

SPECIFIC PLAN No. 235

RANCON BUSINESS CENTER

ADOPTED BY THE RIVERSIDE COUNTY

BOARD OF SUPERVISORS 2-20-90 & 10-16-90
DATE

RESOLUTION NO. 90-470



AMENDMENTS

AMENDMENT NO.	DATE ADOPTED	RESOLUTION NO.	SUMMARY OF REVISIONS
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SUBSTANTIAL CONFORMANCE DETERMINATIONS

<u>REQUEST NO.</u>	<u>DATE OF ACTION</u>
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SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

5218



FROM: Planning Department SUBMITTAL DATE: October 10, 1990
SUBJECT: Resolution 90-470 Amended

RECOMMENDED MOTION:

ADOPT Resolution 90-470 (Amended) Approving Specific Plan No.
235 (Rancon Business Center).

Ron Goldman, Chief Deputy Director

RG:lt

REVIEWED BY ADMINISTRATIVE OFFICE

DATE: 10/17/90 *GR*

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Dunlap, seconded by Supervisor Cenicerros and duly carried by unanimous vote, IT WAS ORDERED that the above matter is approved as recommended.

Ayes: Younglove, Cenicerros, Dunlap, Larson and Abraham
Noes: None
Absent: None
Date: October 16, 1990
xc: Planning, Co.Co.

Gerald A. Maloney
Clerk of the Board
By: *Margaret Romano*
Deputy

Prev. Agn. ref.

Depts. Comments

Dist.

AGENDA NO.

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RESOLUTION NO. 90-470 AMENDED
ADOPTING
SPECIFIC PLAN NO. 235
(Rancon Business Center)

WHEREAS, pursuant to the provisions of Government Code Section 65450 et seq., a public hearing was held before the Riverside County Board of Supervisors in Riverside, California on February 20, 1990, to consider Specific Plan No. 235 (Rancon Business Center); and,

WHEREAS, all the procedures of the California Environmental Quality Act and the Riverside County Rules to Implement the Act have been met, and Environmental Impact Report (EIR) No. 250, prepared in connection with the Specific Plan, is sufficiently detailed so that all the potentially significant effects of the project on the environment and measures necessary to avoid or substantially lessen such effects have been evaluated in accordance with the above-referenced Act and Rules; and,

WHEREAS, the matter was discussed fully with testimony and documentation presented by the public and affected government agencies; now, therefore,

BE IT RESOLVED, FOUND, DETERMINED, AND ORDERED by the Board of Supervisors of the County of Riverside, in regular session assembled on August 28, 1990, that the following potentially significant environmental impacts are associated with the proposed specific plan, and each of the impacts will be avoided or substantially lessened by the mitigation measures hereinafter identified:

The foregoing is certified to be a true copy of a resolution duly adopted by said Board of Supervisors on the date therein set forth.

GERALD A. MALONEY, Clerk of said Board

By _____, Deputy

WASHER
COUNSEL
OCT 5 1990
BY *K. Kish*

10/16/90 3.40

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A. Seismic Safety

1. Impact:

The active Murrieta Creek Fault was found on site. Additionally, the site has a high potential for liquefaction and surface fissuring and ground subsidence from the fault. Dam failure at Lake Skinner could produce flooding along Murrieta Creek and Warm Springs Creek.

2. Mitigation:

Compliance with the latest Uniform Building Code and County Ordinances will satisfactorily mitigate the effects of seismic ground shaking on structures. Potential for on-site flooding, liquefaction and ground fissuring will be investigated by a civil engineer prior to further development approvals, and all mitigation measures identified by the civil engineer will be incorporated into such approvals.

B. Slopes and Erosion

1. Impact:

Project implementation will permanently alter existing landforms through site grading. Slope alteration will cause minor changes in site drainage pattern and expose soils to erosion.

2. Mitigation:

Compliance with County Ordinance No.

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457, which specifies such measures as watering and temporary ground cover, will mitigate grading and erosion impacts. Furthermore, slopes exceeding 25 percent will be left as natural open space in the specific plan.

C. Flooding

1. Impact:

Murrieta and Warm Springs Creek cross the project site. Development of the site will result in increased runoff due to the creation of impervious surfaces. The construction of streets, closed conduits, and open channels will concentrate runoff at their discharge points.

2. Mitigation:

A master drainage plan has been developed and will be implemented to respond to the hydrological constraints of the site. Erosion control devices will be utilized to mitigate the effect of increased runoff at points of discharge.

D. Water Quality

1. Impact:

Implementation of the Rancon Business Center will alter the composition of surface runoff because site surfaces will be graded; because impervious

1 surfaces such as roofs and parking
2 facilities will be constructed; and
3 because landscaped areas will be
4 irrigated. Runoff entering the storm
5 system, and ultimately Warm Springs and
6 Murrieta Creeks, will contain minor
7 amounts of pollutants typical of urban
8 use.

9 2. Mitigation:

10 In accordance with the requirements of
11 the Riverside County Flood Control and
12 Water Conservation District, the project
13 will employ erosion control devices
14 during grading, such as temporary berms,
15 culverts, sandbagging or desilting
16 basins. Urban runoff will be mitigated
17 through the implementation of a street
18 cleaning program.

19 E. Historic and Prehistoric Resources

20 1. Impact:

21 Implementation of the Rancon Business
22 Center Specific Plan will result in
23 ground disturbance to the property;
24 however, the site possesses a low
25 potential for cultural resources. One
26 cultural resource site is located on the
27 property.

28 2. Mitigation:

The cultural resources site may
potentially contain subsurface cultural

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deposits. Proper measures, including
the use of auger probes, will be taken
to determine if the area contains
cultural resources not detectable on the
surface. If these probes yield cultural
remains, a program to determine the
extent and nature of the cultural
deposits will be implemented and all
mitigation measures identified as a
result of that program will be
incorporated into future development
approvals.

13 F. Fire Protection

14 1. Impact:

The Rancon Business Center Specific Plan
is considered Category II Urban
Development, and will be subject to
Category II requirements with regard to
fire protection services.

18 2. Mitigation:

19 The developer will be required to
20 participate in the fire protection
21 impact mitigation program as approved by
22 the County Board of Supervisors and to
23 provide fire protection services to the
24 satisfaction of the Murrieta Fire
Protection District.

25 G. Parks and Recreation

26 1. Impact:

27 The Rancon Business Center Specific Plan

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will indirectly create a demand for parks and recreation facilities.

2. Mitigation:

Additional park acres or payment-in-lieu fees will be required to satisfy County recreational needs at the development stage.

H. Water and Sewer

1. Impact:

The project will have an average daily consumption of domestic water of .79 mgd. Sewage treatment will be provided by the Rancho California Water District and the Eastern Municipal Water District.

2. Mitigation:

A master sewer plan and a master water plan have been prepared and will be implemented. Eastern Municipal Water District and Rancho California Water District have both indicated an ability to serve the project for sewer and water, respectively.

I. Energy

1. Impact:

The project will increase the consumption of energy for motor vehicle movement, space and water heating, air conditioning, use of home appliances, and operation of construction equipment.

2. Mitigation:

The project will adhere to State Code

1 Title 24 energy conservation standards
2 and will employ site design, when
3 possible, for additional energy
4 conservation. Non-vehicular pathways
5 are included within and adjacent to the
6 project site. Residential areas are
7 located in Rancho California which will
8 provide an ample supply of prospective
9 employees.

10 J. Utilities

11 1. Impact: The project will create a demand for the
12 provision of electricity, natural gas,
13 and telephone services to the site.

14 2. Mitigation: The project developer will provide the
15 utility companies with detailed project
16 plans and phasing. Lines for electrical
17 and telephone services, and mains for
18 natural gas are located along the
19 project boundaries.

20 K. Sheriff

21 1. Impact: The project will impose increased
22 demands on law enforcement and sheriff
23 services.

24 2. Mitigation: Project design will incorporate
25 appropriate lighting, site design,
26 security hardware and such design
27 features as will promote optimal
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1 security. The developer will pay
2 mitigation fees as required by the Board
3 of Supervisors.

4 L. Solid Waste

5 1. Impact: The project will generate additional
6 amounts of solid waste, incrementally
7 shortening the life of County landfill
8 sites.

9 2. Mitigation: The County Solid Waste Management Plan
10 includes programs for reducing the
11 quantity of wastes being landfilled
12 including source reduction, and business
13 and residential separation of
14 recoverables. These programs may be
15 implemented by project businesses.

16 BE IT FURTHER RESOLVED by the Board of Supervisors that the
17 following impacts associated with Specific Plan No. 235 cannot be
18 fully mitigated despite inclusion of the following mitigation
19 measures, and a statement of overriding findings is therefore
20 included herein:

21 Air Quality

22 1. Impact: Because most of the project-related air
23 pollution emissions are generated by
24 automobiles, effective mitigation is
25 limited. At project build-out, daily
26 motor vehicle emissions for the project
27 will total approximately 4660 lbs/day.

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Power plant emissions for electrical energy consumed on site will total approximately 213 lbs/day. Natural gas emissions for project consumption will total 57 lbs/day. Approximately 100 lbs of dust per acre will be generated each day of construction in addition to an undetermined amount of motor emissions during site preparation and construction.

2. Mitigation:

The on-site provision for business has been incorporated into the project design. This project contains sufficient acreage earmarked for industrial use in the Rancho California/Temecula area to provide employment opportunities. Project design includes a circulation plan designed for efficient and direct traffic flows and alternative transit modes including pedestrian, equestrian and bicycle trails. Particulate matter and other pollutants generated during grading and construction will be reduced through compliance with County Ordinance No. 457 which specifies watering during construction, and planting of ground

cover.

1 Traffic and Circulation

2 1. Impact:

3 Proposed traffic volumes for both pre
4 and post project conditions would exceed
5 level of service "C" on several roadway
6 segments in the project area. The
7 Jefferson Avenue/Winchester Road
8 intersection, the northbound Interstate
9 15 ramp/Winchester Road intersection
10 will operate at level of service "D".

11 2. Mitigation:

12 On-site mitigation measures will
13 include: construction of Date Street
14 between Washington Avenue and Adams
15 Avenue; construction of Washington
16 Avenue from its present terminus at Elm
17 Street to Cherry Street; construction of
18 Elm Street, Cherry Street and Adams
19 Avenue; provision of four lanes on Date
20 Street between Diaz Road/Washington
21 Avenue and Adams Avenue; and Diaz
22 Road/Washington Avenue between Elm
23 Street and Cherry Street (with the
24 understanding that Diaz Road/Washington
25 Avenue shall be a 110 foot R.O.W. North
26 of Rancon Business Center and transition
27 to a 100 foot R.O.W. South of Rancon
28 Business Center); provision of two lanes

1 on the remaining on-site portion of Date
2 Street, four lanes on Adams Avenue
3 between the Northern boundary site of
4 the project and Cherry Street including
5 the bridge over Warm Springs Creek; and
6 signalization of the intersection of
7 Date Street and Adams Avenue and the
8 intersection of Date Street and
9 Washington Avenue. Off-site mitigation
10 will include: extension of Date Street
11 from Jefferson Avenue to Adams Avenue;
12 the improvement of existing segments of
13 Adams Avenue and Washington Avenue
14 northwesterly for 1/4 mile.
15 Furthermore, the applicant is required
16 to contribute 35% of the cost of an
17 overpass at Date Street and Interstate
18 15 to compensate for its pro rata share
19 of off-site traffic. Also, the
20 applicant in conjunction with the
21 Transportation Department is pursuing
22 with the appropriate governmental
23 agencies the construction of a full
24 interchange at Date Street and
25 Interstate 15.

26 BE IT FURTHER RESOLVED by the Board of Supervisors that it
27 has evaluated the Traffic and Circulation mitigation measure which
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1 calls for construction of a six lane section on Date Street from
2 Jefferson Avenue to I-15 and has rejected that mitigation measure
3 for this project as infeasible for the following reasons: Previous
4 projects approved by the County of Riverside were not required to
5 provide right of way for the six lane section on Date Street from
6 Jefferson Avenue to I-15; The Transportation Department, based
7 upon independent analysis does not believe that the six lane
8 section is warranted; and the prior approvals would make right of
9 way and construction cost prohibitive.

10 BE IT FURTHER RESOLVED by the Board of Supervisors that it
11 has considered and rejected as infeasible the following
12 alternatives identified within EIR No. 250 relative to the
13 cumulative air quality and traffic and circulation impacts which
14 cannot be fully mitigated:

15 A. No Project Alternative: The No Project Alternative was
16 considered relative to the cumulative air quality and traffic and
17 circulation impacts and has been rejected as infeasible for the
18 following reasons:

19 1. The No Project Alternative would not produce the fees and
20 taxes projected to result from Specific Plan No. 235 and would
21 not, therefore, provide an economic benefit to the County.

22 2. The No Project Alternative would eliminate the employment
23 opportunities associated with the industrial and commercial uses
24 proposed.

25 3. The No Project Alternative would not reduce the already
26 existing industrial park need created by rapid area population
27 growth.

1 4. The No Project Alternative would mean that the project site
2 would not significantly add to air quality degradation per se, but
3 such degradation could still result if potential project users
4 stimulate industrial park demands elsewhere in the basin.

5 B. Low Density Residential Alternative: The Low Density
6 Residential Alternative was considered relative to the cumulative
7 air quality and traffic and circulation impacts and has been
8 rejected as infeasible for the following reasons:

9 1. This alternative precludes many of the marketing objectives of
10 the project, reducing opportunities to provide a diversity of
11 industrial types and opportunities.

12 2. This alternative reduces economic benefit to the County.

13 BE IT FURTHER RESOLVED by the Board of Supervisors that it
14 has balanced the benefits of the project against the unavoidable
15 adverse environmental effects thereof, to wit: the cumulative air
16 quality and traffic and circulation impacts, and has determined
17 that the following benefits outweigh and render acceptable those
18 environmental effects:

19 A. The projected revenue from the project provides an economic
20 benefit to the County in the amount of \$6,700,000 at project
21 build-out and \$917,000 each year thereafter.

22 B. Social benefits attributable to the project include social
23 access opportunities resulting from the planned improvement
24 of public infrastructure related to water and sewer service,
25 circulation facilities, fire protection, flood control,
26 recreational facilities and open space.

27 C. The project will generate 7,017 new employment opportunities

1 which will result in positive economic impacts to the Rancho
2 California area. Other economic benefits include increased
3 tax revenue and temporary construction employment resulting
4 from the project. Provision of employment in the Rancho
5 California area will reduce the dependence on employment in
6 Orange and Los Angeles Counties which, to some extent, should
7 alleviate commuting to jobs outside of the Rancho California
8 area.

9 D. The Specific Plan proposes to preserve 88 acres of natural
10 open space and to provide pedestrian, bicycle and equestrian
11 trails through the project.

12 BE IT FURTHER RESOLVED by the Board of Supervisors that
13 Specific Plan No. 235 will implement applicable elements of the
14 Riverside County Comprehensive General Plan as follows:

15 A. Land Use Element: The Riverside County Comprehensive General
16 Plan recognizes the site as in transition from "An Area Not
17 Designated as Open Space" to urban land uses and associated
18 economic base, and that this area can be expected to
19 experience increased urbanization. The Land Use Policies for
20 this area state that future land uses within this area should
21 be generally Category II (urban) uses, and other nearby and
22 adjacent properties are developing accordingly.

23 B. Administrative Element: The project provides a fiscal impact
24 report and time frames for development, pursuant to the land
25 use policies of the Administrative Element. The fiscal
26 impact analysis projects a positive impact on County services
27 at project build-out.

1 C. Regional Element: The Rancon Business Center represents a
2 major commitment to industrial development within the Rancho
3 California area. The Center will provide job opportunities
4 and will provide the County with a positive fiscal revenue.

5 D. Public Facilities and Services Element: The project contains
6 a comprehensive public service and facilities program for
7 circulation, water, sewer, and fire protection. Water, sewer
8 and electrical services are in place in the project area,
9 allowing for the logical extension to the project site.

10 E. Environmental Hazards and Resources Element: EIR No. 250
11 assessed the full range of concerns associated with this
12 project. EIR No. 250 proposed mitigation for each of the
13 identified impacts. Overriding findings are required for air
14 quality and traffic and circulation and are included herein.

15 BE IT FURTHER RESOLVED by the Board of Supervisors, pursuant
16 to the California Environmental Quality Act and the Riverside
17 County Rules to Implement the Act, that it has reviewed and
18 considered EIR No. 250 in evaluating Specific Plan No. 235, that
19 EIR No. 250 is an accurate and objective statement that complies
20 with the California Environmental Quality Act, that EIR No. 250 is
21 certified, and that EIR No. 250 is hereby incorporated herein by
22 reference.

23 BE IT FURTHER RESOLVED by the Board of Supervisors that
24 Specific Plan No. 235, on file with the Clerk of the Board,
25 including the final conditions of approval and exhibits, is hereby
26 adopted as the Specific Plan of Land Use for the real property
27 shown in the plan and said real property shall be developed

1 substantially in accordance with the specific plan, unless the
2 plan is repealed or further amended by the Board.

3 BE IT FURTHER RESOLVED by the Board of Supervisors that
4 copies of Specific Plan No. 235 and EIR No. 250 shall be placed on
5 file in the Office of the Clerk of the Board, in the Office of the
6 Planning Director and in the Office of the Director of Building
7 and Safety, and that no applications for subdivision maps,
8 conditional use permits, or other development approvals shall be
9 accepted for the real property shown on Specific Plan No. 235,
10 unless such applications are substantially in accordance
11 therewith.

12 RG:EC:lt

13 Roll Call resulted as follows:

14 Ayes: Abraham, Dunlap, Cenicerros, Larson and Younglove

15 Noes: None

16 Absent: None

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CONDITIONS OF APPROVAL

1. Specific Plan No. 235 shall consist of the following:
 - a. Exhibit "A": Specific Plan Text
 - b. Exhibit "B": Specific Plan Conditions of Approval
2. If any of the following conditions of approval differ from the specific plan text or exhibits, the conditions enumerated herein shall take precedence.
3. The development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances including Ordinances Nos. 348 and 460 and state laws; and shall conform substantially with adopted Specific Plan No.235 as filed in the office of the Riverside County Planning Department, unless otherwise amended.
4. No portion of the specific plan which purports or proposes to change, waive or modify any ordinance or other legal requirement for the development shall be considered to be part of the adopted specific plan.
5. The project shall comply with the conditions set forth in the following agency letters and/or the requirements set forth by these agencies at the development stage:

a. Road Department:	4-20-89
b. Flood Control:	2-22-89
c. Fire Department:	7- 7-89
d. Health Department	1-27-89
e. County Geologist	6-15-89
6. Common areas identified in the specific plan shall be owned and maintained as follows:
 - a. A permanent master maintenance organization shall be established for the specific plan area, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas. The organization may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association then neighborhood associations shall be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.

- b. Unless otherwise provide for in these conditions of approval, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
 - c. The maintenance organization shall be established prior to or concurrent with the recordation of the first land division, or issuance of any building permits for any approved development permit (use permit, plot plan, etc.).
7. Development applications which incorporate common areas shall be accompanied by design plans for the common area. Such plans shall specify the location and extent of landscaping, irrigation systems, structures, and circulation (vehicular, pedestrian and/or equestrian).
8. The following special studies/reports shall accompany implementing development applications in the planning areas listed below:

Study/Report

Planning Areas

Noise

1, 2, 3, 6, 8, 10

Amended by Planning Commission 7-19-89

9. A Land division filed for the purposes of phasing or financing shall not be considered an implementing development application; provided that if the maintenance organization is a property owners association, the legal documentation necessary to establish the association shall be recorded concurrently with the recordation of the final map.
10. Prior to the issuance of a building permit for the construction of any use contemplated by this approval, the applicant shall first obtain clearance from the Riverside County Planning Department that all pertinent conditions of approval have been satisfied with the specific plan for the phase of development in questions.
11. An environmental assessment shall be conducted for each tract, change of zone, plot plan, specific plan amendment, or any other discretionary permit required to implement the specific plan. At a minimum, the environmental assessment shall utilize the evaluation of impacts addressed in the EIR prepared for Specific Plan No. 235.
12. Prior to the recordation of any final subdivision map or issuance of building permits in the case of use permits and plot plans, the applicant shall submit to the Planning Department the following documents which shall demonstrate to the satisfaction of the County that individual appropriate owners associations will be established and will operate in accordance with the intent and purpose of the specific plan.

- a. The document to convey title;
- b. Covenants, Conditions, and Restrictions to be recorded;
- c. Management and maintenance agreements to be entered into with the until/lot owner of the project.

The master property owners association, commercial property owners association, and the business park owners association shall be charged with the unqualified right to assess their own individual owners who own individual units for reasonable maintenance and management costs which shall be established and continually maintained. The individual owners defaults in payment of their assessment fees. Such lien shall not be subordinate to any encumbrance other than a deed of trust, provided such deed of trust is made in good faith and for good value, and is of record prior to the lien of the individual owners association.

14. The applicant or its successor shall defend, indemnify, and hold harmless the County of Riverside, its agents, officers, and employees from any claim, action, or proceeding against the County of Riverside or this agents, officers, or employees to attack, set aside, void or annul and approval of the County of Riverside, its advisory agencies, appeal boards or legislative body concerning Specific Plan No. 235. The County of Riverside will promptly notify the applicant or its successor of any such claim, action, or proceeding against the County of Riverside and will cooperate fully in the defense. If the County fails to promptly notify the applicant of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the County of Riverside.
15. The zoning ordinance for the specific plan should be based on the I-P zone rather than the M-SC zone. Added by Planning Commission 7-19-89
16. Figure 18 and where applicable in the document should be modified to add provisions for an equestrian-recreation trail and a Class I bike trail through Murrieta Creek and a Class I bike trail through Warm Springs Creek as called for by the Southwest Area Community Plan and Comprehensive General Plan Amendment No. 158. Added by Planning Commission 7-19-89
17. Language to provide for wildlife mitigation as approved by California Department of Fish and Game and the U.S. Fish and Wildlife Service should be added to the development standards for Planning Area No. 13 in the document. Added by Planning Commission 7-19-89

Conditions of Approval
Specific Plan No. 235
Page 4

EC:mp:gs

OFFICE OF THE ROAD COMMISSIONER AND COUNTY SURVEYOR
COUNTY OF RIVERSIDE

LeRoy D. Smoot
Road Commissioner and
County Surveyor

County Administrative Center
Mailing Address: P.O. Box 1090
Riverside, Ca 92502
Telephone - (714) 787-6554

April 20, 1989

Mr. Roger Streeter, Planning Director
Riverside County Planning Department
4080 Lemon Street
Riverside, CA 92501

Attn: Eric Charlton

RE: Specific Plan 235 - Rancon
Business Center - EIR 250
(TR 22557, COZ 4946, COZ 5060)

Dear Mr. Charlton:

Based on recent discussions with the applicant, we feel it is necessary to clarify some points in our prior letter dated February 9, 1989, regarding recommended conditions of approval. Please disregard our previous letter.

The Road Department recommends the following conditions of approval for Specific Plan 235 which incorporate appropriate mitigation measures.

CONDITIONS OF APPROVAL

- 1) The proposed project will be a substantial traffic generator. As such, the project proponent shall incorporate such demand programs as may be appropriate to comply with the goals and objectives of the Regional Mobility Plan and Air Quality Management Plan, including such measures as the establishment of a Transportation Management District, an on-site rideshare program, the provision of on-site/off-site Park and Ride facilities, and design provisions to accommodate transit services.
- 2) Prior to the issuance of any building permits, the project proponent shall consult with and obtain clearance from the following agencies to assure compliance and coordinate with the Regional Mobility and Air Quality Management Plans: CalTrans, District 8, the South Coast Air Quality Management District (SCAQMD), the Riverside Transit Agency (RTA), and the Riverside County Transportation Commission (RCTC). Confirmation of such contact and coordination shall be provided to the Riverside County Road Commissioner.

RECEIVED

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Mr. Roger Streeter, Planning Director
Attn: Eric Charlton
April 20, 1989
Page 2

- 3) Any landscaping within public road rights-of-way shall comply with Road Department regulations and require approval by the Road Commissioner and assurance of continuing maintenance through the establishment of a landscape maintenance district/maintenance agreement or similar mechanism as approved by the Road Commissioner.
- 4) The proposed project will have a substantial impact on regional transportation capital improvements in the Temecula Area, therefore, the proponent shall participate in construction of the overcrossing on Date Street/I-15. Estimated for the improvement of this facility have been placed at \$2,640,000. Based upon the traffic study, it appears that approximately 35% of the future traffic warranting of said improvement is attributable to this project. As such, the fair project share of this cost totals \$924,000. The project proponent shall participate on a "fair share" basis in such improvements in such manner as may be determined by the Board of Supervisors. Arrangements for participation shall be completed prior to the issuance of building permits.
- 5) The project proponent shall participate in construction of a bridge on Elm Street across Murrieta Creek and in construction of a bridge on Adams Avenue across Warm Springs based on "fair share". Construction shall be timed to provide access as needed, depending upon project phasing.
- 6) Prior to the issuance of any building permits, the proponent shall make provisions for the construction of a bridge for Date Street across Murrieta Creek per Riverside County Standard No. 117. Construction shall be coordinated with road improvements for Phase III.
- 7) The Road Department is currently recommending as part of the Southwest Area Plan that Washington Street/Diaz Road be upgraded to an arterial highway (86'/110'); on-site improvements shall conform to this standard. Interim off-site improvements may be required for access, depending upon project phasing.

Sincerely,



Edwin Studor
Transportation Planner

ES:AE:lg
cc: Guy Visbal, CalTrans
Jack Gilmore, Rancon
Lee Johnson

Memorandum

To : State Clearinghouse
Office of Planning & Research
1400 10th Street
Sacramento, CA 95814

Date : February 16, 1989

File No.: 08-Riv-15-3.4
SCH 87081709

Attention John Keene

From : DEPARTMENT OF TRANSPORTATION
District 8

Subject: Draft Environmental Impact Report for Rancon/Dublin Business Center

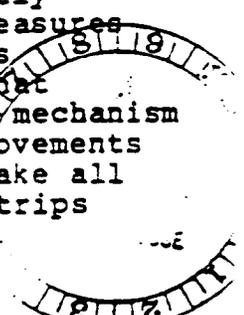
We have reviewed the above-mentioned project and request consideration of the following comments:

In our prior correspondence we commented the proposed Date Street Interchange violates the spacing policy used by Caltrans and the Federal Highway Administration. Therefore any traffic study should consider the impacts on the freeway circulation without the Date Street Interchange. Our analysis indicates the Route 79/Interstate 15 Interchange Level of Service can not be maintained based on the additional trips generated by the cumulative traffic generated in this area. The traffic report should reflect the appropriate mitigation to maintain an acceptable Level of Service in this area.

To maintain Route Concepts on the State highway system in this area, which is a designated transit corridor by the Southern California Association of Governments' Regional Mobility Plan, the City of Moreno Valley should consider demand mitigations funded by both developers and local funds such as:

- o The formation of a Transportation Management Association (TMA), to implement transit and ridership services in this area.
- o Reservation of property in the parking area for a Park and Ride lot for use by other commuters.
- o Development of alternate corridors to reduce congestion of Interstate 15 and Route 79.

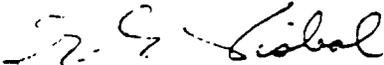
It is Caltrans policy to support economic growth and orderly land use development; however, new development that significantly impacts State highway facilities should have mitigation measures addressed. In view of the fact that Caltrans has no funds available for infrastructure improvements, we recommend that Riverside County take the lead in developing a fair-share mechanism in which developers would participate to fund needed improvements to the State highway system. All jurisdictions need to take all measures available to fund improvements and reduce total trips generated.



State Clearinghouse
Attention John Keene
Page 2
February 16, 1989

We would like to be notified of all public hearings on this project and request copies of the final document and Conditions of Approval when they are available.

If you have any questions, please contact Richard Malacoff at ATSS 670-4550 or 714-383-4550.



GUY G. VISBAL
Chief, Transportation Planning Branch

RM:bh

cc: GSmith, Plan Coord Unit, DOTP
Edwin Studor, Riverside County Road Department

KENNETH L. EDWARDS
CHIEF ENGINEER

1995 MARKET STREET
P. O. BOX 1033
TELEPHONE (714) 787-2015

RIVERSIDE COUNTY FLOOD CONTROL AND
WATER CONSERVATION DISTRICT

RIVERSIDE, CALIFORNIA 92502

February 22, 1989

Riverside County
Planning Department
County Administrative Center
Riverside, California

Attention: Specific Plan Section
Eric Charlton

Ladies and Gentlemen:

Re: Specific Plan 235
Rancon Business Center

This is a proposal to construct a 350 acre business park on a 500 acre site in the Murrieta area between Cherry Street and Elm Street southwest of Adams Street.

The specific plan's master drainage plan proposes the construction of a system of storm drains for onsite and some offsite runoff. Their final design will be determined at the tentative map, plot plan and improvement plan stages.

Murrieta Creek and Warm Springs Creek cross the site. Both of these will have to be improved before much of the project may be constructed. These channels will not necessarily be constructed to the widths and with the materials shown in this plan or in the District's master plan because of Department of Fish and Game requirements. The width of right of way required may increase significantly over that shown in the master plan, and it is also probable that Fish and Game will require additional right of way for habitat mitigation to replace riparian habitat to be removed by channel construction. Mitigation requirements generally require a minimum of one for one replacement of habitat lost to channel construction, although more extensive mitigation is sometimes required. The District is in the process of designing Murrieta Creek. We will not know how much of this specific plan site will be involved in the construction of Murrieta Creek and Warm Springs Creek until the design has been completed and the environmental issues have been settled.

At least two significant watersheds that should have been provided for in this project appear to have been missed.

The first, Yoder Wash, will be largely controlled when Line D of the Murrieta Creek Master Drainage Plan has been constructed. Until then, at least 1750 cfs should be assumed to impinge on the northwesterly side of Planning Area 1. After Line D has been constructed, significant local runoff will still take this course.

Riverside County
Planning Department
Re: Specific Plan 235
Rancon Business Center

- 2 -

February 22, 1989

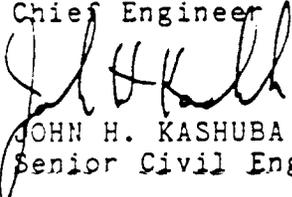
The other is a major local watershed that approached Planning Area 6 from the northwest. The final project design must provide for all tributary flows.

All flood control facilities should be constructed to District standards. And all facilities that the District will assume for maintenance, including Murrieta Creek and Warm Springs Creek Channels, will require the payment of a one time maintenance charge equal to the "present worth" of the cost to maintain the facilities from the time of acceptance through 1998.

Should you have any questions regarding this matter, please feel free to contact me at 714/787-1257.

Very truly yours,

KENNETH L. EDWARDS
Chief Engineer



JOHN H. KASHUBA
Senior Civil Engineer

cc: Turrini and Brink, Santa Ana
Attn: Michael J. White
Robert Bein, William Frost & Associates

JHK:bjp



MURRIETA FIRE PROTECTION DISTRICT

41825 Juniper Street
P.O. Box 188
Murrieta, California 92560
(714) 877-8401 • Fax: (714) 877-8789

Marvin D. Curran, Chief
Judy Viarath, Admin. Secretary
DARRYL W. LUTHELMAN, Pres.
Howard M. Sykes, Pres.
Alex W. Horne
Lloyd E. "Nick" Nichols

7 July 1989

To: Planning Department
Attn: Specific Plan Team,
Eric Charlton
Re: Specific Plan 235,
Environmental Impact Report 250

Ladies and Gentlemen:

The Fire Marshal has reviewed the plans submitted to the Planning Department. The following fire protection requirements are recommended for consideration prior to approval of the proposed specific plan.

FIRE PROTECTION FIRE FLOW REQUIREMENTS:

For parcel map fire flow requirements the following conditions shall be considered prior to specific plan approval.

The Riverside County Ordinance #460 requires water mains to be designed with the capability of providing a potential fire flow of 5000 GPM and provide an actual fire flow available from any one hydrant of 2500 GPM for 3 hours duration at 20 PSI residual operating pressure.

Approved super fire hydrants, (6"x 4"x2-2 1/2") shall be located at each street intersection and spaced not more than 330 feet apart in any direction.

The applicant/developer shall provide written certification from the appropriate water company that financial arrangements have been made to provide the required fire protection and hydrants.

The capability of a designed system providing a limited amount required by county ordinance, limits the size of building area proposed for any individual lot within this project. Fire Staff's recommendation is to design a system which is capable of providing fire flows adequate for commercial/industrial buildings without limiting the floor area. These calculations can be determined by fire staff when the civil engineer proposes to address this concern. Please have this matter addressed as soon as possible.

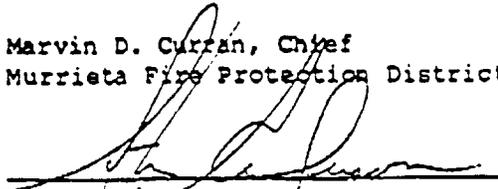
FIRE PROTECTION ROAD ACCESS

All designated bridges shall be designed for fire apparatus support. Alternate access requirements shall be addressed with all individual projects submitted under this specific plan.

Improved alternate access which meets County road standards shall be provided for all individual phases.

All questions regarding the meaning of the conditions shall be referred to the Fire Department Planning and Engineering staff.

Marvin D. Curran, Chief
Murrieta Fire Protection District



Steve Anderson
Deputy Fire Marshal

County of Riverside

DEPARTMENT OF HEALTH

TO: Riverside County Planning Dept.
ATTN: Eric Charlton

RECEIVED

JAN 30 1989

FROM: *HRC*
H. R. Luchs, Land Use Supervisor
Environmental Health Services

RE: EIR 250 - Specific Plan Number 235 - Rancon Business Center
RIVERSIDE COUNTY
PLANNING DEPARTMENT

Environmental Health Services has received and reviewed the above referenced documents and offers the following comments:

WATER/SANITARY SEWER/HYDROGEOLOGY: (John Silva, Sr. Public Health Engineer)

Previous comments were provided per Environmental Health Services's (EHS) memo dated September 19, 1989. An updated review of the document still needs clarification in order for the project to successfully move forward.

WATER SUPPLY

The documents again state that annexation to the Rancho California Water District (RCWD) is in process and that upon annexation the project site will be served by RCWD. This annexation is crucial as highlighted in the September 19, 1988 memo. Complete clarification with reference to a will-serve letter is certainly in order at this time due to Agency dynamics which are occurring in the Rancho California area.

SANITARY SEWER

The report advises that up to 600,000 gpd of domestic sewage from the complex will be discharged into the RCWD - Santa Rosa SBR waste water facility which was due to open in January 1989. A statement should be made advising that the facility is operational at this time and available to accept and treat the proposed volume of flow from the development.

HYDROGEOLOGY

As referenced in EHS's previous memo it, appears that the proponent is stating in the EIR that an engineering study shall be prepared and accomplished as a mitigating factor to potential subsidence and other hydrogeological phenomena that are occurring in the Ranch California area.

JCS/mdt

Riverside County Planning Dept.
Page Two
Attn: Eric Charlton
January 27, 1989

SOLID_WASTE: (Bill Prinz, Sr. Sanitarian, LEA)

The responses of the project proponent to our comments are adequate.

Should you have further questions, please feel free to contact this office at (714) 787-6543.

HRL:tac

RIVERSIDE COUNTY PLANNING DEPARTMENT

June 15, 1989

Leighton and Associates
27715 Jefferson Avenue, Suite 109
Rancho California, CA 92390

Attention: Mr. Mark Bergmann
Mr. Daniel Chu

SUBJECT: Seismic/Geologic Hazard
Project No. 11881096-01
Specific Plan No. 235
C.G.P.A. 167
County Geologic Report No. 484
Rancho California Area

Gentlemen:

We have reviewed your reports entitled:

1. "Preliminary Geotechnical/Fault Investigation, 600 + Acres, The Pasco Property, Murrieta, Riverside County, CA," dated February 8, 1988.
2. "Reponse to County Review Letter," dated March 22, 1988.
3. "Geotechnical Investigation of Faulting and Fissuring at the Pasco Property, 520± Acre Site, Rancho California, Riverside County, CA," dated March 20, 1989.
4. "Response to County of Riverside Review Letter," dated May 25, 1989.

Your February 8, 1988 report determined that:

1. Evidence of active faulting at the site has not been observed in subsurface exposures, therefore the possibility of ground rupture during a seismic event located on the Willard fault zone is considered to be very low.
2. The Maximum Probable Earthquake that should be considered for this site is a Richter Magnitude 6.5 event on the Elsinore (Wildomar branch) fault, located approximately 1500 feet from the site. In areas underlain by metamorphic bedrock (Bedford Canyon formation) ground acceleration will be equal to the peak rock acceleration of 0.70g. In areas underlain by sedimentary bedrock (Pauba units) and alluvium, dampening of the seismic acceleration can be anticipated with ground acceleration values of 0.62g and 0.52g, respectively.

3. Liquefaction potential for the easterly portion of the site (areas exposing alluvium, Qal) has been evaluated to be high. There is some potential for lateral spreading of soils into Murrieta Creek during a severe seismic event.
4. Settlement induced by seismic activity appears to be possible in the same areas with liquefaction potential.
5. The rugged area adjacent to the southwest boundary is considered to be moderately unstable in the event of strong ground shaking. Slope stability hazards on the remainder of the site are considered to be very low.
6. The potential for rock fall or tumbling boulders is considered to be nil.
7. The possibility of seiches and tsunamis is nil.
8. Seismically induced failure of the Lake Skinner dam, located 7+ miles to the northeast, could inundate much of the site by means of overflow along Warm Springs and Murrieta Creeks.
9. Ground water levels are generally high within the valley and may impede infrastructures such as storm drains and sewers.

