttime sky and the need for adequate lighting for the site and providing effective nighttime visibility for this regional destination. This will be achieved by minimizing obtrusive lighting aspects such as glare, light trespass, energy waste and sky glow through establishment of specific standards regarding lighting design, installation, color and use.

### Exterior Lighting Development Standards

1. Concurrent with submittal of the Development Plan a Conceptual Lighting Plan shall be submitted for City. The Lighting Plan shall include the location and type of all outdoor fixtures and the resulting light patterns and the hours of operation for the project's lights.
2. Lighting throughout The Triangle will be designed to complement the architectural style of adjacent structures, to enrich the environment in which it is located, and to provide a comfortable and safe space for visitors.
3. Low pressure sodium (LPS) lights will be used only if other lower level lights cannot be used to serve the same purpose, as the LPS lamps' pigmentation favors an orange hue. If LPS lights are used, the use of low-watt wash lights shall be used in planter areas and pedestrian zones to mitigate the undesirable hue of the LPS lamps.
4. Exterior lighting on buildings or within the parking areas shall not blink or flash.
5. Neon lights shall be discouraged except where implemented as an integral element of a tenant's prototypical signage or identity.
6. Fixtures may be located on buildings, recessed in-ground, located above grade on poles or bollards, and in trees.
7. Parking area fixtures shall be of a consistent or related style throughout The Triangle, and shall be compatible in style with accent lighting in the project.
8. Pedestrian areas shall be illuminated so that pathways and gathering areas are highlighted.
9. Exceptions to the above requirements shall be as provided in the City Development Code.

## SECTION 3: GRADING, INFRASTRUCTURE AND CIRCULATION

Infrastructure elements are those features that provide essential services to a community. Water and sewer conveyance systems, roadways and utility services systems are a physical infrastructure improvement. Other infrastructure elements are not physical improvements, but institutional services such as fire and police services. Both types of infrastructure for The Triangle are described below.

### 3.1 Project Grading

The Triangle site is relatively flat, with the high point in Planning Area 3 and the low point in Planning Area 2. The site is slightly elevated above the adjacent freeways and is relatively level with Murrieta Hot Springs Road. Portions of the site were previously graded for a development that was not completed. The conceptual grading plan is shown on Exhibit 3-1. This plan incorporates the requirements for on-and off-site drainage. Preliminary earthwork calculations for The Triangle indicate that the site will balance and no import or export of earth is required. Preliminary calculations show approximately 450,000 cubic yards of cut and 390,000 cubic yards of fill. This calculation includes approximately 60,000 cubic yards of excess cut to account for soil compaction.

These grading quantities account for some subterranean parking along the site's eastern side, where the site will be filled, in places up to 20'. With the inclusion of subterranean parking, the total amount of grading would not be altered. The amount of fill would be reduced and the soil spread across the site. No export would be required to accommodate subterranean parking.

Project grading extends off-site into the adjacent California Department of Transportation (CALTRANS) rights-of-way shoulder areas for both interstates 15 and 215. This is required to adequately balance the grading between the project site and adjoining rights-of-way. Appropriate permits for this grading will be secured from CALTRANS prior to commencement of grading operations. Graded slopes will be restored to meet the requirements of CALTRANS for Erosion Control and Highway Planting.

### Grading Development Standards

1. Final grading plans for the site shall be in conformance with the conceptual grading plan depicted in Exhibit 3-1. Final grading plans will also reflect any

- grading related mitigation measures contained in the Triangle Specific Plan Final EIR.
2. Graded slopes shall be designed to minimize visual impacts on surrounding areas. All slopes shall be landscaped or stabilized to prevent wind and water erosion.
  3. Prior to commencing grading activities a comprehensive soils and geotechnical study shall be performed to further analyze soil characteristics and stability factors. The study results shall be incorporated into final grading plans and grading operations.
  4. Graded but undeveloped land shall be stabilized or planted with interim landscaping, as appropriate, within ninety days of grading unless building permits are obtained, in accordance with the San Diego Regional Water Quality Control Board's requirements and The Triangle Water Quality Management Plan and Storm Water Pollution Prevention Permit.
  5. All grading shall be subject to the City of Murrieta Grading Ordinance (346-06) and The City of Murrieta Grading Manual.



**Exhibit 3-1: Conceptual Grading Plan**

## 3.2 Project Drainage

The County of Riverside Flood Control and Water Conservation District (RCFCD & WCD) has prepared a Master Drainage Plan and the Murrieta Creek Drainage Plan for the Murrieta Creek area. In March 2008 RBF Consulting prepared a Hydrology and Water Quality Technical Appendix for The Triangle site. Although the development proposal has been subsequently modified, the amount of proposed impervious surface created by the development remains fairly constant. Complete details of the existing and proposed conditions can be found in that analysis, which is included within the technical appendices for The Triangle Specific Plan EIR. The report is summarized below.

### 3.2.1 Existing Condition

The site drains primarily from the northeast corner toward the south and west, as shown on Exhibit 3-2. In the existing condition, approximately 38 acres of offsite area drains to the site from the east through three culverts crossing I-215 Freeway. These three culverts located along the I-15 Freeway (54", 30" and 48") pick up the majority of the site runoff. This storm water runoff travels in a southerly direction and is conveyed offsite through the three culverts. After crossing the freeway, the culverts outlet in natural drainage courses that conveys the drainage to Murrieta Creek. The most westerly corner of the site drains into an existing 30" lateral that connects to an 84" culvert carrying flows from north of the site toward the southwest. This culvert extends under Interstate 15. After crossing the freeway the flow outlets to unlined, natural drainage channels that ultimately flow to Murrieta Creek.

Three drainage areas exist on site, not including the small area that drains into the 84" culvert at the western corner. Area D is located along the western and southern portions of the site and contains 13.3 acres with a 10-year flow rate (Q) of 16.1 cubic feet per second (cfs). Area E is located west of Area D and contains 9.7 acres, with a Q of 11.6 cfs. Area F contains 28 acres and has a Q of 35.1 cfs. Area F extends from the northeast corner of the property southwesterly to the boundary with I-15. Area G includes the northwest corner of the property, extends along Murrieta Hot Springs Road toward the center of the site. It contains 10.2 acres with a Q of 12.9 cfs. An unnamed blue line stream crosses the site at the southeast corner. The site is not located within any flood inundation areas, both according to the County of Riverside Integrated Project database and Flood Insurance Rate Maps.

In planning for storm water management, federal, state and local statutes were taken into consideration, as drainage from the site must meet the requirements of the National Pollution Discharge Elimination System provisions of the Clean Water Act and must meet the requirements of the Riverside County Water Quality Management Plan

(WQMP) for Urban Runoff. The project site is tributary to the Santa Margarita River and is within the jurisdiction of the San Diego Regional Water Quality Control Board (SDRWQCB). The site lacks any measured data of storm water runoff quality. In the absence of data, expected storm water quality can be qualitatively discussed by relating typical pollutants to specific land uses. One of the major pollutants expected from the site is sediment, the solid materials eroded from the land surface. Other pollutants that might be expected on site are organic compounds, trash and debris, oil and grease and metals.

### **3.2.2 Developed Condition**

In the developed condition new drainage facilities consist of streets, parking lots, storm drains and culverts. These facilities will be designed concurrent with Development Plans submitted for The Triangle, and will be designed to mitigate any increase in runoff above the existing condition. Exhibit 3-2 depicts the existing drainage facilities serving the site, which will also be utilized in the developed condition. The Drainage Areas are generally in the same locations as in the existing condition with modifications to sub-area boundaries. The 16.5 acres within Drainage Area D flows towards the south into the existing 54" storm drain under I-15, with a Q of 36.8 cfs. Drainage Area E contains 8 acres with a Q of 15.7 cfs and also flows toward the south in the existing 30" culvert under the I-15. 13.2 acres are contained within Drainage Area F, which flow into the existing 48" culvert under the I-15 at a Q of 23.6 cfs. Drainage Area G contains 22.1 acres with a Q of 44.0 cfs and drains to the northwest corner of the site. This runoff enters the existing 30" lateral and flows into the existing 84" culvert.

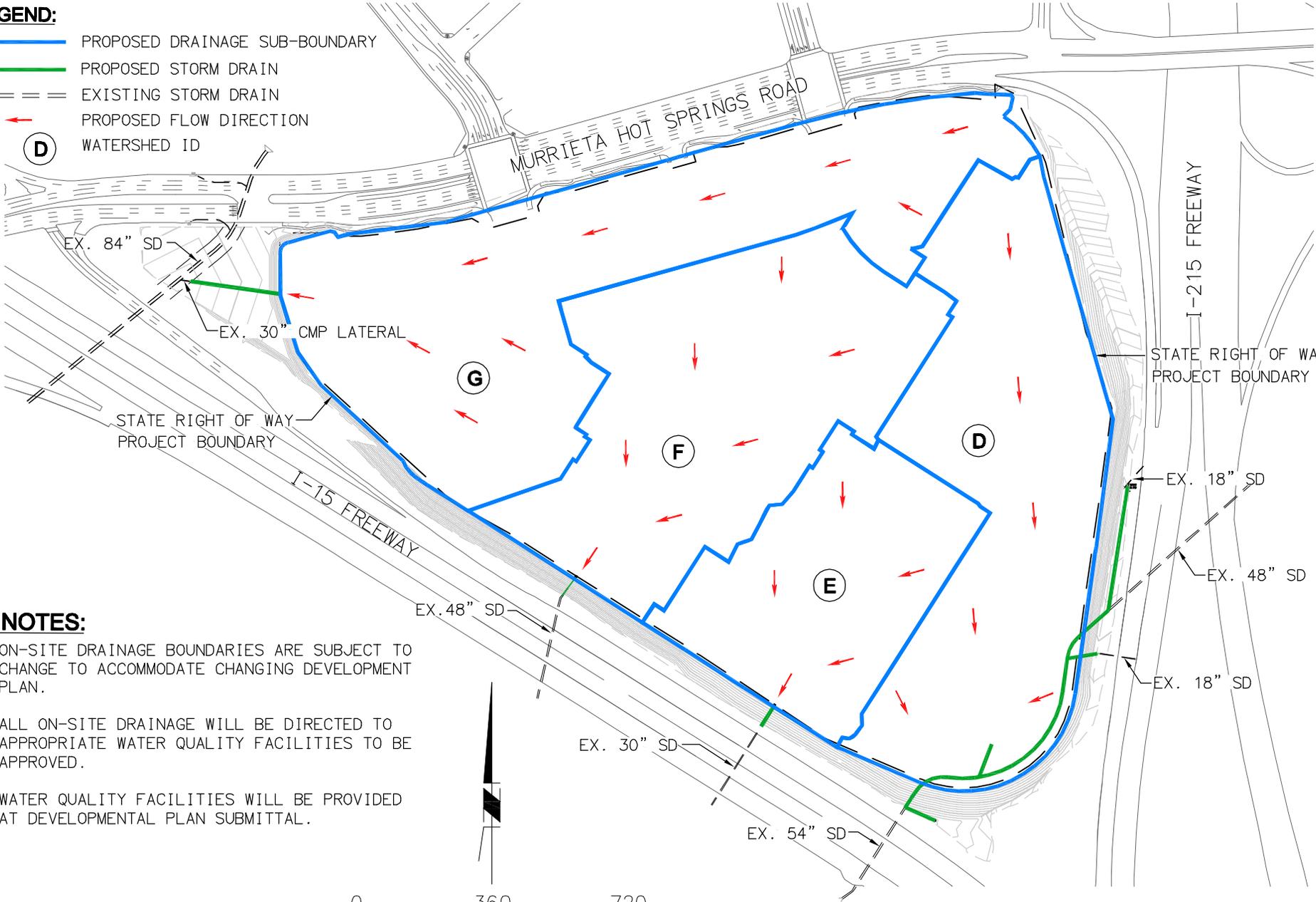
The proposed on-site storm drain facilities will be designed to adequately convey a 100-year storm. The RCFD & WCD master storm drain system will be completed over time as property in the area is developed. When those facilities are completed downstream properties will be protected from flooding due to development of this and other projects located in and around the subject drainage basin. An ultimate condition hydrology study was performed based on the conceptual grading plan illustrated in Exhibit 3-1. Initial storm drain sizes were determined and a plan for conveyance of storm flows through the project site was developed, along with preliminary determinations of required detention volume needed to mitigate the increased runoff generated due to the site improvements.