Your February 8, 1988 report recommended that:

1. Specific strengthening of buildings foundations and slabs should be a serious consideration for buildings proposed during site development. These kinds of requirements would depend on building locations with respect to known faulting exposed during grading or on building locations which might become susceptible to ground cracking. (Fault locations, restricted use zones and foundation recommendations have been reevaluated in your March 20, 1989 report.)
2. Prior to placement of fills, all alluvial and colluvial materials should be overexcavated to a depth of at least 5 feet, the exposed surface processed, then replaced with compacted fill. Locally, some areas may require somewhat deeper removals. Due to the possibility of liquefaction, all building pads underlain by alluvium and colluvium should be prepared so that a minimum of 5 feet of dense compacted fill underlies the structures, measured from the bottom of footings. The fill mat should extend at least 5 feet beyond building lines in plan for building pads exposing natural ground. Overexcavation for buildings on fill should extend a distance beyond building lines equivalent to the depth of underlying fill plus 5 feet. Liquefaction mitigation measures for a bridge crossing Murrieta Creek may require driven piles.

3. All slopes should be graded no steeper than 2:1 (horizontal to vertical). Verifications of slopes will be required on a site-to-site basis utilizing site design criteria. Fill slopes should be overfilled and backrolled during construction, then trimmed to finish grade to provide compacted slopes to outer surfaces.
4. Flooding along Warm Spring and Murrieta Creeks can be expected and any overbank flooding, along with seismic-induced dam failure should be determined by the design civil engineer.
5. The backfills in the exploratory trenches should be considered temporary and will require removal and replacement in an engineered manner where superimposed structural fills are planned.

Your March 20, 1989 report determined that:

1. An active fault has been located in the south central and central portion of the site. This fault is informally designated as the Murrieta Creek fault and trends approximately north south as shown on Plate 1, Geotechnical Map, dated March 20, 1989.
2. The possibility of damage due to ground rupture in the vicinity of this active fault is high.
3. Pre-Holocene or potentially active faults were observed in exploratory trenches and are shown on Plate 1, Geotechnical Map, dated March 20, 1989.
4. Surface fissuring was encountered in several exploratory trenches and are shown on Plate 1, Geotechnical Map, dated March 20, 1989. The potential for fissuring and ground subsidence is considered to be high in the vicinity of the Murrieta Creek fault.
5. The eastern one-third to one-half of the site is located within the 100-year flood plain.
6. The possibility of seiches, tsunamis and inundation due to failure of large water storage facilities is considered very low.
7. Adverse bedding and/or active fault plans may be daylighted or undercut during grading.

Your March 20, 1989 report recommended that:

1. A fault setback zone shall be established along the active trace of the Murrieta Creek fault zone and some of the designated branches of this fault zone (see Plate 1, Geotechnical Map, dated March 20, 1989). The setback zone shall be established 50 feet on both sides from the furthest limits of faulting. The zone is designed to accommodate both faulting and fissuring features. During the course of grading operations the trace of the fault may daylight beyond the recommended setback zone, therefore it will be necessary to adjust the limits of the setback accordingly. Within the fault setback zone, structures for human occupancy may not be constructed; however, this does not preclude other open-space land, recreation uses, parking areas, or self storage type of buildings.
2. Proposed habitable structures should not be directly located over potentially active faulting as delineated on Plate 1, Geotechnical Map, dated March 20, 1989. Special positioning of structures near these designated areas is recommended such that the entire foundation footprints of any proposed structures should not lie astride potentially active faults near the valley floor. Potentially active faults outside of the study area (identified in the February 8, 1988 report), but within the project limits, are believed not to pose a fissuring and subsidence risk.
3. A licensed structural engineer should provide appropriate structural design to accommodate any reasonably envisioned fissure development within the preliminary structural review zone shown on Plate 1, Geotechnical Map, dated March 20, 1989. As a guideline, the licensed structural engineer should design the structural foundations to withstand a differential settlement of 1-inch in 20 horizontal-foot span. Additionally, all building pads within this zone should have a minimum of 10 feet of compacted fill underlying the proposed structures.
4. Consideration should be given to establishing a settlement monitoring program for the site. The purpose of this program would be to monitor possible differential subsidence occurring along active and potentially active fault segments encountered during the study. Settlement monuments should be established across the basin and on both sides of the active and potentially active faults on-site. Accurate surveying of the settlement monuments should be conducted yearly or bi-yearly. Settlement monument survey data should be provided to the geotechnical consultant. Your report did, however, indicate that a settlement monitoring program is not needed for site specific development.

5. All surface runoff should be collected and directed offsite. Prudent drainage control measures should include rain gutters and downspouts for the proposed structures and establishing positive drainage for surface runoff.
6. The locations of the exploratory trenches completed during both the current and past geotechnical investigation should be overexcavated to their total depths and lengths if structural fills are to be placed in these areas. These trenches should be re-excavated and backfill properly by moisture conditioning and recompacting the backfill to at least 90% relative compaction as evaluated by ASTM D1557-78.

It is our opinion that the report was prepared in a competent manner and satisfies the additional information requested under the California Environmental Quality Act review and the Riverside County Comprehensive General Plan. Final approval of the report is hereby given.

We recommend that the following conditions be satisfied before recordation of any subdivision maps or issuance of any County permits associated with this project:

1. The Recommended Fault Setback Limits shown on the Geotechnical Map, Plate 1 dated March 20, 1989 in the report shall be delineated on the project maps and/or Environmental Constraints Sheet (E.C.S.). The areas within the Recommended Fault Setback Limits shall be labeled "FAULT HAZARD AREA."
2. The Potentially Active Faults shown on the Geotechnical Map, Plate 1, dated March 20, 1989 shall be delineated on the project maps and/or Environmental Constraints Sheet (E.C.S.). These faults shall be labeled "POTENTIALLY ACTIVE FAULT."
3. The "Preliminary Structural Review Zone" shown on the Geotechnical Map, Plate 1, dated March 20, 1989 shall be delineated on the project maps and/or Environmental Constraints Sheet (E.C.S.). The areas within the limits of this zone shall be labeled "STRUCTURAL REVIEW ZONE."
4. The following notes shall be placed on the E.C.S.:
 - (a) "This property is affected by earthquake faulting. Structures for human occupancy shall not be allowed in the Fault Hazard Area."
 - (b) "County Geologic Report No. 484 was prepared for this property on February 8, 1988 and March 20, 1989 by Leighton and Associates, and is on file at the Riverside County Planning Department. Specific items of concern are as follows: earthquake faulting, fissuring and ground subsidence, seismic design of structures, liquefaction, flooding, and uncompacted trench backfill."

Leighton and Associates

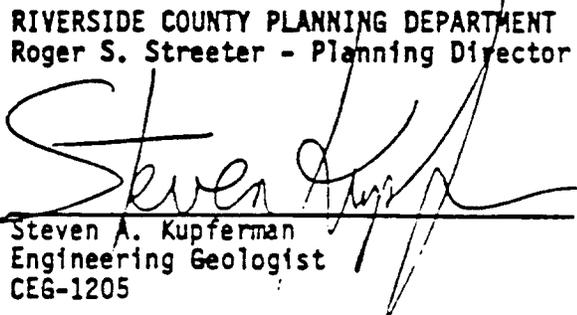
- 6 -

June 16, 1989

The recommendations made in your reports concerning seismic/geologic hazards shall be adhered to in the design and construction of this project.

Very truly yours,

RIVERSIDE COUNTY PLANNING DEPARTMENT
Roger S. Streeter - Planning Director



Steven A. Kupferman
Engineering Geologist
CEG-1205

SAK:al

c.c. Rancon Financial Corp - Jack Gillmore
Turrini and Brink - Mike White
CDMG - Earl Hart
Building & Safety - Norm Lostbom (2)
Specific Plans - Eric Charleton

1
2 ORDINANCE NO. 348.3202

3 AN ORDINANCE OF THE COUNTY OF RIVERSIDE
4 AMENDING ORDINANCE NO. 348 RELATING TO ZONING
5

6 The Board of Supervisors of the County of Riverside Ordains
7 as Follows:

8 Section 1. Section 4.2 of Ordinance No. 348 and Official
9 Zoning Plan Map No. 2, as amended, are further amended by plac-
10 ing in effect in the Murrieta Area the zone or zones as shown on
11 the map entitled "Change of Official Zoning Plan Amending Ordi-
12 nance No. 348, Map No. 2.1544, Change of Zone Case No. 5296"
13 which map is made a part of this ordinance.

14 Section 2. Article XVIIa of Ordinance No. 348 is amended
15 by adding thereto a new Section 17.54 to read as follows:

16 SECTION 17.54 S.P. ZONE REQUIREMENTS AND STANDARDS FOR
17 SPECIFIC PLAN NO. 235.

18 A. Planning Area 1.

19 (1) The uses permitted in Planning Area 1 of Specific
20 Plan No. 235 shall be the same as those uses permitted
21 in Article X, Section 10.1 of Ordinance No. 348,
22 except that the use permitted pursuant to Sections
23 10.1.a.2.(1) shall not be permitted. In addition,
24 the permitted uses identified under Section 10.1.a.2.
25 shall also include automobile service stations, not
26 including the concurrent sale of beer and wine for
27 off-premises consumption, but including the location
28 of a convenience store within the service station.

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(2) The development standards for Planning Area 1 of Specific Plan No. 235 shall be the same as those standards identified in Article X, Section 10.4 of Ordinance No. 348, except that the development standards set forth in Article X, Section 10.4.a., c., e., f. and g. shall be deleted and replaced by the following:

- A. The minimum lot size shall be 10,000 square feet with a minimum average lot width of 75 feet, except that a lot size not less than 7,000 square feet and a minimum average lot width of not less than 65 feet may be permitted only if approved in writing by the Planning Director.
- B. A minimum 10% of the site shall be landscaped and automatic irrigation shall be installed.
- C. A minimum side yard setback shall not be required.
- D. A minimum rear yard setback shall not be required.
- E. No minimum setback shall be required on any boundary where the industrial property abuts a commercially zoned property. Where the industrial property abuts a residential zoned property, a minimum 32-foot setback shall be required. A minimum of 20 feet of

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the setback shall be landscaped, unless a tree screen is approved, in which case the setback area may be used for automobile parking, driveways or landscaping. Block walls or other fencing may be required.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article X of Ordinance No. 348.

B. Planning Area 2.

(1) The uses permitted in Planning Area 2 of Specific Plan No. 235 shall be the same as those uses permitted in Article X, Section 10.1 of Ordinance No. 348, except that the use permitted pursuant to Sections 10.1.a.2.(1) shall not be permitted. In addition, the permitted uses identified under Section 10.1.a.2. shall also include automobile service stations, not including the concurrent sale of beer and wine for off-premises consumption, but including the location of a convenience store within the service station.

(2) The development standards for Planning Area 2 of Specific Plan No. 235 shall be the same as those standards identified in Article X, Section 10.4 of Ordinance No. 348, except that the development standards set forth in Article X, Section 10.4.a., c., e., f. and g. shall be deleted and replaced by the following:

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- A. The minimum lot size shall be 10,000 square feet with a minimum average lot width of 75 feet, except that a lot size not less than 7,000 square feet and a minimum average lot width of not less than 65 feet may be permitted only if approved in writing by the Planning Director.
- B. A minimum 10% of the site shall be landscaped and automatic irrigation shall be installed.
- C. A minimum side yard setback shall not be required.
- D. A minimum rear yard setback shall not be required.
- E. No minimum setback shall be required on any boundary where the industrial property abuts a commercially zoned property. Where the industrial property abuts a residential zoned property, a minimum 32-foot setback shall be required. A minimum of 20 feet of the setback shall be landscaped, unless a tree screen is approved, in which case the setback area may be used for automobile parking, driveways or landscaping. Block walls or other fencing may be required.

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(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article X of Ordinance No. 348.

C. Planning Area 3.

(1) The uses permitted in Planning Area 3 of Specific Plan No. 235 shall be the same as those uses permitted in Article X, Section 10.1 of Ordinance No. 348, except that the use permitted pursuant to Sections 10.1.a.2.(1) shall not be permitted. In addition, the permitted uses identified under Section 10.1.a.2. shall also include automobile service stations, not including the concurrent sale of beer and wine for off-premises consumption, but including the location of a convenience store within the service station.

(2) The development standards for Planning Area 3 of Specific Plan No. 235 shall be the same as those standards identified in Article X, Section 10.4 of Ordinance No. 348, except that the development standards set forth in Article X, Section 10.4.a., c., e., f. and g. shall be deleted and replaced by the following:

- A. The minimum lot size shall be 10,000 square feet with a minimum average lot width of 75 feet, except that a lot size not less than 7,000 square feet and a minimum average lot width of not less than 65 feet may be per-

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mitted only if approved in writing by the Planning Director.

B. A minimum 10% of the site shall be landscaped and automatic irrigation shall be installed.

C. A minimum side yard setback shall not be required.

D. A minimum rear yard setback shall not be required.

E. No minimum setback shall be required on any boundary where the industrial property abuts a commercially zoned property. Where the industrial property abuts a residential zoned property, a minimum 32-foot setback shall be required. A minimum of 20 feet of the setback shall be landscaped, unless a tree screen is approved, in which case the setback area may be used for automobile parking, driveways or landscaping. Block walls or other fencing may be required.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article X of Ordinance No. 348.

D. Planning Area 4.

(1) The uses permitted in Planning Area 4 of Specific Plan No. 235 shall be the same as those uses permitted in Article X, Section 10.1 of Ordinance No. 348,

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except that the use permitted pursuant to sections 10.1a.2.(1) shall not be permitted. In addition, the permitted uses identified under Section 10.1.a.2. shall also include automobile service stations, not including the concurrent sale of beer and wine for off-premises consumption, but including the location of a convenience store within the service station.

(2) The development standards for Planning Area 4 of Specific Plan No. 235 shall be the same as those standards identified in Article X, Section 10.4 of Ordinance No. 348, except that the development standards set forth in Article X, Section 10.4.a., c., e., f. and g. shall be deleted and replaced by the following:

- A. The minimum lot size shall be 10,000 square feet with a minimum average lot width of 75 feet, except that a lot size not less than 7,000 square feet and a minimum average lot width of not less than 65 feet may be permitted only if approved in writing by the Planning Director.
- B. A minimum 10% of the site shall be landscaped and automatic irrigation shall be installed.
- C. A minimum side yard setback shall not be required.

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D. A minimum rear yard setback shall not be required.

E. No minimum setback shall be required on any boundary where the industrial property abuts a commercially zoned property. Where the industrial property abuts a residential zoned property, a minimum 32-foot setback shall be required. A minimum of 20 feet of the setback shall be landscaped, unless a tree screen is approved, in which case the setback area may be used for automobile parking, driveways or landscaping. Block walls or other fencing may be required.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article X of Ordinance No. 348.

E. Planning Area 5.

(1) The uses permitted in Planning Area 5 of Specific Plan No. 235 shall be the same as those uses permitted in Article X, Section 10.1 of Ordinance No. 348., except that the use permitted pursuant to Sections 10.1.a.2.(1) shall not be permitted. In addition, the permitted uses identified under Section 10.1.a.2. shall also include automobile service stations, not including the concurrent sale of beer and wine for off-premises consumption, but including the location of a convenience store within the service station.

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(2) The development standards for Planning Area 5 of Specific Plan No. 235 shall be the same as those standards identified in Article X, Section 10.4 of Ordinance No. 348, except that the development standards set forth in Article X, Section 10.4.a., c., e., f. and g. shall be deleted and replaced by the following:

- A. A minimum lot size shall be 10,000 square feet with a minimum average lot width of 75 feet, except that a lot size not less than 7,000 square feet and a minimum average lot width of not less than 65 feet may be permitted only if approved in writing by the Planning Director.
- B. A minimum 10% of the site shall be landscaped and automatic irrigation shall be installed.
- C. A minimum side yard setback shall not be required.
- D. A minimum rear yard setback shall not be required.
- E. No minimum setback shall be required on any boundary where the industrial property abuts a commercially zoned property. Where the industrial property abuts a residential zoned property, a minimum 32-foot setback shall be required. A minimum of 20 feet of

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the setback shall be landscaped, unless a tree screen is approved, in which case the setback area may be used for automobile parking, driveways or landscaping. Block walls or other fencing may be required.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article X of Ordinance No. 348.

F. Planning Area 6.

(1) The uses permitted in Planning Area 6 of Specific Plan No. 235 shall be the same as those uses permitted in Article X, Section 10.1 of Ordinance No. 348., except that the use permitted pursuant to Sections 10.1.a.2.(1) shall not be permitted. In addition, the permitted uses identified under Section 10.1.a.2. shall also include automobile service stations, not including the concurrent sale of beer and wine for off-premises consumption, but including the location of a convenience store within the service station.

(2) The development standards for Planning Area 6 of Specific Plan No. 235 shall be the same as those standards identified in Article X, Section 10.4 of Ordinance No. 348, except that the development standards set forth in Article X, Section 10.4.a., c., e., f. and g. shall be deleted and replaced by the following:

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- A. The minimum lot size shall be 10,000 square feet with a minimum average lot width of 75 feet, except that a lot size not less than 7,000 square feet and a minimum average lot width of not less than 65 feet may be permitted only if approved in writing by the Planning Director.
- B. A minimum 10% of the site shall be landscaped and automatic irrigation shall be installed.
- C. A minimum side yard setback shall not be required.
- D. A minimum rear yard setback shall not be required.
- E. No minimum setback shall be required on any boundary where the industrial property abuts a commercially zoned property. Where the industrial property abuts a residential zoned property, a minimum 32-foot setback shall be required. A minimum of 20 feet of the setback shall be landscaped, unless a tree screen is approved, in which case the setback area may be used for automobile parking, driveways or landscaping. Block walls or other fencing may be required.

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(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article X of Ordinance No. 348.

G. Planning Area 7.

(1) The uses permitted in Planning Area 7 of Specific Plan No. 235 shall be the same as those uses permitted in Article X, Section 10.1 of Ordinance No. 348, except that the use permitted pursuant to Sections 10.1.a.2.(1) shall not be permitted. In addition, the permitted uses identified under Section 10.1.a.2. shall also include automobile service stations, not including the concurrent sale of beer and wine for off-premises consumption, but including the location of a convenience store within the service station.

(2) The development standards for Planning Area 7 of Specific Plan No. 235 shall be the same as those standards identified in Article X, Section 10.4 of Ordinance No. 348, except that the development standards set forth in Article X, Section 10.4.a., c., e., f. and g. shall be deleted and replaced by the following:

A. The minimum lot size shall be 10,000 square feet with a minimum average lot width of 75 feet, except that a lot size not less than 7,000 square feet and a minimum average lot width of not less than 65 feet may be per-

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mitted only if approved in writing by the Planning Director.

B. A minimum 10% of the site shall be landscaped and automatic irrigation shall be installed.

C. A minimum side yard setback shall not be required.

D. A minimum rear yard setback shall not be required.

E. No minimum setback shall be required on any boundary where the industrial property abuts a commercially zoned property. Where the industrial property abuts a residential zoned property, a minimum 32-foot setback shall be required. A minimum of 20 feet of the setback shall be landscaped, unless a tree screen is approved, in which case the setback area may be used for automobile parking, driveways or landscaping. Block walls or other fencing may be required.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article X of Ordinance No. 348.

H. Planning Area 8.

(1) The uses permitted in Planning Area 8 of Specific Plan No. 235 shall be the same as those uses permitted in Article X, Section 10.1 of Ordinance No. 348,

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except that the use permitted pursuant to Sections 10.1.a.2.(1) shall not be permitted. In addition, the permitted uses identified under Section 10.1.a.2. shall also include automobile service stations, not including the concurrent sale of beer and wine for off-premises consumption, but including the location of a convenience store within the service station.

(2) The development standards for Planning Area 8 of Specific Plan No. 235 shall be the same as those standards identified in Article X, Section 10.4 of Ordinance No. 348, except that the development standards set forth in Article X, Section 10.4.a., c., e., f. and g. shall be deleted and replaced by the following:

- A. The minimum lot size shall be 10,000 square feet with a minimum average lot width of 75 feet, except that a lot size not less than 7,000 square feet and a minimum average lot width of not less than 65 feet may be permitted only if approved in writing by the Planning Director.
- B. A minimum 10% of the site shall be landscaped and automatic irrigation shall be installed.
- C. A minimum side yard setback shall not be required.

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D. A minimum rear yard setback shall not be required.

E. No minimum setback shall be required on any boundary where the industrial property abuts a commercially zoned property. Where the industrial property abuts a residential zoned property, a minimum 32-foot setback shall be required. A minimum of 20 feet of the setback shall be landscaped, unless a tree screen is approved, in which case the setback area may be used for automobile parking, driveways or landscaping. Block walls or other fencing may be required.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article X of Ordinance No. 348.

I. Planning Area 9.

(1) The uses permitted in Planning Area 9 of Specific Plan No. 235 shall be the same as those uses permitted in Article X, Section 10.1 of Ordinance No. 348, except that the use permitted pursuant to Sections 10.1.a.2.(1) shall not be permitted. In addition, the permitted uses identified under Section 10.1.a.2. shall also include automobile service stations, not including the concurrent sale of beer and wine for off-premises consumption, but including the location of a convenience store within the service station.

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(2) The development standards for Planning Area 9 of Specific Plan No. 235 shall be the same as those standards identified in Article X, Section 10.4 of Ordinance No. 348, except that the development standards set forth in Article X, Section 10.4.a., c., e., f. and g. shall be deleted and replaced by the following:

- A. The minimum lot size shall be 10,000 square feet with a minimum average lot width of 75 feet, except that a lot size not less than 7,000 square feet and a minimum average lot width of not less than 65 feet may be permitted only if approved in writing by the Planning Director.
- B. A minimum 10% of the site shall be landscaped and automatic irrigation shall be installed.
- C. A minimum side yard setback shall not be required.
- D. A minimum rear yard setback shall not be required.
- E. No minimum setback shall be required on any boundary where the industrial property abuts a commercially zoned property. Where the industrial property abuts a residential zoned property, a minimum 32-foot setback shall be required. A minimum of 20 feet of

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the setback shall be landscaped, unless a tree screen is approved, in which case the setback area may be used for automobile parking, driveways or landscaping. Block walls or other fencing may be required.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article X of Ordinance No. 348.

J. Planning Area 10.

(1) The uses permitted in Planning Area 10 of Specific Plan No. 235 shall be the same as those uses permitted in Article X, Section 10.1 of Ordinance No. 348, except that the use permitted pursuant to Sections 10.1.a.2.(1) shall not be permitted. In addition, the permitted uses identified under Section 10.1.a.2. shall also include automobile service stations, not including the concurrent sale of beer and wine for off-premises consumption, but including the location of a convenience store within the service station.

(2) The development standards for Planning Area 10 of Specific Plan No. 235 shall be the same as those standards identified in Article X, Section 10.4 of Ordinance No. 348, except that the development standards set forth in Article X, Section 10.4.a., c., e., f. and g. shall be deleted and replaced by the following:

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- A. The minimum lot size shall be 10,000 square feet with a minimum average lot width of 75 feet, except that a lot size not less than 7,000 square feet and a minimum average lot width of not less than 65 feet may be permitted only if approved in writing by the Planning Director.
- B. A minimum 10% of the site shall be landscaped and automatic irrigation shall be installed.
- C. A minimum side yard setback shall not be required.
- D. A minimum rear yard setback shall not be required.
- E. No minimum setback shall be required on any boundary where the industrial property abuts a commercially zoned property. Where the industrial property abuts a residential zoned property, a minimum 32-foot of the setback shall be required. A minimum of 20 feet of the setback shall be landscaped, unless a tree screen is approved, in which case the setback area may be used for automobile parking, driveways or landscaping. Block walls or other fencing may be required.

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(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article X of Ordinance No. 348.

K. Planning Area 11.

(1) The uses permitted in Planning Area 11 of Specific Plan No. 235 shall be the same as those uses permitted in Article X, Section 10.1 of Ordinance No. 348, except that the use permitted pursuant to Sections 10.1.a.2.(1) shall not be permitted. In addition, the permitted uses identified under Section 10.1.a.2. shall also include automobile service stations, not including the concurrent sale of beer and wine for off-premises consumption, but including the location of a convenience store within the service station.

(2) The development standards for Planning Area 11 of Specific Plan No. 235 shall be the same as those standards identified in Article X, Section 10.4 of Ordinance No. 348, except that the development standards set forth in Article X, Section 10.4.a., c., e., f. and g. shall be deleted and replaced by the following:

- A. The minimum lot size shall be 10,000 square feet with a minimum average lot width of 75 feet, except that a lot size not less than 7,000 square feet and a minimum average lot

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width of not less than 65 feet may be permitted only if approved in writing by the Planning Director.

B. A minimum 10% of the site shall be landscaped and automatic irrigation shall be installed.

C. A minimum side yard setback shall not be required.

D. A minimum rear yard setback shall not be required.

E. No minimum setback shall be required on any boundary where the industrial property abuts a commercially zoned property. Where the industrial property abuts a residential zoned property, a minimum 32-foot setback shall be required. A minimum of 20 feet of the setback shall be landscaped, unless a tree screen is approved, in which case the setback area may be used for automobile parking, driveways or landscaping. Block walls or other fencing may be required.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article X of Ordinance No. 348.

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L. Planning Area 12.

(1) The uses permitted in Planning Area 12 of Specific Plan No. 235 shall be the same as those uses permitted in Article VIIIe, Section 8.100 of Ordinance No. 348. In addition, the permitted uses identified under Section 8.100.a. shall also include undeveloped open space and jogging trails.

(2) The development standards for Planning Area 12 of Specific Plan No. 235 shall be the same as those standards identified in Article VIIIe, Section 8.101 of Ordinance No. 348.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VIIIe of Ordinance No. 348.

M. Planning Area 13.

(1) The uses permitted in Planning Area 13 of Specific Plan No. 235 shall be the same as those uses permitted in Article VIIIe, Section 8.100 of Ordinance No. 348. In addition, the permitted uses identified under Section 8.100.a. shall also include improved drainage facilities, jogging trails and equestrian trails.

(2) The development standards for Planning Area 13 of Specific Plan No. 235 shall be the same as those standards identified in Article VIIIe, Section 8.101 of Ordinance No. 348.

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(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VIIIe of Ordinance No. 348.

Section 3. This Ordinance shall take effect 30 days after its adoption.

BOARD OF SUPERVISORS OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

By _____
Chairman, Board of Supervisors

ATTEST:
GERALD A. MALONEY
Clerk of the Board

By _____
Deputy

(SEAL)

Screencheck Specific Plan Submitted: June 30, 1988
Draft Specific Plan Submitted: December 12, 1988
Final Specific Plan Approved: February 20, 1990

**RANCON BUSINESS CENTER
SPECIFIC PLAN NO. 235**

Developed for:

RANCON DEVELOPMENT FUND VI

Prepared by:

TURRINI & BRINK
Planning Consultants
3242 Halladay, Suite 100
Santa Ana, CA 92705

Contact Persons:

Frank J.A. Greco

In Association With:

Douglas Wood & Associates, Environmental Analysis
Wilbur Smith & Associates, Traffic Analysis
Robert Bein, William Frost & Associates, Civil Engineering
McGoldrick Engineering, Civil Engineering
Leighton & Associates, Geotechnical Analysis
Hogan Roy Partners, Landscape Architecture
M.E.N. & Associates, Utility Consultants

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TECHNICAL APPENDICES

- A. Rancon Business Center Traffic Impact Study
Prepared by Wilbur Smith Associates,
December 1988
- B. Preliminary Investigation on Water and Sewer Service for
Rancon Business Center
Prepared by Robert Bein, William Frost & Associates,
December 1988
- C. Conceptual Flood Control Analysis Rancon Business Center
Prepared by Robert Bein, William Frost & Associates,
February 1988
- D. Preliminary Geotechnical Analysis (Interim Letter)
Prepared by Leighton & Associates,
November 1987
- E. Fiscal Impact Analysis Rancon Business Center
Prepared by Natelson, Levander & Whitney,
September 1988
- F. Existing Utilities Analysis Rancon Business Center
Prepared by Larry Markham
- G. Existing Utilities Analysis Rancon Business Center
(Update)
Prepared by M.E.N. & Associates
May 1989
- H. Geotechnical Investigation of Faulting and Fissuring
Prepared by Leighton & Associates
March 1989
- I. RANCON BUSINESS CENTER Traffic Study (Addendum Report)
Prepared by Wilbur Smith & Associates
April 1989

II. SUMMARY

II. SUMMARY

A. PROJECT SUMMARY

The RANCON BUSINESS CENTER, as shown on the Regional Vicinity Map (Figure 1) and illustrated on the Vicinity Map (Figure 2), is located on approximately 511+ acres southwest of Interstate 15 in the Rancho California area of Riverside County. Ongoing uses in the project area include agricultural, residential, commercial and industrial uses. The RANCON BUSINESS CENTER will serve as a key provider of economic growth and employment opportunity for the urbanizing Rancho California Area. The RANCON BUSINESS CENTER will provide for the establishment of approximately 356 acres of industrial park uses, which are expected to be in the nature of light manufacturing. It is anticipated that approximately 500,000 to 750,000 square feet of contemporary business park will be developed in the industrial park. The business park uses will be more office orientated with some support commercial uses. It is anticipated that the business park uses and commercial uses, such as restaurants, health club facilities and other related retail commercial establishments will be located along view corridors of the project such as Date Street and Diaz Road.

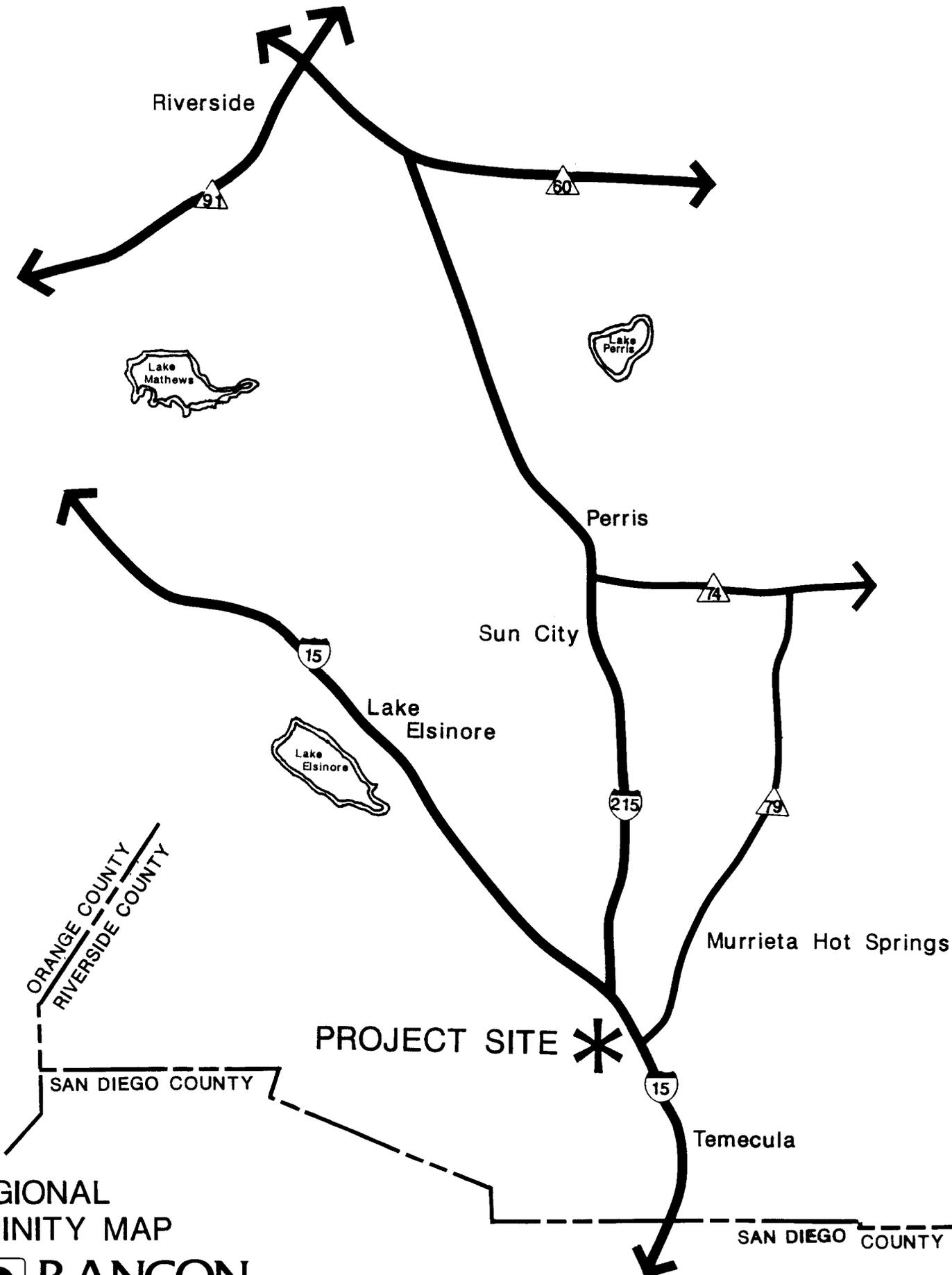
In marketing the RANCON BUSINESS CENTER, the opportunity will be to create a industrial park that will complement the recent growth in the Rancho California area.

The RANCON BUSINESS CENTER Specific Plan land uses can be briefly summarized as follows:

<u>USE</u>	<u>ACREAGE</u>	<u>PERCENTAGE</u>
Industrial Park	356	70%
Creeks	26	5%
Open Space	86	17%
Major Roads	43	8%
	<hr/> 511	<hr/> 100%

B. EIR SUMMARY - MATRIX

Adequate prior review has been provided by EIR No. 250. Therefore no EIR is included in this document.



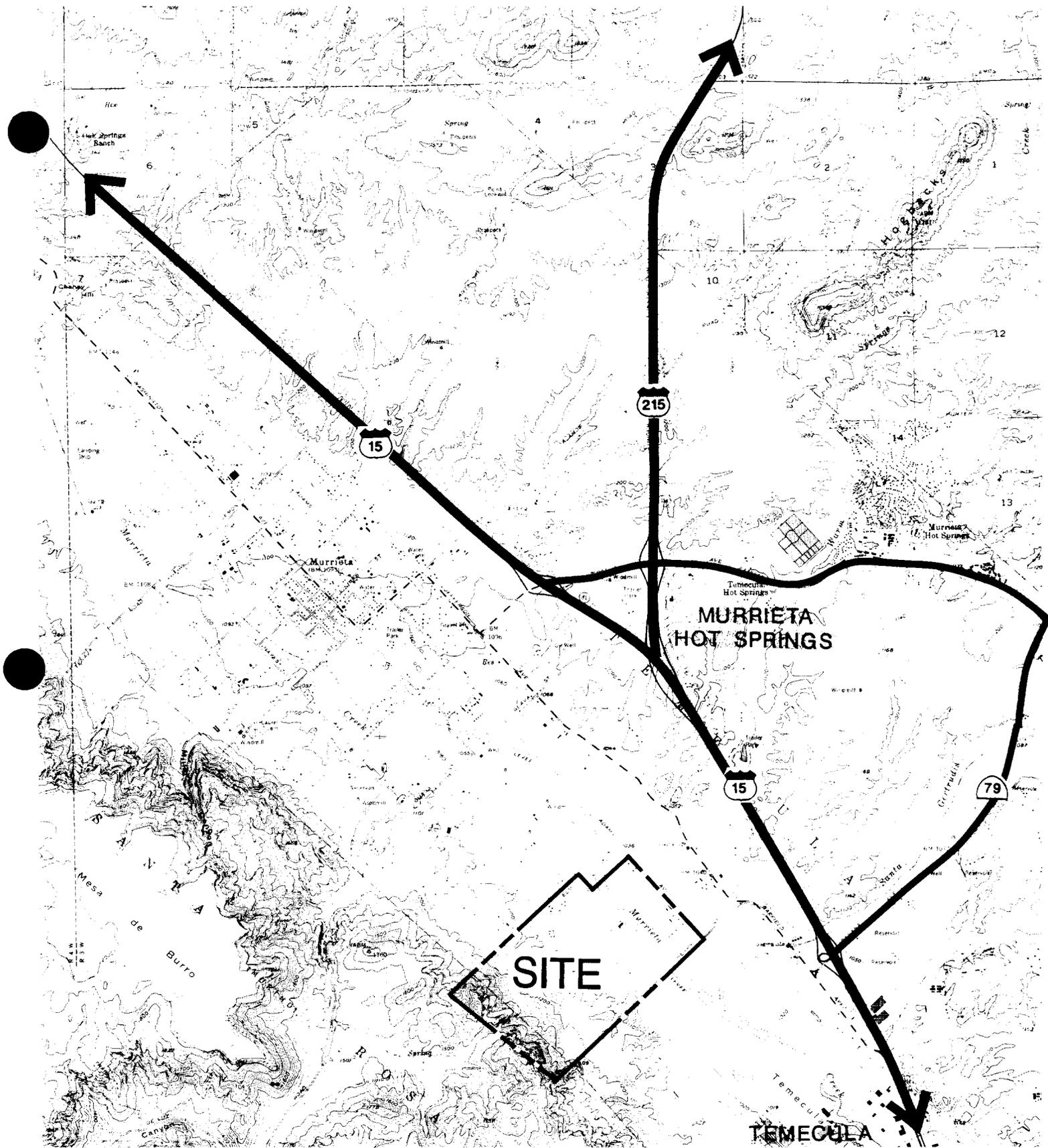
REGIONAL VICINITY MAP

RANCON BUSINESS CENTER

Prepared for:
 RANCON DEVELOPMENT FUND VI
 27720 JEFFERSON AVENUE RANCHO CALIFORNIA, CA. 92390

FIGURE 1

TURRINI & BRINK
 Planning Consultants
 3242 HALLADAY SUITE 100
 SANTA ANA, CALIF. 92705 (714) 662-2774
 220 TRADE STREET SUITE 112
 SAN DIEGO CALIF. 92101 (619) 566-5095



VICINITY MAP



**RANCON
BUSINESS CENTER**

Prepared for:
RANCON DEVELOPMENT FUND VI
 27720 JEFFERSON AVENUE RANCHO CALIFORNIA, CA. 92390

FIGURE 2



**TURRINI & BRINK
 Planning Consultants**
 1242 HALLADAY SLITE 100
 SANTA ANA, CALIF. 92705 (714) 662-2774
 7220 TRADE STREET SLITE 102
 SAN DIEGO, CALIF. 92121 (619) 566-5095

III. SPECIFIC PLAN

III. SPECIFIC PLAN

This Specific Land Use Plan has been prepared within the framework of a detailed and comprehensive multi-disciplinary planning program. Issues such as engineering feasibility, market acceptance, economic viability, County General Plan goals and objectives, development phasing and local community goals have been fully examined and considered. To further insure the environmental compatibility aesthetic satisfaction and functional integrity of the plan, specific planning goals and objectives were identified.