When the City's Master Plan of Drainage facilities are constructed, drainage from the site will flow through the 84" culvert under I-15 into Line D-1, which is tributary to Line D, and ultimately to Murrieta Creek.

To address issues of water quality protection a Preliminary Water Quality Management Plan (WQMP) was prepared by RBF Consulting in August 2008. This plan was based on a previous development proposal, and must be revised before The Triangle can be built to meet the requirements of the San Diego RWQCB. A WQMP outlines the proposed Best Management Practices the developer will implement with the construction of the site. In addition a Storm Water Pollution Prevention Plan will be prepared for the project to address construction activities.

**LEGEND:**

- PROPOSED DRAINAGE SUB-BOUNDARY
- PROPOSED STORM DRAIN
- - - - - EXISTING STORM DRAIN
- ← PROPOSED FLOW DIRECTION
- ⊙ D WATERSHED ID



**NOTES:**

- ON-SITE DRAINAGE BOUNDARIES ARE SUBJECT TO CHANGE TO ACCOMMODATE CHANGING DEVELOPMENT PLAN.
- ALL ON-SITE DRAINAGE WILL BE DIRECTED TO APPROPRIATE WATER QUALITY FACILITIES TO BE APPROVED.
- WATER QUALITY FACILITIES WILL BE PROVIDED AT DEVELOPMENTAL PLAN SUBMITTAL.

Exhibit 3-2: Drainage Plan

The current development proposal is similar in nature and surface coverage to the previous development proposal on the property, so it is expected that the conclusions of that report would be the same for this development proposal. Water quality on the site is expected to improve as a result of development due to implementation of structural and non-structural Best Management Practices (BMPs). Structural treatment control BMPs planned for the site may include an underground combined detention/infiltration basin, landscape detention areas, and roof/loading docks filter units. Non-structural/Source control BMPs include using permeable paving materials, covering loading docks, connecting restaurant equipment wash areas to grease traps connected directly to the sewer, and other similar measures. Erosion control measures will be implemented during and post construction.

The Hydrology and Water Quality Technical Appendix concludes that The Triangle will need to store runoff to reduce flows to the pre-developed condition. Adequate facilities can be developed on site to provide this storage.

#### **Drainage Development Standards**

1. Storm drain facilities will be installed to mitigate any increase in flows above the existing condition and ensure protection from 100-year floods. The ultimate size and locations of the facilities shall be approved by the City of Murrieta prior to construction.
2. The Triangle Specific Plan lies within the San Diego Regional Water Quality Control Board region. The Triangle shall comply with all National Pollution Discharge Elimination System (NPDES) requirements as implemented by the Regional Board. The Triangle will provide Water Quality Management Plans (WQMP) and Storm Water Pollution Prevention Plans for the review by the City Council and all appropriate regulatory agencies. The WQMP will identify potential post-project pollutants and hydrologic impacts associated with the development; identify proposed Low Impact Development BMPs for identified site design, source control and treatment control post-development BMPs; and identify sustainable funding and maintenance mechanisms for the BMPs. Storm drain improvement plans will include water quality facilities for treatment of site drainage to satisfy the requirements of the Regional Board.
3. Drainage and flood control facilities and improvements, including any necessary channelization, shall be provided in accordance RCFC & WCD and City of Murrieta requirements.

4. Storm flows shall be detained on site to mitigate the flows from the proposed project to the same levels as in the pre-developed condition per the City of Murrieta requirements.

### **3.3 Water and Sewer Plan**

Eastern Municipal Water District (EMWD) provides water and sewer service to The Triangle property. Both adequate water supply and sewer treatment capacity are available to serve the site. In September 2008 RBF Consulting prepared a Technical Memorandum for Water and Wastewater Analysis. The Analysis provides the information necessary to allow design and development of an on-site looped domestic water system and a feasible gravity wastewater system, allowing for the abandonment of the existing force main and lift station located on Monroe Avenue north of Medical Center Drive.

A source of reclaimed water is not available from EMWD to serve the site. The nearest reclaimed water source is located along Jefferson Avenue, on the west side of I-15. The cost of boring under the freeway to place water lines and constructing one or more pump stations to transport water to the site currently makes delivery of reclaimed water infeasible. More importantly, the volume of available reclaimed water is not adequate to service the project.

Up to four wells may be drilled on the property to provide a source of water for the project. This water could be used during site grading and construction, and may also be used for irrigating the landscape after the project is built. If the water meets standards established for potable water, it could also be used for that purpose.

#### **3.3.1 Domestic Water**

Existing water facilities include a 16" water main adjacent to the site along Murrieta Hot Springs Road east of Monroe Avenue. This waterline is approximately 700 feet in length. An existing water reservoir, EMWD's Zone 1384, will serve the property. Based on the grading concept plan, it is anticipated that individual pressure regulators will be required to control water pressures at the site.

Water will be supplied to The Triangle from EMWD's existing pumps, reservoirs and piping to the main project points of connection. There will be two points of connection to the existing 16" water main. A 12" looped trunk line will be constructed internal to the site. The site must be designed to support adequate flow for hydrants and building sprinklers of 4,000 gallons per minute. The necessary flow rate will be achieved with the design of the proposed system. Preliminary analysis indicates that 10" and 12" lines for fire flow along with 6" and 8" lines for internal portions of the site would adequately serve the property. Additionally, a separate 8" offsite pipeline along Murrieta Hot Springs Road will provide a direct domestic water connection from EMWD's system to the hotel allowed in the northwest corner of the property instead of a lateral

connection to the private on-site distribution main. Exhibit 3-3 illustrates the proposed water facilities required to support the project.

### **3.3.2 Wastewater**

Existing sewer facilities include a lift station along Monroe Avenue north of Medical Center Drive that pumps wastewater through a 10" force main running adjacent to the site along Murrieta Hot Springs Road and across I-215 to the east. A 10" dry sewer along Monroe Avenue had been constructed in anticipation of the future extension of a gravity line through the project site, across I-15 and Madison Avenue and connected to an existing Western Municipal Water District 21" gravity sewer along Jefferson Avenue. With development of The Triangle, much of this line will be abandoned, as will the force main.

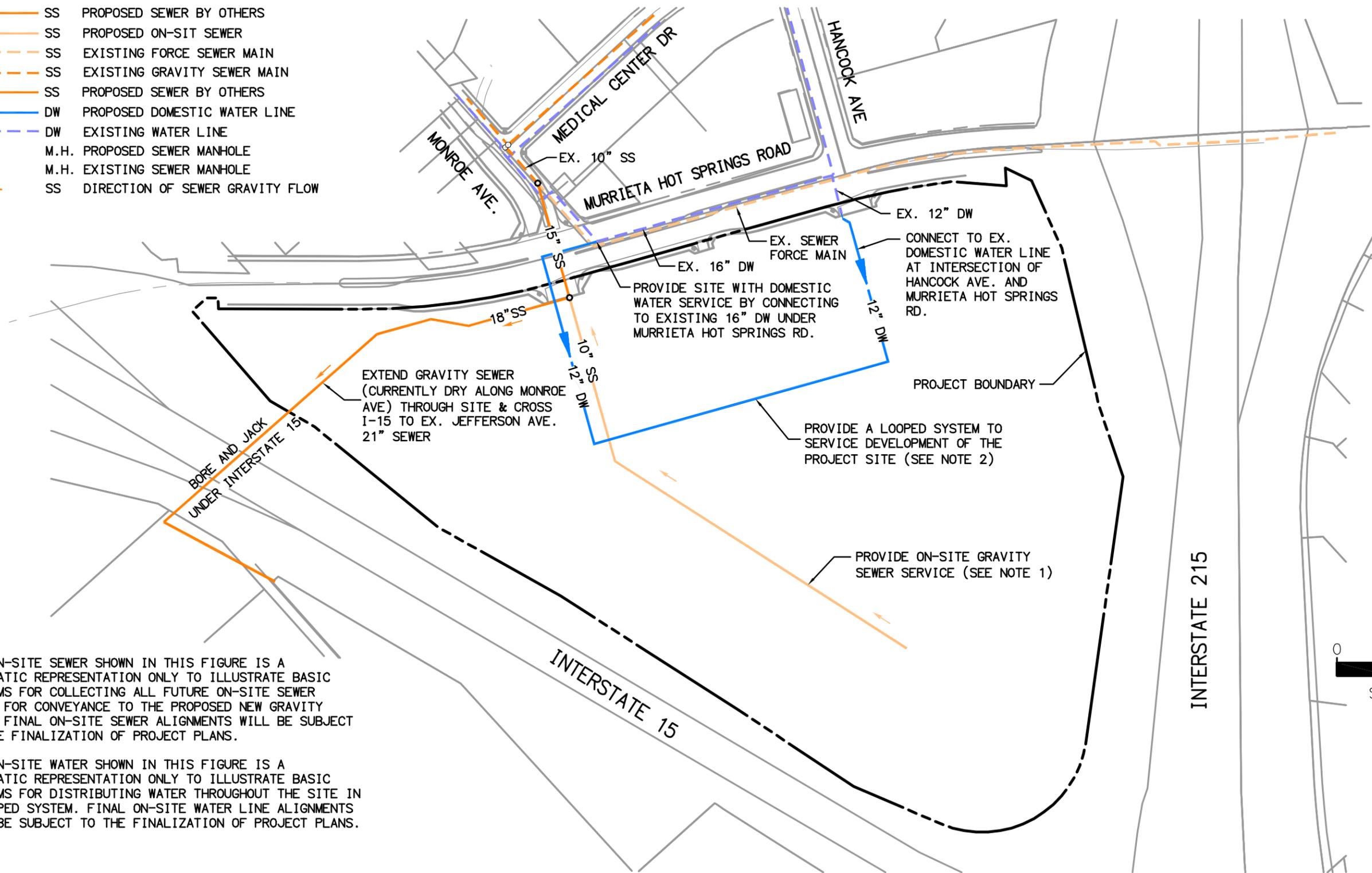
The pump station and force main will be replaced with a gravity flow system, with project flows from south to northwest. Upon completion of a Development Plan, the final on site sewer plans will be designed and will be subject to the review and approval of EMWD.