The RANCON BUSINESS CENTER Specific Plan addresses goals, objectives and policies that are generally in agreement with those outlined in the Riverside County General Plan. These goals, objectives and policies generally:

- * Consider topographic, geologic, hydrologic and environmental opportunities and constraints to create a design that generally conforms to the character of the land by retaining and utilizing basic existing landforms as much as possible.
- * Establish a development phasing plan that results in logical coordinated growth.
- * Provide backbone infrastructure systems and public facilities to support development in an efficient and timely manner.
- * Provide industrial and business uses that will strive to accommodate an appropriate share of the projected community and regional work force.
- * Develop an environment that is visually attractive and efficiently and effectively organized.
- * Maintain consistency with the County's Noise Element by properly mitigating noise generating uses that exceed the maximum suggested dBa.

1. **Comprehensive Land Use Plan**

a. Land Use Plan Description

When completed, the RANCON BUSINESS CENTER will be an up-scale corporate industrial park composed of a high quality mix of industrial and related uses. The industrial park uses will be constructed in compliance with a site design that is consistent with the Riverside County General Plan. The products to be provided by the RANCON BUSINESS CENTER will meet a market need in the urbanizing Rancho California area. (See Figure 3, Specific Land Use Plan).

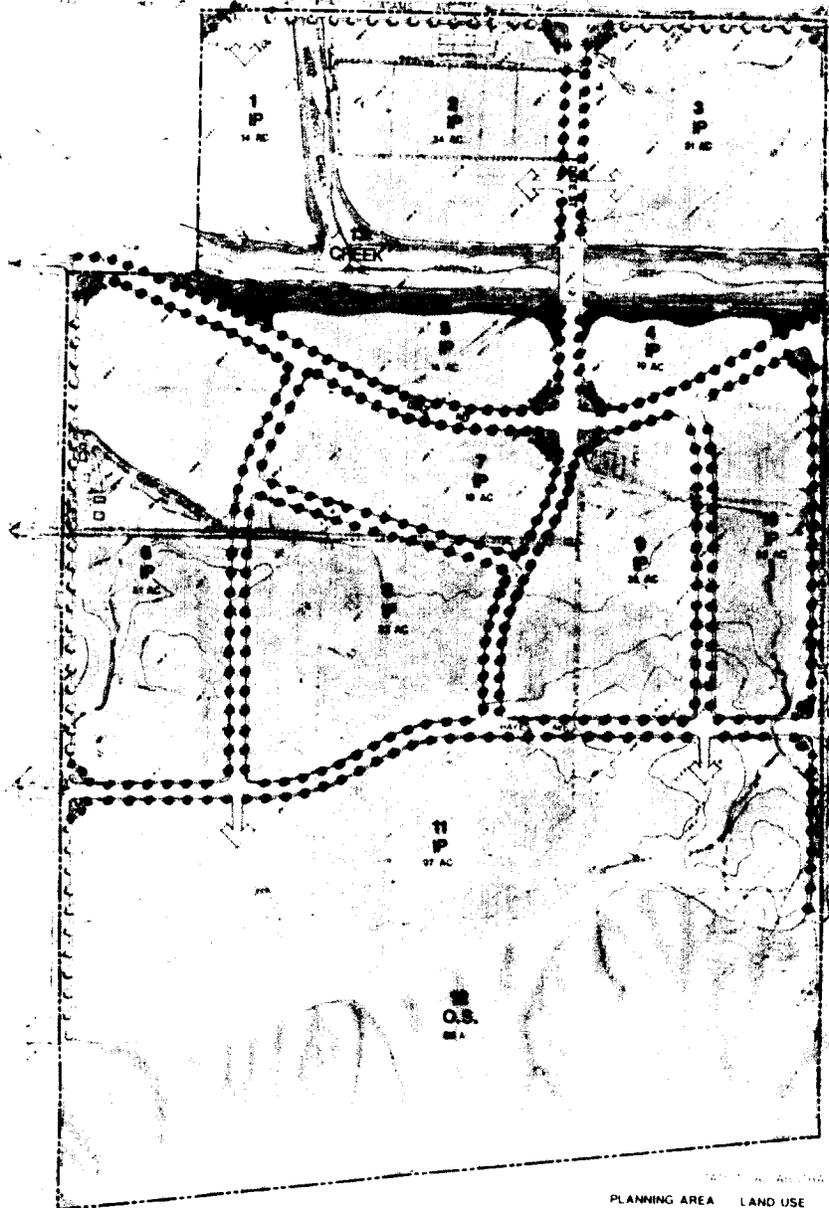
Specific information on each of the Planning Areas within the RANCON BUSINESS CENTER is provided in Sec. III.B., Planning Area Development Standards, in the Specific Land Use Plan Summary (Table I), Planning Area Figures 11A-L, and Design Guidelines Sec. IV.A. and B.

- * **Industrial** - The industrial and business park uses will consist of approximately 356 acres overall, and account for 70% of the project acres. These proposed uses will serve the residents of Rancho California as well as a more regional market.
- * **Open Space/Creeks** - Approximately 86 acres of the project located on the southwestern portion of the site will be retained as natural open space. The slopes found in the open space area will serve as a distinctive visual feature, providing an attractive natural backdrop for the business center. An additional 26 acres consists of two major drainage courses, the Murrieta and Warm Springs Creeks. These waterways are located in the northern portion of the site.
- * **Roads** - The project consists of approximately 43 acres of major roadways. These circulation routes range from 78 to 110 feet of right-of-way.

b. Land Use Plan Development Standards

In order to ensure the orderly and sensitive development of the business and industrial uses for the RANCON BUSINESS CENTER, special techniques or mitigations have been created for each Planning Area. These area-specific standards, discussed in detail in Sec. III.B., will assist in accommodating the proposed development and provide adequate transitions to neighboring residential types.

In addition to these specific techniques, project-wide development standards also have been prepared which complement the unique condition within each Planning Area. These General Standards are:



SPECIFIC LAND USE PLAN

RANCON
 DEVELOPMENT CENTER

Rancon Development Fund VI

PLANNING AREA	LAND USE	ACRES
1	IP	14.0
2	IP	14.0
3	IP	14.0
4	IP	10.0
5	IP	16.0
6	IP	17.0
7	IP	16.0
8	IP	13.0
9	IP	30.0
10	IP	22.0
11	IP	9.70
INDUSTRIAL SUBTOTAL		358.0
12	O.S.	96.0
13	O.S.	26.0
TOTAL PLANNING AREA		480.0
PROJECT TOTAL		511.0

FIGURE 3



- 1) Uses and development standards will be in accordance with the County of Riverside Zoning Code and will be defined by Specific Plan objectives, future detailed plot plans and potential conditional use permits as appropriate.
- 2) Standards relating to signage, landscaping, parking and other related design elements will conform to the County of Riverside Zoning Code Ordinance No. 348 and the Design Guidelines set forth within this Specific Plan and Zoning Regulations. Should a conflict arise with regard to the above, the provisions of the Design Guidelines and Zoning Regulations of this Specific Plan shall supercede the MS-C Zone of Ordinance No. 348. When appropriate and necessary to meet the goals of this Specific Plan, the standards will exceed the zoning code requirements.
- 3) The development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances including Ordinances No. 348 and 460 and state laws; and shall conform substantially with adopted Specific Plan No. 235 as filed in the office of the Riverside County Planning Department, unless otherwise amended.
- 4) No portion of the Specific Plan which purports or proposes to change, waive or modify any ordinance or other legal requirement for the development shall be considered to be part of the adopted Specific Plan.
- 5) A land division filed for the purpose of phasing or financing shall not be considered an implementing development application; provided that if the maintenance organization is a property owners association, the legal documentation necessary to establish the association shall be recorded concurrently with the recordation of the final map.

Common areas identified in the Specific Plan shall be owned and maintained as follows:

- a) A permanent master maintenance organization is in the process of being established for the Specific Plan area, to assume ownership and maintenance responsibility for all common recreation open space, circulation systems and landscaped areas. The organization may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association then individual associations shall be established for each industrial development, where required, and

such associations may assume ownership and maintenance responsibility for common areas.

- b) Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
 - c) The maintenance organization shall be established prior to or concurrent with the recordation of the first land division, or issuance of any building permits for any approved development permit (use permit, plot plan, etc.).
- 6) The permittee shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees from any claim, action, or proceeding against the County of Riverside or its agents, officers, or employees to attack, set aside, void, or annul an approval of the County of Riverside, its advisory agencies, appeal board or legislative body concerning Specific Plan. The County of Riverside will promptly notify the permittee of any such claim, action, or proceeding against the County of Riverside and will cooperate fully in the defense. If the County fails to promptly notify the permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the County of Riverside.
 - 7) Prior to issuance of a building permit for construction of any use contemplated by this approval, the applicant shall first obtain clearance from the County of Riverside Planning Department verifying that all pertinent conditions of Specific Plan approval have been satisfied for the phase of development in question.
 - 8) An environmental assessment shall be conducted for each tract, plot plan, specific plan amendment or any other discretionary permit required to implement the Specific Plan. At a minimum, the environmental assessment shall utilize the evaluation of impacts addressed in the EIR prepared for this Specific Plan No. 235.
 - 9) Lots created pursuant to this Specific Plan and any subsequent tentative maps shall be in conformance with the development standards of the Specific Plan Zone herein applied to the property.
 - 10) Flag lots shall not be permitted except as approved by the Planning Director.

- 11) Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures and circulation (vehicular and pedestrian and/or bicycle).
- 12) Passive solar heating techniques will be employed whenever possible within the project. Passive solar systems do not utilize sophisticated hardware, but involve the proper orientation of buildings and landscaping to take advantage of the sun. Proper use of roof overhangs, adequate insulation and simple heat storage systems is encouraged.
- 13) If necessary, roadways, infrastructure and open space will be coordinated by and paid for through an assessment or community services district or area to facilitate construction, maintenance and management.
- 14) Final development of industrial lots for each Planning Area shall be determined through the appropriate development application based upon but not limited to, the following:
 - a) Adequate availability of services.
 - b) Adequate access and circulation.
 - c) Sensitivity to landforms.
 - d) Innovation in building types, design, conservation, or opportunities.
 - e) Sensitivity to individual Planning Area design through appropriate lot and street layouts including minimization in the use of flag lots.
- 15) Areas designated as open space that will be conveyed within parcel boundaries to individual property purchases shall be deed restricted so as to create open space easements and prohibit grading, construction or other development activity in such open spaces.
- 16) Prior to the issuance of building permits, landscape improvement plans for the development of the common open space area, including construction, planting and irrigation plans, shall be submitted for Planning Department approval for the stage of development in question. These landscape improvement plans shall be prepared by and reviewed for substantial conformance by a licensed landscape architect.

- 17) For the security and safety of future users the application and/or developer shall incorporate the following design concepts within each individual tract:
- a) Circulation for vehicles and police patrols.
 - b) Lighting of streets, walkways.
 - c) Visibility of doors and windows from the street and between buildings.
 - d) Fencing heights and materials.
- 18) It is anticipated that a County Service Area (CSA) or Business Park Maintenance Association, if formed, will be established as follows:

The CSA or Business Park Association shall be formed and charged with the un-qualified right to assess its own individual owners who own individual lots for reasonable maintenance and management costs which shall be established and continuously maintained. The association shall be responsible for the installation and maintenance of primary monumentation, minor project monumentation and intersections, local project intersections, arterial/secondary highway streetscenes, internal industrial collector streetscenes, the Warm Springs Channel riparian habitat zone, the Murrieta Creek landscape easement and the manufactured slope/fuel modification zone.

2. Circulation Plan

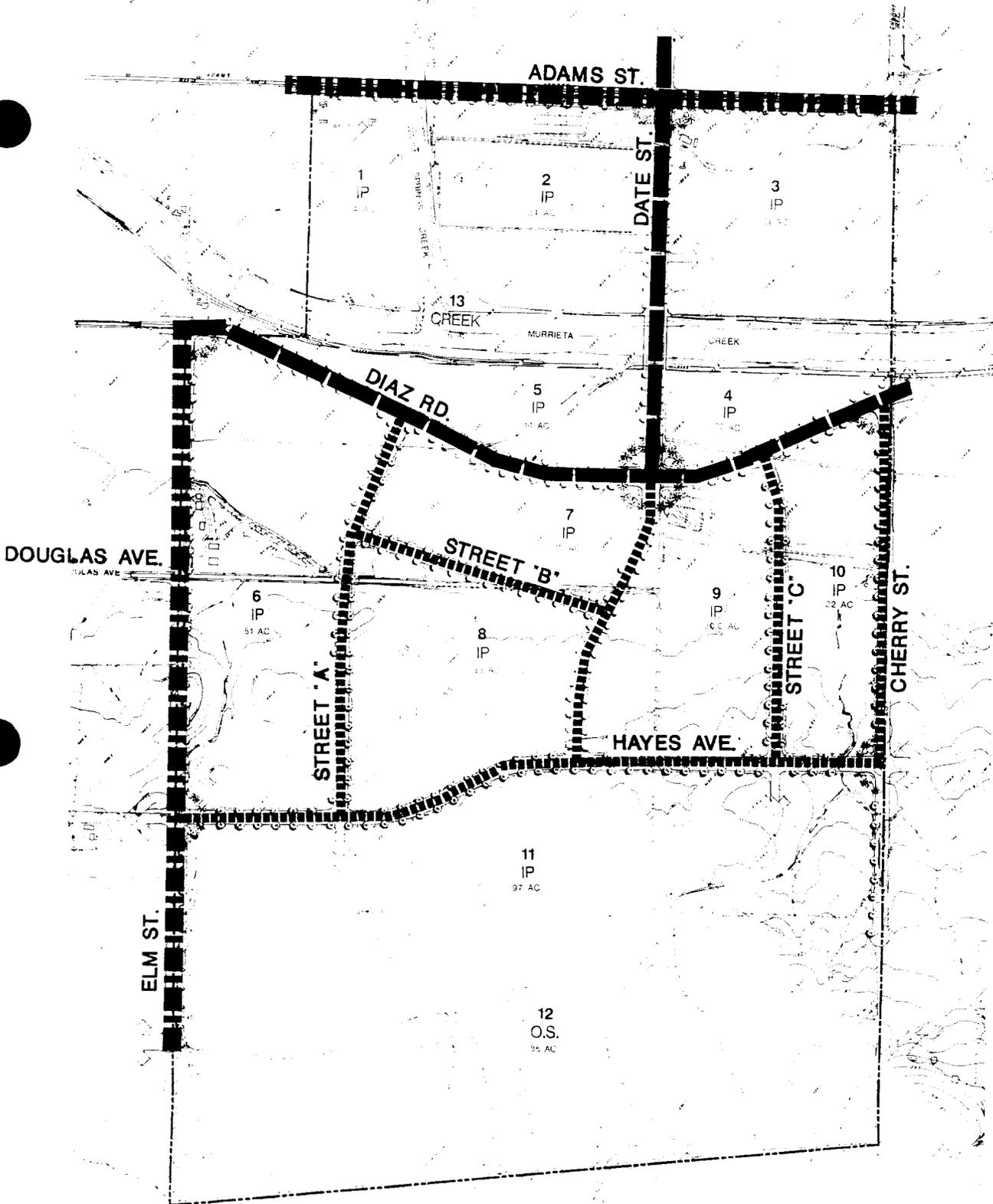
a. Circulation Plan Description

As a result of a thorough traffic analysis conducted by Wilbur Smith and Associates (See Sec. V.A., Technical Appendices), a project roadway concept has been developed as illustrated in the Circulation Plan (Figure 4). The objective of the Circulation Plan is to provide direct and convenient access to individual industrial and business use clusters through a safe and efficient network of roads including two major highways, two secondary highways, and a series of industrial collector streets. Roadway cross-sections are illustrated on Figure 5.

The project Traffic Analysis estimates that 29,200 vehicle trips per day will be generated by the project. (Please refer to Sec. V.A.&I., Technical Appendices.)

b. Circulation Plan Development Standards

- 1) The proposed Circulation Plan provides an efficient traffic design that meets the needs of the project. The on-site system depicted on the Circulation Plan (Figure 5) has been derived from the Master Circulation Plan outlined in the project traffic analysis and will serve as the composite Circulation Plan for the Rancon Business Center Specific Plan. (See Technical Appendices, Sec. V.A. and Sec. 4.8, Traffic and Circulation, of EIR #250.) On-site roadway improvements will be phased in accordance with this plan.
- 2) Major roadways should be implemented as non-access roadways, with smaller industrial collector streets serving the individual clusters.
- 3) The subdivision shall comply with the on-site street improvement recommendations/mitigations outlined in the project traffic analysis. (Please see Sec. V.A., Technical Appendices.)
- 4) On-site roads will be constructed as:
 - * Arterial Highway - (110' R.O.W.) (Por.) Date Street & Diaz Road
 - * Secondary Highway - (88' R.O.W.) Adams Avenue & Elm Street.
 - * Industrial Collector Street - (78' R.O.W.) (Por.) Date Street, Cherry Street, Hayes Ave., Streets "A", "B", and "C".



R.O.W.

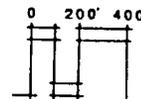
-  ARTERIAL HIGHWAY 110'
-  SECONDARY HIGHWAY 88'
-  INDUSTRIAL COLLECTOR 78'

CIRCULATION PLAN



RANCON BUSINESS CENTER

Prepared for:
 RANCON DEVELOPMENT FUND VI
 27720 JEFFERSON AVENUE RANCHO CALIFORNIA, CA. 92390

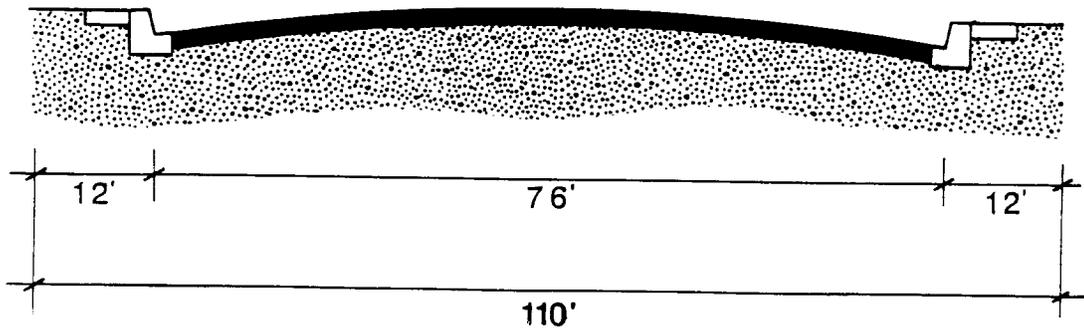


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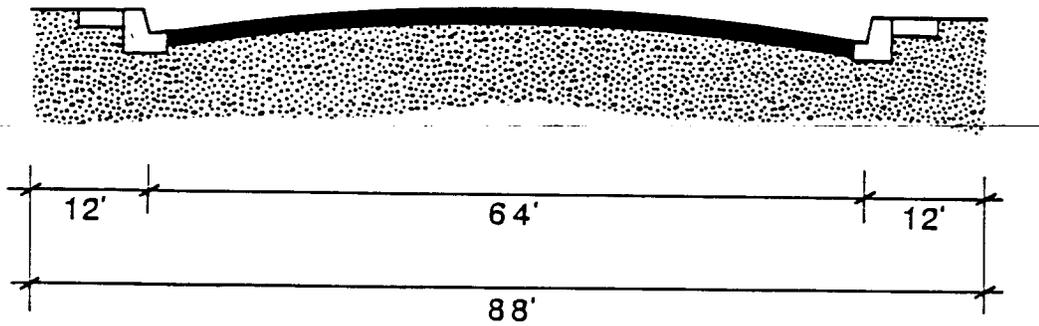


FIGURE 4

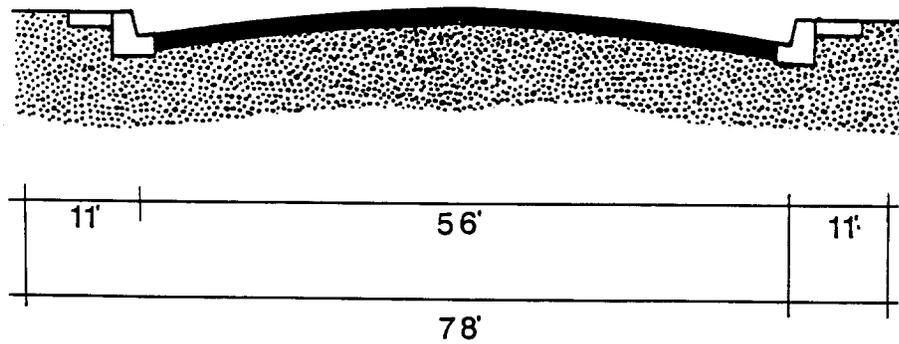
- 5) Landscaped requirements will be in accordance with the Roadway Landscape Treatments as depicted in Figures 21 and 22.
- 6) Major roadway improvements will be financed through an assessment district or similar financing mechanism.
- 7) All roads within the project shall be constructed to ultimate County standards in accordance with Ordinance No. 460 and 461 as a requirement of the implementing subdivisions for the Specific Plan, subject to approval by the Road Commissioner.
- 8) The project proponent shall participate in the Traffic Signal Mitigation Program as approved by the Board of Supervisors.
- 9) The project shall comply with the conditions and requirements set forth by the County Road Department.



MAJOR HIGHWAY
(Portion of Date St. & Diaz Rd.)



SECONDARY HIGHWAY
(Elm St., & Adams Ave.)



INDUSTRIAL COLLECTOR STREET
(Portion of Date St., Cherry St., Street "A", "B", & "C", Hayes Ave.)

ROADWAY CROSS SECTIONS



Prepared for:
RANCON DEVELOPMENT FUND VI
27720 JEFFERSON AVENUE RANCHO CALIFORNIA, CA. 92390

FIGURE 5



3. Drainage Plan

a. Drainage Plan Description

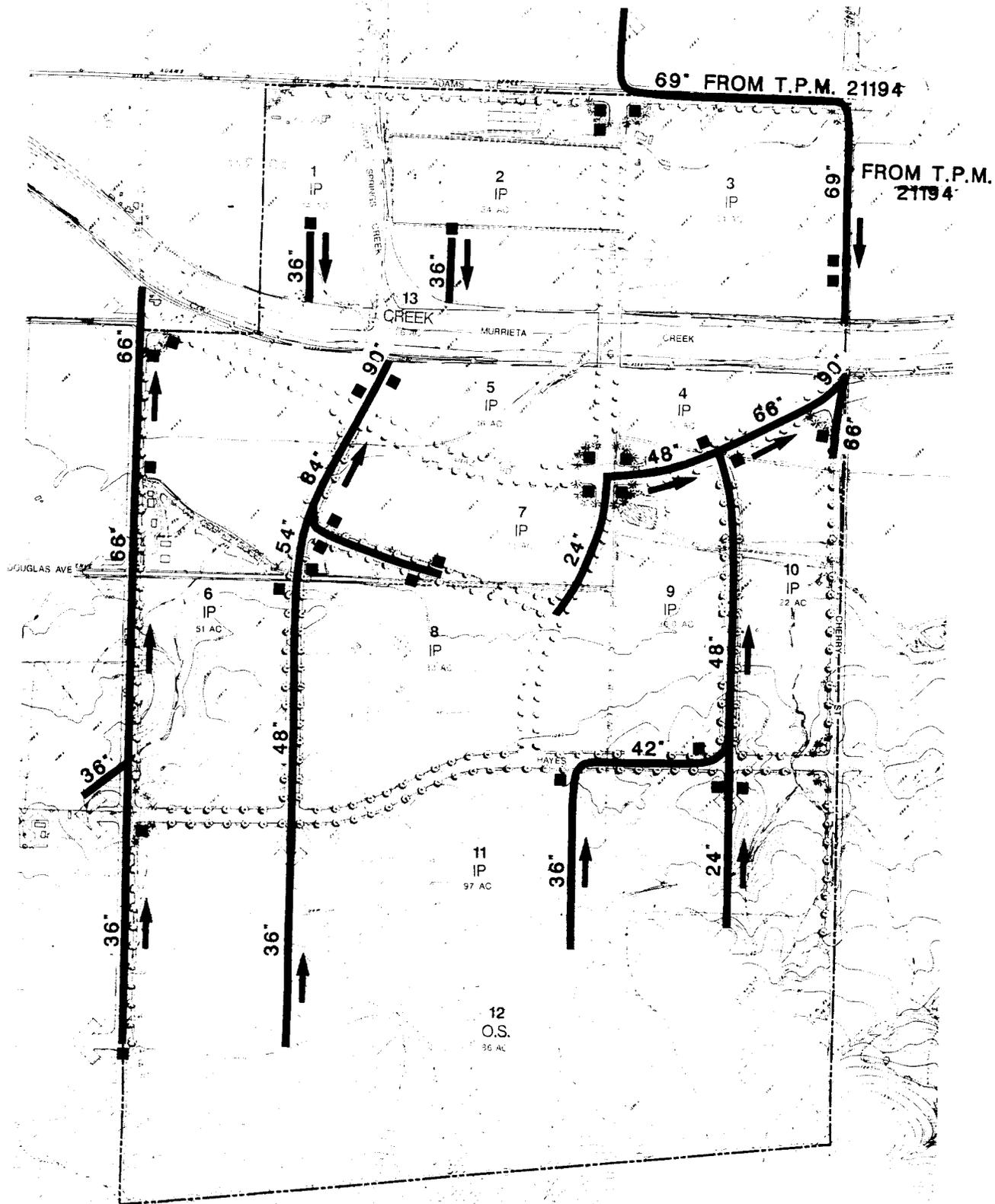
The RANCON BUSINESS CENTER site has approximately 136 tributary acres of off-site drainage to the southwest of the project site. These off-site drainage areas drain via overland sheet flow and natural hillside channels to the Murrieta Creek.

At this time the site is under the jurisdiction of the Riverside County Flood Control District (RCFCD), and is in the District's Murrieta Creek Area Drainage Plan. The applicant has developed a Master Drainage Plan (See Figure 6) that is consistent with the District's Area Drainage Plan, and designed to protect the site from the 100-year flood potential.

The proposed drainage plan utilizes the project streets and underground storm drains to carry water to the existing natural drainage courses. These natural drainage courses are the Murrieta and Warm Springs Creeks. The actual size and location of the drainage system and channels will be determined at the tract map stage of development.

b. Drainage Plan Development Standards

- 1) Local drainage improvements and flood control facilities and improvements shall be provided in accordance with Riverside County's Flood Control and Water Conservation District Requirements.
- 2) It is anticipated that major, regional facilities will be maintained by the County Flood Control District. Local drainage devices will be maintained by the CSA or Business Park Association.
- 3) Both the Murrieta and Warm Springs Creek channels will be designed and constructed to the County of Riverside Flood Control District Standards and in conformance with the Murrieta Creek Area Drainage Plan.
- 4) Please refer to Flood Control Analysis (Sec. V.C.) for related design criteria.
- 5) Please refer to Sec. 4.6., Hydrology and Flooding of EIR #250, for related issues and mitigations.



MASTER DRAINAGE PLAN

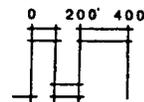
SOURCE: ROBERT BEIN, WILLIAM FROST ASSOCIATES



RANCON BUSINESS CENTER

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FIGURE 6



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4. Water and Sewer Plans

a. Water Plan Description

The Rancho California Water District (RCWD) has indicated they can and are willing to provide water service to the entire site.

The portion of the RANCON BUSINESS CENTER west of Murrieta Creek is currently in the process of annexation to RCWD. The District boundary is currently along Cherry Street southeast and along the Rancho Santa Rosa boundary to the southwest. A 12-inch RCWD waterline currently exists in Diaz Road just south of Cherry Street and will provide water service to the site.

The portion of the RANCON BUSINESS CENTER east of Murrieta Creek is currently within RCWD's sphere of influence. An existing 36-inch RCWD Water transmission line located in Jefferson Avenue will provide primary water service to the BUSINESS CENTER.

Figure 7, Master Water Plan, shows the proposed locations of 12-inch and 16-inch waterlines which will provide water service to the RANCON BUSINESS CENTER.

b. Sewer Plan Description

The RANCON BUSINESS CENTER falls under the sphere of influence of both the Rancho California Water District and Eastern Municipal Water District for sewer service.

The portion of the RANCON BUSINESS CENTER east of Murrieta Creek falls within the sphere of influence of Easter Municipal Water District (EMWD). EMWD will provide primary sewer service via the existing 36-inch Warm Springs Creek interceptor sewer.

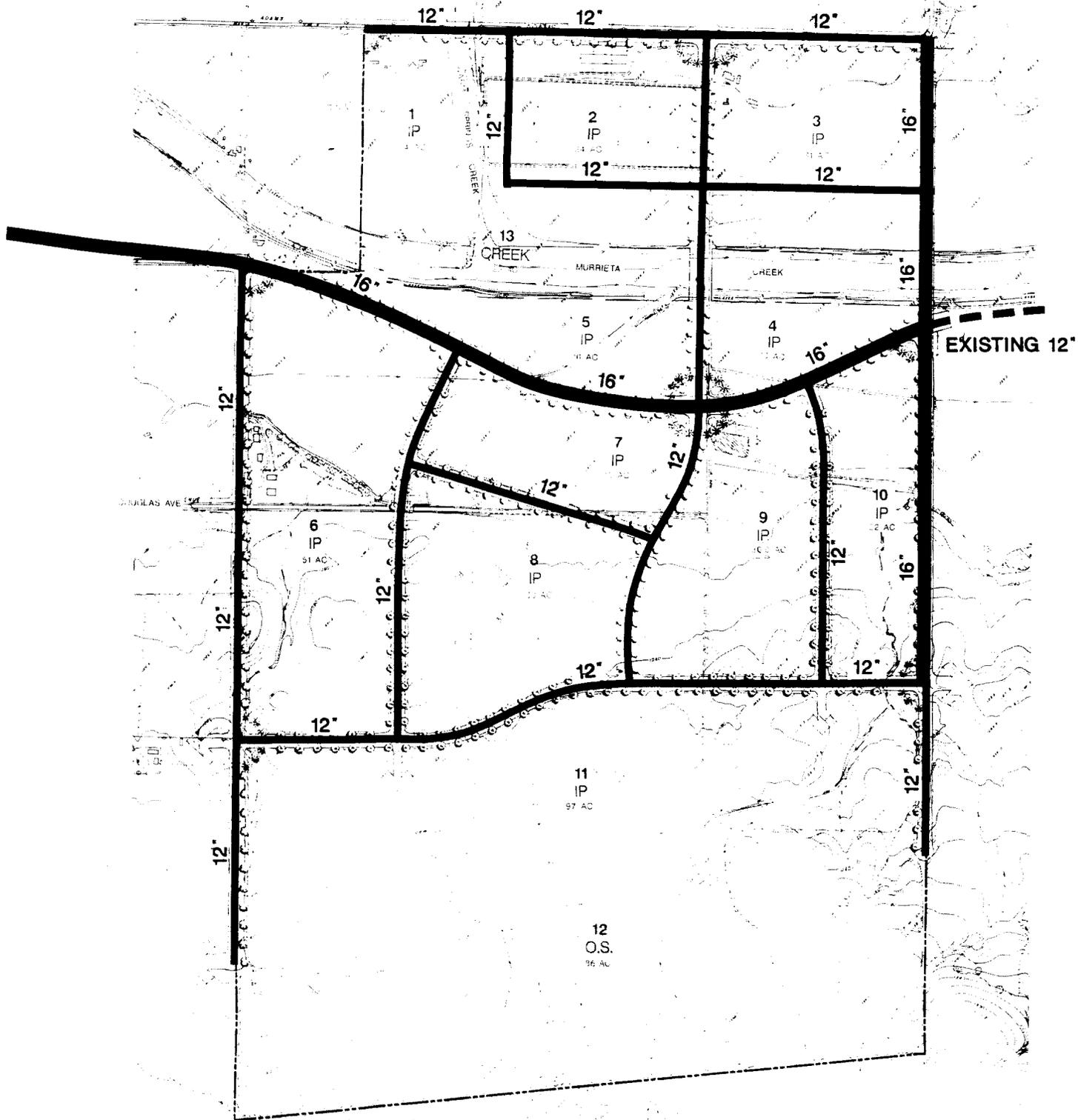
West of Murrieta Creek, Rancho California Water District (RCWD) is in the process of annexing for sewer service. RCWD is constructing a sewage treatment facility just north of the Business Center.

Although RCWD has indicated that the treatment plant headworks will be designed to accept inflows from deep gravity sewers in Diaz Road and Adams Street to the north, the area south of Date Street will naturally drain southeasterly to the intersection of Diaz Road and Cherry Street. Therefore a sewage lift station and force main system will be required to serve this portion of the site and convey the sewage back north along Diaz Road and connect to a 15-inch gravity sewer which will tie into the treatment plan.

Figure 8, Master Sewer Plan, shows the proposed locations of Eastern Municipal Water District and Rancho California Water District sewer lines which will serve the RANCON BUSINESS CENTER.

c. Water and Sewer Plan Development Standards

- 1) All water and sewer lines shall be placed underground.
- 2) All water lines will be designed per the Rancho California Water District's requirements and specifications.
- 3) All sewer lines will be designed per Eastern Municipal Water District and Rancho California Water District's requirements and specifications.
- 4) Infrastructural systems in the RANCON BUSINESS CENTER, will be installed to the requirements of the Riverside County Road Department.
- 5) All water and sewage disposal facilities shall be installed in accordance with the standards and specifications of the Riverside County Health Department.
- 6) Assurance for provision of adequate water service is required prior to approval of a subdivision map, in accordance with the State Subdivision Map Act.
- 7) Measures will be incorporated into the project design to reduce water and energy consumption on-site. Drought-resistant, native vegetation should be planted, where feasible, in the developed areas. Efficient landscape irrigation systems will be developed, minimizing excess runoff and the watering of streets and sidewalks. Water-saving devices for plumbing fixtures will be incorporated into final building design.
- 8) Assurance for provision of adequate wastewater service is required prior to approval of a subdivision map, in accordance with the State Subdivision Map Act.
- 9) Please refer to Sec. 4.9, Public Services and Utilities, of EIR #250, for related issues and mitigations.



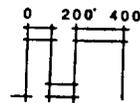
MASTER WATER PLAN

SOURCE: ROBERT BEIN, WILLIAM FROST & ASSOCIATES

RANCON
RANCON BUSINESS CENTER

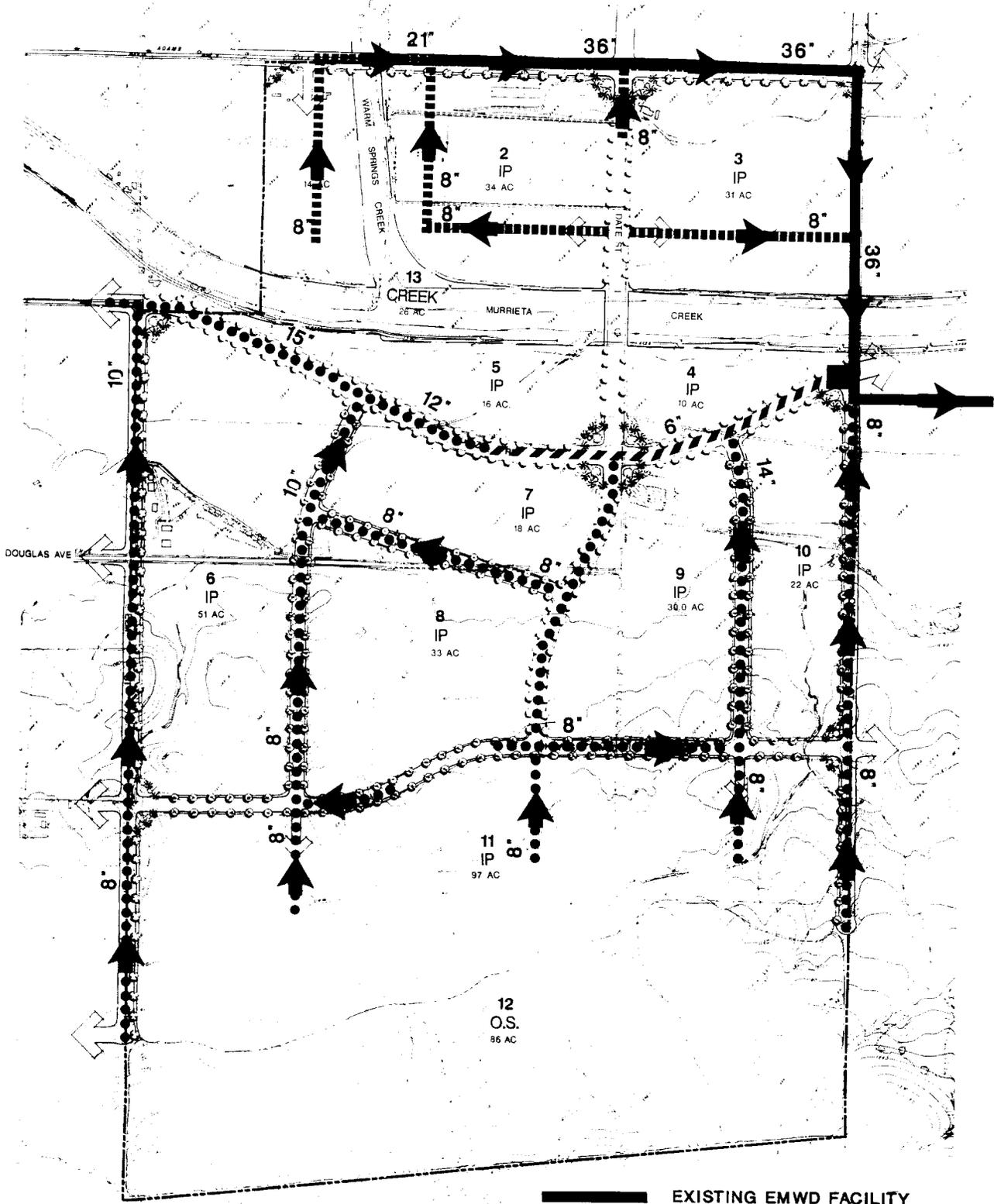
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FIGURE 7



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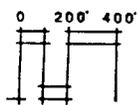
-  EXISTING EMWD FACILITY
-  PROPOSED EMWD FACILITY
-  PROPOSED RCWD FACILITY
-  PROPOSED RCWD FORCED MAIN
-  SEWER LIFT STATION

MASTER SEWER PLAN
RANCON BUSINESS CENTER



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FIGURE 8



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5. Project and Public Facility Phasing

a. Project Phasing Plan Description

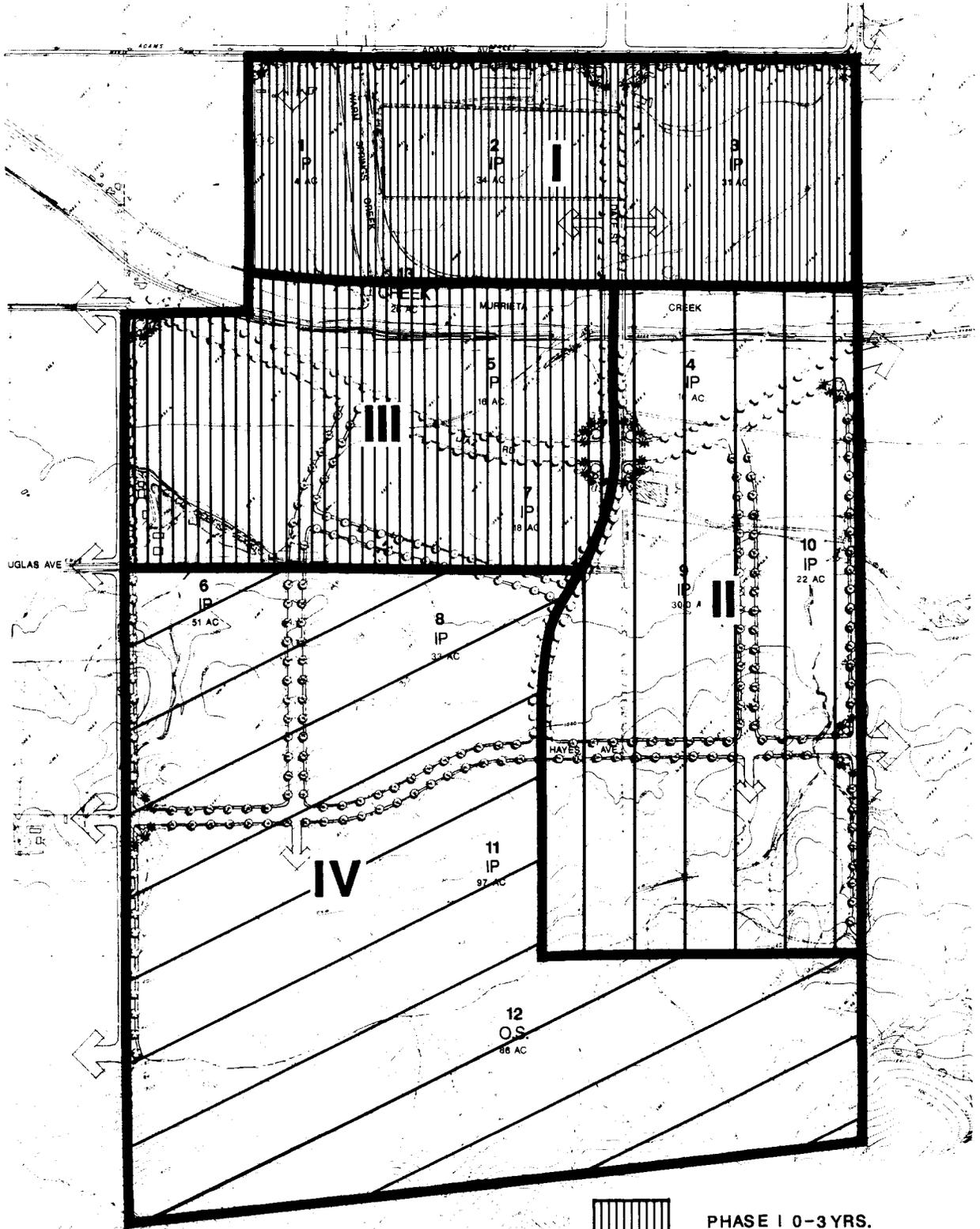
The RANCON BUSINESS CENTER will be phased over a 12 year period, in response to market demands, according to a logical and orderly extension of roadways, public utilities and infrastructure. (See Figure 9, Conceptual Phasing Plan; Table II, Development Phasing.

b. Project Phasing Standards

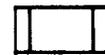
- 1) Prior to the first tentative subdivision map approval in each Planning Area, the applicant shall provide evidence to the Planning Department of substantial progress towards completion of mitigation measures outlined for the planning area in question.
- 2) Prior to issuance of building permits, landscape improvement plans for the respective landscaped areas shall be submitted to the County Planning Department for approval. The improvement plans shall include, but not limited to the following:
 - Landscape development plans prepared and reviewed for substantial conformance by a licensed landscaped architect.
- 3) Development of each planning area shall include development of common open space areas and infrastructure.

c. Public Facility Phasing Plan Description

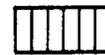
Because the RANCON BUSINESS CENTER Specific Plan will not include any public facilities, a public facility phasing plan has not been devised for this specific plan.



PHASE I 0-3 YRS.



PHASE II 4-7 YRS.



PHASE III 7-9 YRS.

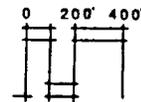


PHASE IV 10-12 YRS.

CONCEPTUAL PHASING PLAN

RANCON BUSINESS CENTER

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FIGURE 9

TABLE II
DEVELOPMENT PHASING PLAN

	<u>USE</u>	<u>PLANNING AREA</u>	<u>ACRES</u>
<u>PHASE I</u>			
(0-3 Years)	IP	1	14
	IP	2	34
	IP	3	31
	Creek	13 (portion)	5
	Roads		6
<hr/>			
SUBTOTAL			90
 <u>PHASE II</u>			
(4-7 Years)	IP	4	10
	IP	9	30
	IP	10 (portion)	22
	IP	11 (portion)	27
	Creek	13 (portion)	9
	Roads		16
<hr/>			
SUBTOTAL			114
 <u>PHASE III</u>			
(7-9 Years)	IP	5	16
	IP	6 (portion)	27
	IP	7	18
	Creek	13	12
	Roads		12
<hr/>			
SUBTOTAL			85
 <u>PHASE IV</u>			
(10-12 Years)	IP	6 (portion)	24
	IP	8	33
	IP	11 (portion)	70
	Open Space	12	86
	Roads		9
<hr/>			
SUBTOTAL			222
<hr/>			
PROJECT TOTAL			511

6. Illustrative Grading Plan

a. Grading Plan Description

The Grading Plan for the RANCON BUSINESS CENTER has been tailored to the existing topography of the project site as much as possible. It is intended that the proposed plan reflect natural land forms where possible, so that different industrial and business uses are separated by natural or man-made topographic features.

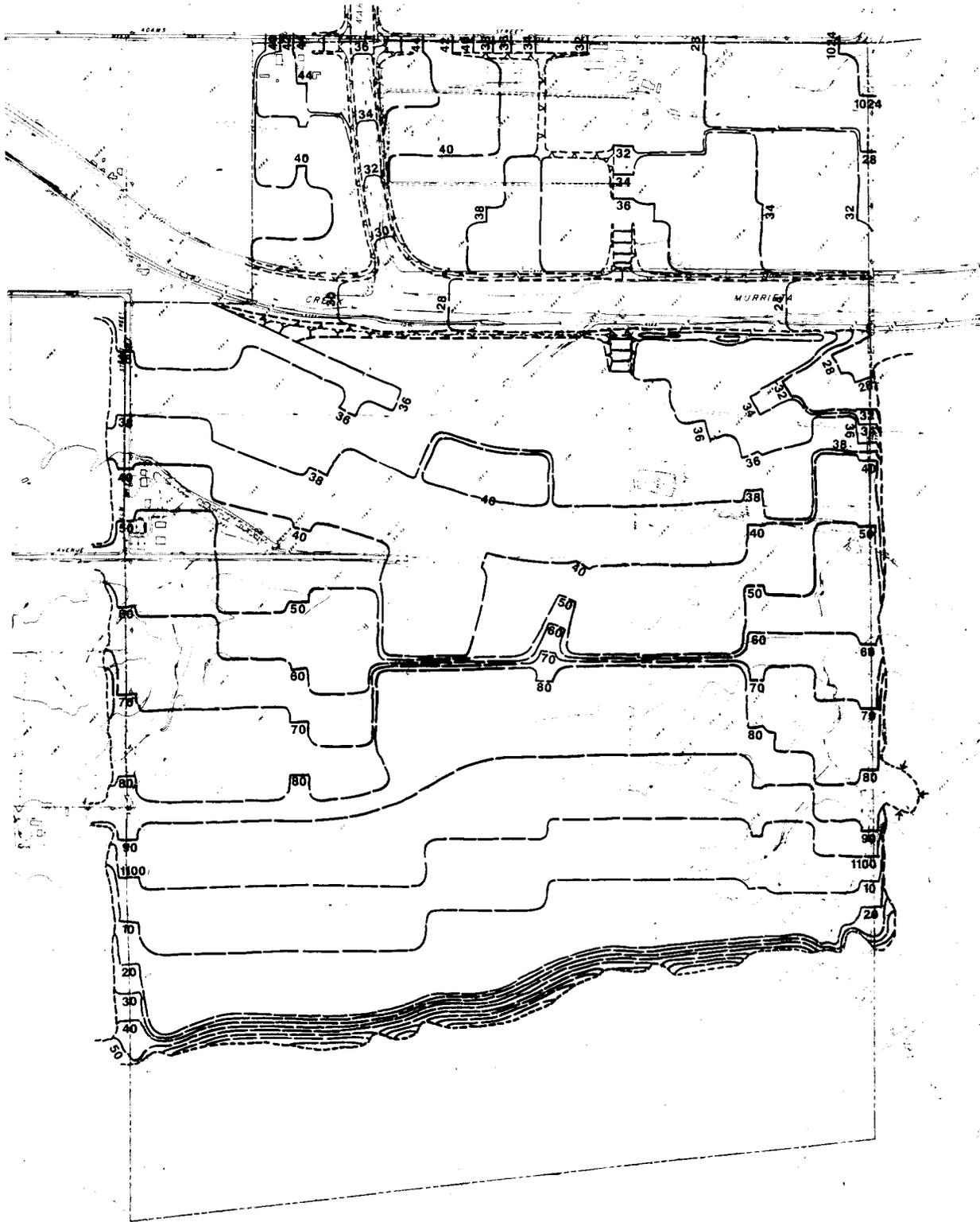
According to an earthwork quantity take-off conducted by the project engineer, it appears that the project site will balance, and will not require import or export. Based on the Conceptual Grading Plan, Figure 10, approximately 3,000,000± cubic yards of material will be moved. This figure may vary slightly as final grading plans are developed. As discussed in the Engineering Report (Sec. V.B., Technical Appendices), this Grading Plan also establishes a basis for appropriate treatment of drainage requirements and accommodates a street system that meets County of Riverside standards for acceptable grades.

b. Grading Plan Development Standards

- 1) All grading activities shall be in substantial conformance with the overall Conceptual Grading Plan (Figure 10) and shall implement any grading-related mitigation measures outlined in:

Engineering Report (Sec. V.B.&C.).
Preliminary Geotechnical Investigation (Sec. V.D.&H.).
Geology and Seismicity (Sec. 4.5, of EIR #250).

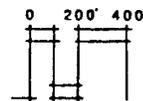
- 2) Prior to any development within any area of the Specific Plan, an overall Conceptual Grading Plan for the portion in process shall be submitted for Planning Department approval. The Grading Plan for each such area shall be used as a guidelines for subsequent detailed grading plans for individual stages of development within that area, and shall include: Techniques employed to prevent erosion and sedimentation during and after the grading process; approximate timeframes for grading; identification of areas which may be graded during higher probability rain months (January through March), and preliminary pad and roadway elevations.
- 3) All streets shall have a gradient not exceeding 10%.



CONCEPTUAL GRADING PLAN

RANCON BUSINESS CENTER

Prepared for:
 RANCON DEVELOPMENT FUND VI
 27720 JEFFERSON AVENUE RANCHO CALIFORNIA, CA. 92390 25



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FIGURE 10

- 4) Graded slopes shall be oriented to minimize visual impacts to surrounding areas.
- 5) The overall slope, height and grade of any cut and fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of a particular site.
- 6) The toes and tops of all slopes higher than ten (10) feet shall be rounded with curves with radii designed in proportion to the total height of the slope, where drainage and stability permit such rounding.
- 7) Cut or fill slopes exceeding one hundred (100) feet in horizontal length, if any, shall be graded to meander the toe and top of the slope.
- 8) Prior to initial grading activities, a soils report; and geotechnical study shall be performed that further analyze on-site soil conditions and include appropriate measures to control erosion and dust. (See Preliminary Geotechnical Investigations in Sec. V.C.)
- 9) Detailed grading plans shall be prepared prior to any on-site grading for each project or group of projects.
- 10) Slopes exceeding ten (10) feet in vertical height shall either be treated with a temporary soil binder or be hydromulched, prior to final acceptance and prior to the beginning of the rain season (October-March).
- 11) Where cut and fill slopes are created higher than ten (10) feet, a preliminary landscape plan for the development phase shall be submitted to the Planning Department prior to grading plan approval. The preliminary landscape plan shall be reviewed for substantial conformance with the Specific Plan.
- 12) The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibility of other parties.
- 13) Angular forms shall be discouraged. The graded form shall reflect natural terrain, where possible.
- 14) Potential brow ditches, terrace drains or other minor swales, determined necessary at future stages of project review, shall be lined with natural erosion control materials or concrete.
- 15) Grading work shall be balanced on-site wherever possible.

- 16) Graded but undeveloped land shall be maintained weed-free.
- 17) Unless otherwise approved by the County of Riverside, Engineering Department, all cut and fill slopes shall be constructed at inclinations of no steeper than two (2) horizontal feet to one (1) vertical foot. The Grading Plan will reflect a contouring intended to control slope erosion.
- 18) A grading permit shall be obtained from the County of Riverside, as required by the County Grading Ordinance, prior to grading.
- 19) No additional grading or native vegetation removal should encroach into any area not planned for development.
- 20) Graded perimeter transitional slope areas shall be revegetated and landscaped with California native plant species that are habitat providing, fire retardant and drought tolerant.
- 21) Geologic and soil/slope stability studies shall be prepared prior to the issuance of grading permits to identify site specific mitigation measures.
- 22) Prior to issuance of a grading permit, a study shall be prepared to address potential subsidence and attendant mitigation measures.
- 23) Design of structures on the project site shall be in accordance with the latest (1985) Uniform Building Code and shall be designed to withstand earthshaking from the maximum credible earthquake that can be expected.
- 24) If any historic or prehistoric remains are discovered during grading, a qualified archaeologist should be consulted to ascertain their significance.
- 25) Prior to any on-site grading artifacts occurring at CA RIV-2721 (Sec. 4., Archaeology of EIR #250) should be collected.
- 26) Soil stabilizers should be used to control dust as required by SCAQMD Rule 403.

7. Comprehensive Maintenance Plan

Successful operation of maintenance districts and associations are important in maintaining quality in the project area. It is anticipated that maintenance responsibilities for common project facilities in the RANCON BUSINESS CENTER will be conducted by a Master Business Park Association or a County Service Area (CSA). This decision regarding maintenance assessment will be made at a future stage of project design and review in concert with County agencies. (See Table III for summary of maintenance responsibilities.)

a. Master Business Park Association

All common areas identified in the Specific Plan shall be owned and maintained by a permanent public CSA or private master business park association, to assume ownership and maintenance responsibility for all common open space, circulation systems, and landscaped areas.

b. Project Roadways

All project roadways within the RANCON BUSINESS CENTER will be designed and constructed to standards acceptable to the County and will therefore be entered into the County system of roadways for operation and maintenance.

c. Murrieta and Warm Springs Creek Channels

The proposed creek channels will be constructed to Riverside County Flood Control District standards. It is anticipated that maintenance of these drainage channels will be the responsibility of the Flood Control District or a CSA.

TABLE III
SUMMARY OF MAINTENANCE RESPONSIBILITIES

	Business Park Association	Individual Property Owner	CSA	Riverside County	EMWD	RCWD
Landscape Parkways	X		X			
Street Lighting	X		X	X		
Public Streets				X		
Sidewalks & Hardscape		X				
Storm Drains				X		
Project Signage	X					
Individual Signage		X				
Creeks			X	X		
Common Open Space	X					
Natural Open Space			X			
Public Sewer/Water					X	X

B. PLANNING AREA DEVELOPMENT STANDARDS

Development standards for the RANCON BUSINESS CENTER have been established at three levels: General Development Provisions, which were addressed in Sec. III.A.1.; Design Guidelines, which are provided in Sec. IV.A&B; and Planning Area Development Standards, to which this section is devoted.

Planning Areas were selected on the basis of conceptual, logical, separate units of development. Criteria considered in this process included uniformity of use as it pertains to zoning and relationship to adjoining product and surrounding topography.

Included in the Development Standards for the Planning Areas are provisions to establish use restrictions for land uses to be developed within each Planning Area.

1. Planning Area 1 Industrial

a. Descriptive Summary

Planning Area 1, as depicted on Figure 11A, consists of approximately 14 gross acres. The land use designation for this Planning Area is industrial.

b. Land Use and Development Standards

Please refer to Ordinance No. 348.3202.

c. Planning Standards

- * A minor entry monumentation treatment will be established on the northeast corner of Adams Avenue. A typical minor entry monumentation treatment is illustrated on Figure 14.
- * An arterial/secondary landscape treatment, as illustrated on Figure 21, will be established along Adams Avenue.
- * A channel/pad interface, as shown on Figure 18, will be established where Planning Area 1 abuts Murrieta Creek.
- * A channel/pad interface, as shown on Figure 19, will be established where Planning Area 1 abuts Warm Springs Creek.

- * Where manufactured slopes occur within this planning area, a pad/manufactured slope interface, similar to the one illustrated in Figure 20, will be used.

- * Please refer to Section III.A.1. through III.A.7. for the following Development Plans and Standards that apply site-wide:
 - III.A.1 Comprehensive Land Use Plan
 - III.A.2 Circulation Plan
 - III.A.3 Drainage Plan
 - III.A.4 Water and Sewer Plan
 - III.A.5 Project and Public Facility Phasing
 - III.A.6 Illustrative Grading Plan
 - III.A.7 Comprehensive Maintenance Plan

- * Please refer to Design Guidelines, Sec. IV.A&B, for related criteria.

PLANNING AREA 1

INDUSTRIAL PARK
14 AC.

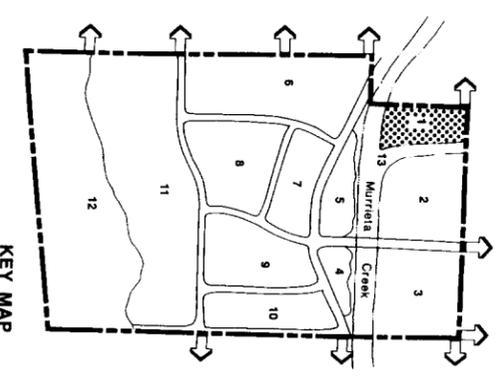
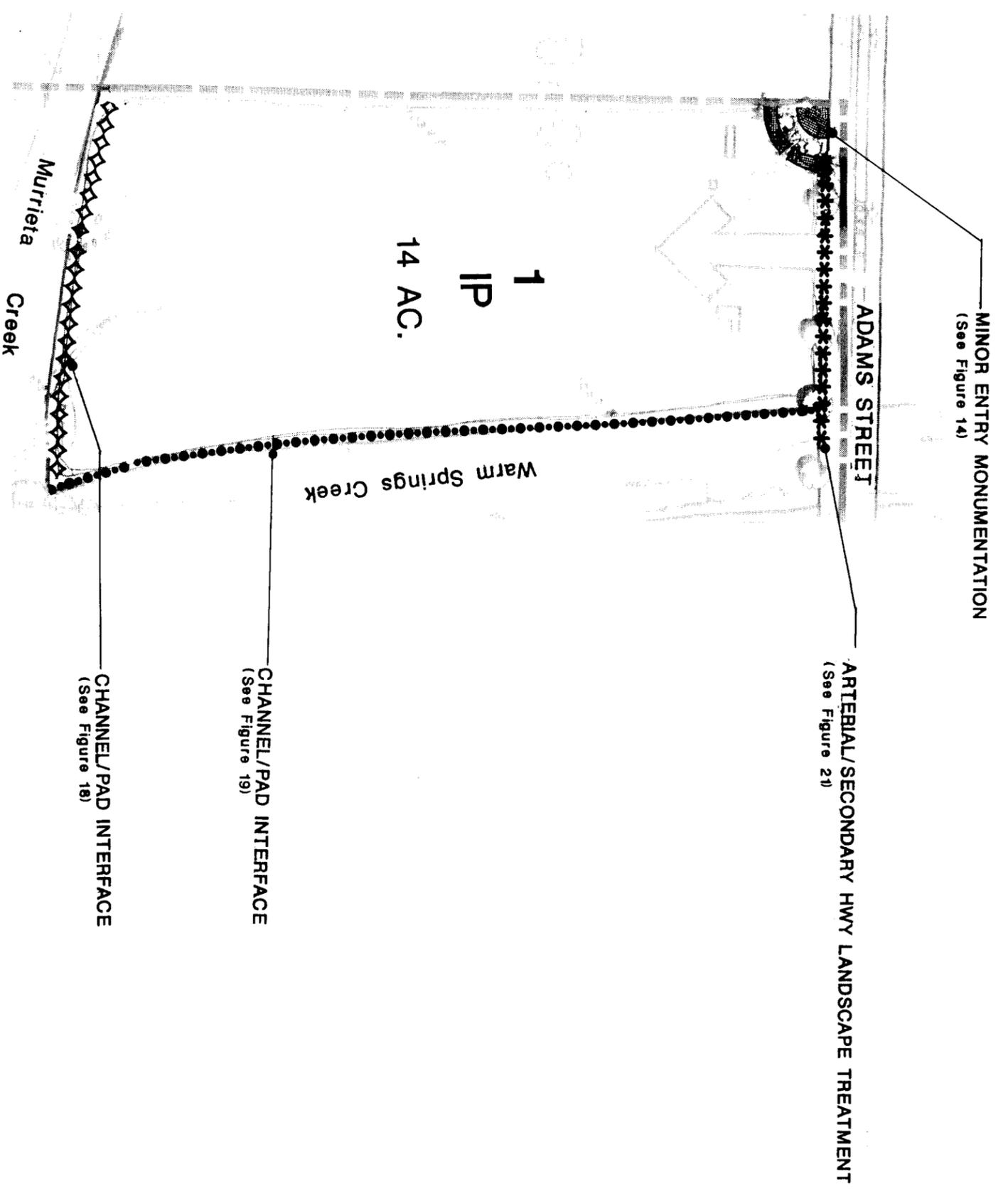


FIGURE 11A

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2. Planning Area 2 Industrial

a. Descriptive Summary

Planning Area 2 consists of approximately 34 gross acres of industrial park. Planning Area 2 is depicted on Figure 11B.

b. Land Use and Development Standards

Please refer to Ordinance No. 348.3202.

c. Planning Standards

- * A minor entry monumentation treatment will be established at the corner of Adams Avenue and Date Street. This treatment is illustrated on Figure 14.
- * An arterial/secondary highway landscape treatment will be incorporated along Date Street & Adams Avenue, as depicted on Figure 21.
- * A channel/pad interface, as shown on Figure 18, will be used where Planning Area 2 abuts Murrieta Creek.
- * A channel/pad interface, as shown on Figure 19, will be used where Planning Area 2 abuts Warm Springs Creek.
- * Where manufactured slopes occur within this Planning Area, a pad/manufactured slope interface, similar to the one illustrated in Figure 20, will be used.
- * Please refer to Section III.A.1. through III.A.7. for the following Development Plans and Standards that apply site-wide:
 - III.A.1 Comprehensive Land Use Plan
 - III.A.2 Circulation Plan
 - III.A.3 Drainage Plan
 - III.A.4 Water and Sewer Plan
 - III.A.5 Project and Public Facility Phasing
 - III.A.6 Illustrative Grading Plan
 - III.A.7 Comprehensive Maintenance Plan
- * Please refer to Design Guidelines, Sec. IV.A&B., for related criteria.

PLANNING AREA 2

INDUSTRIAL PARK
34 AC.

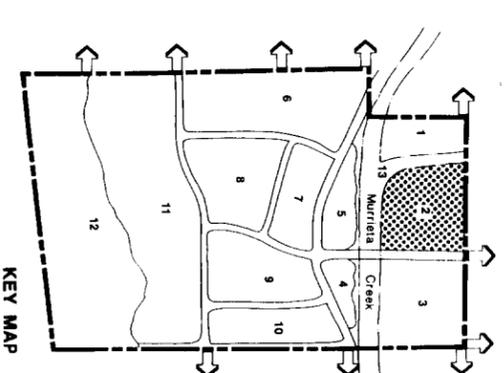
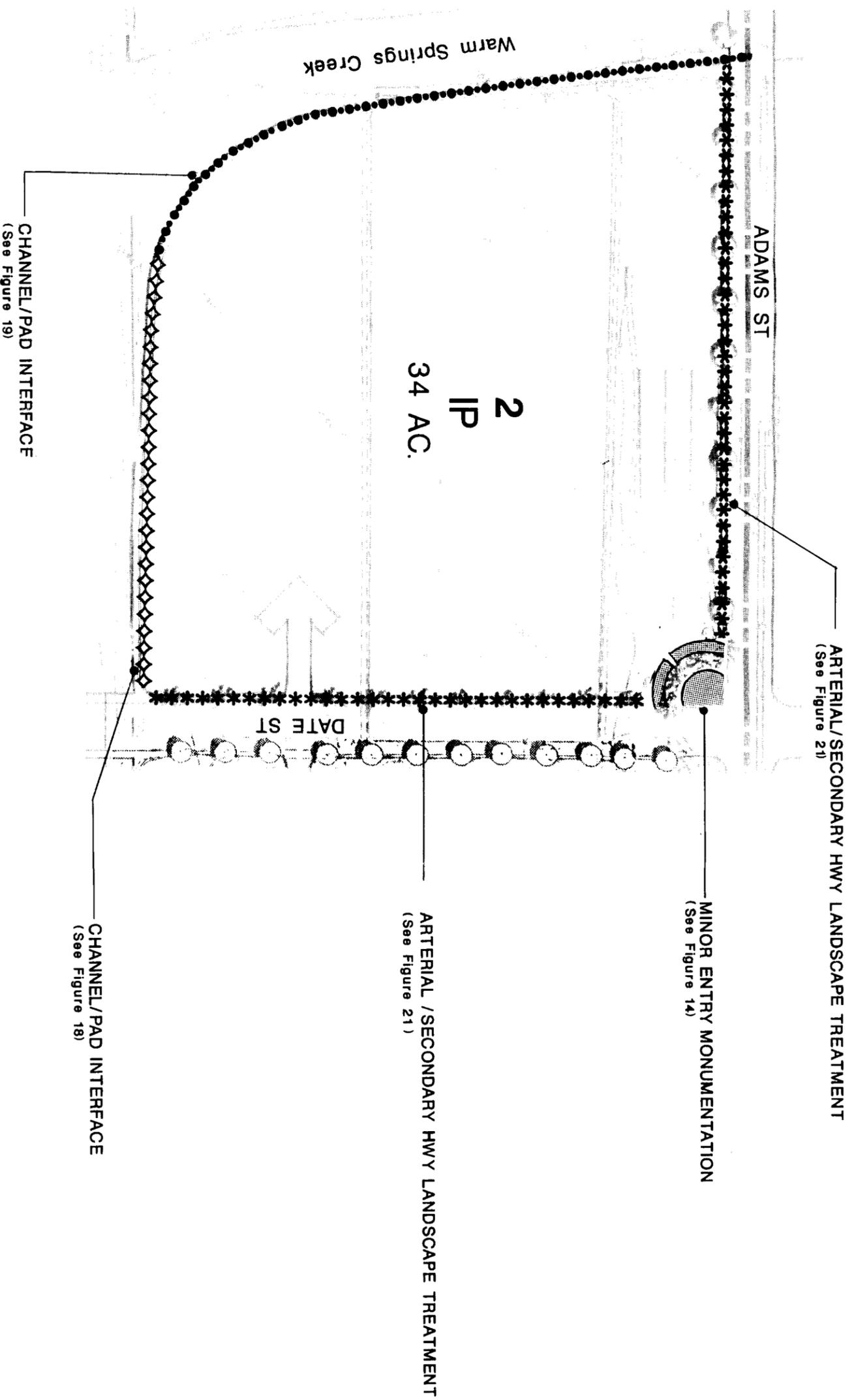


FIGURE 11B

3. Planning Area 3 Industrial

a. Descriptive Summary

Planning Area 3, as illustrated on Figure 11C, will be devoted to 31 gross acres of industrial park.

b. Land Use and Development Standards

Please refer to Ordinance No. 348.3202.

c. Planning Standards

- * A minor entry monumentation treatment, similar to the one illustrated on Figure 14, will be established at the corner of Adams Avenue and Date Street, and at the project's northeastern corner on Adams Avenue.
- * An arterial/secondary highway landscape treatment, as illustrated on Figure 21, will be used on Date Street and Adams Avenue.
- * A channel/pad interface, as shown on Figure 18, will be established where Planning Area 3 abuts Murrieta Creek.
- * Where manufactured slopes occur within this Planning Area, a pad/manufactured slope interface, similar to the one illustrated in Figure 20, will be used.
- * Please refer to Section III.A.1. through III.A.7. for the following Development Plans and Standards that apply site-wide:
 - III.A.1 Comprehensive Land Use Plan
 - III.A.2 Circulation Plan
 - III.A.3 Drainage Plan
 - III.A.4 Water and Sewer Plan
 - III.A.5 Project and Public Facility Phasing
 - III.A.6 Illustrative Grading Plan
 - III.A.7 Comprehensive Maintenance Plan
- * Please refer to Design Guidelines, Sec. IV.A&B., for related criteria.

PLANNING AREA 3

INDUSTRIAL PARK
31 AC.

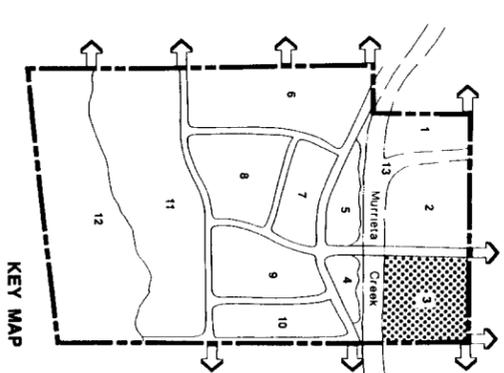
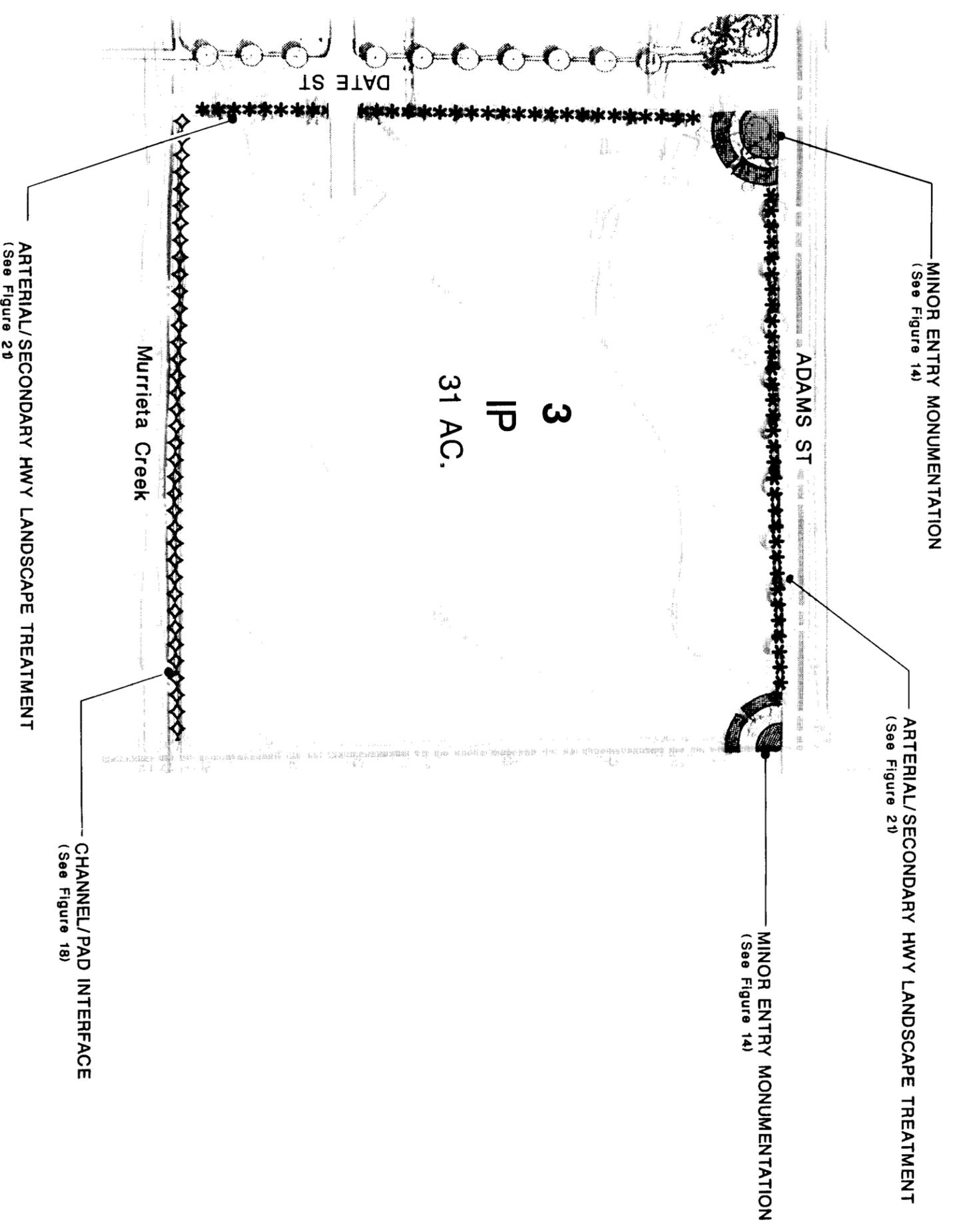


FIGURE 11C

4. Planning Area 4 Industrial

a. Descriptive Summary

Planning Area 4, as illustrated on Figure 11D, will consist of approximately 10 gross acres of industrial park.

b. Land Use and Development Standards

Please refer to Ordinance No. 348.3202.

c. Planning Standards

- * A primary entry monumentation treatment, as illustrated on Figure 13, will be established at the corner of Date Street and Diaz Road.
- * A minor entry monumentation treatment, as illustrated on Figure 14, will be established at the corner of Cherry Street and Diaz Road.
- * An arterial/secondary highway landscape treatment, as shown on Figure 21, will be used along Date Street, Diaz Road and Elm Street in Planning Area 4.
- * Structures for human occupation may not be permitted within fault setback zone.
- * Where manufactured slopes occur within this Planning Area, a pad/manufactured slope interface, similar to the one illustrated in Figure 20.
- * A channel/pad interface, as illustrated in Figure 18, will be used as a landscape buffer between Planning Area 4 and Murrieta Creek.
- * Please refer to Section III.A.1. through III.A.7. for the following Development Plans and Standards that apply site-wide:
 - III.A.1 Comprehensive Land Use Plan
 - III.A.2 Circulation Plan
 - III.A.3 Drainage Plan
 - III.A.4 Water and Sewer Plan
 - III.A.5 Project and Public Facility Phasing
 - III.A.6 Illustrative Grading Plan
 - III.A.7 Comprehensive Maintenance Plan
- * Please refer to Design Guidelines, Sec. IV.A&B., for related criteria.

PLANNING AREA 4

INDUSTRIAL PARK
10 AC.