Some off site flows will also be diverted through The Triangle from the north side of Murrieta Hot Springs Road. A new minimum 15" gravity sewer line is proposed to connect with the existing 10" gravity sewer line located within the Monroe Avenue right-of-way between Medical Center Drive and Murrieta Hot Springs Road. This new 15" sewer pipe will extend south onto The Triangle property to collect wastewater flows from the project and exit the site near the northwest end. Exhibit 3-3 illustrates the on-site sewer plans.

An 18" sewer pipe will extend off site to the west, under Interstate 15, and will ultimately connect to an existing 21" sewer in Jefferson Avenue as shown in Exhibit 3-4. There is excess capacity in this 21" sewer main to accept flows from the project. This pipe carries flows to the Temecula Valley Regional Water Reclamation Facility, which has adequate capacity to serve the project. Exhibit 3-4 illustrates the off-site sewer facilities required to support the project, and the two potential alignments for the sewer lines.

**LEGEND:**

- SS PROPOSED PUBLIC SEWER MAIN
- SS PROPOSED SEWER BY OTHERS
- SS PROPOSED ON-SIT SEWER
- - - SS EXISTING FORCE SEWER MAIN
- - - SS EXISTING GRAVITY SEWER MAIN
- SS PROPOSED SEWER BY OTHERS
- DW PROPOSED DOMESTIC WATER LINE
- - - DW EXISTING WATER LINE
- M.H. PROPOSED SEWER MANHOLE
- M.H. EXISTING SEWER MANHOLE
- SS DIRECTION OF SEWER GRAVITY FLOW



**NOTE:**

1. THE ON-SITE SEWER SHOWN IN THIS FIGURE IS A SCHEMATIC REPRESENTATION ONLY TO ILLUSTRATE BASIC SYSTEMS FOR COLLECTING ALL FUTURE ON-SITE SEWER FLOWS FOR CONVEYANCE TO THE PROPOSED NEW GRAVITY LINE. FINAL ON-SITE SEWER ALIGNMENTS WILL BE SUBJECT TO THE FINALIZATION OF PROJECT PLANS.
2. THE ON-SITE WATER SHOWN IN THIS FIGURE IS A SCHEMATIC REPRESENTATION ONLY TO ILLUSTRATE BASIC SYSTEMS FOR DISTRIBUTING WATER THROUGHOUT THE SITE IN A LOOPED SYSTEM. FINAL ON-SITE WATER LINE ALIGNMENTS WILL BE SUBJECT TO THE FINALIZATION OF PROJECT PLANS.

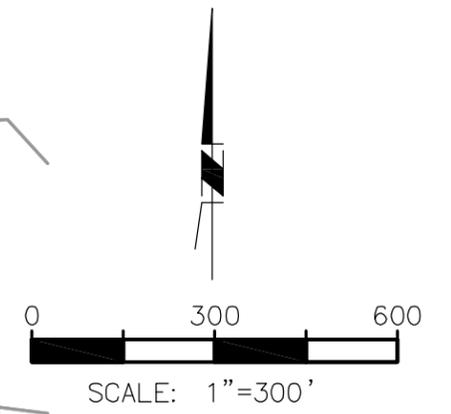


Exhibit 3-3: On-Site Water and Sewer Plan

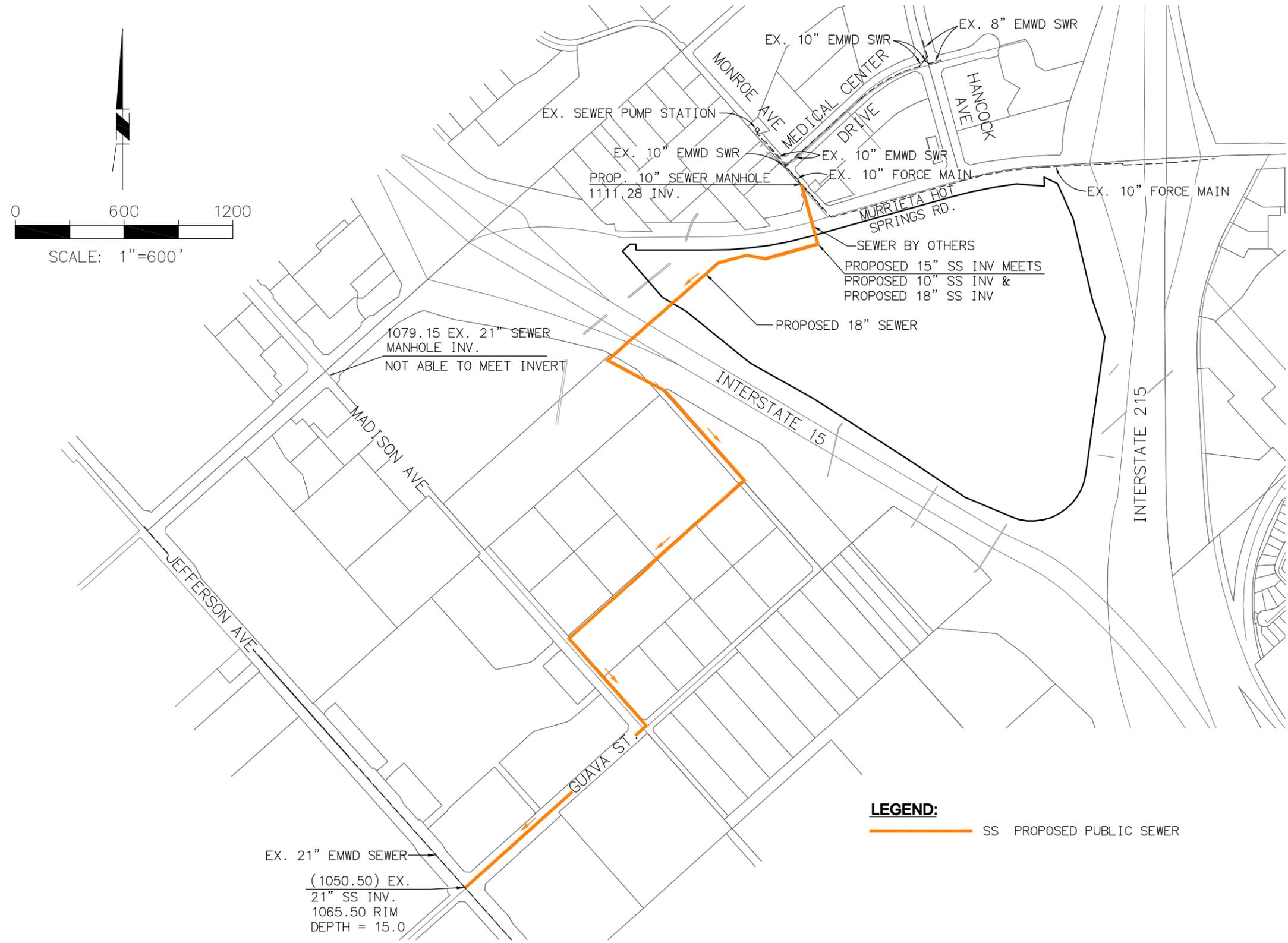


Exhibit 3-4: Off-Site Water and Sewer Plan

**Water and Wastewater Development Standards**

1. All water and sewer lines will be sized and installed per the recommendations of final engineering plans and the requirements of EMWD.
2. All lines will be designed and installed per EMWD and City of Murrieta standards, and field-testing by the responsible agency will be conducted, as appropriate.