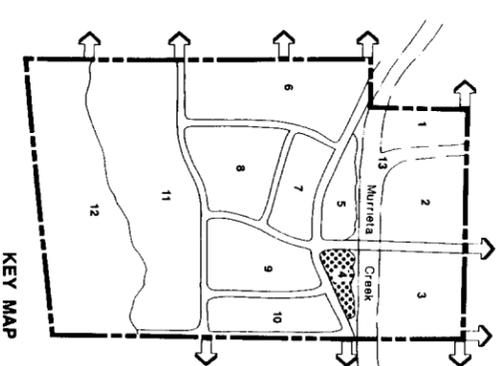
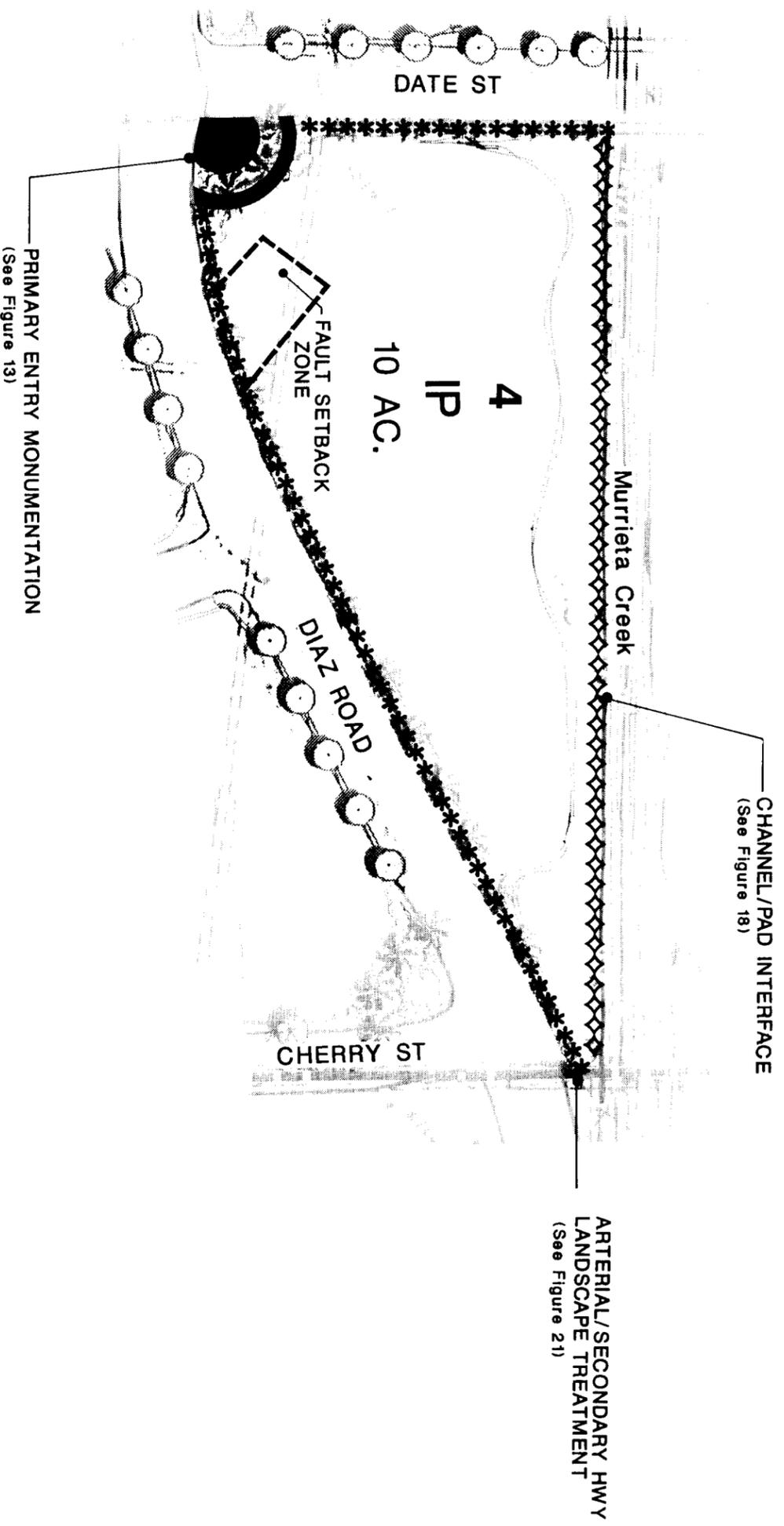


FIGURE 11D

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5. Planning Area 5 Industrial

a. Land Use

Planning Area 5, as depicted on Figure 11E, will consist of approximately 16 gross acres. The land use designations for this Planning Area is industrial.

b. Land Use and Development Standards

Please refer to Ordinance No. 348.3202.

c. Planning Standards

- * A primary entry monumentation treatment, as illustrated on Figure 13, will be established at the intersection of Diaz Road and Date Street.
- * An arterial/secondary highway landscape treatment, as shown on Figure 21, will be used along Date Street and Diaz Road in Planning Area 5.
- * Where manufactured slopes occur within this Planning Area, a pad/manufactured slope interface, similar to the one illustrated in Figure 20, will be used.
- * RANCON will move the well located within the future right-of-way of Diaz Road and pay for the additional right-of-way, street improvements and slope easements as required along Diaz Road.
- * A channel/pad interface similar to the one depicted in Figure 18, will be used as a landscape buffer between Planning Area 5 and Murrieta Creek.
- * Please refer to Section III.A.1. through III.A.7. for the following Development Plans and Standards that apply site-wide:
 - III.A.1 Comprehensive Land Use Plan
 - III.A.2 Circulation Plan
 - III.A.3 Drainage Plan
 - III.A.4 Water and Sewer Plan
 - III.A.5 Project and Public Facility Phasing
 - III.A.6 Illustrative Grading Plan
 - III.A.7 Comprehensive Maintenance Plan
- * Please refer to Design Guidelines, Sec. IV.A.&B., for related criteria.

PLANNING AREA 5

INDUSTRIAL PARK
16 AC.

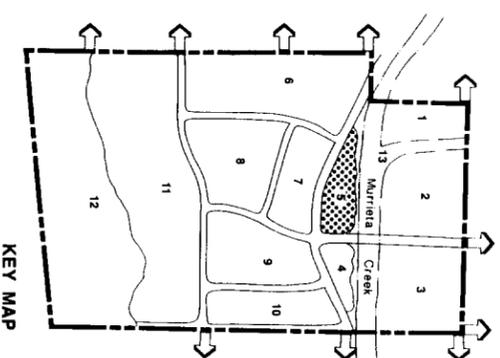
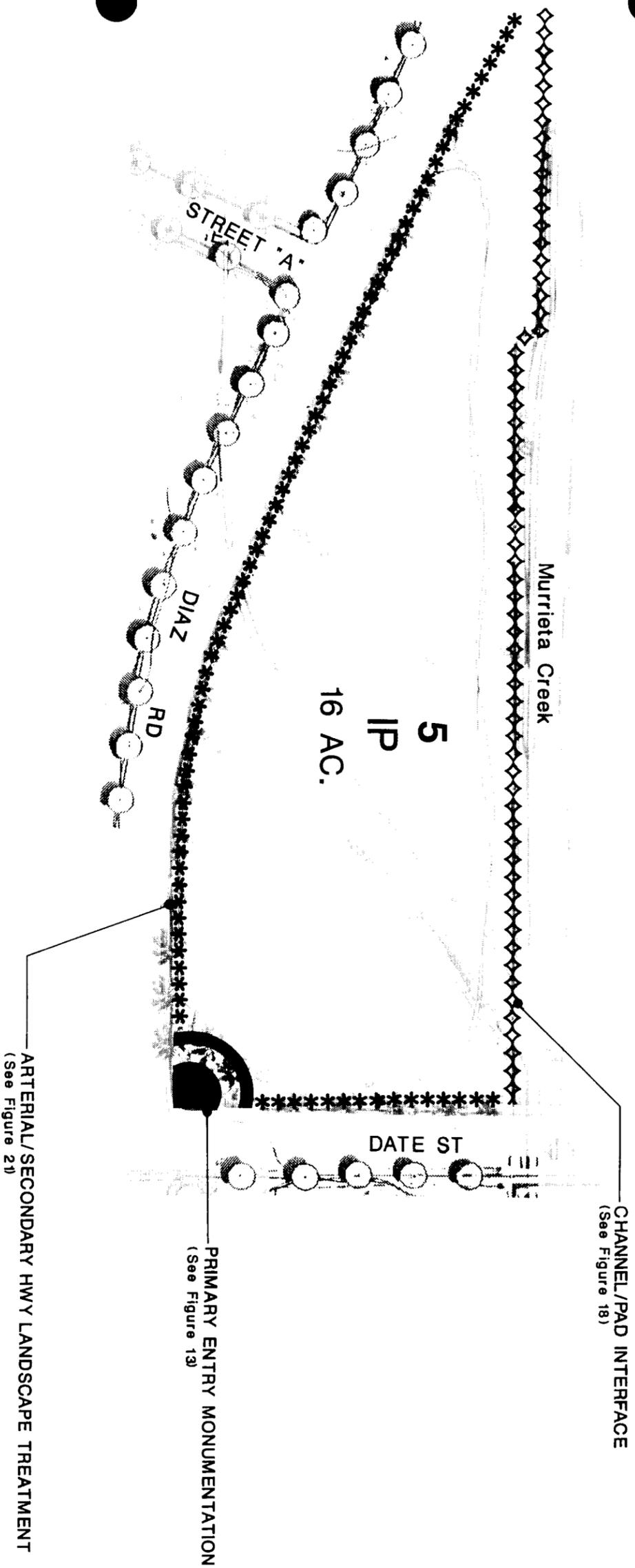


FIGURE 11E

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6. Planning Area 6 Industrial

a. Descriptive Summary

Planning Area 6 consists of approximately 51 gross acres of industrial park. Planning Area 6 is depicted on Figure 11F.

b. Land Use and Development Standards

Please refer to Ordinance No. 348.3202.

c. Planning Standards

- * A minor entry monumentation treatment, as illustrated on Figure 14, will be established at the intersection of Diaz Road and Elm Street, and at the corner of Street "A" and Hayes Avenue.
- * An arterial/secondary highway landscape treatment, as shown on Figure 21, will be used along Diaz Road.
- * An interior industrial collector landscape treatment, as illustrated on Figure 22, will be established along Street "A" and Hayes Avenue.
- * RANCON will move the well located within the future right-of-way of Diaz Road and pay for the additional right-of-way, street improvements and slope easements as required along Diaz Road.
- * Structures for proposed human occupation may not be placed over a fault splay.
- * Where manufactured slopes occur within this Planning Area, a pad/manufactured slope interface, similar to the one illustrated in Figure 20, will be used.
- * Please refer to Section III.A.1. through III.A.7. for the following Development Plans and Standards that apply site-wide:
 - III.A.1 Comprehensive Land Use Plan
 - III.A.2 Circulation Plan
 - III.A.3 Drainage Plan
 - III.A.4 Water and Sewer Plan
 - III.A.5 Project and Public Facility Phasing
 - III.A.6 Illustrative Grading Plan
 - III.A.7 Comprehensive Maintenance Plan
- * Please refer to Design Guidelines, Sec. IV.A.&B., for related criteria.

PLANNING AREA 6

INDUSTRIAL PARK
51 AC.

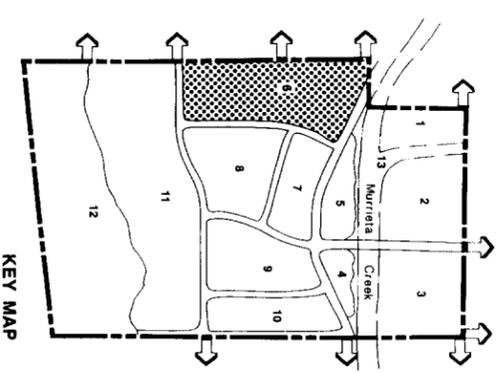
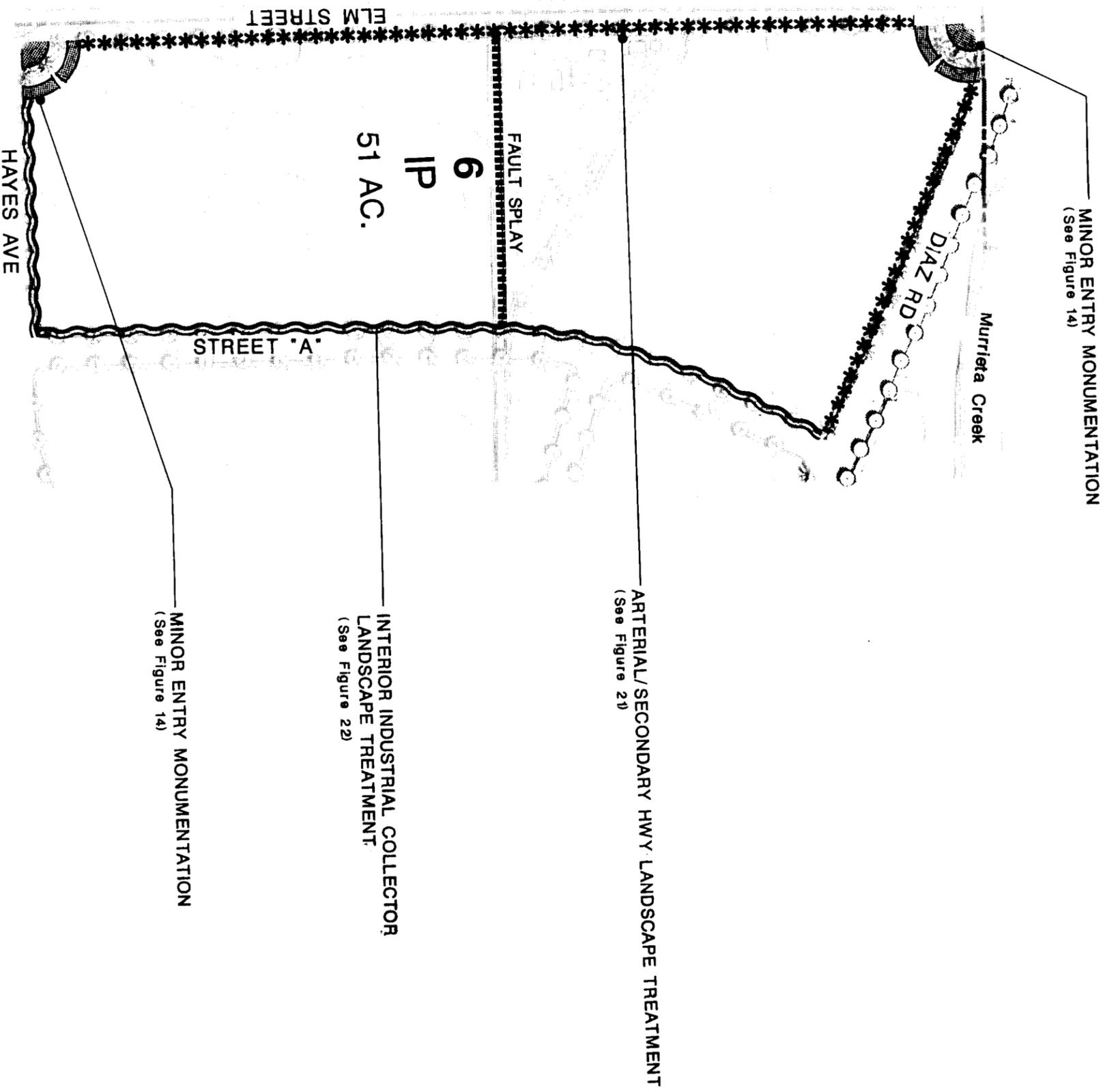


FIGURE 11F

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7. Planning Area 7 Industrial

a. Descriptive Summary

Planning Area 7, as illustrated on Figure 11G, will consist of 18 gross acres of industrial park.

b. Land Use and Development Standards

Please refer to Ordinance No. 348.3202.

c. Planning Standards

- * A primary entry monumentation treatment, as depicted on Figure 13, will be established at the intersection of Date Street and Diaz Road.
- * An arterial/secondary highway landscape treatment, as shown on Figure 21, will be used along Diaz Road.
- * An interior industrial collector landscape treatment, as illustrated on Figure 22, will be used along Streets "A", "B", and along Date Street.
- * Where manufactured slopes occur within this Planning Area, a pad/manufactured slope interface, similar to the one illustrated in Figure 20, will be used.
- * Please refer to Section III.A.1. through III.A.7. for the following Development Plans and Standards that apply site-wide:
 - III.A.1 Comprehensive Land Use Plan
 - III.A.2 Circulation Plan
 - III.A.3 Drainage Plan
 - III.A.4 Water and Sewer Plan
 - III.A.5 Project and Public Facility Phasing
 - III.A.6 Illustrative Grading Plan
 - III.A.7 Comprehensive Maintenance Plan
- * Please refer to Design Guidelines, Sec. IV.A.&B., for related criteria.

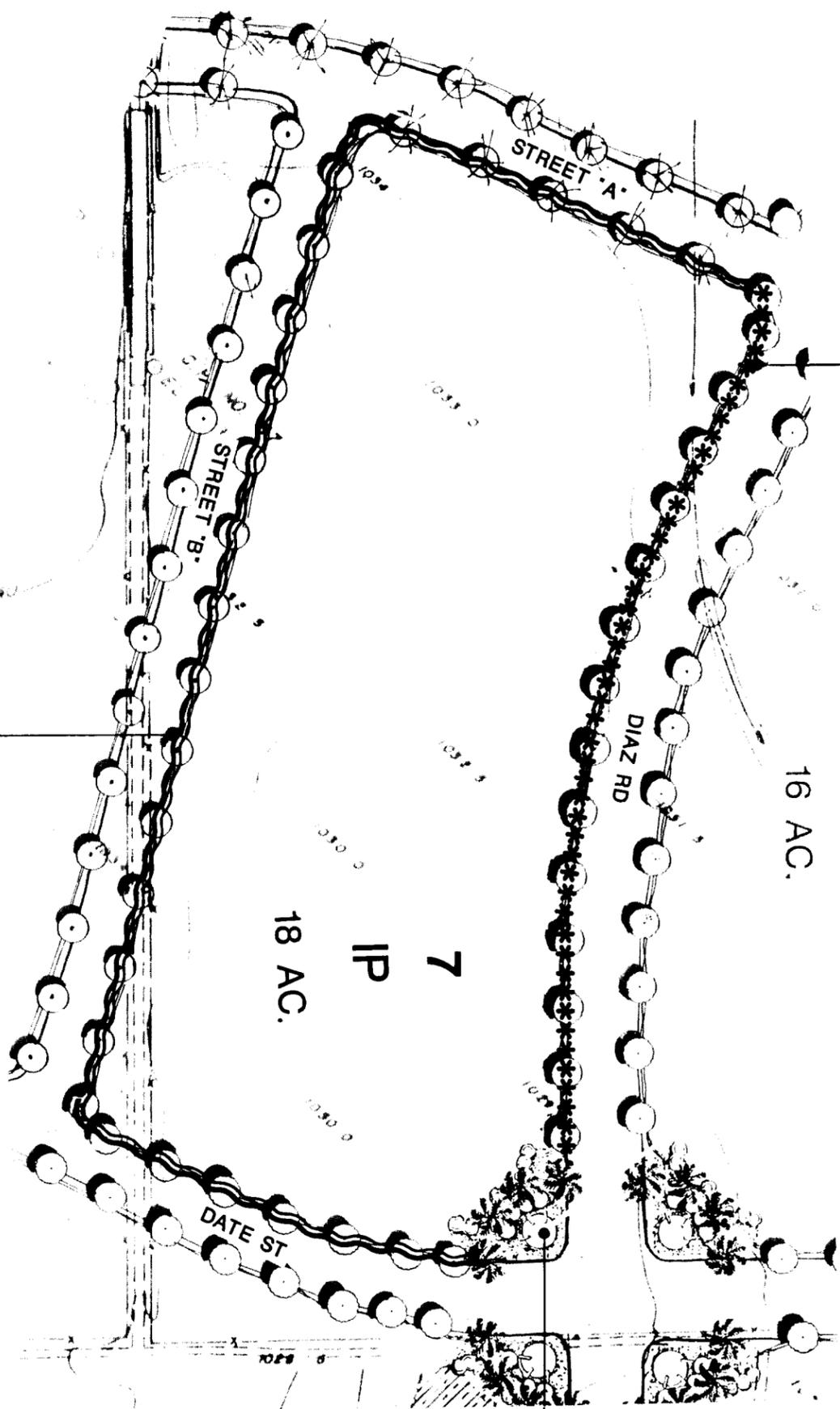
ARTERIAL/SECONDARY HWY
LANDSCAPE TREATMENT
(See Figure 21)

16 AC.

7
IP
18 AC.

PRIMARY ENTRY
MONUMENTATION
(See Figure 13)

INTERIOR INDUSTRIAL COLLECTOR
LANDSCAPE TREATMENT
(See Figure 22)



PLANNING AREA 7

INDUSTRIAL PARK
18 AC.

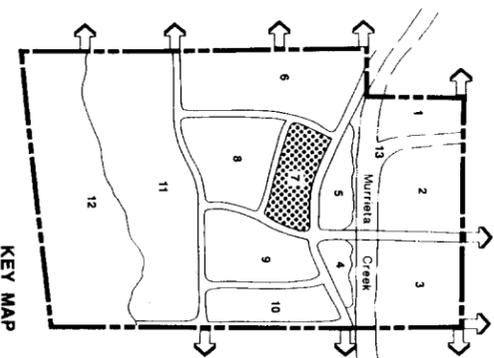


FIGURE 11G

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8. Planning Area 8 Industrial

a. Descriptive Summary

Planning Area 8, as illustrated on Figure 11H, will consist of approximately 33 gross acres of industrial park.

b. Land Use and Development Standards

Please refer to Ordinance No. 348.3202.

c. Planning Area Standards

- * A minor entry monumentation, as illustrated on Figure 14, will be established at the corner of Hayes Avenue and Street "A".
- * An interior industrial collector landscape treatment, as illustrated on Figure 22, will be established along Date Street, Hayes Avenue, and Street "A".
- * Structures proposed for human occupation shall not be placed directly over fault splays.
- * Where manufactured slopes occur within this Planning Area, a pad/manufactured slope interface, similar to the one illustrated in Figure 20, will be used.
- * Please refer to Section III.A.1. through III.A.7. for the following Development Plans and Standards that apply site-wide:
 - III.A.1 Comprehensive Land Use Plan
 - III.A.2 Circulation Plan
 - III.A.3 Drainage Plan
 - III.A.4 Water and Sewer Plan
 - III.A.5 Project and Public Facility Phasing
 - III.A.6 Illustrative Grading Plan
 - III.A.7 Comprehensive Maintenance Plan
- * Please refer to Design Guidelines, Sec. IV.A. & B., for related criteria.

PLANNING AREA 8

INDUSTRIAL PARK
33 AC.

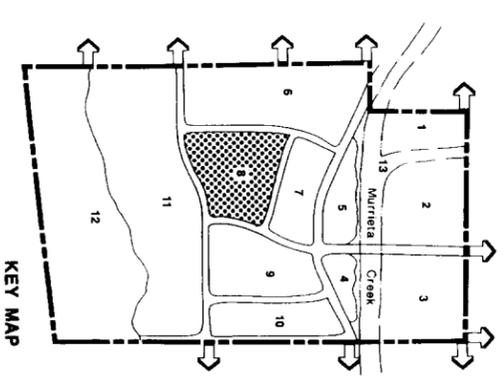
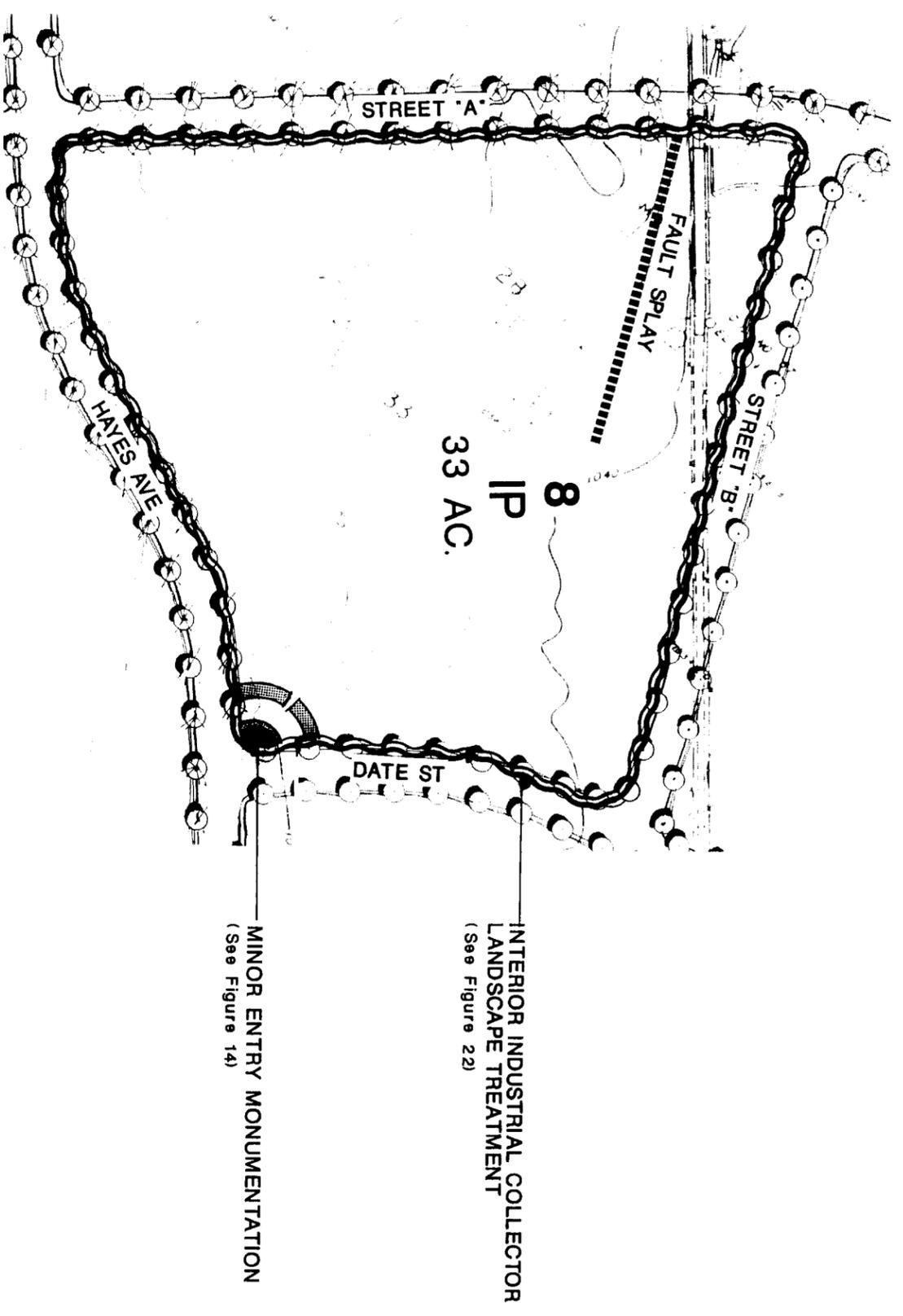


FIGURE 11H

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9. Planning Area 9 Industrial

a. Descriptive Summary

Planning Area 9, as illustrated on Figure 11I, will consist of approximately 30 gross acres of industrial park.

b. Land Use and Development Standards

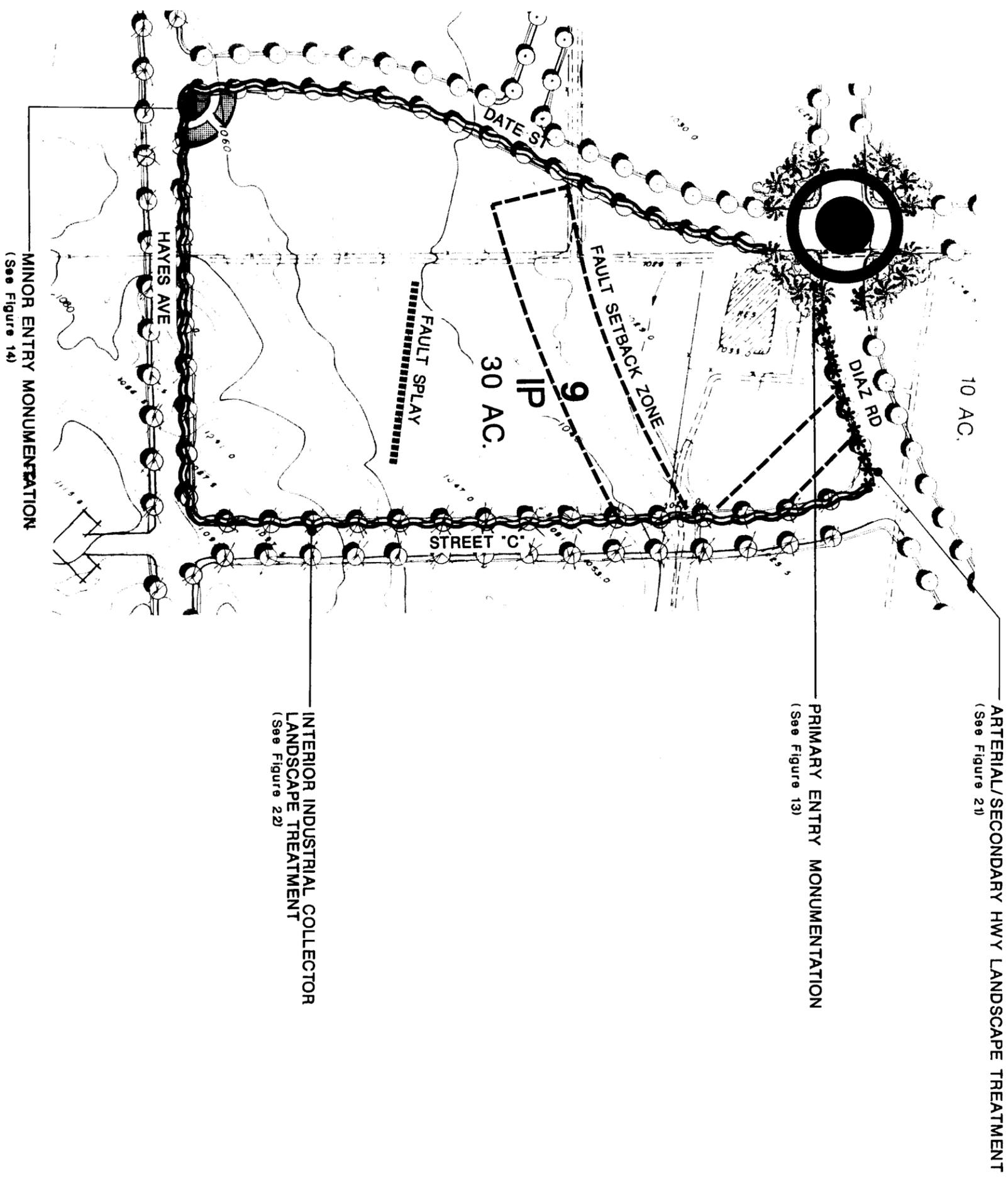
Please refer to Ordinance No. 348.3202.

c. Planning Standards

- * A primary entry monumentation, similar to the one depicted on Figure 13, will be established at the intersection of Date Street and Diaz Road.
- * An arterial/secondary highway landscape treatment, as shown on Figure 21 will be used along Diaz Road in Planning Area 9.
- * An interior industrial collector landscape treatment, as illustrated on Figure 22, will be used along Date Street, Hayes Avenue, and Street "C".
- * Structures proposed for human occupation shall not be placed directly over a fault splay.
- * Structures for human occupation may not be permitted within fault setback zone.
- * Where manufactured slopes occur within this Planning Area a pad/manufactured slope interface, similar to the one illustrated in Figure 20, will be used.
- * Please refer to Section III.A.1. through III.A.7. for the following Development Plans and Standards that apply site-wide:
 - III.A.1 Comprehensive Land Use Plan
 - III.A.2. Circulation Plan
 - III.A.3. Drainage Plan
 - III.A.4. Water and Sewer Plan
 - III.A.5. Project and Public Facility Phasing
 - III.A.6. Illustrative Grading Plan
 - III.A.7. Comprehensive Maintenance Plan
- * Please refer to Design Guidelines, Sec. IV.A.&B., for related criteria.

PLANNING AREA 9

**INDUSTRIAL PARK
30 AC.**



ARTERIAL/SECONDARY HWY LANDSCAPE TREATMENT
(See Figure 21)

PRIMARY ENTRY MONUMENTATION
(See Figure 13)

INTERIOR INDUSTRIAL COLLECTOR
LANDSCAPE TREATMENT
(See Figure 22)

MINOR ENTRY MONUMENTATION
(See Figure 14)

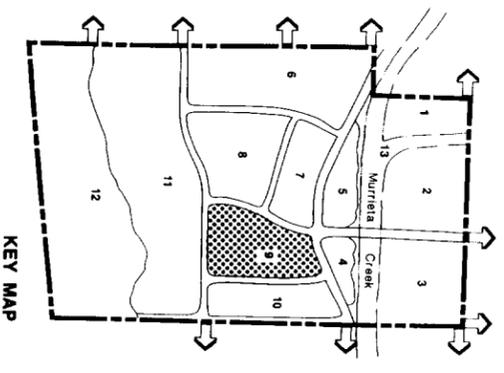


FIGURE 111

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10. Planning Area 10 Industrial

a. Descriptive Summary

Planning Area 10, as illustrated on Figure 11J, will consist of approximately 22 gross acres of industrial park.

b. Land Use and Development Standards

Please refer to Ordinance No. 348.3202.

c. Planning Standards

- * A minor entry monumentation treatment, as illustrated on Figure 14, will be established at the corner of Diaz Road and Cherry Street and the intersection of Hayes Avenue and Cherry Street.
- * An arterial/secondary highway landscape treatment, as shown on Figure 21, will be used along Diaz Road and Cherry Street.
- * An interior industrial collector landscape treatment, as illustrated on Figure 22, will be established along Hayes Avenue and Street "B".
- * Structures for human occupation may not be permitted within fault setback zone.
- * Where manufactured slopes occur within this Planning Area, a pad/manufactured slope interface, similar to the one illustrated in Figure 20, will be used.
- * Please refer to Section III.A.1. through III.A.7. for the following Development Plans and Standards that apply site-wide:
 - III.A.1 Comprehensive Land Use Plan
 - III.A.2 Circulation Plan
 - III.A.3 Drainage Plan
 - III.A.4 Water and Sewer Plan
 - III.A.5 Project and Public Facility Phasing
 - III.A.6 Illustrative Grading Plan
 - III.A.7 Comprehensive Maintenance Plan
- * Please refer to Design Guidelines, Sec. IV.A.&B., for related criteria.

PLANNING AREA 10

INDUSTRIAL PARK
22 AC.

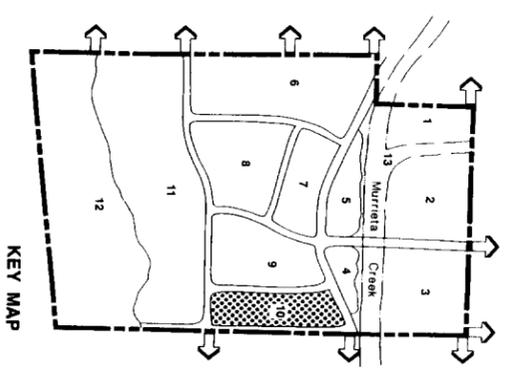
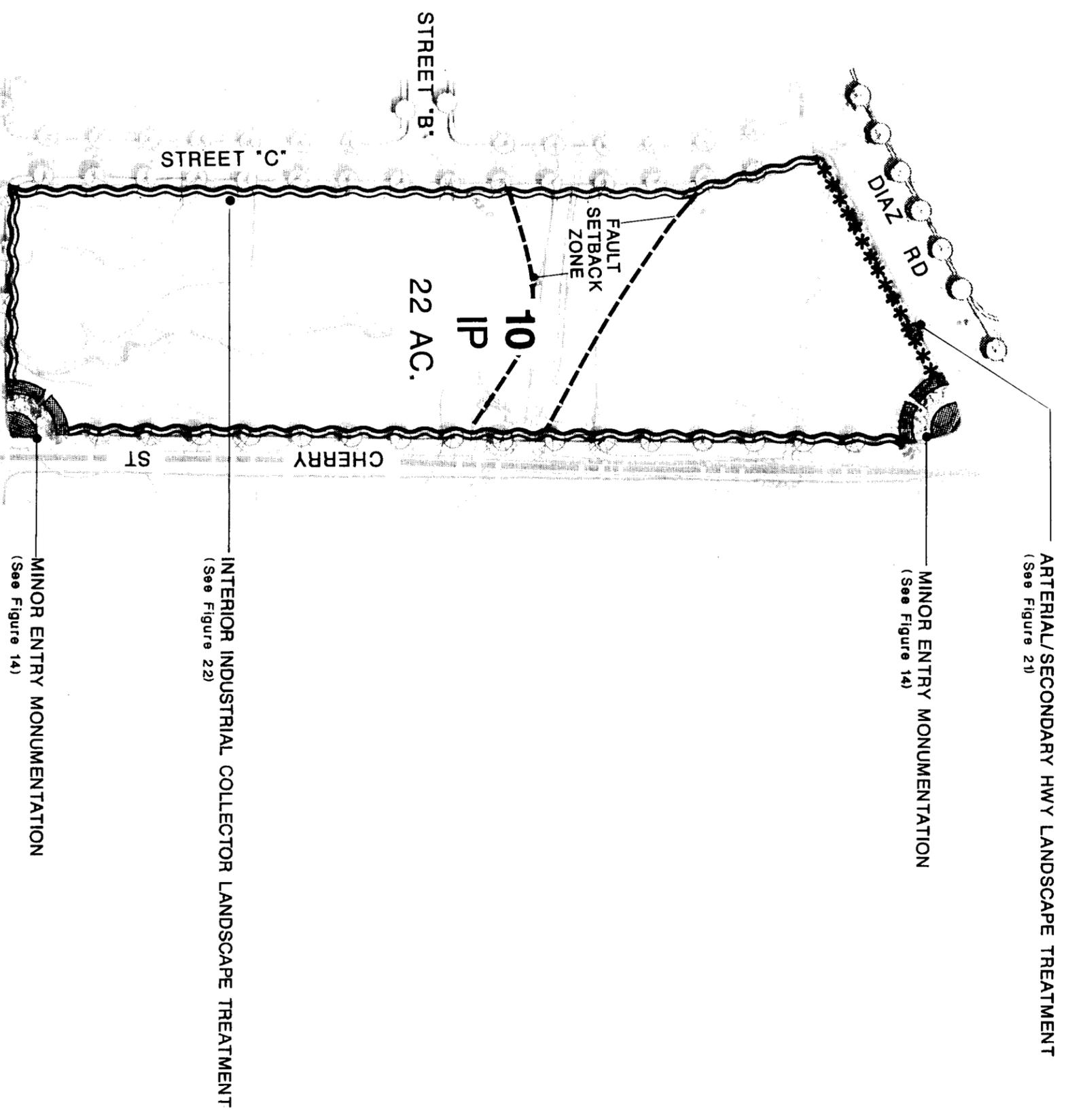


FIGURE 11J



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11. Planning Area 11 Industrial

a. Descriptive Summary

Planning Area 11, as illustrated on Figure 11K, will consist of approximately 97 gross acres of industrial park.

b. Land Use and Development Standards

Please refer to Ordinance No. 348.3202.

c. Planning Standards

- * A minor entry monumentation treatment, as illustrated on Figure 14, will be established along Hayes Avenue at the intersections of Elm Street and Cherry Street.
- * An arterial/secondary landscape treatment, as illustrated on Figure 21, will be established along Elm Street.
- * An interior industrial collector landscape treatment, as illustrated on Figure 22, will be established along Hayes Avenue and Cherry Street.
- * A pad/open space interface condition, as illustrated on Figure 17, will be established where Planning Area 10 abuts the open space in Planning Area 11.
- * Where manufactured slopes occur within this Planning Area, a pad/manufactured slope interface, similar to the one illustrated in Figure 20, will be used.
- * Please refer to Section III.A.1. through III.A.7. for the following Development Plans and Standards that apply site-wide:
 - III.A.1. Comprehensive Land Use Plan
 - III.A.2. Circulation Plan
 - III.A.3. Drainage Plan
 - III.A.4. Water and Sewer Plan
 - III.A.5. Project and Public Facility Phasing
 - III.A.6. Illustrative Grading Plan
 - III.A.7. Comprehensive Maintenance Plan
- * Please refer to Design Guidelines, Sec. IV.A.&B., for related criteria.

MINOR ENTRY MONUMENTATION
(See Figure 14)

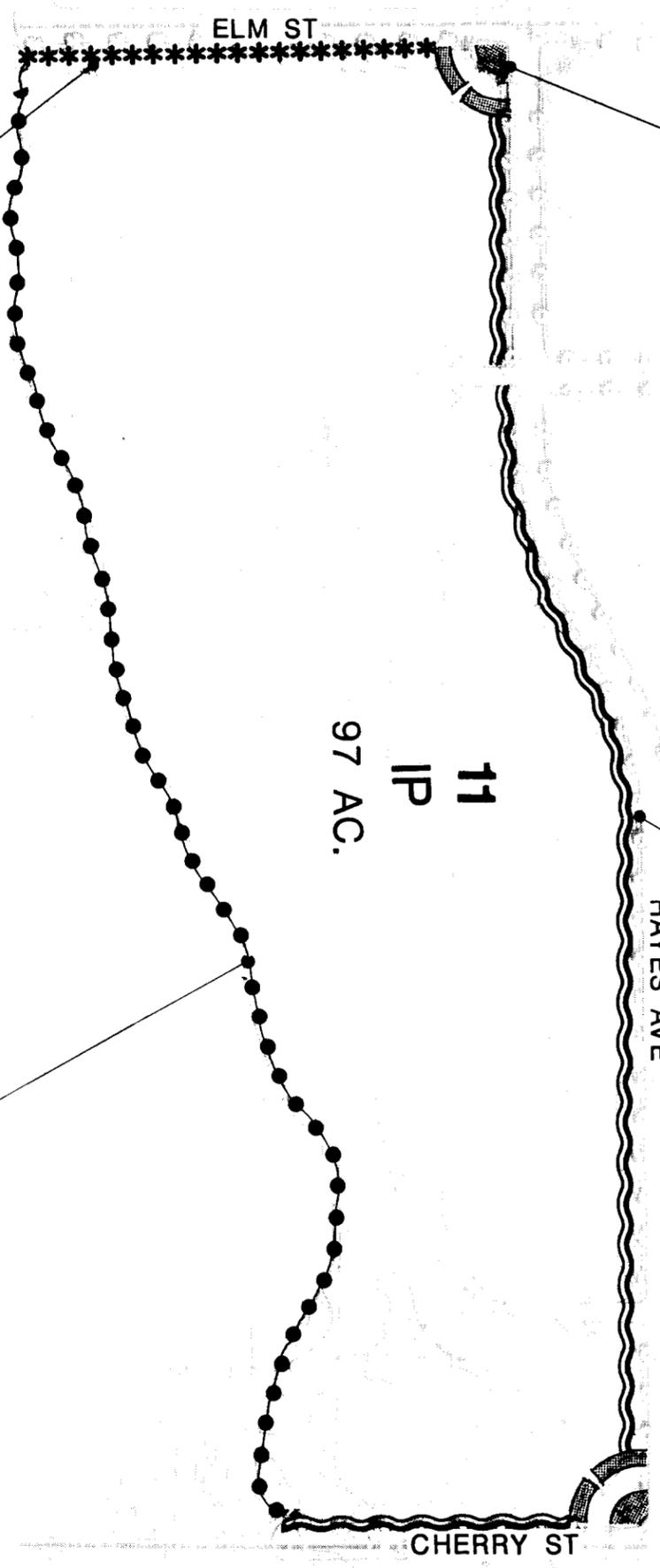
INTERIOR INDUSTRIAL
COLLECTOR LANDSCAPE TREATMENT
(See Figure 22)

HAYES AVE

11
IP
97 AC.

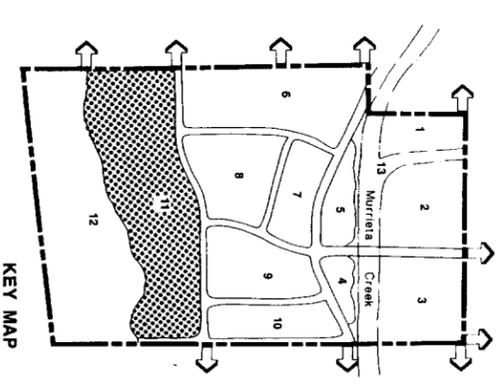
ARTERIAL/SECONDARY HWY
LANDSCAPE TREATMENT
(See Figure 21)

PAD/OPEN SPACE INTERFACE
(See Figure 17)



PLANNING AREA 11

INDUSTRIAL PARK
97 AC.



KEY MAP

FIGURE 11K

RANCON
BUSINESS CENTER

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12. Planning Area 12 Open Space

a. Descriptive Summary

Planning Area 12 will consist of approximately 86 acres of open space. As shown on Figure 11L, the open space is located in the southwestern portion of the project site.

b. Land Use and Development Standards

Please refer to Ordinance No. 348.3202.

c. Planning Standards

* A pad/open space interface, as depicted in Figure 17, will be used as a landscape buffer between pads in Planning Area 11 with the natural open space.

* Please refer to Section III.A.1. through III.A.7. for the following Development Plans and Standards that apply site-wide:

- III.A.1. Comprehensive Land Use Plan
- III.A.2. Circulation Plan
- III.A.3. Drainage Plan
- III.A.4. Water and Sewer Plan
- III.A.5. Project and Public Facility Phasing
- III.A.6. Illustrative Grading Plan
- III.A.7. Comprehensive Maintenance Plan

* Please refer to Design Guidelines, Sec. IV.A. & B., for related criteria.

PLANNING AREA 12

OPEN SPACE
86 AC.

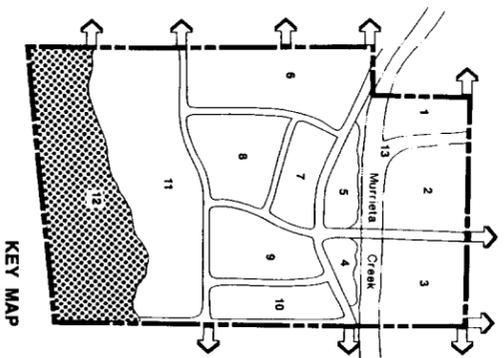
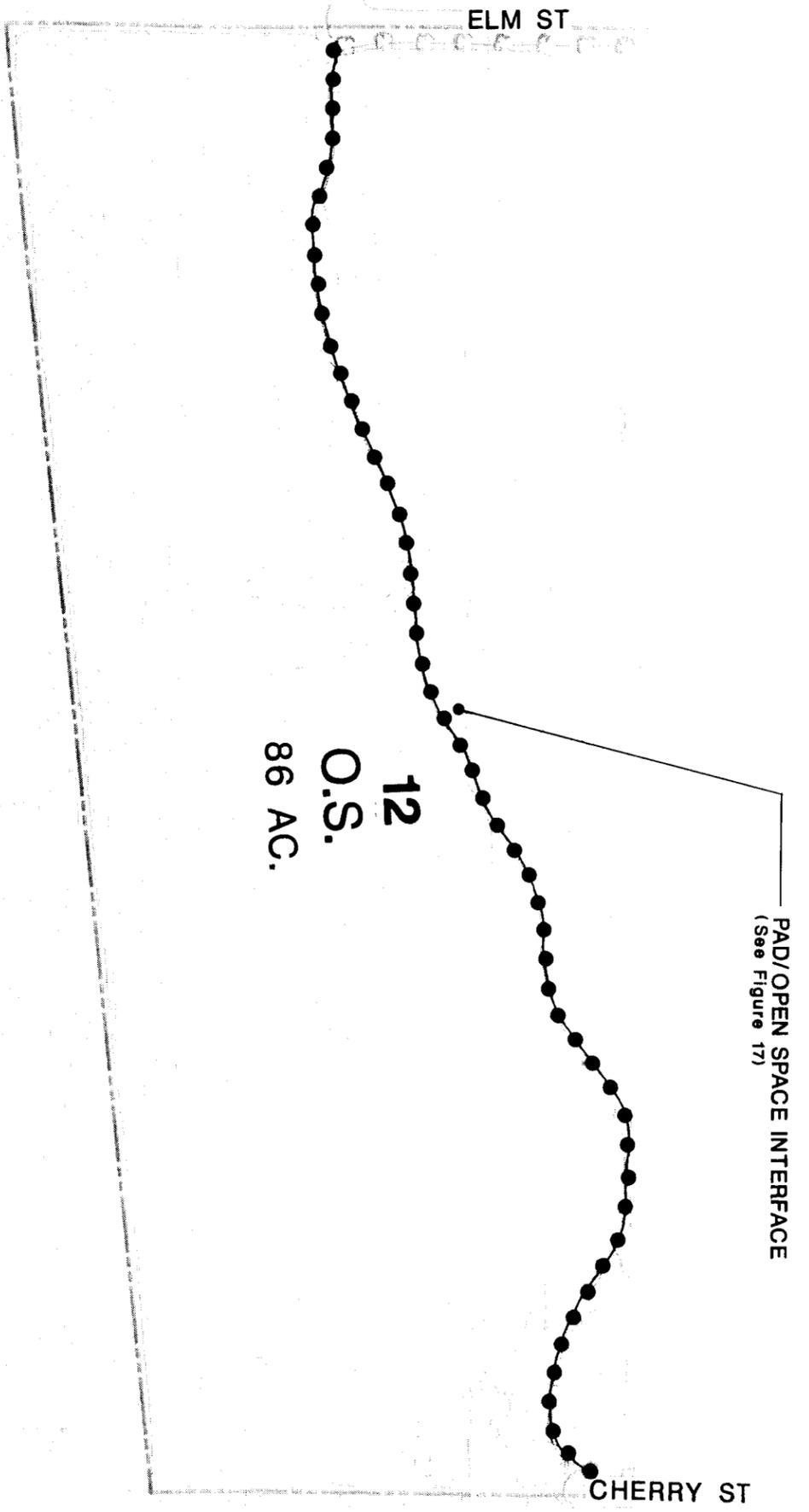


FIGURE 11L

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13. Planning Area 13 Creeks

a. Descriptive Summary

Planning Area 13, as shown on Figure 11M, will be developed as 26 acres of improved creeks. The existing creeks, Murrieta and Warm Springs, will be improved to accommodate future on-site and off-site flows through the project site.

b. Land Use and Development Standards

Please refer to Ordinance No. 348.3202.

c. Planning Standards

- * A channel/pad interface, as shown on Figure 18, will be established where Murrieta Creek abuts Planning Areas 1, 2, 3, 4 & 5.
- * All wildlife mitigation shall be approved by the California Department of Fish and Game and the U.S. Fish and Wildlife Service.
- * A channel/pad interface, as shown on Figure 19, will be established where Warm Springs Creek abuts Planning Areas 1 and 2.
- * Please refer to Section III.A.1. through III.A.7. for the following Development Plans and Standards that apply site-wide:
 - III.A.1. Comprehensive Land Use Plan
 - III.A.2. Circulation Plan
 - III.A.3. Drainage Plan
 - III.A.4. Water and Sewer Plan
 - III.A.5. Project and Public Facility Phasing
 - III.A.6. Illustrative Grading Plan
 - III.A.7. Comprehensive Maintenance Plan
- * Please refer to Design Guidelines, Sec. IV.A.&B., for related criteria.

PLANNING AREA 13

CREEKS
26 AC.

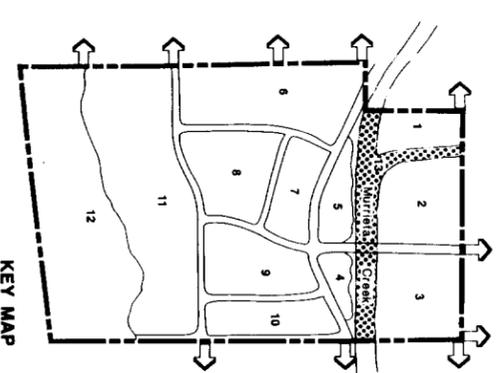
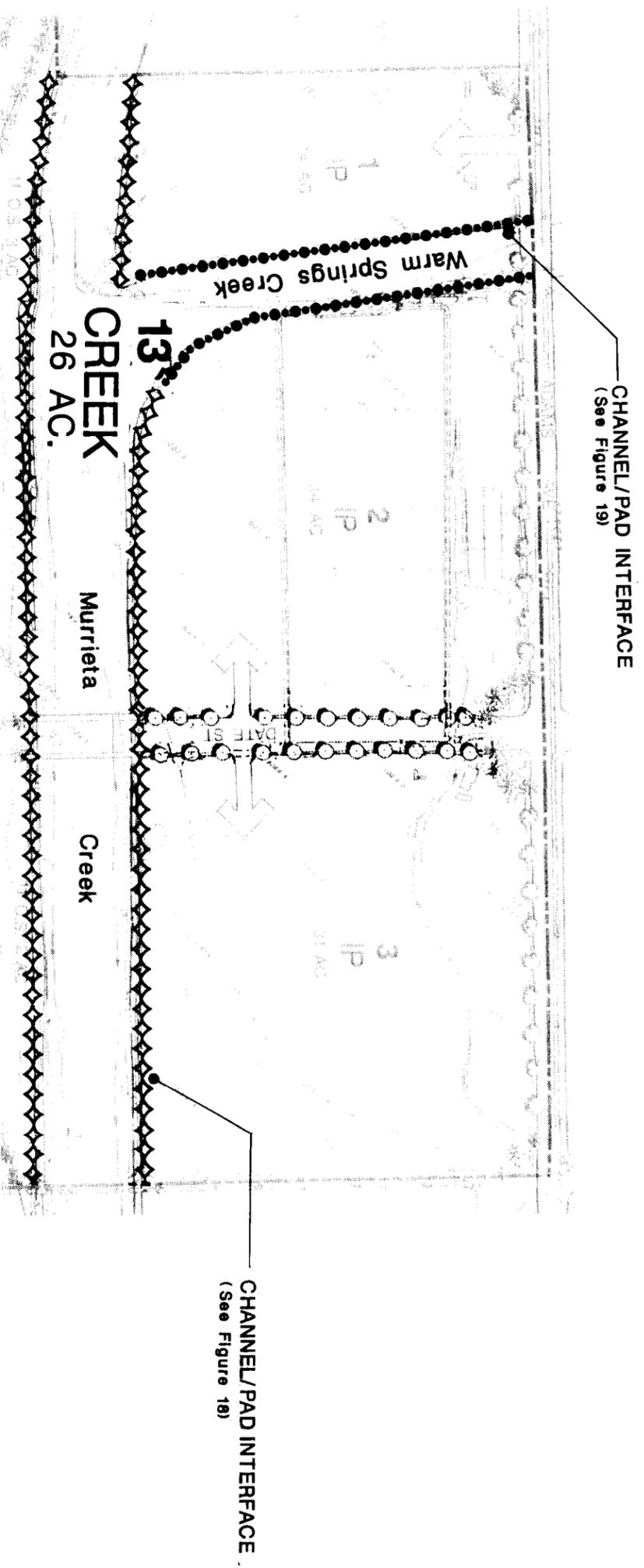


FIGURE 11M



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IV. DESIGN GUIDELINES

IV. DESIGN GUIDELINES

A. LANDSCAPE ARCHITECTURE

1. General Guidelines

The purpose of the landscape design guidelines is to establish criteria to be applied to development proposals within RANCON BUSINESS CENTER which will contribute to the ultimate thematic development of the CENTER's identity. These guidelines will provide the policy basis by which future proposals may be reviewed.

Important to the development of a coordinated project image and identity are the development and area enhancement of the arterial and secondary highways and internal industrial collectors, as well as the project entries. These elements are designed to establish levels of hierarchy that will provide a varied and high quality experience at the pedestrian and vehicular level within the project.

The development of the project identity focuses on the following areas:

- * The unification of all structural elements of the plan in order to present a coordinated project image.
- * Incorporation of hardscape and plant materials into the project design which are compatible with the unique project image for the RANCON BUSINESS CENTER, yet, which blend harmoniously with the surrounding environment;
- * To provide enhanced entries, intersections, and circulation systems.

a. Project Theme

The upscale/corporate environment envisioned for the RANCON BUSINESS CENTER will be guided by the landscape treatment. The landscape concept is intended to give an overall framework and regional identity to the project, while allowing for and encouraging individual corporate identity.

Thematic continuity will be achieved through consistent use of contemporary materials, forms, signage, graphics, etc.

2. Community Elements

In order to reflect continuity throughout the project, community elements such as project entries, intersections, streetscapes, walls, and land use transitions will serve as unifying elements. Community elements in each phase are planned to stand on their own merit, complement the whole, but not rely on future phases for the sense of being complete.

a. Project Monumentation Treatments

Project monumentation has been proposed for key intersections which will become major focal points of project identification. In an attempt to underline the projects upscale/corporate theme, the proposed project monumentation treatments will consist of bold contemporary forms which complement the anticipated architectural detail. Figure 12 depicts the locations selected for hierarchy of monumentation, which is discussed in detail below.

1) Primary Entry Monumentation

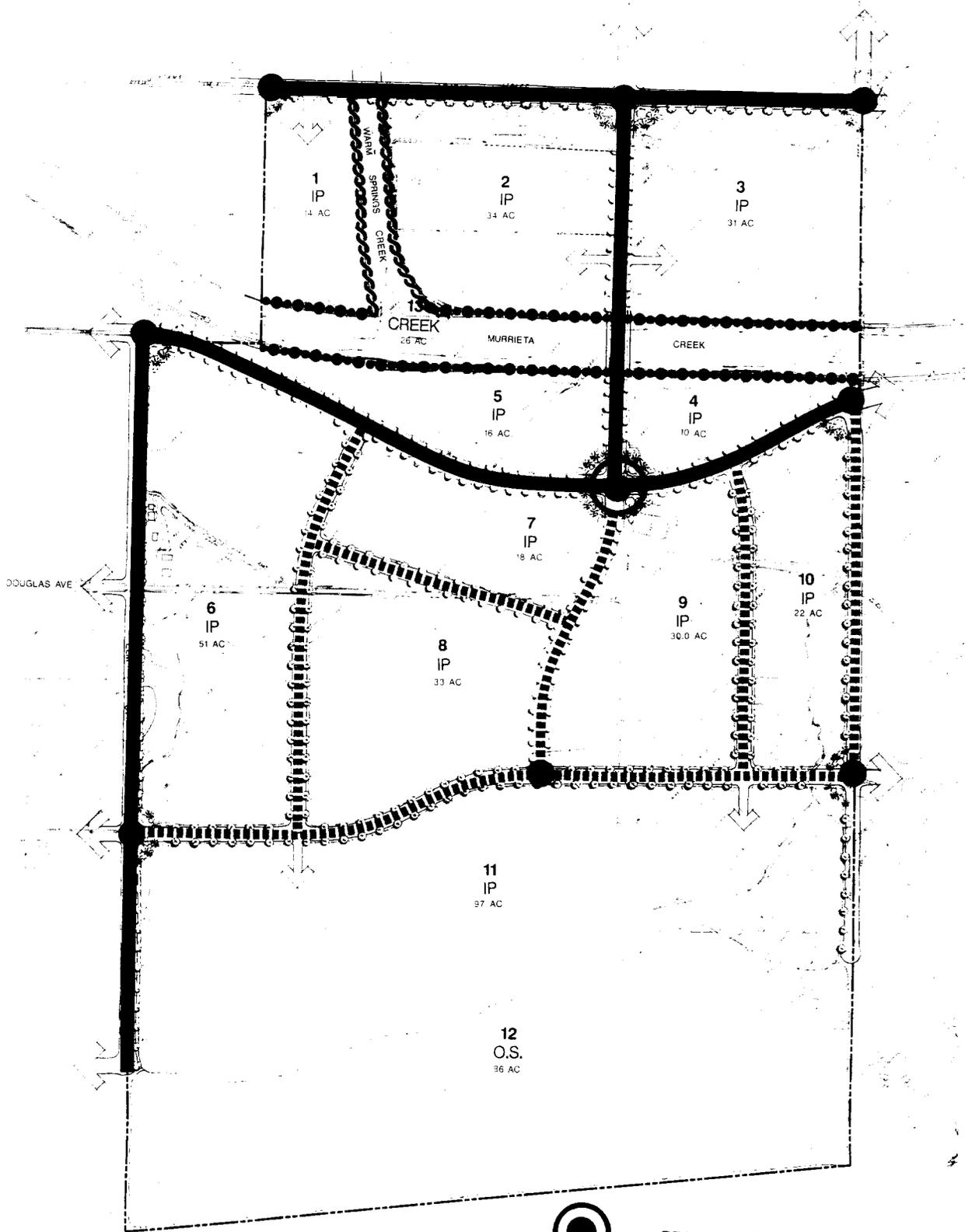
One location has been identified for Primary Monumentation: the intersection of Date Street and Diaz Road, although not an entry, lies at the heart of the project and has an axial relationship with both major highways, creating a major gateway within the project.

As shown on Figure 13, the Primary Entry Monumentation will create a dramatic formal statement into the BUSINESS CENTER. There are two dominant design features incorporated into the Primary Entry: a granite or marble monument wall with a terraced back concrete planter and a major specimen tree surrounded by a formal planting of Date Palms (*Phoenix canariensis*). On the ground plane in the foreground will be accent paving at the intersection corners, with turf and a color bed leading from the enhanced paving to the monumentation wall itself. Project theme bollards are proposed in conjunction with the accent paving to further enhance this formal entry. A formal shrub hedge forms the backdrop to the monument wall and associated arrangement of Date Palms.

2) Minor Entry Monumentation

Eight sites have been identified for Minor Entry Monumentation, as shown on Figure 12. Seven of these sites are located at entries into the project area along Adams Avenue, Diaz Road and Hayes Avenue; an eighth site is located at the intersection of Hayes Road with Date Street, an arterial highway and the primary north-south access through the BUSINESS CENTER. Although similar to the Primary Entry Monumentation described above, the Minor Entry Monumentation will be a "scaled down" variation of the Primary Entry statements, as shown on Figure 14.

Project theme accent paving and turf will serve as the foreground on the ground plane to the project or parcel identification wall at these Minor Entry areas. Behind this identification wall will be the formal planting of Date Palms (*Phoenix canariensis*) with the shrub hedge

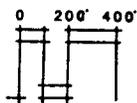


-  PRIMARY ENTRY MONUMENTATION
-  MINOR ENTRY MONUMENTATION
-  ARTERIAL/SECONDARY HIGHWAY
-  INTERIOR INDUSTRIAL COLLECTOR
-  WARM SPRINGS CHANNEL INTERFACE
-  MURRIETA CREEK CHANNEL INTERFACE

LANDSCAPE CONCEPT PLAN

RANCON BUSINESS CENTER

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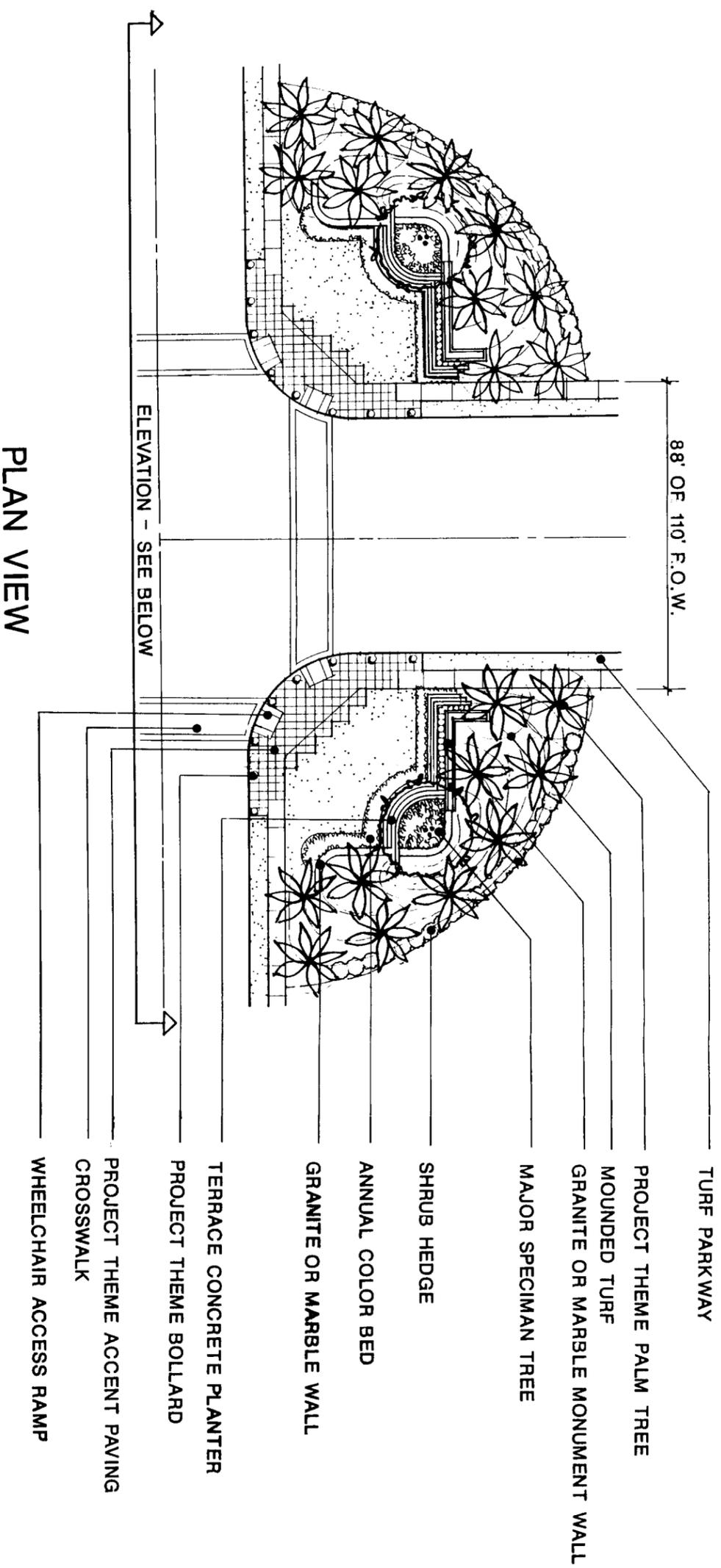


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 7720 TRADE STREET SUITE 102
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FIGURE 12

PRIMARY ENTRY MONUMENTATION



PLAN VIEW

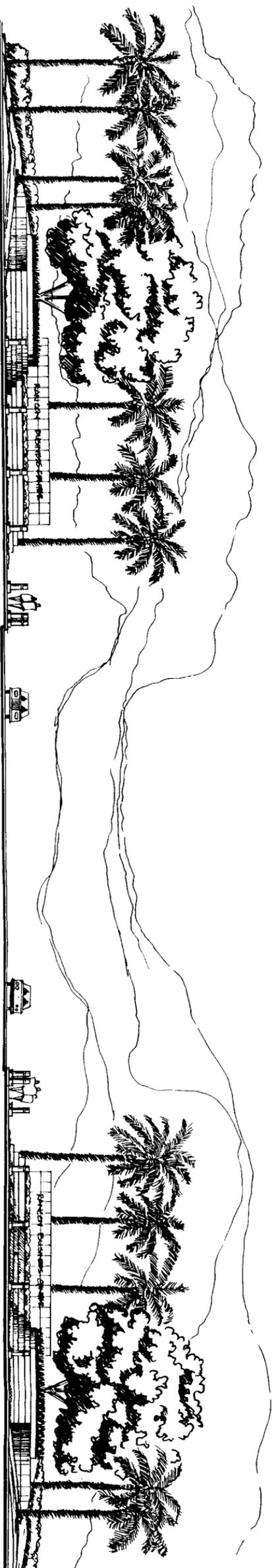


FIGURE 13

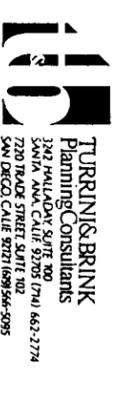


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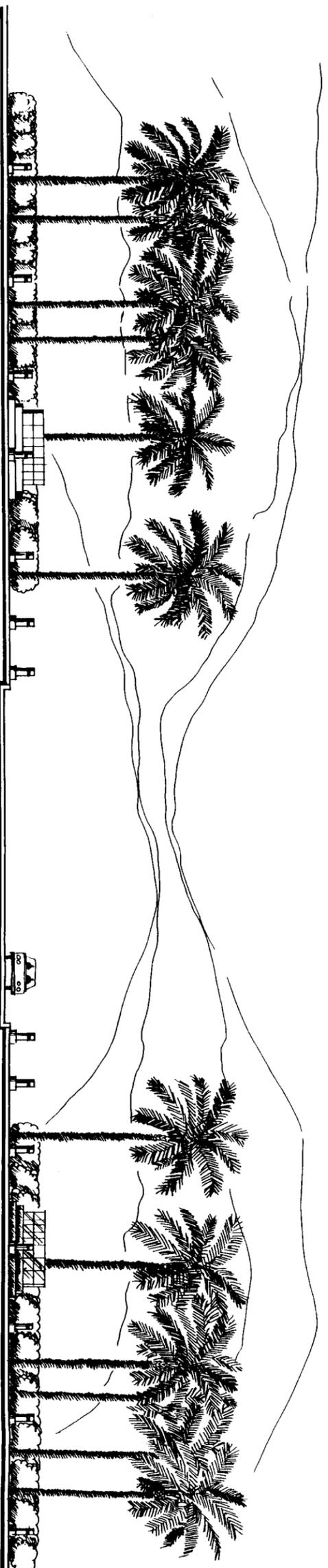
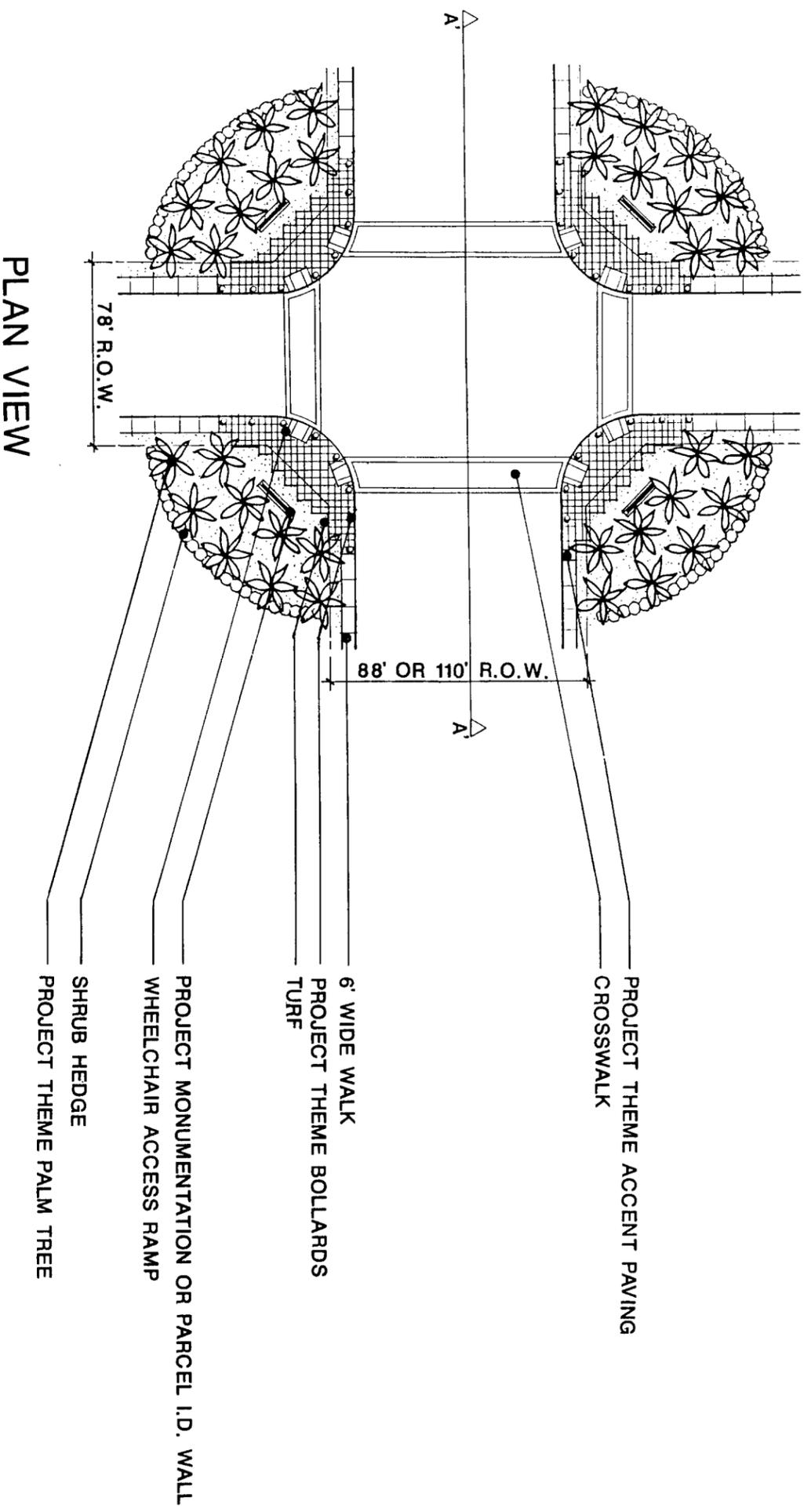


3242 HALLADAY SUITE 203
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 (714) 537-5827 / LICENSE 1384



3242 HALLADAY SUITE 200
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MINOR ENTRY MONUMENTATION



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ELEVATION

HRP
LAND DESIGN

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(714) 537-2827 / LICENSE 1384

FIGURE 14

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7201 TRADE STREET SUITE 102
SAN DIEGO, CALIF 92121 (619) 566-5095

backdrop similar to the Primary Entry areas. The bollards are also proposed in conjunction with the accent paving immediately adjacent to the street.

b. Local Intersections

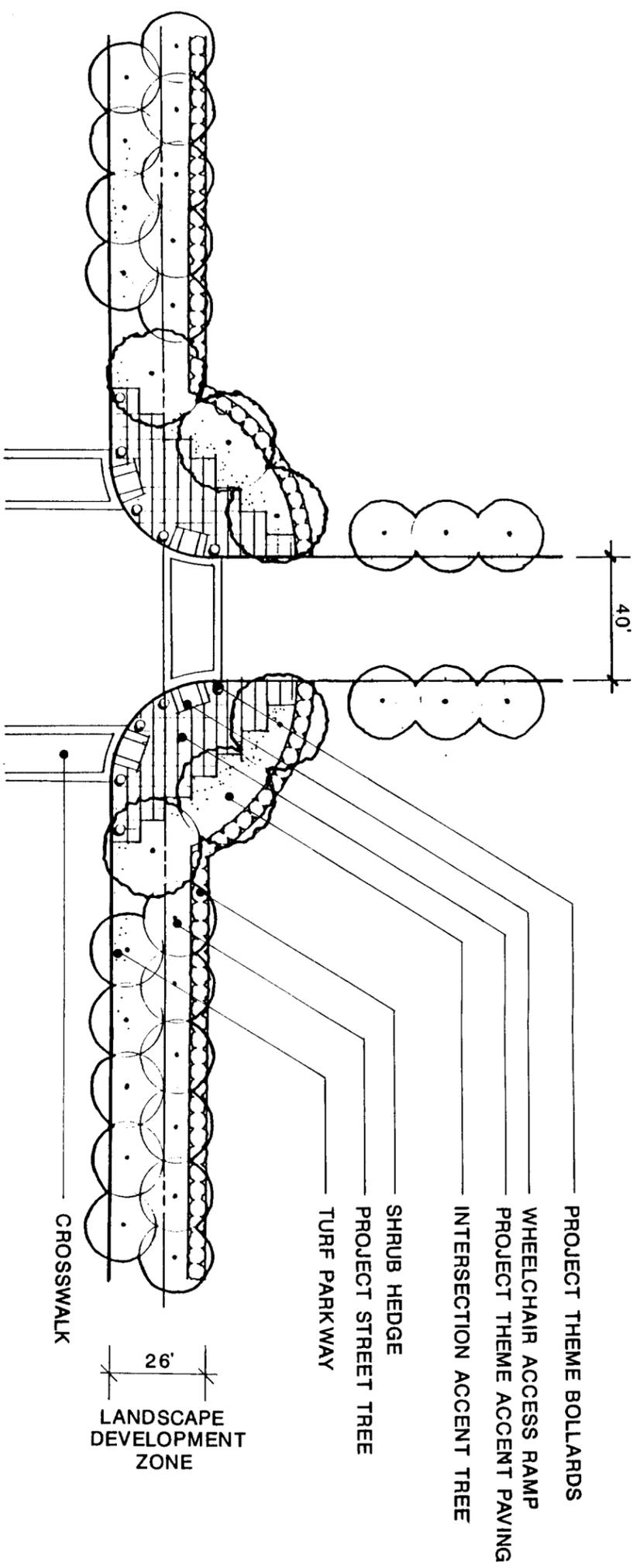
In addition to those intersections which incorporate Primary and Minor Entry statements, the design of Local Project intersections have been included into and complete the landscape hierarchy. Local Project Intersection treatment is intended for future local streets that have not been identified on the conceptual landscape. The Local Project intersection design incorporates the accent paving and project theme bollards found in the Primary and Minor Entry Monumentation areas, see Figure 15. The same palette of accent trees will be used at each of the Local Intersections, to include Italian Stone Pine, Magnolia, Pistache, and Oak (Pinus pinea, Magnolia species, Pistacia chinensis and Quercus species).

c. Land Use Transitions

In an attempt to create a high quality business environment, the RANCON BUSINESS CENTER Specific Plan proposes different types of transition treatments that are intended to:

- * Use existing or man-made conditions to separate and buffer dissimilar uses.
- * Ensure proper treatment of sensitive areas, such as hillsides and flood control channels.
- * Establish techniques for linking natural and man-made conditions such as edge treatments between open space and manufactured slopes.