**3.4 Utility Services**

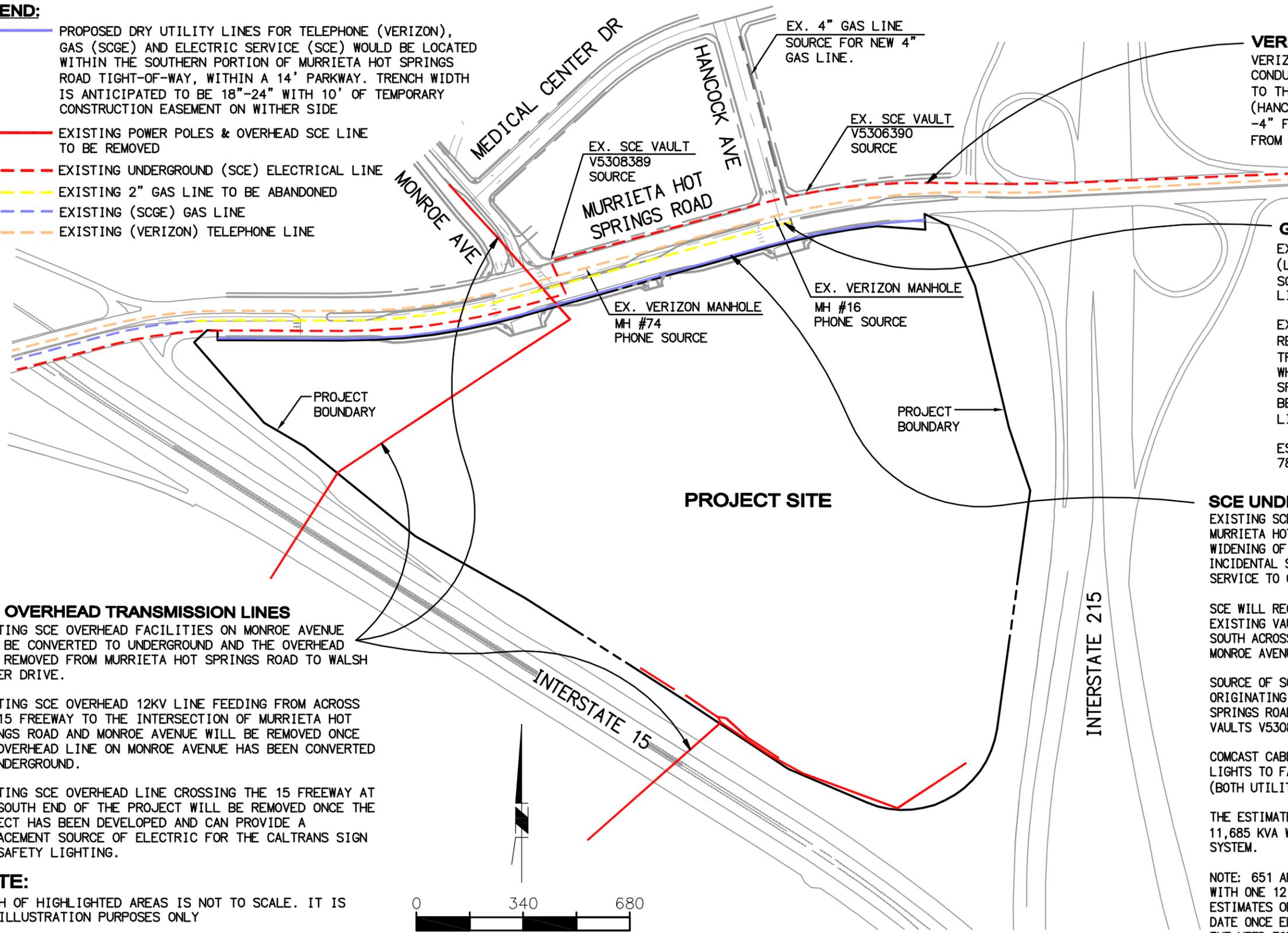
The Gas Company, Southern California Edison, and Verizon provide utility and communications services for The Triangle according to service application agreements with the developer. Cable television service is provided through Time Warner Cable.

**Utility Development Standards**

1. Proposed utility backbone facilities and service lines will be underground, except for switching cabinets, transformers and similar structures and those above ground S. C. Edison facilities illustrated on Exhibit 3-5.

**LEGEND:**

-  PROPOSED DRY UTILITY LINES FOR TELEPHONE (VERIZON), GAS (SCGE) AND ELECTRIC SERVICE (SCE) WOULD BE LOCATED WITHIN THE SOUTHERN PORTION OF MURRIETA HOT SPRINGS ROAD TIGHT-OF-WAY, WITHIN A 14' PARKWAY. TRENCH WIDTH IS ANTICIPATED TO BE 18"-24" WITH 10' OF TEMPORARY CONSTRUCTION EASEMENT ON WITHER SIDE
-  EXISTING POWER POLES & OVERHEAD SCE LINE TO BE REMOVED
-  EXISTING UNDERGROUND (SCE) ELECTRICAL LINE
-  EXISTING 2" GAS LINE TO BE ABANDONED
-  EXISTING (SCGE) GAS LINE
-  EXISTING (VERIZON) TELEPHONE LINE



**VERIZON UTILITIES**

VERIZON WILL REQUIRE EXTENDING 2 - 4" CONDUITS ACROSS MURRIETA HOT SPRINGS ROAD TO THE WEST (MONROE AVENUE) AND EAST (HANCOCK AVE) ENTRANCE INTO THE PROJECT. 2 - 4" FROM MH 16 (HANCOCK AVE) AND 2 - 4" FROM MH 74 (MONROE AVENUE).

**GAS UNDERGROUND UTILITIES**

EXISTING GAS UNDERGROUND FACILITIES (LOCATED IN THE EXISTING MEDIAN NEAR THE SOUTH CURB) CONSIST OF A 2" PLASTIC GAS LINE.

EXISTING GAS UNDERGROUND LINE WILL BE REPLACED IN THE "NEW" PARKWAY (IN THE SAME TRENCH AS THE SCE STREET LIGHT RELOCATION) WHEN THE STREET WIDENING OF MURRIETA HOT SPRINGS ROAD IS COMPLETED. THE LINE WILL BE INCREASED FROM THE EXISTING 2" PLASTIC LINE TO A 4" PLASTIC LINE.

ESTIMATED GAS DEMAND IS:  
78,650 CUBIC FEET PER HOUR

**SCE UNDERGROUND UTILITIES**

EXISTING SCE UNDERGROUND STREET LIGHTS ON THE SOUTH SIDE OF MURRIETA HOT SPRINGS ROAD WILL BE RELOCATED TO FACILITATE THE WIDENING OF THE STREET. THIS RELOCATION WILL ALSO INCLUDE INCIDENTAL SCE FACILITIES SUCH AS HANDHOLES, CONDUITS, AND SERVICE TO OTHERS, SUCH AS CABLE TV.

SCE WILL REQUIRE THE EXTENSION OF 2 - 5" CONDUITS, FROM THE EXISTING VAULTS ON THE NORTH SIDE OF MURRIETA HOT SPRINGS ROAD, SOUTH ACROSS THE STREET TO FEED THE PROJECT. VAULT V5308389 AT MONROE AVENUE AND VAULT V5306390 AT HANCOCK AVE.

SOURCE OF SCE FEED WILL BE THROUGH EXISTING CONDUITS ORIGINATING AT THE INTERSECTION OF MADISON & MURRIETA HOT SPRINGS ROAD, CROSSING THE 15 FREEWAY IN EXISTING CONDUITS TO VAULTS V5308389 AND V5306390 AS DESCRIBED ABOVE.

COMCAST CABLE TV LINES WILL BE RELOCATED WITH THE SCE STREET LIGHTS TO FACILITATE THE MURRIETA HOT SPRINGS STREET WIDENING. (BOTH UTILITIES FACILITIES ARE IN JOINT TRENCH).

THE ESTIMATED ELECTRICAL LOAD FOR THE PROJECT IS:  
11,685 KVA WHICH IS EQUAL TO 651 AMPS ON SCE'S 12,000 KV PRIMARY SYSTEM.

NOTE: 651 AMPS EXCEEDS SCE'S CAPABILITY TO SERVE THE PROJECT WITH ONE 12,000 VOLT SUBSTATION ON THE PROJECT SITE. FURTHER ESTIMATES OF ACTUAL AMPERAGE LOAD WILL BE DETERMINED AT A LATER DATE ONCE ELECTRICAL EFFICIENCIES ARE KNOWN. THIS MAY ELIMINATE THE NEED FOR THE SUBSTATION.

**SCE OVERHEAD TRANSMISSION LINES**

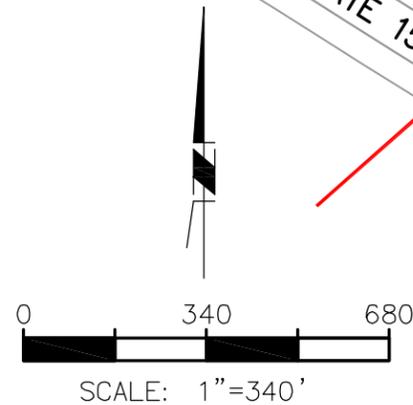
EXISTING SCE OVERHEAD FACILITIES ON MONROE AVENUE WILL BE CONVERTED TO UNDERGROUND AND THE OVERHEAD LINE REMOVED FROM MURRIETA HOT SPRINGS ROAD TO WALSH CENTER DRIVE.

EXISTING SCE OVERHEAD 12KV LINE FEEDING FROM ACROSS THE 15 FREEWAY TO THE INTERSECTION OF MURRIETA HOT SPRINGS ROAD AND MONROE AVENUE WILL BE REMOVED ONCE THE OVERHEAD LINE ON MONROE AVENUE HAS BEEN CONVERTED TO UNDERGROUND.

EXISTING SCE OVERHEAD LINE CROSSING THE 15 FREEWAY AT THE SOUTH END OF THE PROJECT WILL BE REMOVED ONCE THE PROJECT HAS BEEN DEVELOPED AND CAN PROVIDE A REPLACEMENT SOURCE OF ELECTRIC FOR THE CALTRANS SIGN AND SAFETY LIGHTING.

**NOTE:**

WIDTH OF HIGHLIGHTED AREAS IS NOT TO SCALE. IT IS FOR ILLUSTRATION PURPOSES ONLY



### **3.5 Solid Waste**

Regular trash pickup is provided by the City of Murrieta through contracted private services. Solid waste is sorted for hazardous waste and recyclable materials before being disposed of in the Riverside County Waste Management Department landfills.

### **3.6 Emergency Services**

The City of Murrieta maintains its own Police and Fire Departments to provide response in emergency situations. In addition to fire prevention and suppression, the Fire Department is responsible for emergency medical service, disaster preparedness coordination and hazardous materials management.

### **3.7 Circulation**

#### **3.7.1 Vehicular Circulation**

Regional access to The Triangle is provided by interstates 15 to the southwest and 215 to the southeast. The freeways have on and off ramps at Murrieta Hot Springs Road, at each end of the northerly property frontage. The freeway ramps are located approximately one-half mile apart, giving The Triangle excellent regional accessibility. Murrieta Hot Springs Road is designated as an augmented urban arterial with a right-of-way of 164' adjacent to The Triangle. Exhibit 3-6 depicts the existing and future sections for the road.