LOCAL INTERSECTION



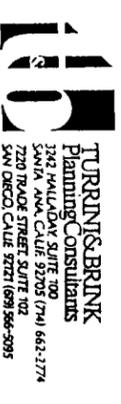
PLAN VIEW



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3242 WALLENWAY SUITE 100
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 (714) 537-3822 / LICENSE 1344



3242 WALLENWAY SUITE 100
 SAN DIEGO, CA 92108
 (619) 537-3822 / LICENSE 1344

FIGURE 15

A brief description of each of the treatments follow:

1) Business Center/Adjacent Land Uses

Because the project is designed to orient internally, a strong edge has been proposed for all perimeter streets. This treatment, as described in Sec. III.D.2.d., Street-scapes, will encourage the desired internal orientation while providing a screen of potential unsightly views at the back side of industrial buildings.

2) Pad/Open Space Interface

In those areas where grading will be required between industrial pads and uphill natural slopes, a Pad/Open Space Transition Area, such as that shown in Figure 17, is proposed. This treatment will ensure proper re-vegetated edge conditions, provide for an aesthetic transition between natural and man-made conditions and if, and when necessary, reduce fire hazards by creating a fuel modification zone. All planting and irrigation within this area will be per the County's Grading Ordinance.

3) Pad/Manufactured Slope Interface

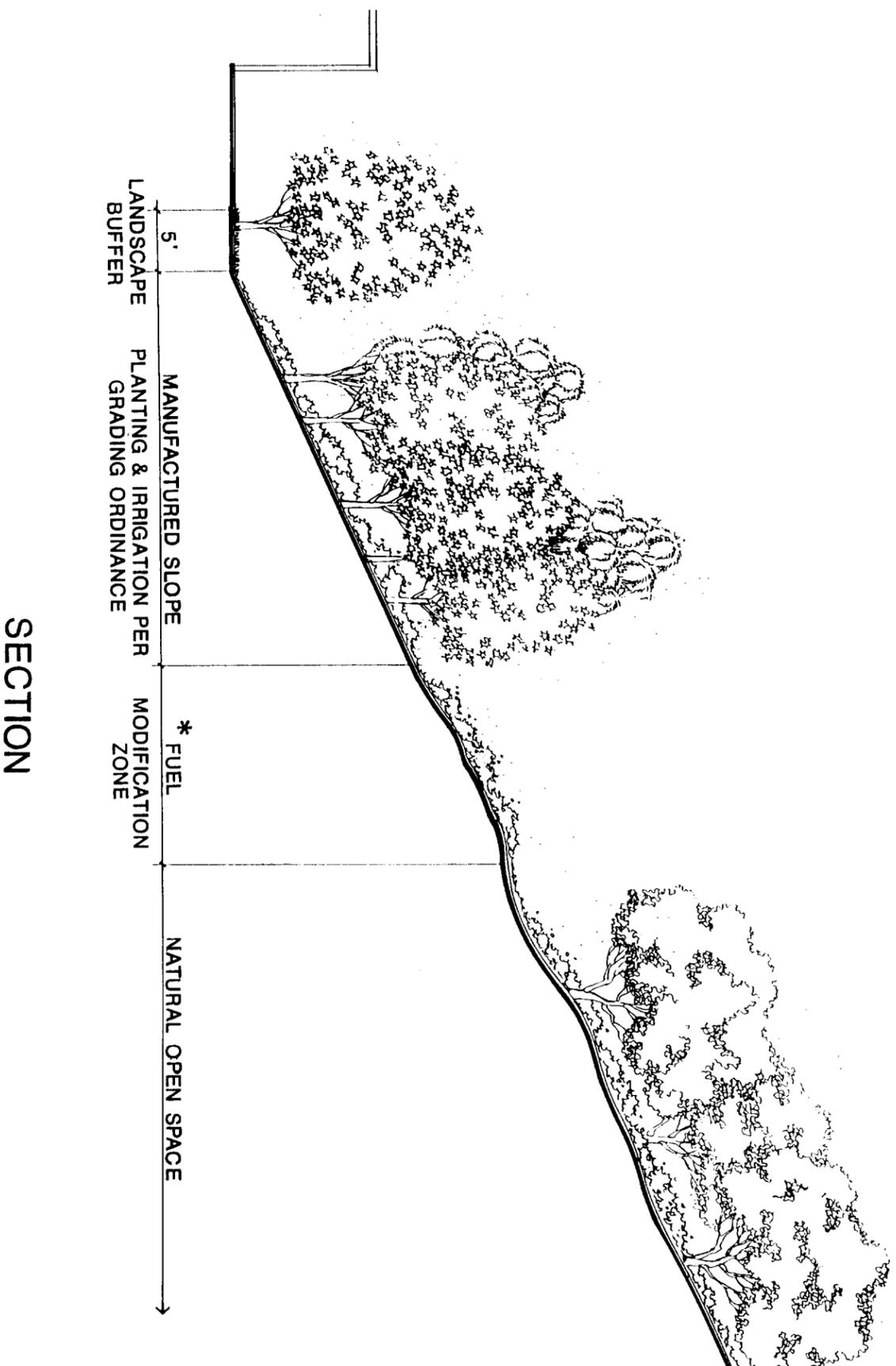
In those transition areas between building pads where grading is required forming man-made slopes, the treatment illustrated in Figure 20 will be required. As shown on Figure 20, a five-foot landscape zone is required at both the top and the toe of the manufactured slope to ensure an appropriate transition. As in the Pad/Open Space Interface areas, all planting and irrigation within these areas will be per the County's Grading Ordinance.

4) Murrieta Channel/Pad Interface

This treatment, as illustrated on Figure 18, provides a recommended treatment for the condition that will exist on either side of Murrieta Creek after it is channelized. As discussed below, those area along either side of the Creek may potentially be used for the proposed regional trail system, this system would be established within the landscape easement. If the system is installed, riprap will help to establish the pastoral and riparian ambiance intended by the placement of pedestrian paths and equestrian trails as adjoining features. Regardless of whether the trail goes in this location, a flat cement surfaced channel is strongly discouraged.

PAD/OPEN SPACE INTERFACE

* NOTE:
ALL EXISTING VEGETATION IN THE FUEL
MODIFICATION ZONE SHALL BE MAINTAINED
AT A MAXIMUM HEIGHT OF 18 INCHES, AND
A REGULAR PROGRAM OF WEED CONTROL
IS NECESSARY.



SECTION

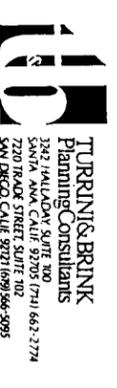


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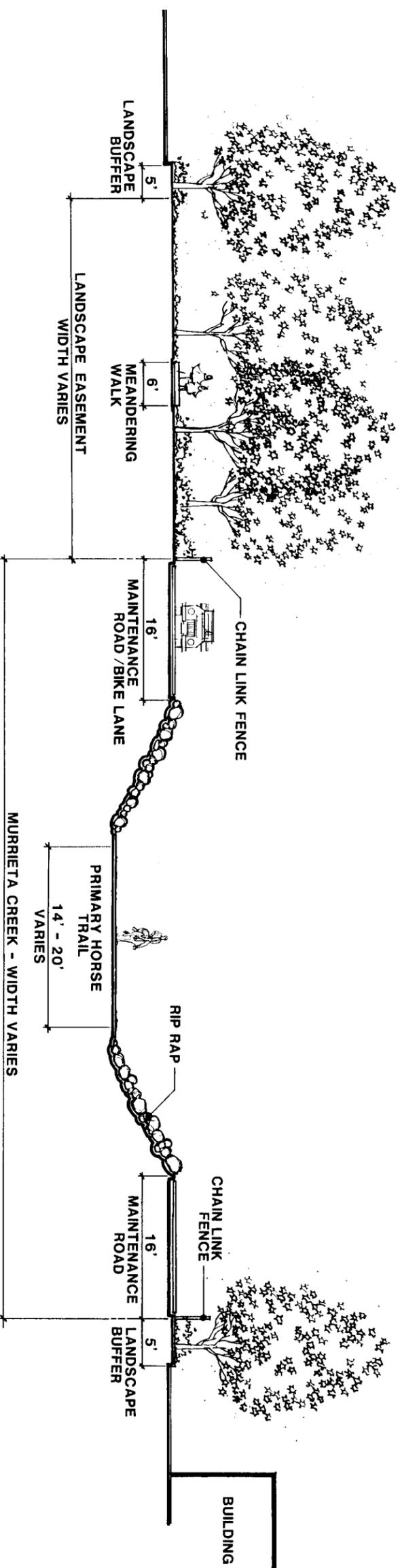
3242 HALLADAY SUITE 201
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714.537.9822 / LEADER 194



2342 HALLADAY SUITE 201
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7201 TRADE STREET SUITE 102
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FIGURE 17

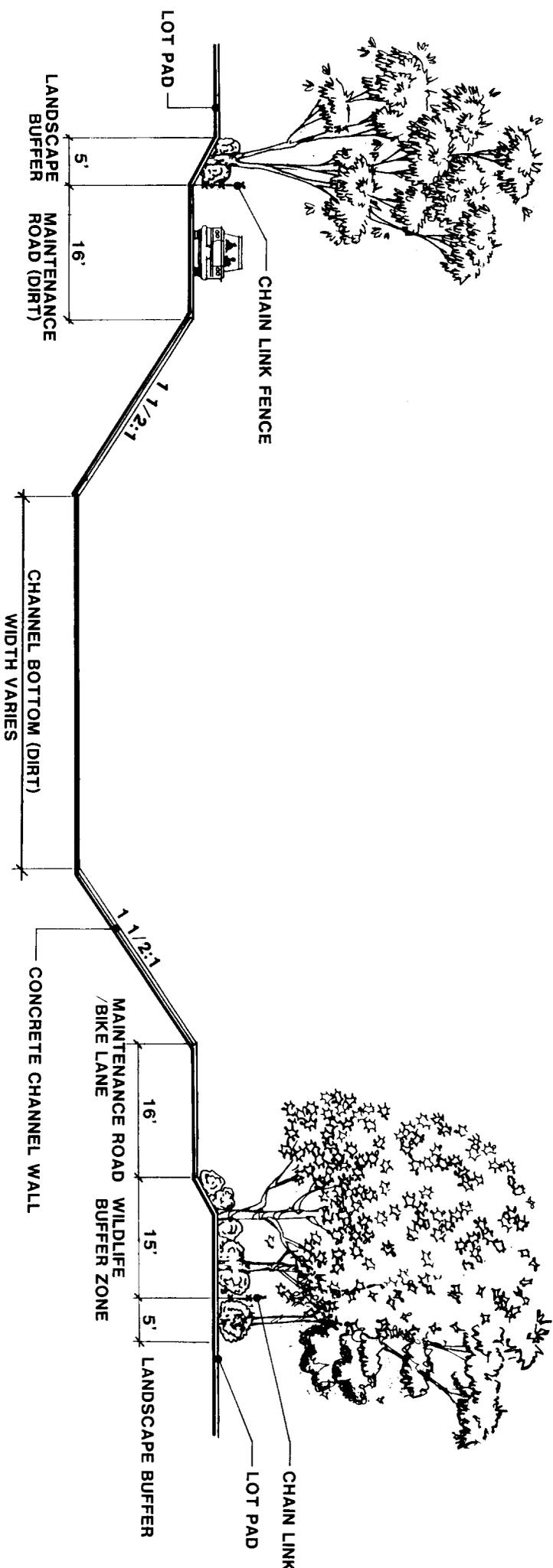
CHANNEL/PAD INTERFACE



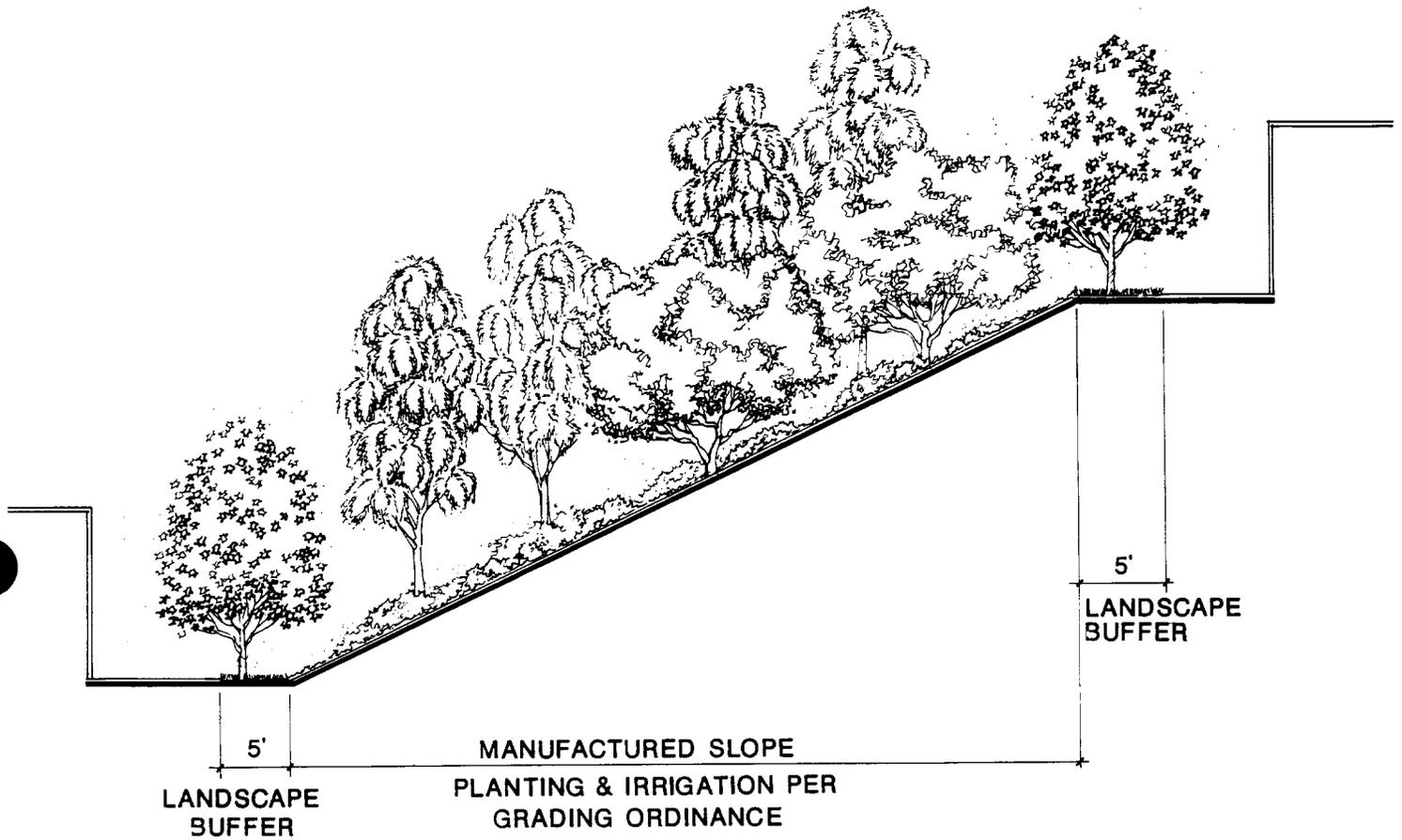
MURRIETA CREEK SECTION

FIGURE 18

Page 67 has been purposely omitted.



WARM SPRINGS CREEK SECTION



PAD/MANUFACTURED SLOPE INTERFACE

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FIGURE 20
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As shown on Figure 18, there is a minimum five-foot wide landscape zone outside of the landscape easement to aid in the transition between developable pad and the channel areas.

The recommended treatment for Warm Springs Creek is shown on Figure 19. As shown on Figure 19, Warm Springs Creek is proposed to have a 45' wide dirt channel bottom with concrete walls with a slope of 1-1/2:1. Maintenance access is provided along either side of the channel with a twenty-foot buffer zone proposed between the access road and the lot pad along the south side of the Creek. Of this twenty-foot buffer, fifteen feet are proposed as a wildlife buffer zone, while the remaining five feet is proposed for landscaping.

5) Lot/Lot Interfaces

Transitions between lots, such as common drives and fence lines, should be coordinated through use of compatible plantings which will complement the architectural design on each lot.

d. Streetscapes

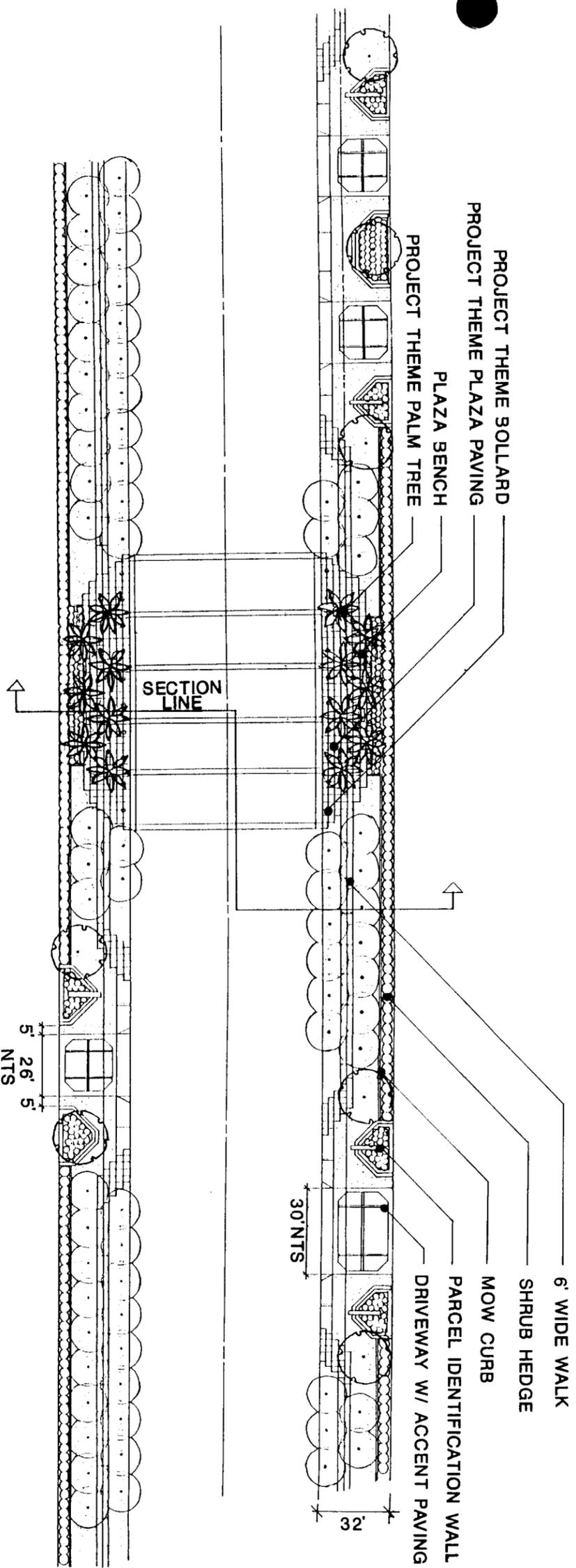
The conceptual streetscape plan establishes hierarchy and continuity to the project. The plant palette and the landscape treatment for each of the streets serve to reinforce the overall concept. Preference has been given to those plant materials that are predominantly evergreen, thereby insuring maximum yearly foliage. The proposed streetscapes reflect the hierarchy of the street system with generous setbacks. Taller distinctive trees define the major highways, moderate setbacks define the projects edges and smaller setbacks with less imposing trees define the interior industrial collectors.

1) Arterial/Secondary Highways (110' ROW/88' ROW)

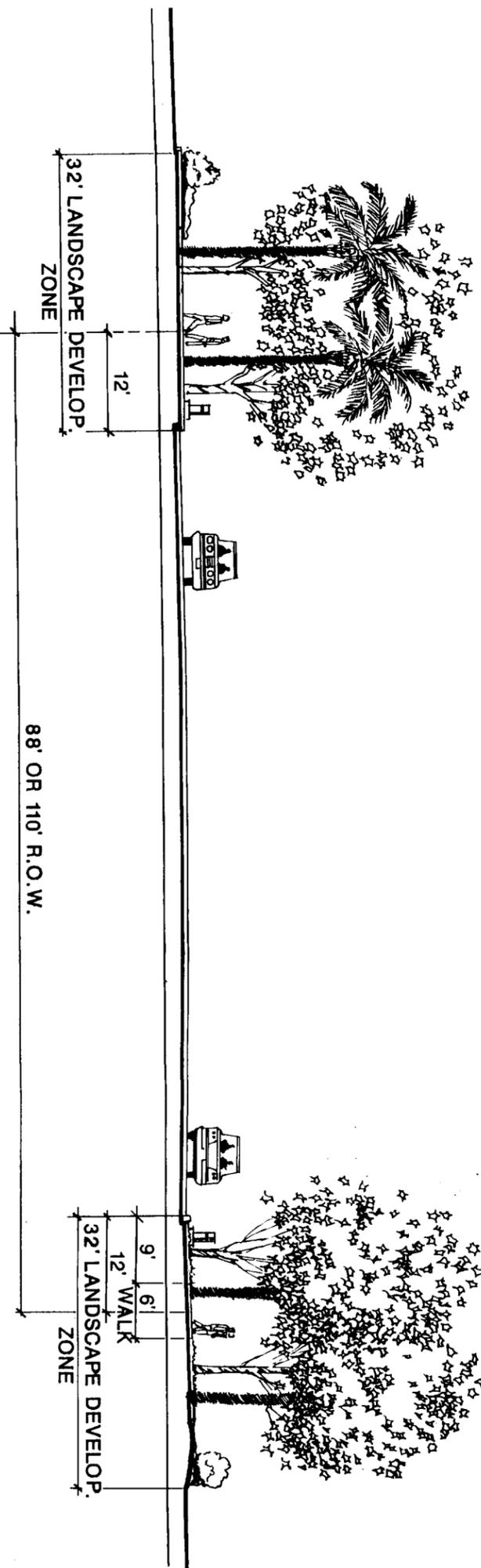
Date Street and Diaz Road are the two Arterial Highways extending through the project, Elm Street and Adams Avenue are Secondary Highways. These streets reinforce the project's grand sense of arrival, and they collectively function as the most significant streets for the project. As such, a double row of street trees are proposed creating a formal corridor streetscene; street trees will include a variety of Eucalyptus and Bottle trees (Eucalyptus polyanthemos, Eucalyptus sideroxylon, Eucalyptus nicholii and Branchychiton populneus). This streetscape treatment is depicted on Figure 21.

Periodically the projects landscape concept will be carried out along these Arterial and Secondary Highways through the use of the projects enhanced paving, project theme bollards and a double row of Date Palms.

ARTERIAL/SECONDARY HIGHWAY LANDSCAPE TREATMENT



PLAN VIEW



SECTION



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FIGURE 21.



A thirty-two foot Landscape Development Zone (LDZ) is proposed along these highways with a minimum forty-foot building setback from the edge of the roadway.

2) Interior Industrial Collector Streets (78' ROW)

Industrial collector streets within the project will be distinguished by a consistent formal double row planting of the same street trees as identified for the Arterial and Secondary Highways. This treatment, which is illustrated on Figure 22, is further enhanced by periodic pockets of small accent trees and a shrub hedge which forms a backdrop to the streetscene to screen parking areas. The desired effect is to provide a strong street articulation with tall columnar trees, while allowing an uncluttered view into landscape treatments on individual lots. A twenty-six foot LDZ is proposed on either side of the Interior Industrial Collector Streets.

e. Community Open Space and Trails

If the proposed regional equestrian trail system eventually needs to traverse through or adjacent to the project, a trail could be accommodated in either the open space area along Murrieta Creek or along the foothills.

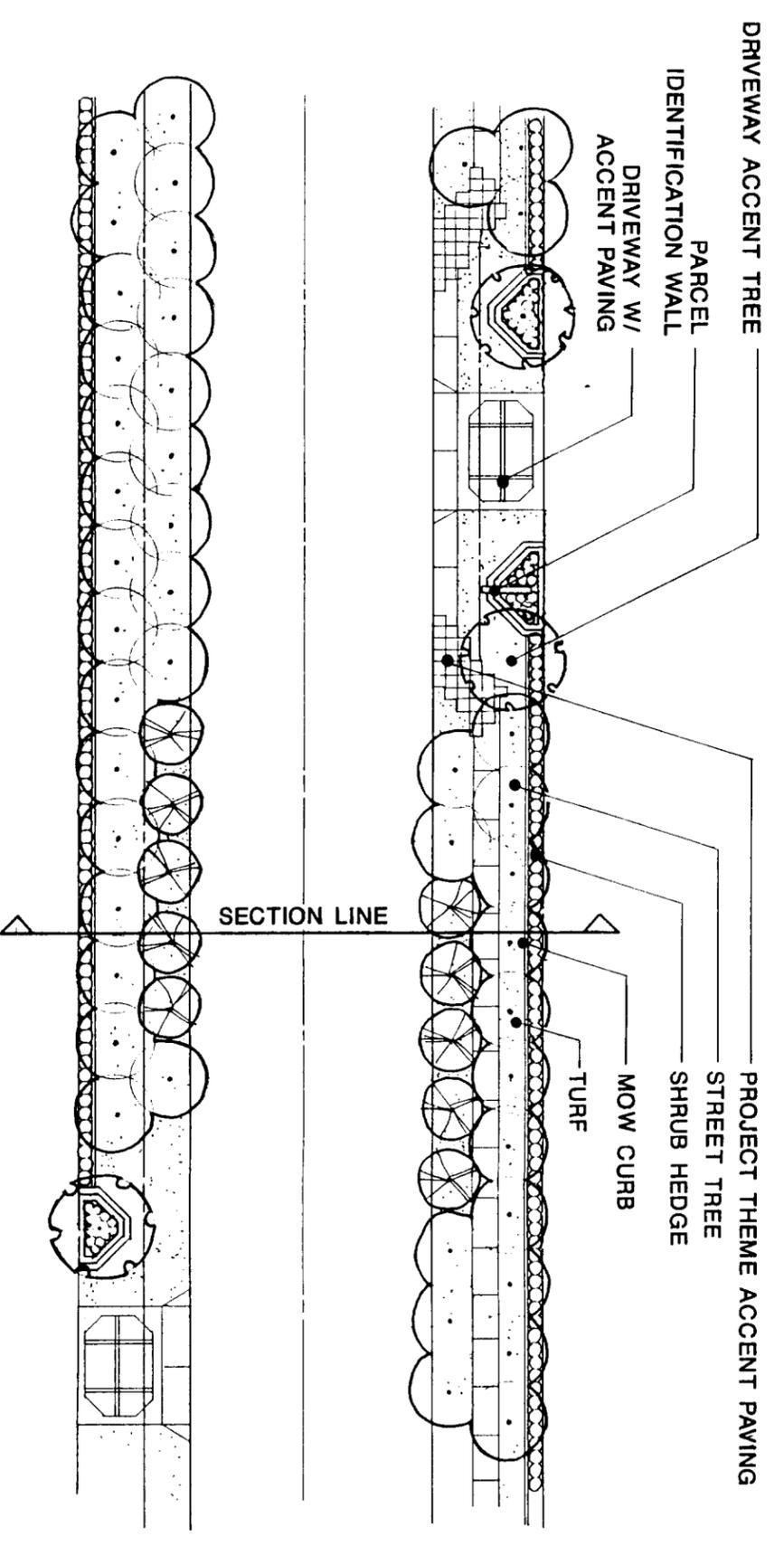
f. Walls and Fences

Because of the up-scale/contemporary image proposed for the project, the use of community walls and fences will be minimized, allowing for increased architectural visibility. The open landscaped look also will provide for additional security visibility. Where internal fencing or walls are employed between, on the side and at the rear of lots, recommended materials include stucco, stone, riverrock or coated chain link. The use of coated chain link at the fronts of lots and in significant view corridors is highly discouraged unless heavily screened by landscaping. Likewise uncoated chain and wood slats within chain link are discouraged also, especially in view corridors. If wood slats are employed, they must be screened with landscaping.

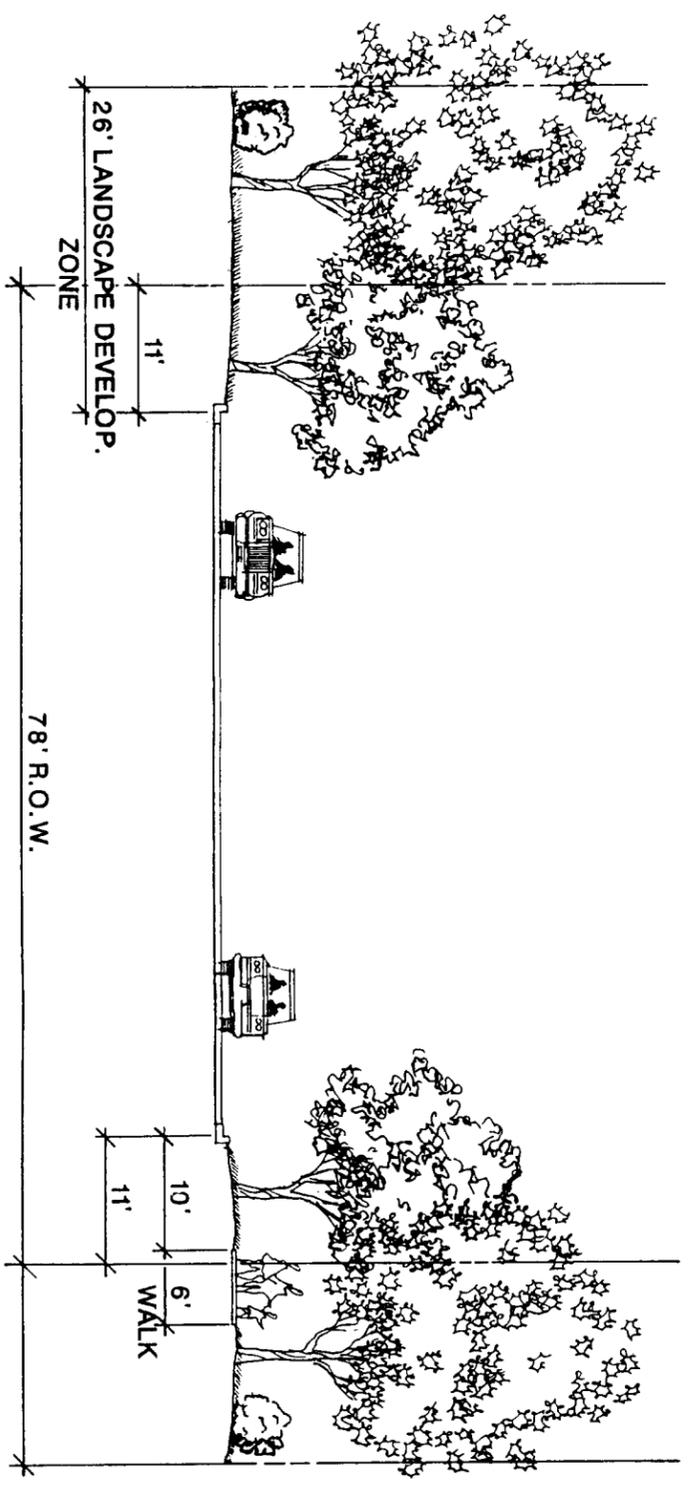
g. Lighting

Lighting will give an added dimension to project identity while providing for evening safety. All exterior, on-site lighting should be of a contemporary design and consistent with respect to spacing, height, color and type of fixture. On-site lighting also should be compatible with adjacent street lighting. The level of on-site lighting, as well as lighting fixtures, shall comply with any and all applicable requirements and policies of the County of Riverside. Energy conservation, safety and security should be emphasized when designing any lighting system. The RANCON BUSINESS CENTER is

**INTERIOR INDUSTRIAL
COLLECTOR
LANDSCAPE
TREATMENT**



PLAN VIEW



SECTION

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HRP

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FIGURE 22

within the Mt. Palomar Observatory special lighting area. The special lighting area is established as an area within a thirty mile radius at the Mt. Palomar Observatory. All new lighting within this area will be low pressure sodium vapor.

3. Landscape Architectural Guidelines and Standards

a. Introduction

The intent of these guidelines is to encourage creative design and individuality, while providing a strong thematic base for establishing a continuity and image which will make the RANCON BUSINESS CENTER a unique and special project.

b. Plant Material Palette

Flexibility and diversity also is intended in planting design. At the same time, however, these guidelines are meant to define an acceptable palette that will reinforce the thematic identity of the RANCON BUSINESS CENTER.

A limited selection of plant materials used in simple, significant compositions is encouraged. Planting designs should be compatible with and complement adjacent plantings and should reinforce and enhance the individual architecture and design of each site.

The materials on the Plant Palette (Table III) have been selected for their contribution to the project theme, their adaptability to climatic and soil conditions and with a concern for long-term cost effective maintenance.

TABLE IV
PLANT PALETTE

TREES - EVERGREEN

<u>Botanical Name</u>	<u>Common Name</u>
Pinus pinea	Italian Stone Pine
Arbutus unedo	Strawberry Tree
Brachychiton populneus	Bottle Tree
Cedrus deodara	Deodar Cedar
Eucalyptus camaldulensis	Red Gum
Eucalyptus polyanthemos	Silver Dollar Gum
Eucalyptus sideroxylon 'Rosea'	Red Iron Bark
Eucalyptus rudis	Desert Gum
Eucalyptus viminalis	White Gum
Magnolia grandiflora	Southern Magnolia
Olea europaea 'Fruitless'	Fruitless Olive
Pinus canariensis	Canary Island Pine
Pinus eldarica	Mondell Pine
Pinus halepensis	Aleppo Pine
Podocarpus gracililor	Fern Pine
Populus candicans	Balm of Gilead
Populus nigra italica	Lombardy Poplar
Quercus agrifolia	California Live Oak
Quercus ilex	Holly Oak
Schinus molle	California Pepper
Sequoia sempervirens 'Santa Cruz'	Coast Redwood
Ulmus Parvifolia 'Drake'	Drake Elm

TREES - DECIDUOUS

<u>Botanical Name</u>	<u>Common Name</u>
Pyrus kawakamii	Evergreen Pear
Albizia julibrissin	Mimosa Tree
Alnus rhombifolia	White Alder
Betula Alba	White Birch
Fraxinus uhdei 'Tomlinson'	Tomlinson Ash
Fraxinus velutina	Arizona Ash
Ginkgo biloba	Maidenhair Tree
Gleditsia triacanthos 'Shade Master'	Honey Locust
Koelreuteria bipinnata	Chinese Flame Tree
Koelreuteria paniculata	Golden Rain Tree
Lagerstroemia indica	Crape Myrtle
Liquidambar Palo Alto	Sweet Gum
Malus floribunda	Japanese Flowering Crabapple
Morus alba 'Fruitless'	Fruitless Mulberry
Nyssa Sylvatica	Sour Gum
Pistacia chinensis	Chinese Pistache

TREES - DECIDUOUS (continued)

Botanical Name

Platanus acerifolia
Platanus racemosa
Prunus cerasifera 'Krauter
Vesuvius'
Salix babylonica

Common Name

London Plane Tree
California Sycamore
Purple Leaf Plum
Weeping Willow

PALMS

Botanical Name

Brahea edulis
Brahea armata
Chamaerops humilis
Phoenix canariensis
Washingtonia robusta
Washingtonia filifera

Common Name

Guadalupe Palm
Mexican Blue Palm
Mediterranean Fan Palm
Canary Island Date Palm
Mexican Fan Palm
California Fan Palm

SHRUBS

Botanical Name

Abelia 'Edward Goucher'
Acacia ongerup N.C.N.
Acacia redolens
Berberis species
Callistemon species
Camellia species
Cocculus laurifolius
Cotoneaster species
Eleagnus pungens
Euonymus fortunei
Euonymus japonica
Hebe Coed
Ilex species
Juniper species
Lantana species
Leptospermum scoparium
Ligustrum japonicum
Mahonia quifolium and
'Compacta'
Nandina domestica and
'Compacta'
Nerium oleander
Osmanthus fragrans
Phormium tenax
Photinia frazeri
Pittosporum tobira and
'Wheeler's Dwarf'
Podocarpus macrophyllus
Prunus caroliniana

Common Name

Edward Goucher Abelia
N.C.N.
Barberry
Bottlebrush
Camellia
Snailseed
Cotoneaster
Silverberry
N.C.N.
Evergreen Euonymus
Veronica
Holly
Juniper
Lantana
New Zealand Tea Tree
Japanese Privet
Oregon Grape
Heavenly Bamboo
Oleander
Sweet Olive
Flax
Photinia
Mock Orange
Yew Pine
Carolina Laurel Cherry

SHRUBS (continued)

<u>Botanical Name</u>	<u>Common Name</u>
<i>Prunus ilicifolia</i>	Hollyleaf Cherry
<i>Pyracantha</i> species	Firethorn
<i>Raphiolepis</i> species	Indian Hawthorn
<i>Ternstroemia japonica</i>	Ternstroemia
<i>Xylosma congestum</i>	Xylosma

SUB SHRUBS

<u>Botanical Name</u>	<u>Common Name</u>
* <i>Agapanthus africanus</i>	Lily of the Nile
<i>Arctostaphylos</i> species	Manzanita
<i>Hemerocalis</i> species	Day Lily
<i>Juniperus</i> species	Juniper
<i>Moraea bicolor</i>	Fortnight Lily
<i>Rhynchospermum</i>	Star Jasmine

VINES

<u>Botanical Name</u>	<u>Common Name</u>
* <i>Clytostoma callistegiodes</i>	Violet Trumpet Vine
<i>Doxantha unguis-cati</i>	Cat's Claw Vine
<i>Ficus pumila</i>	Creeping Fig
<i>Gelsemium sempervirens</i>	Carolina Jasmine
<i>Jasminum mesnyi</i>	Primrose Jasmine
<i>Jasminum mesnyi</i>	N.C.N.
<i>Parthenocissus tricuspidata</i>	Boston Ivy
<i>Rhynchospermum jasminoides</i>	Star Jasmine
<i>Wisteria floribunda</i>	Wisteria

GROUND COVERS

<u>Botanical Name</u>	<u>Common Name</u>
<i>Buccharis pilularis</i> 'Twin Peaks'	Coyote Brush
<i>Duchesnea indica</i>	Indian Mock Strawberry
<i>Hedera helix</i>	English Ivy
<i>Hypericum calycinum</i>	Aaron's Beard
<i>Lonicera halliana</i>	Honeysuckle
Marathon tall fescue	Turf
<i>Potentilla verna</i>	Spring cinquefoli
<i>Rhynchospermum jasminoides</i>	Star Jasmine
<i>Rosemarinus officinalis</i>	Rosemary

- * Will freeze in unprotected exposure area, but will generally rejuvenate from undamaged parts. Use with caution.

c. Planting Time

The Rancho California area experiences temperature extremes which can make it difficult for the installation of plant materials during the hot summer months (July-September) and the cold winter months (December-March). Container plants which have not been acclimated to the region may experience heat or frost damage resulting in partial or total loss of foliage, even if these materials will be perfectly suited to the temperature extremes once they are established. If construction schedules permit, the ideal planting time is in the spring or fall months.

d. Landscape Installation Requirements

All areas required to be landscaped should be planted with trees, shrubs, ground cover, vines or turf selected from the Plant Palette (Table IV).