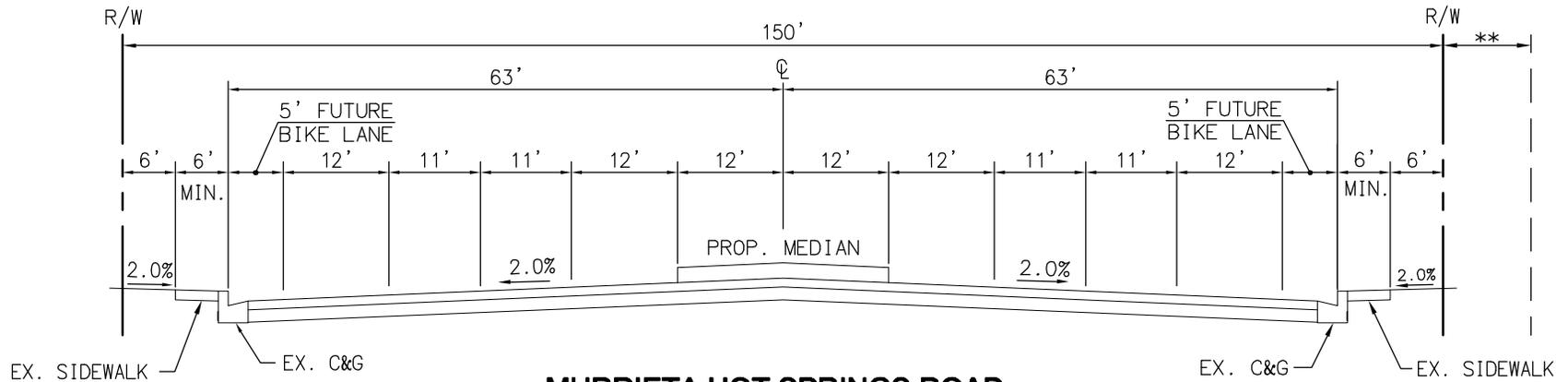
The proposed public sidewalk on the south side of Murrieta Hot Springs Road will meander beyond the right-of-way and into the landscape zone on private property within The Triangle. City Standard Number 102A for an Augmented Urban Arterial shows that the right-of-way for Murrieta Hot Springs Road extends 12' from the curb face and the public sidewalk is curb-adjacent. Exhibit 3-6 is consistent with this standard and notes that the sidewalk may be set off the curb and meander within the public right-of-way and the adjacent landscape easement area. This public access and maintenance easement will be granted to the City and will be of sufficient width to accommodate the sidewalk. The sidewalk will be adjacent to the curb at the following locations: the off ramps of I-15 and I-215, the Monroe and Hancock intersections, and the bus stop.

Monroe and Hancock avenues, located opposite the site on the north side of Murrieta Hot Springs Road, provide local access. Each of these local roads will extend southerly across Murrieta Hot Springs Road onto the property to form two new four-way, signalized intersections. These intersections are spaced approximately 860' apart, and

each is a minimum of 500' from the closest freeway ramps. These access points serve as the two primary entries to The Triangle. A third access point is located off Murrieta Hot Springs Road, approximately equidistant between Monroe and Hancock avenues, and is restricted to right turns both entering and exiting the property.

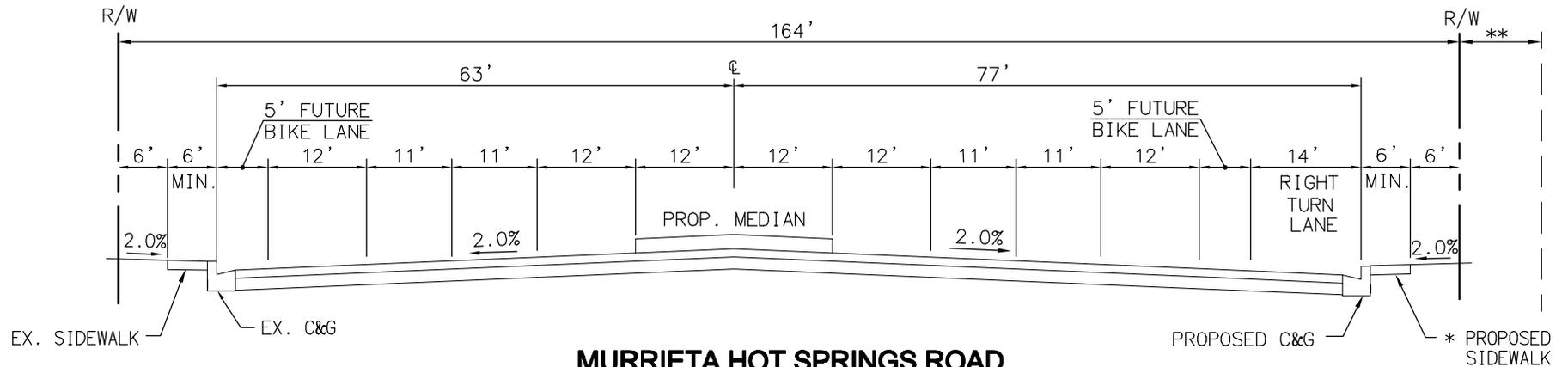
Hancock and Monroe avenues are major roadways with 100' planned rights-of-way. Hancock Avenue connects with Los Alamos Road to the north. Monroe Avenue is planned to connect to Los Alamos Road in the future. These connectors will enhance traffic progressions along Murrieta Hot Springs Road by making Los Alamos Road a secondary access from Interstate 215 into or out of The Triangle.

A detailed regional traffic analysis was prepared for The Triangle by Urban Crossroads (August 7, 2008), and is summarized within The Triangle Specific Plan EIR. That report identifies off-site roadway improvements that are required concurrent with development of The Triangle. Those requirements are documented in The Triangle Mitigation and Monitoring Reporting Program.



**MURRIETA HOT SPRINGS ROAD**

EXISTING TYPICAL SECTION  
CITY OF MURRIETA AUGMENTED URBAN  
ARTERIAL HIGHWAY STD. NO. 102 MOD.  
NOT TO SCALE



**MURRIETA HOT SPRINGS ROAD**

SECTION B-B  
WITH RIGHT TURN LANE  
TYPICAL SECTION  
CITY OF MURRIETA AUGMENTED URBAN  
ARTERIAL HIGHWAY STD. NO. 102 MOD.  
NOT TO SCALE

NOTE:

- \* SIDEWALK MAY BE SET OFF CURB AND MEANDERING WITHIN R/W AND ADJACENT LANDSCAPE EASEMENT AREA
- \*\* EASEMENT FOR MEANDERING OF SIDEWALK

Exhibit 3-6: Murrieta Hot Springs Road Typical Sections

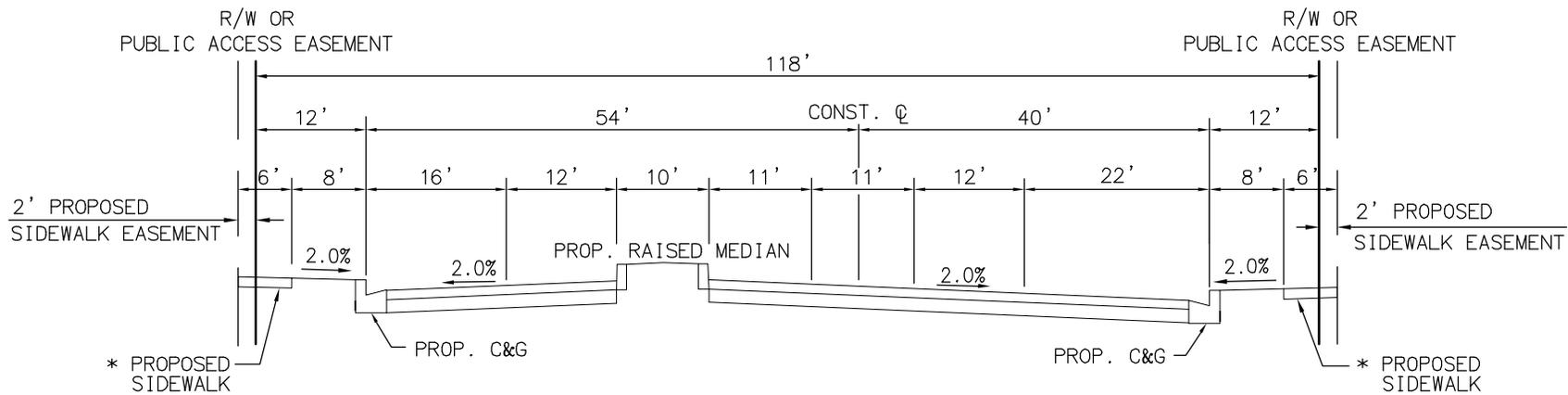
Lane geometry was also recommended in the traffic analysis for the Internal Connector Road at its intersections with Murrieta Hot Springs Road. Based on that analysis it is recommended that the Internal Connector Road at each of the primary project entries provide northbound dual left turn lanes, one right turn lane, and one or more through lanes crossing Murrieta Hot Springs Road. Due to existing constraints on Hancock Avenue, the southbound lanes entering the site opposite Hancock Avenue will be limited to one dedicated through lane and one shared through/right turn lane. Two southbound lanes will enter the site opposite Monroe Avenue. Typical cross sections are provided on Exhibit 3-7 for both the primary entries. In addition to the two primary access drives, a right-in and right-out secondary drive entry is proposed with a single lane in each direction.

Internal to the site it is necessary to provide through circulation connecting the primary entries to one another, forming either a loop road, as shown on the Planning Area Map, or a grid pattern of connections. This connecting road is referred to as the Internal Connector Road in the Specific Plan, and is also depicted on Exhibit 3-7. This schematic system provides a connected circulation system through the project site to provide access to all future uses within the property and to link the two primary access points.

This road may be dedicated to the City as a public street or may be a private road, with public access easements. Roadway easements internal to The Triangle were dedicated on Parcel Map Number 28280, recorded August 18, 2000. When the final alignment of the internal road is determined, and prior to or concurrent with submittal of a Development Plan for The Triangle, the existing roadway easements will be relocated to the final configuration. Existing non-conforming easements will need to be vacated and new roadway easements showing the proper alignment will be concurrently dedicated, either for public street purposes or for public access easements.

In addition to the Internal Connector Road, a series of secondary driveways are planned to connect fields of parking to the Internal Connector Road. The secondary drives will include one or two lanes in each direction, depending on the recommendations of an on site traffic analysis, with a 10' raised median. The on-site circulation system for The Triangle will be finalized prior to submittal of a Development Plan for City review.

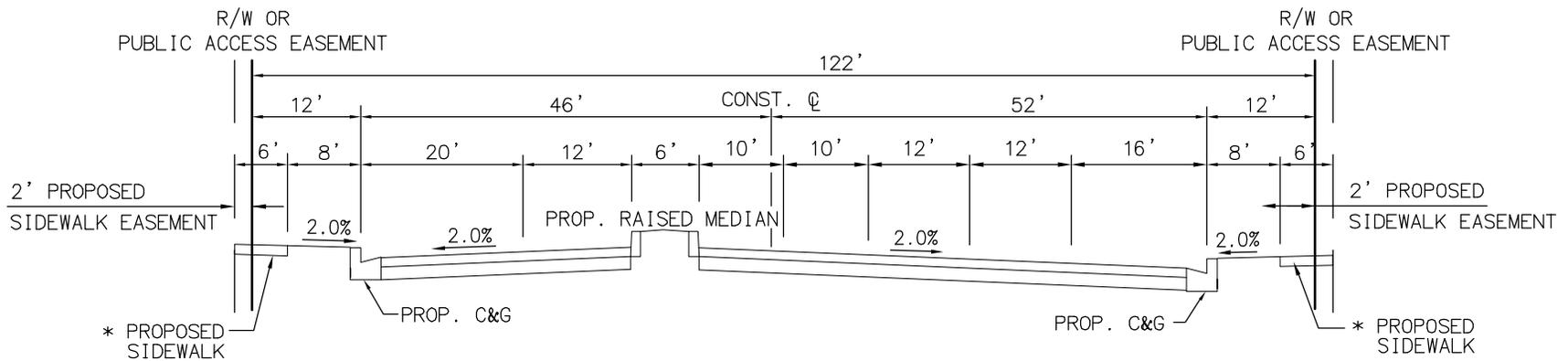
To serve fields of parking, drive aisles will be provided. These shall be designed in conformance with the requirements of the City of Murrieta Development Code Section 16.34.080. The on-site internal circulation roadways will be privately owned and maintained.



**INTERNAL CONNECTOR ROAD SOUTH OF MONROE AVENUE**

SECTION A-A  
AT PRIMARY ENTRANCE  
NOT TO SCALE

NOTE:  
\* SIDEWALK IS PARTIALLY OUTSIDE THE PUBLIC RIGHT OF WAY OR ACCESS EASEMENT. AN ADDITIONAL EASEMENT IS PROPOSED.



**INTERNAL CONNECTOR ROAD SOUTH OF HANCOCK AVENUE**

SECTION C-C  
AT PRIMARY ENTRANCE  
NOT TO SCALE

NOTE:  
\* SIDEWALK IS PARTIALLY OUTSIDE THE PUBLIC RIGHT OF WAY OR ACCESS EASEMENT. AN ADDITIONAL EASEMENT IS PROPOSED.

Exhibit 3-7: Internal Connector Road Typical Street Sections

Loading zones shall be provided for the buildings in addition to the parking established for each use. One loading space shall be provided for each 50,000 square feet of office use, one loading space for each 35,000 square feet of hotel space, and one loading space for each 20,000 square feet of retail, restaurant and entertainment use space. The design of these loading zones shall be according to the City of Murrieta Development Code Section 16.34.100.

Riverside Transit Agency (RTA) bus route #23 travels westbound on Murrieta Hot Springs Road. Anticipating future expansion of local transit service, a public transit stop with a bus turnout is planned on the south side of Murrieta Hot Springs Road just east of the Monroe Avenue intersection. This transit stop includes a seating bench and a passenger shade shelter.

### **Vehicular Circulation Development Standards**

1. Murrieta Hot Springs Road shall be improved as shown on The Triangle Project Traffic Impact Analysis prepared by Urban Crossroads (August 7, 2008).
2. All off site street improvements constructed as part of The Triangle Specific Plan will comply with the City of Murrieta street design and improvement standards.
3. The primary entry points along Murrieta Hot Springs Road shall be located opposite Monroe and Hancock Avenues. The existing signal at Hancock Avenue shall be upgraded to accommodate the additional southbound turning movement. A new signal will be installed at Monroe Avenue.
4. The Triangle site shall include an interior circulation connector road, referred to as the Internal Connector Road in the Specific Plan, whether laid out as a loop road as shown in the Specific Plan, or as a grid pattern, or with some other design, that connects the two primary entry points off Murrieta Hot Springs Road. This road shall be designed according to the standards required to both carry the volume of traffic and provide adequate access to each planning area as identified in an on-site traffic study for the ultimate Development Plan.
5. Along the Internal Connector Road, the first driveway intersection shall be located a minimum of 400' from Murrieta Hot Springs Road to provide adequate length for turn lanes and stacking distance internal to the site.
6. All on-site drives will be designed to meet City of Murrieta Fire Department and public safety standards.
7. Secondary entry drives shall be located a minimum of two hundred feet apart along the Internal Connector Road.
8. Secondary entry drives on opposite sides of the Internal Connector Road should be aligned to provide for safe pedestrian crossings and vehicular turning movements, or the drives will be restricted to right turning movements. Final driveway locations shall be reviewed as part of the Development Plan.
9. A Travel Demand Management Plan shall be prepared concurrently with the Development Plan to address strategies to reduce the number of vehicle trips to the site (also required in Section 2.9, Development Standards #4 of this Specific Plan).

10. The developer shall provide an easement to provide access to any public facilities located within The Triangle that are not served by a public road right-of-way.

### **3.7.2 Pedestrian Circulation**

A 6' meandering sidewalk along the southern side of Murrieta Hot Springs Road provides pedestrian access to the three project entries described above. Internal pedestrian circulation is provided throughout The Triangle by use of 6' sidewalks along the Internal Connector Road, 5' sidewalks along all secondary drives, and 5' pathways that connect all the Planning Areas and uses of The Triangle. Marked crosswalks will be provided at all street crossings to provide safe crossings of the Internal Connector Road, secondary drives and access to building entries. Mid-block crossings are prohibited on the Internal Connector Road. For a complete discussion of the design of these sidewalks and pathways, refer to Section 2.7, Landscape, in the Specific Plan.

#### **Pedestrian Circulation Development Standards**

1. The sidewalk along Murrieta Hot Springs Road will be a minimum of 6' in width and will meander through a landscaped parkway.
2. The sidewalk along the Internal Connector Road will be 6' in width.
3. Interior pedestrian walks along Secondary Drives and other connections between land uses will be developed at a minimum width of 5'.
4. Marked crosswalks will be provided in all instances where the internal pedestrian circulation system crosses the Internal Connector Road and Secondary Drives.
5. Parking fields will include marked pedestrian paths to ensure safe access from handicapped parking to building entries.
6. Clearly defined pedestrian access shall be provided from the transit/bus stop to primary building entrances.
7. All buildings shall provide a connection of the on-site pedestrian circulation system to the off-site public sidewalk along Murrieta Hot Springs Road or the Internal Connector Road.

### **3.7.3 Bicycle Circulation**

A bicycle lane is planned for Murrieta Hot Springs Road that will allow cyclists' access to The Triangle. To facilitate bicycle movement into and through the site, a 5' wide bicycle lane will be provided either as an on street lane on the Internal Connector Road or in a multi-purpose path along one side of the Internal Connector Road. The final design of the bicycle lane will be shown on the project's Development Plan.

## SECTION 4: ADMINISTRATION AND IMPLEMENTATION

The Triangle Specific Plan serves as the implementation tool for the General Plan and zoning for the property. The City shall enforce the provisions of this Specific Plan in the same manner that the City enforces the provisions of the Murrieta Development Code, Title 16 of the Municipal Code. The Triangle Design Guidelines are adopted by resolution.

The Triangle Specific Plan will be implemented and may be amended, revised or adjusted according to the procedures identified in this Section. These procedures have been developed to ensure consistency with the adopted Specific Plan, to encourage continuity in design and development of the property, and to promote the highest standards of site design. These revision and amendment procedures also allow for adaptation to special or supplementary development standards that may be necessary from time to time to implement The Triangle.

### 4.1 Administration

#### 4.1.1 General Requirements

Applications for Specific Plan amendments and revisions, Development Plan and Subdivision Map reviews, Administrative Alcohol Use Permits, Minor Conditional Use Permits, Conditional Use Permits, Administrative Development Plans, Minor Exceptions and Exceptions shall be evaluated in accordance with the procedures outlined in Sections 4.1 through 4.7, as applicable, in order to insure such applications are consistent with the Specific Plan goals contained within Section 1.3.2 of The Triangle Specific Plan.

The Specific Plan provides flexibility so that the plan can respond to prevailing market conditions so long as the maximum gross building area for the entire project is not exceeded. Revisions to Table 2-1, Uses Allowed in The Triangle, do not require an amendment to the Specific Plan, so long as they are consistent with the General Plan and intent of the Specific Plan, but may be reviewed under the Administrative Revisions process identified in Section 4.6.2, below. Uses prohibited in Table 2-1 may only be allowed by action of the City Council.

Proposed modifications and revisions that are in substantial conformance with the Specific Plan text and exhibits may be considered minor modifications and shall not require revision or amendment to the Specific Plan and General Plan. The Director shall have the authority to determine if the revision is minor in nature and in substantial conformance with the Specific Plan. In all cases, revisions or minor deviations must be found to be in substantial conformance with the issues, goals, and policies of the Specific Plan.

Administrative Permits and Minor Conditional Use Permits, may be appealed to the Planning Commission and the City Council.

Notice requirements for any hearing associated with the review of these permits shall be made pursuant to Government Code Section 65091. Notices for administrative permits, where notice is required, shall be mailed only to property owners within a radius of 50' around the project site, due to the existing consistency with the General Plan designation and the absence of sensitive adjacent uses.

Terms used in The Triangle Specific Plan, unless specifically defined herein, shall be as defined in the City Zoning Code. Where the word project is used in this section, it generally refers to the project that is the subject of the specific application under review at the time.

If the Specific Plan is silent on any subject the City Zoning Code and codes currently in effect shall govern, consistent with The Triangle Development Agreement. If there is a conflict between provisions contained within the Specific Plan and the City Zoning Code the Specific Plan shall govern.

#### **4.1.2 Interpretation by Community Development Director (“Director”)**

Although every effort has been made to include provisions in this Specific Plan that are clear, the necessity of interpreting such provisions in light of specific and unusual cases will occur from time to time. When such interpretations are necessary, the Director shall be responsible for the interpretation of the provisions of the Specific Plan, with right of appeal to the Planning Commission and City Council. The provisions of the Specific Plan shall be enforced as follows:

- (a) The Director shall be the City administrator responsible for enforcing the regulations, site development standards and procedures set forth in the Specific Plan.
- (b) The Director shall have the administrative authority for interpretation related to the enforcement of the Specific Plan.
- (c) In the event of any ambiguities or the interpretation of the provisions of the Specific Plan that can not be resolved through the provisions of this Specific Plan, the City’s General Plan, Zoning Ordinances, written guidelines and other rules, regulations and general City and State laws shall guide interpretation of this Specific Plan.

#### **4.2 Plan Review and Administration**

##### **4.2.1 Development Plan Review**

All new projects within the Triangle Specific Plan area shall be implemented through a Development Plan review process. A Development Plan shall be required for all new

development activity. Multiple Development Plans may be submitted as phases of The Triangle are developed. Renovation of existing spaces, interior improvements, the development of ancillary uses (such as an office mezzanine within an existing retail store) so long as the expansion is no more than five percent of the total square footage of the store, and general maintenance and repair or other construction activities that do not result in an intensification of the use do not require a Development Plan. These construction activities may be subject to other Building, Public Works and Fire Department permits and approvals prior to commencement.