As individual lots are developed, care should be taken to assess any existing landscaping on adjacent sites and, whenever possible, the selected landscaping theme should reinforce and complement that established character.

Detailed landscape and irrigation plans are to be prepared and reviewed by a licensed landscape architect for each individual project for substantial conformance and submitted to the proper County agency for review prior to installation.

e. Climatic Constraints

- 1) The plant materials for RANCON BUSINESS CENTER have been chosen for their ability to thrive within the site's exacting climate. The plants should grow to their full potential with a minimum amount of maintenance and replacement cost. Precipitation, temperature and wind are the limiting climatic factors affecting plant choice.
- 2) Rancho California's extreme temperatures range from 10 degrees in the winter, to 115 degrees in the summer. The average daily temperatures range is 40 degrees to 65 degrees in the winter, and 55 to 90 degrees in the summer.

f. Agronomic Soils Test Requirements

Because of the many varieties of soils within Rancho California, an agronomic soils report should be prepared at the time each lot or parcel is developed in order to determine appropriate planting and maintenance requirements for specified plant materials. This soils report should be prepared by a qualified agricultural laboratory which is supervised by a member of the American Soils Testing Laboratory. The report should include a soils fertility and agricultural suitability

analysis with pre-planting and post-planting recommendations included in the landscape working drawings.

g. Irrigation

- 1) All areas requiring landscaping should be irrigated with a permanent automatic irrigation system to ensure proper plant growth. The irrigation system should be designed to separate turf areas from shrub areas so as not to irrigate shrubs, ground cover and lawn simultaneously.
- 2) Pop-up sprinklers adjacent to all walkways and areas of pedestrian or vehicular traffic should be spring retractable types.
- 3) Pop-up sprinklers should have matched precipitation rates.
- 4) All valves should be wired independently.
- 5) The landscape sprinkler irrigation system should be designed and operated to prevent or minimize run-off and discharge of irrigation water onto roadways, driveways, adjacent properties and any area not under control of the user.
- 6) The irrigation system should be monitored so that the precipitation rate does not exceed the water infiltration capabilities of the soil and meets the peak moisture demands of all plant materials used within landscape areas.
- 7) Irrigation schedules should be reviewed monthly to properly adjust water application to meet actual plant requirements.
- 8) Emphasis should be placed on the use of low precipitation rate heads. Precipitation rates of less than .5 inches per hour on slopes and based on triangular spacing are recommended.
- 9) Where applicable, flood or bubbler heads should be used rather than small diameter spray heads. Heads should be installed in a triangular pattern whenever possible.
- 10) Anti-drain valves should be used between heads of different elevations to minimize water runoff after valve closure.
- 11) Areas of separate maintenance responsibility should be controlled by separate water meters and irrigation controllers and/or separate control valves.

- 12) Clocks for common open space areas should be programmed for the most efficient time and frequency of watering. Tensiometers should be strategically placed and should override controllers should the areas be too wet.
- 13) Approved backflow prevention devices should be installed to service all sprinkler irrigation systems.
- 14) Pressure reducers should be installed with backflow devices in cases of extreme water pressure.
- 15) To minimize negative visual impacts, automatic valves servicing common open space areas should be installed in valve boxes; and pop-up heads should be used whenever the application allows.
- 16) Irrigation backflow prevention devices and controllers should be screened with appropriate plant materials to minimize visibility.

h. Landscape Maintenance

- 1) The overall aesthetic theme for the landscape should be a thriving, evergreen plant community. Each individual lot owner should provide continuous maintenance for all planted and hardscape areas within his or her site, keeping it free and clear of weeds, debris and rubbish.
- 2) Individual lot owners are strongly encouraged to maintain plant materials in a thriving condition by practicing proper agricultural techniques of pruning, pest control and fertilization. Palms should be skinned periodically as necessary, and special attention should be given to preventing the installation of root-bound Eucalyptus species.
- 3) Until maintenance responsibility is transferred to a CSA or Business Park Association, the Master Developer should repair and maintain all landscaped parkways and medians. This maintenance should include the replacement of landscaping, pavement and lighting (if necessary), and keeping the area free and clear of weeds, debris, and rubbish.
- 4) Any plant failures should be replaced with similar materials which match the size and height of adjacent material. Damaged or malfunctioning irrigation should be repaired or replaced to match the original condition of the system, and irrigation overspray and excessive runoff should be kept to a minimum.

B. ARCHITECTURAL GUIDELINES

1. General Guidelines

The architectural character for the RANCON BUSINESS CENTER will represent an up-scale corporate image, consistent with the architectural image portrayed in the existing business center in the Rancho California area. Architectural diversity should be encouraged to allow individual users to have their own corporate image. This diversity can be achieved by manipulating building materials, colors, and textures in conjunction with architectural details (e.g. roofs, windows, doors, walls), rather than by designing buildings that vary greatly in architectural styles.

a. Architectural Concept

Each individual user in the RANCON BUSINESS CENTER may have a distinctive architectural type and/or style associated with it, provided it conforms with the overall architectural concept established in the business center. Architectural styles that may be portrayed in this section are merely artists' conceptions of possible architectural designs and are meant to act as architectural guidelines only, and not as definitive building product types or styles.

2. Community Elements

a. Building Mass, Form and Scale

Large commercial structures should be articulated with a variety of surface treatments and accents. The visual impact of industrial or office buildings may be reduced by discouraging large "box-like" building configurations. Figure 23 illustrates various designs that will reduce "box-like" configurations.

b. Building Materials, and Colors

Building materials and colors should complement the up-scale corporate image of the RANCON BUSINESS CENTER and should be coordinated on all exterior elevations of the structure to achieve continuity of design. All materials should be durable and require little maintenance. Large expanses of flat, windowless wall planes that are not articulated by materials or color are discouraged. The use of widely varying and contrasting materials should be limited.

Paints and stains should be subdued and limited primarily to soft pastels, neutral colors, grays, and light to medium earth tones with selected contemporary accent colors. Contrasting material, textures, and colors may be used to add emphasis to entry areas and significant architectural features.

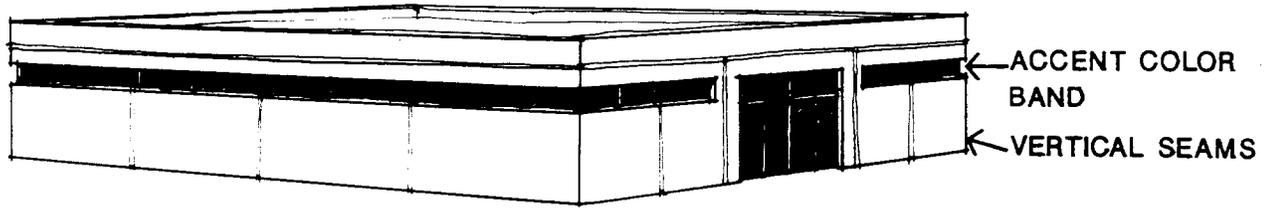
The following building materials are recommended for the RANCON BUSINESS CENTER:

- * Copper and galvanized roofing and accent trim.
- * Concrete.
- * High performance glass.

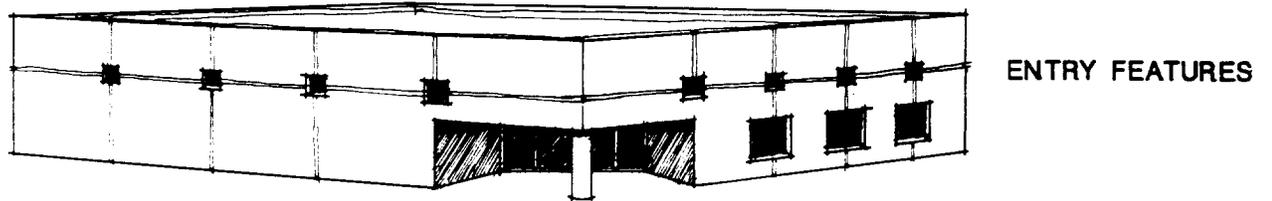
c. Roofs

Roofs may serve as a major structural and architectural design element. A variety of roof types are encouraged, including, hip roofs, gable roofs and flat roofs. Roof overhangs are encouraged in the office and commercial areas as they provide essential climate control and as well as being aesthetically pleasing. Solar panels and skylights may be installed, provided that they are designed as an integral part of the roof form. Acceptable materials for roof tops include, but are not limited to:

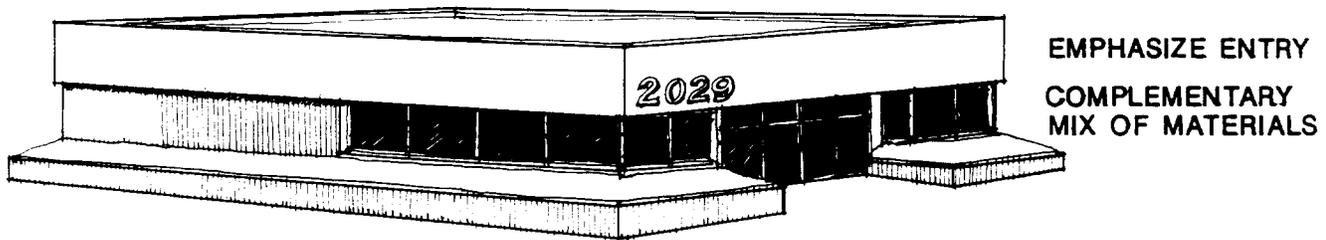
- * Clay or concrete tile;



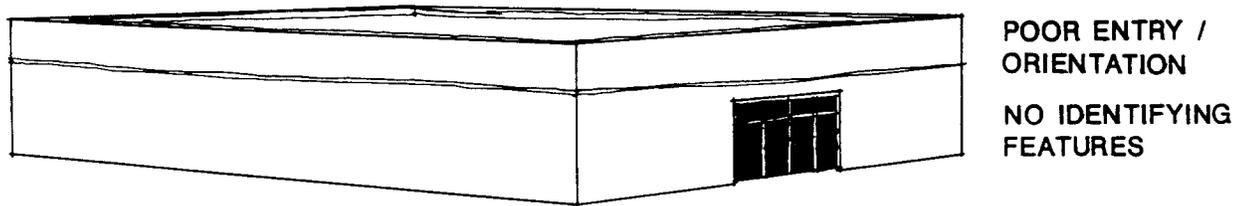
DO THIS



OR THIS



OR THIS



NOT THIS

EXTERIOR BUILDING CONFIGURATIONS

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FIGURE 23

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- * Metal roofing materials; and
- * Built-up roofs.

d. Refuse Collection Areas

Trash enclosures should be harmonious with the overall design feature or concept of the development. All trash enclosures should be constructed in an architectural style similar to adjacent structures and of compatible materials.

The following provisions are encouraged in all refuse collection areas and trash enclosures in the RANCON BUSINESS CENTER:

- * Refuse collection areas or trash enclosures should not be located within any required setback areas and shall be screened from off-site views by structures, solid walls or fences, and/or landscaping. Refuse collection areas should be screened from views from any public street.
- * Screening can be accomplished by using walls and landscaping that is consistent throughout the project and compatible with the architecture.
- * Refuse collection areas or trash enclosures should be conveniently accessible to the buildings/units they are designed to serve.
- * Refuse collection areas or trash enclosures should be located in such a manner as to minimize noise and odor nuisance.
- * The number of refuse collection bins provided shall meet all County of Riverside policies and codes.

e. Site Loading and Special Equipment Areas

Service, storage, special equipment, maintenance and loading areas, should be screened from public streets by applying landscaping and architectural screening. All service and loading areas are encouraged to be orientated so traffic flow is not disrupted.

The following site loading guidelines should apply to the RANCON BUSINESS CENTER:

- * Off-site vehicle loading should be prohibited. All loading and maneuvering areas shall be contained entirely in-site.

- * Loading and service areas should not be visible from street frontages.
- * Utility equipment and communication devices located on a buildings grounds, should appear free of all such devices. Exterior utilities such as water, gas, sewage, electrical, and communication lines must be installed underground.
- * No materials, supplies or equipment, including trucks or other vehicles, are to be stored on-site except inside a closed building or is adequately screened to prevent off-site visibility.
- * Architectural screening should be constructed of the same materials of the adjacent building design. Screening shall be designed to complement building design.
- * All uses should be operated so as not to emit matter, noise in excess of 65 Lpn, or vibration, which would be perceptible to any adjacent lot.

f. Signage

These signage guidelines are designed specifically for this project as a standard criteria to contribute to a well integrated, high-quality overall character. These standards provide a basis for the developer and the county to design and regulate a consistent sign program.

1) General Signage Regulations

The following general signage regulations are encouraged in the RANCON BUSINESS CENTER:

- * All light sources, either internal or external, provided to illuminate signage should be placed or directed away from public streets, highways, sidewalks or adjacent premises to not cause glare or reflection that may constitute a traffic hazard on nuisance.
- * All signage shall be designed free of bracing, angle-iron, guy wires, cables or similar devices.
- * The exposed backs of all signs visible to the public shall be suitably covered, finished and properly maintained.
- * All signs should be maintained in good repair, including display surface, which shall be kept neatly painted or posted.

2) Prohibited Signage

The following signs are prohibited in the Rancon Business Centers:

- * Inflatable signs, balloons, animals or symbols.
- * Rooftop signs.
- * Portable signs.
- * Signs on trailers or painted on the sides displaying any unlawful act, business or purpose.
- * Rotating, revolving or flashing signs.
- * Project advertising signs are discouraged.
- * Signs advertising or displaying any unlawful act, business or purpose.

* Any strings or pennants, banners or streamers, clusters of flags, strings of twirlers or propellers, flares, balloons and similar attention-getting devices, including noise-emitting devices, with the exception of the following:

- a) Pennants, banners or flags used in conjunction with subdivision sales offices and tract entry points.
- b) National, state, local governmental, institutional or corporate flags, properly displayed.
- c) Holiday decoration, in season, used for an aggregate period of 60 days in any one calendar year.

3) Materials/Color Scheme

An effort should be made to achieve consistency between building style and sign design. Signage generally should be compatible with the exterior treatment of the building or location identified. The message a sign conveys is affected by the materials and colors used in combination.

Color schemes for signage should relate to other signs, graphics, and color schemes in the vicinity, to achieve an overall sense of identity.

4) Lighting

The quality of sign lighting should relate to the character that is intended for the area. No sign illumination should cause a glare or illuminate adjacent sites. Signs may be illuminated by continuous and uniform interval lighting or external lighting sources. Signage that is either internally or externally illuminated shall follow these guidelines:

- * All external light sources should be adequately shielded to guide or direct the light toward the sign face and prevent glare or illumination of adjacent properties and structures.
- * Light fixtures should be well integrated with the design and color scheme of the sign using appropriate design, color and lighting hardware.
- * Creative uses of internal lighting are encouraged when the color and intensity of the light is well blended into the sign design.

- * Artistic applications of lighting in signs are acceptable when used for uses conducted after dark, such as restaurants.
- * All sign light shall comply with any and all applicable requirements and policies of the County of Riverside and the Mount Palomar Observatory.

5) Monument Signage

Monument signs typically display messages at or below eye level and have direct relationship to pedestrians and vehicles. Therefore, the placement of monument signs are crucial. Monument signs project a feeling of permanency and may be made of a variety of materials that are consistent with the structures they are identifying.

These standards apply to all Monument Signs in the RANCON BUSINESS CENTER :

- * Monument signs should be limited to identifying the project, building, complex or company occupying the site.
- * Monument signs should not exceed forty-eight (48) square feet in area.
- * All monument signs should have a minimum side dimension of six (6) inches.
- * Monument signs should have a masonry or concrete base and shall be compatible with building architecture.
- * Monument signs may be double sided.

6) Wall Mounted Building Signs

Wall signs may be used where other types of signage are not appropriate or to complement a building design. Wall signs can add visual interest to expanses of wall. Wall signs employing individual letters mounted to the wall are encouraged. Support structures for attaching other wall signs should be made inconspicuous. Wall signs typically require more maintenance than other types of signage, so an effort should be made to keep their appearance attractive. Figure 24 illustrates how wall signs may be used on office or industrial buildings.

The standards listed below generally apply to Wall Mounted Building Signs in the RANCON BUSINESS CENTER:

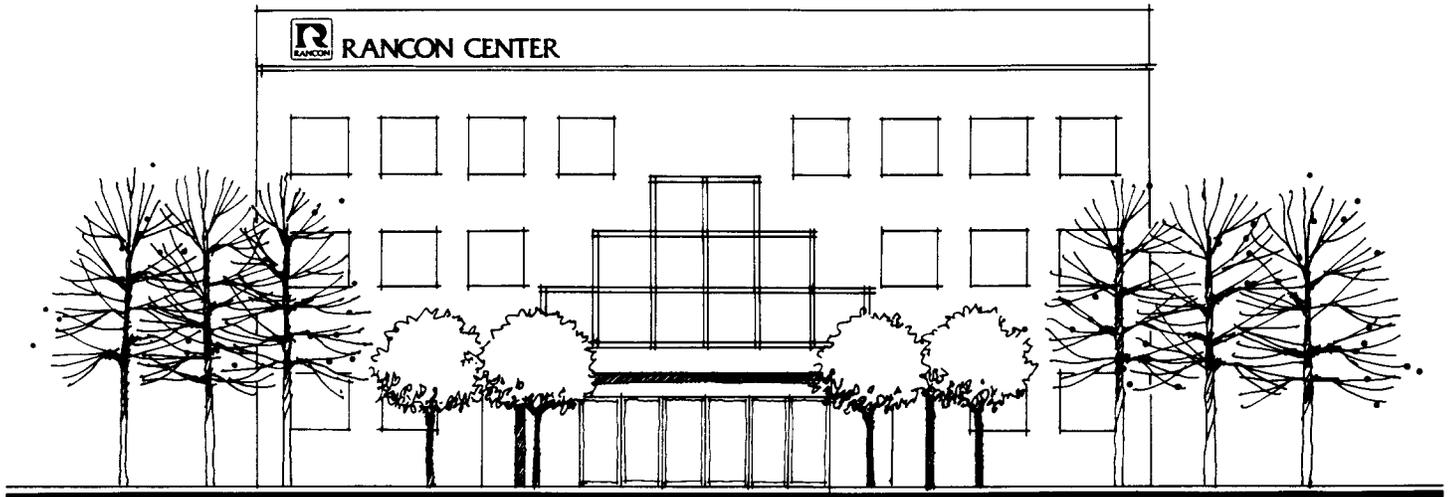
- * Wall mounted building signs are reserved for office buildings that require special ground floor recognition and individual industrial buildings with only one tenant.
- * Wall mounted building signs should be located only within the limits of the ground floor wall area.
- * Wall mounted building signs should be located two (2) feet below the top of the parapet wall and two (2) feet from the edge of the building.
- * The maximum area of a wall mounted building sign should not exceed sixty (6) square feet.
- * All wall mounted signs are encouraged to be horizontal.
- * No wall sign should exceed four (4) feet in height.
- * No wall sign should be painted on building surface.
- * Wall mounted sign words, figures, symbols, or designs should be dimensioned having an edge thickness of three (3) inches minimum, eight (8) inches maximum.
- * Wall mounted signs should be flush mounted to building surface.

7) Multi-Tenant Building Signs

Fascia signs may be used in addition to other types of signage. When several businesses are located within one building or when a certain theme is established for multi-tenants, the framing, lighting and positioning should be the same. Grouping such signs into a directory is encouraged. Figure 25 illustrates a typical Multi-Tenant Building Sign.

These standards generally apply to all Multi-Tenant Building Signs:

- * No sign should exceed twelve (12) square feet.
- * All multi-tenant signs should be similar in design, having the same size, shape and color as its neighbor.



OFFICE BUILDING



INDUSTRIAL BUILDING

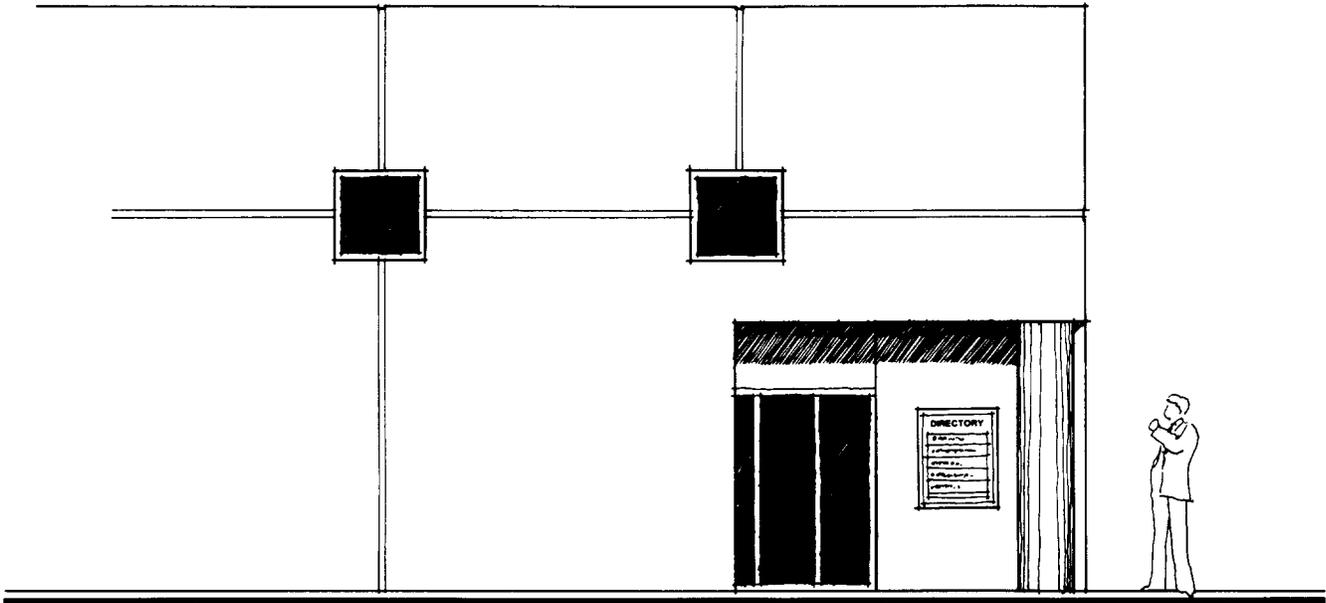
TYPICAL WALL MOUNTED SIGNAGE

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FIGURE 24

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TYPICAL MULTI-TENANT SIGNAGE

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FIGURE 25

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 7220 TRADE STREET SLATE 102
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- * All multi-tenant signs should be mounted at the same height and should be in close proximity to the entry of tenant's space.
- * Multi-tenant signs should be mounted flush with the building wall.
- * Multi-tenant signs should not exceed five (5) feet six (6) inches mounting height, and be not more than three (3) feet wide, four (4) feet high.

8) Projecting Signs

Projecting signs should be used when there is limited visibility or to add interest to a building. The support structure for such signage should complement the architectural style of the building.

These standards generally apply to all Projecting Signs:

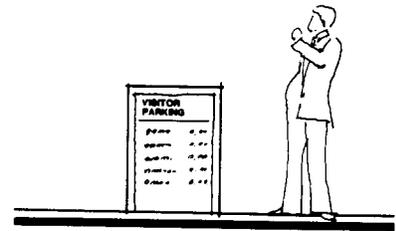
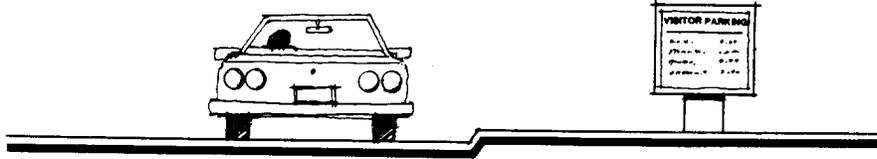
- * Projecting signs should only be used in areas of limited visibility.
- * Sign dimensions and configurations shall be submitted to the Riverside County Planning Director for approval.
- * Any projecting sign should use materials complementary to the building architecture.
- * Only one sign per building should be allowed.

9) Informational and Directional Signage

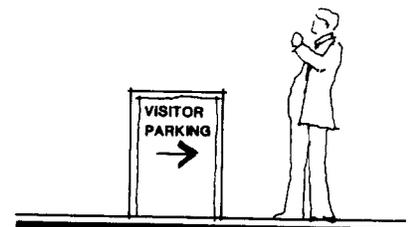
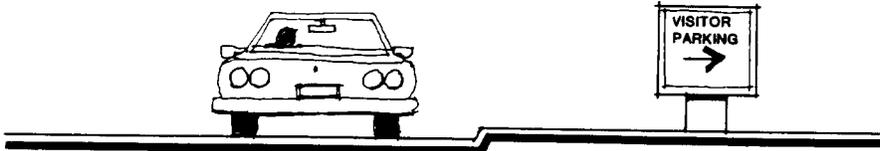
These signs inform, identify and direct vehicular and pedestrian traffic to various on-site destinations. They may be used on community trails or display a destination, direction or location. Figure 26 portrays these types of signs.

The standards listed below may apply to all Informational and Directional Signs in the RANCON BUSINESS CENTER:

- * Information on directional signs should be kept to a minimum (i.e. visitor parking, employee parking).
- * All information portrayed on informational signs should be limited to the minimum verbage required.
- * Directional signs should use arrows where appropriate.



INFORMATIONAL SIGNAGE



DIRECTIONAL SIGNAGE

TYPICAL SIGNAGE

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FIGURE 26

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- * All directional signs should be the same throughout the project area.
- * Directional signs may or may not be illuminated.

10) Temporary Signage

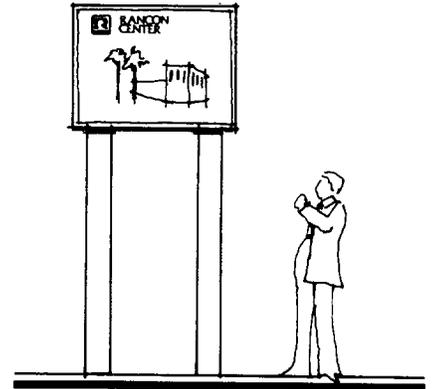
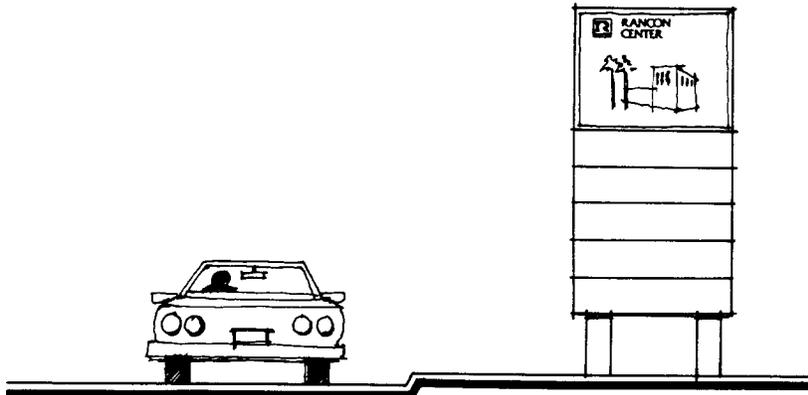
This type of signage identifies uses or activities temporary in nature which typically includes real estate sales signs, subdivision sales signs, notification and other special feature signs. Figure 27, depicts this type of signage.

These standards apply to all Temporary Signage in the RANCON BUSINESS CENTER:

- * All temporary signage should be located in close proximity to the use or uses identified.
- * All temporary signs should be constructed in conformance with building and signage architecture in its vicinity.
- * No window signs shall be permitted in any zone of the project.
- * The information contained on a temporary sign should be limited to no more than the following: Name of building, square footage of leasable space, major tenant, broker identification and phone number/addresses.
- * A rendering of the building may be displayed as a part of the temporary sign.
- * The total square foot area of a temporary sign should not exceed 72 square feet.
- * Temporary signs are limited to one (1) sign per street frontage.
- * All temporary signs must be removed when building occupancy permits are issued.

11) Standard Traffic Signage

All standard traffic signage such as stop signs, traffic control signs, yield signs, etc. will conform to the international sign system, the California Motor Vehicle code, and the standards of the County of Riverside.



TYPICAL TEMPORARY SIGNAGE

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FIGURE 27

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 7220 TRADE STREET SUITE 102
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**V. GENERAL PLAN RELATIONSHIP TO
THE PROJECT**

V. GENERAL PLAN/ENVIRONMENTAL ANALYSIS

A. GENERAL PLAN LAND USE DETERMINATION SYSTEM (STEPS 1-4)

1. Site Identification Within Open Space and Conservation Map Inventory

A review of the County's Open Space and Conservation Map indicates that the Rancon Business Center project site is located in an area "Not Designated As Open Space" and "Agriculture". (Please refer to the Open Space Conservation Map in the Riverside County Comprehensive General Plan.) Appropriate land uses for the entire project site will be determined by the remaining three steps of the Land Use Determination System in this section.

The following discussion reviews the applicable Open Space and Conservation Land Use Standards provided in the General Plan and establishes the proposed project's conformity with them.

Standard: Natural floodways, drainage channels, seismic faults, and unstable slopes should be retained as open space.

Consistency: There are two significant drainage channels that exist on-site, they are the Murrieta and Warm Springs Creeks. These drainage channels will be designed to protect the site from the 100-year flood potential.

Standard: The premature extension of public services, facilities, utilities and other capitol improvements, for urban uses, into open space areas shall be discouraged.

Consistency: The Rancon Business Center provides for an orderly extension of infrastructure in the project area. Water and sewer lines already exist adjacent to the project.

Standard: Environmental hazard and resource areas within a project site, shall be retained as open space or shall be developed in a manner which will be harmonious with the resource or hazard.

Consistency: The project site is within the 100-year floodplain. The 100-year flood boundaries will be reduced and contained only within the Murrieta Creek and Warm Springs Creek channel. The seismic fault discovered on the site will not require a fault setback, because of the low potential for surface fault rupture.

Standard: Natural features such as prominent hillsides, major rock outcroppings, etc. which contribute to the natural beauty of an area shall be preserved and incorpo-

rated into the design of any development occurring in these areas, whenever possible.

Consistency: Approximately 86 acres of open space will be retained in the northern and southern portion of the site. The open space primarily consists of steeper slopes. These slopes will add a definite visual aspect to the project site.

2. Site Identification Within Composite Hazards/Resources Map Inventory

According to the Riverside County General Plan, (Section I., Figure VI.30, Composite Environmental Hazards Map) the Rancon Business Center is located within a liquefaction hazard area and a 100-year flood potential area. The Composite Environmental Resources Map (Figure III.32 of the General Plan) indicates that the site contains agricultural resources.

The issues concerning the liquefaction hazard, the 100-year flood potential and agricultural resources are discussed in Section 4., Environmental Impact Analysis of the EIR #250.

3. Land Use Area Profile and Community Policy Area Identification for Project Site

a. Southwest Territory

The Comprehensive General Plan outlines several Land Use Planning Area Profiles, providing background information for each Planning Area, including a general description; population and housing statistics; growth and land use forecasts; land use potential and constraints; trends and adopted Specific Plans. The County's five-year forecasts are intended to guide infrastructure development to support expected growth in all Planning Areas.

The Rancon Business Center is located in the central portion of the Southwest Territory.

b. Murrieta, Mt. Palomar Observatory

Within each Land Use Area, there are additional community land use policies. These community land use policies are those unique community policies which are not covered by the County-wide elements of the Comprehensive General Plan. The community policies and standards add to or strengthen the County-wide policies and standards found in the other elements, in response to the unique conditions, needs or values of communities.

The Rancon Business Center is located in the Murrieta Community Policy Area and the Mt. Palomar Observatory Special Lighting Area.

4. Summary for Project Proposal/Site Comparison with Applicable Land Use Category Policies or Community Plans

a. Summary of Project Proposal

The proposed Rancon Business Center will provide a upscale corporate industrial park composed of a high quality mix of industrial and office uses. The industrial uses will be constructed in compliance with a site design that is consistent with the Riverside County General Plan. The products to be provided by the Rancon Business Center will meet a market need in the urbanizing Rancho California area, while maintaining a sensitive approach to developing relative to existing topography.

b. Land Use Categories

The Land Use Determination system reviews standards and locational policies for land use categories and specific land uses not determined by Steps 1, 2 and 3. As stated in the Comprehensive General Plan Land Use Categories and Specific Land Uses are based on difficult levels of public facilities and services.

Step 4 begins by accessing the availability of water, sewer and circulation systems in the project area. The results are then compared to Land Use Categories I-V (Heavy Urban, Urban, Rural, Outlying Areas and Planned Community). Adequate public facilities, services (water and sewer) and an extensive circulation system are planned in the project area.

This project has been determined to be in Category II (Urban) land uses as follows:

Category II (Urban) - Land uses represent a broad mix of land uses, including many types of commercial and industrial land uses, and residential land uses with a density of two to eight dwelling units per acre.

c. Southwest Area Community Plan

The Rancon Business Center project site is located in an area covered by the Southwest Area Community Plan; however, this Community Plan has not been incorporated into the Comprehensive General Plan. The plan is currently being developed and monitored by a Citizens Advisory Committee and County Staff.

The study area for the Southwest Area Community Plan is located between the City of Lake Elsinore and extending from the Cleveland National Forest to the Aguanga area.

Within this area there are a number of individual areas with special issues and concerns. This Area Plan will consist of a land use allocation plan, land use policies and an EIR. The land use allocations will be designated with specific categories permitting a limited range of uses and densities, including urban, rural, industrial, commercial and open space uses. The remainder of the study area will be allocated in very general land use categories, including rural (0-2 du/ac), commercial and open space.

The community land use goals and development policies for the area will be incorporated into the Comprehensive General Plan.

B. LAND USE ELEMENT

1. Land Use Planning Area Policy Analysis

As noted in the previous section, the site is in the Southwest Territory Planning Area of the County. Since the project is devoted to only business and industrial uses there will be no increase to population or housing in the RSA-49 (Regional Statistical Area) Murrieta area.

The following factors are expected to accommodate growth in the Southwest Territory.

- * Improvements to community water and sewer systems in Rancho California.
- * Increased industrial development potential with completion of I-15 to San Diego.

2. Community Policy Area Analysis

As noted earlier, the Rancon Business Center is located within the Murrieta Community Policy Area and the Mount Palomar Observatory Special Lighting Area.

a. Murrieta Community Policy Area

The community policies that apply to the project site and the reasons for the development's consistency with those applicable policies are as follows:

- * **Policy:** Future development shall occur contiguous to the existing rural center.
- * **Consistency:** The Rancon Business Center Specific Plan provides for development in a logical, contiguous fashion within the community area.

b. Mount Palomar Observatory

The Rancon Business Center site is located within the Mount Palomar Observatory Special Lighting Area. The special lighting area is established as an area within a thirty (30) mile radius of the Mount Palomar Observatory.

* **Policy:** All new lighting within the special lighting area will be low pressure sodium vapor. The special lighting area is established as an area within a thirty (30) mile radius of Mt. Palomar Observatory.

* **Consistency:** All outdoor lighting within the Rancon Business Center project area will be low pressure sodium vapor.

3. Land Use Category Policy Analysis

Based on the availability of infrastructure and circulation, the proposed project site is determined to be in Category II (Urban). As noted in Section 4.9., Public Facilities and Utilities of EIR #250, adequate water and sewer service can be provided by Rancho California Water District. (See Figures 7 and 8 Water and Sewer Plans.) Circulation routes are also master-planned in the area, as shown on the Riverside County Master Plan of Arterial Highways. Acceptable levels of road use can be anticipated at project buildout. (See Section 4.8., Traffic and Circulation, of EIR #250. Master-planned roads in the immediate vicinity include:

- Winchester Road (79) - N/S - Major Highway - 100' ROW
- Interstate 15 - N/S Freeway - Variable ROW
- Rancho California Road - E/W - Secondary Highway - 88' ROW

The proposed specific plan must be designed to comply with the appropriate category requirements in terms of infrastructure and circulation, etc. As noted above, conditions for the physical site are conducive to Land Use Category II. Public utilities exist in the vicinity of the project. The proposed plan blends with adjacent land uses and the physical attributes of the site lend themselves to development of residential and commercial uses. These uses reflect an Urban designation defined as:

Category II - Urban - Land uses that are representative of Category II include lower residential densities, commercial and office/industrial uses.

C. ADMINISTRATIVE ELEMENT

1. Land Use Policy/Specific Plan Time Frames

a. Project Time Frames for Development

The County requires that a Phasing Plan be adopted for each Specific Plan and that each plan be monitored for reasonable progress toward implementation. A phasing program is outlined in Section III.A.6. The applicants will work closely with the County to assure timely and logical completion of the project based on the Phasing Plan, subject to County-approved modifications resulting from updated market and economic data.