Application to the City for a Development Plan shall include a narrative of the proposed activity along with preliminary development plans and drawings. The narrative shall consist of a project description identifying the intended services offered with square feet, hours and days of operation, number of employees, and other information as appropriate. Supplemental to the application submission, project plans shall be prepared including the following preliminary plans:

- site plan,
- floor plans,
- elevations,
- conceptual landscaping,
- conceptual grading,
- fencing,
- sign plan for the signs along the adjacent freeways and Murrieta Hot Springs Road,
- conceptual infrastructure plans. If the Development Plan is for a phase of The Triangle rather than the entire development, the plans must include sufficient information to demonstrate how that phase connects to previous and future phases and adequately supports the subject phase,
- conceptual lighting plan.

Additional plans may be required by the Director, depending on the complexity of the project. The entire parcel shall be plotted with dimensions and all pertinent data and include dimensions to the nearest intersecting public street and identify all street names. In addition, all existing and proposed physical features and structures on the subject property and abutting properties shall be plotted. The application shall also include a legal description of the property, identification of the uses for each room on the floor plans and a list of all the building materials and exterior colors.

The Director has the authority to approve, conditionally approve, or deny a Development Plan with written notification to City staff and decision-makers according to City staff's typical notification process. A Development Plan application may also require analysis and comments from various departments of the City. In order to approve a Development Plan application, the Director shall make the findings consistent with Section 16.56.040 of the City's Development Code.

The action of the Director shall be final unless appealed to the Planning Commission within ten calendar days of written notification by the Director. Such Appeals for a Development Plan shall be subject to the procedures outlined in Section 16.78 of the City's Development Code.

A Development Plan approval shall be valid for a period of three years. One additional three year extension may be requested, for a maximum of six years. Such extension requests must be made in writing by the original applicant, property owners, and/or authorized designee, a minimum of thirty days prior the expiration of the current approval. If construction activity does not commence within the approval or extension period, the entitlement shall be terminated. All final decisions on Development Plan extensions shall be made by the Director, subject to appeal, as stated above.

#### **4.2.2 Subdivision Maps**

The Triangle may be subdivided through a Tentative Tract and/or Parcel Map process. These maps shall identify the infrastructure and improvements necessary to support the anticipated projects, subject to review by the City's Public Works and Fire Departments.

Upon recordation, Maps may be further divided and/or adjusted by filing a subsequent Tentative Tract or Parcel Map or a Lot Line Adjustment, pursuant to the provisions of Article V of the City's Development Code. A Tentative and Parcel Map may be approved, or conditionally approved by the Director and the City Engineer, providing the proposal is found to be in compliance with the Specific Plan.

The action by the Director shall be final unless appealed to the Planning Commission within ten calendar days of written notification by the Director.

#### **4.3 Permits, Approvals, and Exceptions**

##### **4.3.1 Alcoholic Beverage Sale Permits**

All alcohol use permits granted in the Triangle shall expire when one of the following conditions arises:

1. There is a transfer of ownership of the business;
2. The business moves to a new location;
3. There is a change in the nature of the business.

The following activities are exempt from the requirements of this Section:

1. Any “special event” for which a permit has been issued by the city, provided that the application information for the special event indicates that the sale and /or service alcoholic beverages will occur.
2. Any social gathering within a business that is not required to be licensed for alcohol sales or services in accordance with the California Alcoholic Beverage Control Act.

All alcohol sales are governed by the general and specific use regulations included within Section 4.2.3.

#### **4.3.1.1 Administrative Alcohol Use Permits**

An Administrative Alcohol Sales Use Permit shall be granted by the Director for alcoholic beverage sales as an accessory use for the uses listed in Section 2.3.3.1 of this Specific Plan. If a business that otherwise could receive an Administrative Alcohol Use Permit requests a waiver, exception or substantial modification from one or more of the use regulations in this section, then a Minor Conditional Use Permit shall be required. Administrative Alcohol Use Permits shall be processed in accordance with Murrieta Development Code Sections 16.44.030 unless otherwise set forth in this Specific Plan.

#### **4.3.1.2 Minor Conditional Use Permit**

A Minor Conditional Use Permit is required for any alcoholic beverage sales uses listed below. The Minor Conditional Use Permit application shall be submitted and reviewed in accordance with Chapter 16.52 of the City of Murrieta Development Code. If a business listed in Section 2.3.3.2 requests a waiver, exception or substantial modification from one or more of the use regulations in Section 2.3.3.3, then a Conditional Use Permit shall be required.

- (a) Application and Fees. Applications and fees shall be consistent with Sections 16.48 of the Murrieta Development Code.
- (b) Issuance. The application shall be deemed complete within fifteen (15) days of filing, unless the Director notifies the applicant in writing specifying the reasons why the application is incomplete. The Director or his or her designee shall review a complete application and shall hold a Director’s hearing to consider the Minor Conditional Use Permit within thirty (30) days after the application is deemed complete, subject only to the following findings:
  - (1) The proposed use is consistent with the General Plan;

- (2) The proposed use and application is consistent with the Triangle Specific Plan; and
  - (3) The establishment and operation of the proposed use at the location proposed will not endanger or constitute a menace to the public health or safety of persons residing or working within or in the immediate vicinity of the Specific Plan site
  - (4) If a Finding of Public Convenience and Necessity is required by ABC regulations, the findings required by Section 16.44.030 of the City Development Code shall also be required.
- (c) Time Extension. The Director may extend the time within which the determination shall be made, not to exceed an additional 30 days with good cause.
- (d) Decision. The decision of the Director shall become final ten (10) days following the date of the Director’s hearing unless an appeal to the Planning Commission is filed as provided in Chapter 16.76 of the Murrieta Development Code, and processed according to the provisions specified therein. Public notice in connection with any appeal shall be provided in the same manner set forth in Section 16.76.020 of the Murrieta Development Code.

#### **4.3.2 Conditional Use Permits**

The intent of this section is to recognize that certain uses, although suitable for inclusion in the list of uses allowable in The Triangle, are not always appropriate in every location and circumstance due to their particular characteristics, nature, intensity or size. Conditional Use Permits shall be processed in accordance with the Murrieta Development Code Section 16.52.

#### **4.3.3 Administrative Development Plan**

Precise plans for interior on-building and freestanding signs, landscaping, and lighting shall be reviewed through the Administrative Development Plan process identified in the Murrieta Development Code Section 16.56. No hearing shall be required for review and approval of these plans.

## 4.4 Land Use Exceptions

### 4.4.1 Applicability

Variations from the standards and land use regulations of the Specific Plan may be permitted as either Minor Exceptions or Exceptions. Minor Exceptions shall include (i) requests for a 10% or less adjustment to quantifiable or measurable development standards contained in the Specific Plan; and (ii) requests that are not readily quantifiable or measurable, which the Director in his or her discretion determines are minor in nature. Examples of minor exceptions that are not quantifiable include things such as extra parking demand generated by short term special events or closing off portions of parking lots or open spaces to accommodate special events defined as “incidental activities” in Table 2-1 of this Specific Plan. All other requests for variations shall be processed as Exceptions. In granting any Minor Exception or Exception, the Director may impose conditions to safeguard and protect the public health, safety and promote the general welfare, and to ensure that the development so authorized is in accordance with approved plans and is consistent with the Specific Plan's objectives.

### 4.4.2 Minor Exceptions

- (a) The Director or his/her designee may approve a Minor Exception to the standards and land uses described herein provided the Director conducts appropriate review under CEQA, if required, and makes the following findings:
  - (1) The granting of the Minor Exception will result in design improvements, or there are space or other restrictions on the site that preclude full compliance with Specific Plan requirements without hardship;
  - (2) The granting of the Minor Exception, with any conditions imposed, will not be materially detrimental to the public welfare or injurious to the property or improvements in the Specific Plan area; and
  - (3) The granting of the Minor Exception will not be contrary to the objectives of the Specific Plan.
- (b) Director Review of Minor Exception.
  - (1) An application for a Minor Exception shall be made on forms as prescribed by the Director. The Director or his or her designee shall review a complete application for compliance with the provisions of the Specific Plan. The application shall be deemed complete within thirty (30) days of filing, unless the Director notifies the applicant in writing specifying the reasons why the application is incomplete.

- (2) Notices for Minor Exceptions, where notice is required, shall be mailed only to property owners within a radius of 50' around The Triangle, due to the existing consistency with the General Plan designation and the absence of sensitive adjacent uses.
- (3) The Director shall render a decision within thirty (30) days after the application is deemed complete. The Director may extend the time within which the determination shall be made, not to exceed an additional sixty (60) days, with good cause and with written concurrence from the applicant.
- (4) The decision of the Director shall become final ten (10) days following the date of the decision unless an appeal to the Planning Commission is filed as provided in Chapter 16.76, and processed according to the provisions specified therein.

The following minor exceptions may be granted:

- a) A decrease of not more than ten percent of any building setback.
- b) An increase of not more than ten percent of the permitted height of a building, so long as the building heights identified in Table 2-9, Building Heights, is not exceeded.
- c) A decrease of not more than ten percent of any landscape setback, except that no setback along Murrieta Hot Springs Road or the segment of the Internal Connector Road between Murrieta Hot Springs Road and the first intersecting driveway may be reduced.
- d) An increase of not more than fifteen percent of the gross square footage of a tenant sign as allowed by the City's Code or an approved Sign Program to accommodate irregular lettering, logos, or prototypical elements.
- e) Allowance for architectural building features to project not more than five feet into the setback, such as patio covers, shade trellises, awnings, and similar features.
- f) The use of different architectural development standards to respond more appropriately to mixed use buildings as described in section 2.5.1 of this Specific Plan. For example, if office uses are proposed above retail space, even though the office uses comprise the majority of square footage in the building, the applicant might request application of retail architectural criteria to achieve design goals.

#### 4.4.3 Exceptions

- (a) The Director or his/her designee may approve Exceptions to the standards and land uses described herein provided the Director conducts appropriate review under CEQA and makes the following findings:
- (1) That the strict application of the provisions of the Specific Plan would preclude the successful implementation of the general provisions, goals or intent of the Specific Plan;
  - (2) That there are circumstances related to the proposed use of the property that do not generally affect property within the Specific Plan area;
  - (3) That the granting of the Exception will not be materially detrimental to public health, safety, and welfare or injurious to property within or adjacent to the Specific Plan area; and
  - (4) The granting of the Exception will not be contrary to the objectives of the Specific Plan.
- (b) Director Review of Exception.
- (1) An application for an Exception shall be made on forms as prescribed by the Director. The Director or his or her designee shall review a complete application for compliance with the provisions of the Specific Plan. The application shall be deemed complete within thirty (30) days of filing, unless the Director notifies the applicant in writing specifying the reasons why the application is incomplete.
  - (2) Upon deeming the application complete, the Director shall provide notice of the application to owners of properties within a 50' radius of the property. The Director may not render a decision on the application until later than ten (10) days after providing such notice.
  - (3) The Director may require a public hearing for the application if the Director finds that the application may have a significant affect on properties within, adjoining, abutting or located across the street from the Specific Plan area and may evoke public controversy. If the Director conducts a public hearing, public notice shall be provided as set forth in Development Code Section 16.76.
  - (4) Whether or not the Director conducts a public hearing, the Director shall render a decision within sixty (60) days after the application is deemed complete. The

Director may extend the time within which the determination shall be made, not to exceed an additional sixty (60) days, with good cause and with written concurrence from the applicant.

- (5) The decision of the Director shall become final ten (10) days following the date of the decision unless an appeal to the Planning Commission is filed as provided in Development Code Section 16.76.020, and processed according to the provisions specified therein. Public notice in connection with any appeal shall be provided in the same manner set forth in Section 16.76.020.

## **4.5 Duration of Permits and Exceptions**

### **4.5.1 Termination**

Every right or privilege authorized by an Administrative Alcohol Use Permit, Minor Conditional Use Permit, Minor Exception, Exception or Conditional Use Permit shall terminate two (2) years after the granting of such approval unless the exercise of such right or privilege has commenced in good faith prior to such time, except as otherwise provided in this section.

### **4.5.2 Cessation**

Such rights and privileges shall also terminate upon any interruption or cessation of the use permitted by any Minor Exception, Exception or Conditional Use Permit for one year or more in the continuous exercise in good faith of such right or privilege, as such one year period is extended applicable to force majeure, remodeling, casualty, destruction or moratorium.

Administrative Alcohol Use Permits and Minor Conditional Use Permits shall cease per Section 4.3.1 of this Specific Plan.

### **4.5.3 Extension**

The Director may extend the time within which the right or privilege granted under any Administrative Alcohol Use Permit, Minor Conditional Use Permit, Minor Exception, Exception or Alcohol Conditional Use Permit must be exercised for one (1) additional year upon receipt of a written request from the applicant prior to expiration of the permit or exception. In granting such extension the Director shall review the request according to the City's normal review process and make a written finding that neighborhood conditions have not substantially changed since the granting of the permit or exception.

#### **4.5.4 Revocation**

If the conditions of this Specific Plan or applicable provisions of the Municipal Code have not been complied with, the City may give notice to the property owner or lessee of the real property affected to appear at a time and place fixed by the City and show cause why any Administrative Alcohol Use Permit, Minor Conditional Use Permit, Conditional Use Permit, Minor Exception, or Exception issued pursuant to this Specific Plan should not be modified, discontinued or revoked. These proceedings shall be in accordance with the City's Development Code.

#### **4.6 Specific Plan Revisions and Amendments**

##### **4.6.1 Specific Plan Amendments**

The procedures for amending The Triangle Specific Plan shall be the same as used to initially adopt the Specific Plan, and shall be consistent with Section 16.66 of the Murrieta Development Code.

##### **4.6.2 Administrative Revisions**

Minor revisions to the Specific Plan that serve to implement the intent of the Specific Plan are permitted through the administrative revision process. This section grants authority to the Director or designee to administratively act on requests for minor revisions in the implementation of the Specific Plan. It is the intent of the procedures in this section that any subsequent development proposal or addition to existing development in substantial conformance with the approved Specific Plan as determined by the Director shall not require an amendment to the Specific Plan.

The administrative revision process serves the public in that it will minimize City staff and City Council time spent on minor technical refinements. These procedures set criteria that will clearly distinguish administrative revisions from Specific Plan amendments.

The following minor revisions are permissible through the administrative revision process.

- (1) Changes in the acreage of a Planning Area from that established through a Development Plan Permit. These changes in acreage may result from final road alignments, final site design, establishment of final slope configurations at property boundaries, or similar design decisions. These changes in acreage are not meant to provide for significant changes to the land uses proposed.

- (2) An increase or decrease in the Gross Building Area for any category of land use identified on Table 2-3, Gross Building Area by Land Use Category, so long as the maximum gross building area for The Triangle of 1,767,914 square feet is not exceeded.
- (3) Establishment of a final roadway configuration, both alignment and width, for the Internal Connector Road, so long as that configuration links the primary entries and provides adequate connections through the site.
- (4) Modification of any design element in this Specific Plan that improves circulation, reduces grading, improves drainage, or improves the provision of other infrastructure.
- (5) Changes or modifications required to encourage or insure The Triangle is operated, maintained, or developed in a first class condition and as may be required due to technological advancements and evolving community standards.
- (6) Changes in project phasing that do not create any new significant environmental impact and are consistent with the intent of the Specific Plan EIR mitigation measures and do not materially alter the primary circulation or loop road.
- (7) Other minor revisions of similar scope and scale determined by the Director to meet the intent of this Section.

The Director may at his/her discretion refer any matter to the Planning Commission for a decision.

#### **4.6.3 Reuse or Change of Use**

Any proposal to reuse and/or change the use of a previously approved and constructed development, within The Triangle area, will be subject to additional review by the Planning Department. The additional review will follow the same procedures outlined in the Development Plan review process in Section 4.2.1. A “like for like” change of use shall only be subject to the requirements for a new certificate of occupancy; however any new construction beyond that shall require a new Development Plan review. In addition any proposed physical alterations to the existing structure and/or site shall be subject to additional review and approval of the Director prior to the issuance of building permits. Any decision by the Community Development Department may be appealed within ten calendar days to the Planning Commission.

#### **4.6.4 Environmental Determination**

The development standards of all anticipated development activity for The Triangle have been identified in the Specific Plan. Development requests shall be subject to environmental review as mandated by the California Environmental Quality Act (CEQA). The Director shall impose any applicable environmental mitigation measures, as specified in the environmental analysis, as conditions of approval on individual site plan reviews. Such conditions of approval shall describe the time period and manner in which the mitigation measure must be satisfied.

#### **4.6.5 Severability**

If any section, subsection, sentence, clause, phrase, or portion of this title, or any future amendments or additions hereto, is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this title, or any future amendments or additions hereto. The City hereby declares that it would have adopted these titles and each sentence, subsection, clause, phrase, or portion or any future amendments or additions thereto, irrespective of the fact that any one or more sections, subsections, clauses, phrases, portions or any future amendments or additions thereto may be declared invalid or unconstitutional.

### **4.7 Implementation**

#### **4.7.1 Phasing Plan**

It is anticipated that The Triangle will be developed in phases, as described in the table below. The development phasing will be planned as market conditions dictate and will be reviewed and approved by the City of Murrieta as part of the subsequent Development Plan approval process. The phasing will remain consistent and in compliance with The Triangle Specific Plan EIR and Mitigation and Monitoring Reporting Program.

If The Triangle is developed in phases, additional improvements outside the boundary of that phase may be necessary to serve the phase, depending on its size and location. Each phase must identify how it relates to the master infrastructure plan and demonstrate that it does not conflict with future phases of development or the master infrastructure plan (i.e., drainage facilities, utilities, Internal Connector Road, etc.).

Actual implementation of the development phases may change, overlap or coincide, depending on market conditions at the time of construction. The square footage listed does not equal the maximum allowable amount for certain land use categories, and may be revised in the future, subject to additional environmental analysis as is determined necessary by the City.

**Table 4-1 The Triangle Phasing**

Phase	Land Use	Amount (in Square Feet)
Phase 1A	High Turnover Sit-down Restaurant	49,392
Phase 1B	Commercial Retail	184,486
	Office	48,000
	Movie Theater	74,660
	High turnover Sit-down Restaurant	25,730
Phase 1C	Commercial Retail	155,228
Phase 2	Commercial Retail	99,060
	Office	482,000
	Hotel	220 rooms/148,000
Phase 3	Commercial Retail	202,140
	Office	249,082
	High-turnover Sit-down Restaurant	50,136
<b>Total</b>		<b>1,767,914</b>

Because the location of each phase is not known, the phasing of infrastructure to support each phase cannot be illustrated. Mass grading for the site may be accomplished in one phase. It is possible that finish grading for individual phases or building pads will occur in multiple phases. The Development Plan or Plans for The Triangle shall illustrate how the grading shall be accomplished so as to allow the uninterrupted functioning of any previous phase during grading of subsequent phases.

The Development Plan or Plans shall also illustrate the road network required to support each phase. Construction of individual roadways may be phased so long as an adequate number of lanes is provided to accommodate the traffic generated by that and any prior phase, and adequate stacking depth is provided at all entries and exits. Roadway plans shall include a minimum of two points of vehicular access for each phase, one of which may be for emergency vehicles only for the first phase if approved by the Fire Department. If a phase is not located adjacent to a public road, adequate public access easements must be recorded prior to occupancy of the phase.

The Development Plan or Plans shall illustrate the means by which adequate drainage, water quality management and utility services are provided to support the phase proposed without creating conflicts with master infrastructure plans or future phases. Water quality treatment, drainage and utility infrastructure services may be constructed in phases, subject to the approval of the City Engineer.

Each phase shall be landscaped. Any phase adjacent to Murrieta Hot Springs Road shall complete the landscape improvements adjacent to its street frontage as illustrated in this Specific Plan. Any phase adjacent to the Internal Connector Road shall complete the landscape improvements adjacent to its street frontage as illustrated in this Specific Plan. If roadway construction is being phased such that permanent improvements are not feasible, a minimum six foot wide landscape parkway adjacent to each side of the drive or roadway, or as otherwise approved by the City Engineer, shall be provided adjacent to roadways or drives leading to interior improvements. This will create landscaped “edges” along drives leading to development phases during any interim condition.

#### **4.7.2 Financing Mechanisms**

In order for The Triangle to be fiscally self-sufficient, the following financing options can be considered for implementation.

##### **Facilities and Services:**

- Private capital investment for the construction of facilities
- Public facilities funding district, including creation of a new Community Facilities District to cover the entire site.

##### **Operation and Maintenance:**

- Private property owner funding
- Property Owners Association
- Public facilities funding district
- Eastern Municipal Water District (water and sewer facilities as described in Section III)
- City of Murrieta (Public roads and storm drain facilities as described in Section III)

City Council approval is required for the implementation of any public facilities funding district. The use of special districts to finance public facilities and services is at the City’s sole discretion.

